

## Project Narrative for Business Condos

May 2024

N&M Properties, LLC is proposing to construct thirty-one (31) business condos for various uses at the following property located in the Town of Barton:

- Subject property:
  - Address: HWY D and HWY 45, West Bend, WI
  - Parcel Number: T2 007500A
  - Size: Approximately 11.9 acres
  - Current Owner: N&M Properties, LLC

## Market Demand for Business Condo Units

N&M Properties, LLC market research indicates pent up demand for business condo buildings in the West Bend area.

These units generate very little traffic and include low intensity activities/uses.

For the business condo units, our primary target is contractors, small businesses and general storage. We understand that not all the units will be sold to contractors/small businesses. We envision most units will be used by:

- Electrical contractors
- Plumbing contractors
- HVAC contractors
- Acoustical ceiling contractors
- Floor coating contractors
- Property manager warehouse
- Commercial artist
- Cleaning business
- Remodeling contractors
- Security system contractor
- Workshops
- Flooring installation contractor
- Online marketing/advertising studio-shop
- Commercial artist
- Hobbyist

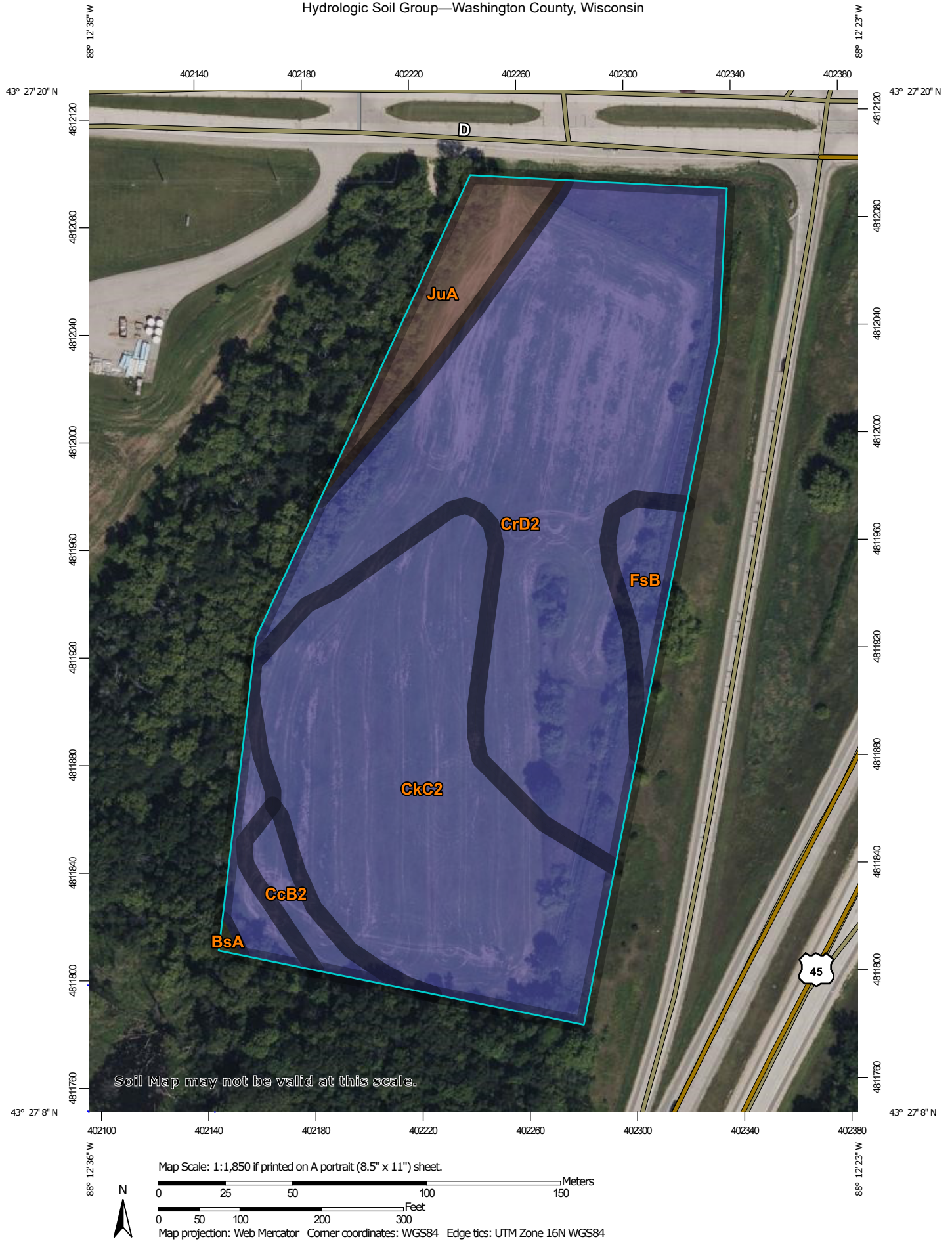
## Development Overview

- 31 commercial buildings fronting on County HWY D (3,000 sq.ft. up to 7,200 sq.ft.).
- The master site grading will take place in 3 phases.
  - Phase 1 – Central third of site
  - Phase 2 – North third of site
  - Phase 3 – South third of site

The business condos will be constructed as soon as the grading allows. These business condos are shown in sizes ranging from 60'x50' and 120'x60'. Depending on market demand, some of the business condos may be reduced in size.


- Maximum number of condo units would be thirty-one (31)
- Each business condo will have parking for two (2) vehicles
- Garage lighting will be provided

# Hydrologic Soil Group—Washington County, Wisconsin



## MAP LEGEND

### Area of Interest (AOI)









 Area of Interest (AOI)

### Soils

#### Soil Rating Polygons





 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Lines

 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Points




 A  
 A/D  
 B  
 B/D

 C  
 C/D  
 D  
 Not rated or not available


### Water Features

 Streams and Canals

### Transportation

 Rails  
 Interstate Highways  
 US Routes  
 Major Roads  
 Local Roads

### Background

 Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Washington County, Wisconsin  
 Survey Area Data: Version 23, Sep 8, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 4, 2022—Sep 13, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
BsA	Brookston silt loam, 0 to 2 percent slopes	C/D	0.0	0.1%
CcB2	Casco sandy loam, 2 to 6 percent slopes, eroded	B	0.3	2.6%
CkC2	Casco-Fox loams, 6 to 12 percent slopes, eroded	B	3.7	36.7%
CrD2	Casco-Rodman complex, 12 to 20 percent slopes, eroded	B	5.1	51.2%
FsB	Fox silt loam, 2 to 6 percent slopes	B	0.3	3.2%
JuA	Juneau silt loam, 1 to 3 percent slopes	B/D	0.6	6.2%
<b>Totals for Area of Interest</b>			<b>10.0</b>	<b>100.0%</b>

## ZONING

### 500 Attachment 3

#### Town of Barton

#### Table 3 Worksheets

**Table 3A  
Worksheet for the Calculation of Base Site Area  
for Both Residential and Nonresidential Development**

Step 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	<u>11.9</u> acres
Step 2:	Subtract ( – ) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, and the rights-of-way of major utilities.	– <u>0.0</u> acres
Step 3:	Subtract ( – ) land required to be dedicated for public parks under the requirements of Chapter 340, Land Division, as amended, or other Town ordinance.	– <u>0.0</u> acres
Step 4:	Subtract ( – ) land which, as a part of a previously approved development or land division, was reserved for open space.	– <u>0.0</u> acres
Step 5:	In the case of site intensity and capacity calculations for a proposed residential use, subtract ( – ) the land proposed for nonresidential uses; or, in the case of site intensity and capacity calculations for a proposed nonresidential use, subtract ( – ) the land proposed for residential uses.	– <u>0.0</u> acres
Step 6:	Equals base site area.	= <u>11.9</u> acres

BARTON CODE

**Table 3B**  
**Worksheet for the Calculation of Resource Protection Land**

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 500-109 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Features	Acres of Land in Resource Feature to be Protected
	Agricultural Districts	Residential Districts	Nonresidential Districts		
Steep slopes:					
10% to 19%	0.00	0.60	0.40	X <u>1.12</u> =	<u>0.448</u>
20% to 30%	0.65	0.75	0.70	X <u>0.00</u> =	<u>          </u>
+ 30%	0.90	0.85	0.80	X <u>0.00</u> =	<u>          </u>
Woodlands and forests (a):					
Mature	0.70	0.70	0.70	X <u>0.57</u> =	<u>0.399</u>
Young	0.50	0.50	0.50	X <u>1.27</u> =	<u>0.635</u>
Lakes and ponds	1.00	1.00	1.00	X <u>0.00</u> =	<u>          </u>
Streams	1.00	1.00	1.00	X <u>0.00</u> =	<u>          </u>
Shore buffer (a)	1.00	1.00	1.00	X <u>0.00</u> =	<u>          </u>
Floodplains/floodways/ floodlands (b)	1.00	1.00	1.00	X <u>0.00</u> =	<u>          </u>
Drainageways	0.30	0.30	0.30	X <u>0.00</u> =	<u>          </u>
Wetlands and shoreland wetlands (a)	1.00	1.00	1.00	X <u>0.70</u> =	<u>0.700</u>
Total resource protection land (total acres of land in resource feature to be protected)					<u>2.182</u>

**NOTES:**

- (a) As regulated by Chapter 23, Shoreland, Wetland and Floodplain Zoning, of the Washington County Code, as amended.
- (b) As regulated by Chapter 23, Shoreland, Wetland and Floodplain Zoning, of the Washington County Code, as amended.

Note: In conducting the calculations in this table, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.00, which represents the higher of the two standards.

BARTON CODE

**Table 3D**  
**Worksheet for the Calculation of Site Intensity**  
**and Capacity for Nonresidential Development**

Step 1:	<p>Calculate minimum required landscape surface:</p> <p>Take base site area (from Step 6 in Table 3A): <u>11.9</u></p> <p>Multiply by minimum landscape surface ratio (LSR)  (see specific zoning district LSR standard): X <u>0.40</u></p> <p>Equals minimum required on-site landscape surface = <u>4.76</u> acres</p>	
Step 2:	<p>Calculate net buildable site area:</p> <p>Take base site area (from Step 6 in Table 3A): <u>11.9</u></p> <p>Subtract total resource protection land (from Table 3B)  or minimum required landscape surface (from Step 1  above), whichever is greater: - <u>4.76</u></p> <p>Equals net buildable site area = <u>7.14</u> acres</p>	
Step 3:	<p>Calculate maximum net floor area yield of site:</p> <p>Take net buildable site area (from Step 2 above): <u>7.14</u></p> <p>Multiply by maximum net floor area ratio (NFAR)  (see specific nonresidential zoning district NFAR standard): X <u>0.85</u></p> <p>Equals maximum net floor area yield of site = <u>6.07</u> acres</p>	
Step 4:	<p>Calculate maximum gross floor area yield of site:</p> <p>Take base site area (from Step 6 of Table 3A): <u>11.9</u></p> <p>Multiply by maximum gross floor area ratio (GFAR)  (see specific nonresidential zoning district GFAR standard): X <u>0.42</u></p> <p>Equals maximum gross floor area yield of site = <u>5.00</u> acres</p>	
Step 5:	<p>Determine maximum permitted floor area of site:</p> <p>Take the lowest of maximum net floor area yield of site (from Step 3  above) or maximum gross floor area yield of site (from Step 4 above):  (Multiply results by 43,560 for maximum floor area in square feet):</p>	<p><u>5.00</u> acres  ( <u>217,800</u> square feet)</p>

# *Town of Barton*

## GENERAL ZONING

*(to be completed for all  
zoning related applications)*

### *Application Form*

# TOWN OF BARTON GENERAL ZONING APPLICATION FORM

(Required for All Zoning Related Applications)

In accordance with the Town of Barton Zoning Ordinance, applications for all zoning related matters shall be made on this form provided by the Town Clerk (or other Town Board authorized agent). In order for applications to be processed, all required information, drawings, application signatures, and fees required shall be submitted at time of application.

## APPLICATION TYPE:

Please check the appropriate box below for the type of Application being submitted:

- ☐ Zoning Permit Application
- ☐ Certificate of Occupancy
- ☒ Site Plan Review Application
- ☐ Zoning Map Amendment Petition
- ☐ Zoning Text Amendment Petition
- ☐ Special Use Permit Application
- ☐ Appeal
- ☐ Variance
- ☐ Interpretation

## REQUIRED INFORMATION:

Please provide the following applicable information:

1. Town of Barton Tax Key Identification Number of Property:

T2 007500A



2. Location of Property *(also, please attach legal description and/or boundary survey of property):*

Southwest of the intersection of County Highway "D" and State Highway "45".

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3. Applicant/Petitioner Name: Mark Foyse

Telephone Number: 414-218-8377

Address: 1877 County Hwy A

West Bend, WI 53090

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Applicant/Petitioner is *(check all that are applicable):*

Property Owner ☒

Owner's Agent ☐

Developer ☐

Other (specify) ☐

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4. Property Owner: N&M Properties, LLC

Telephone Number: 414-218-8377

Address: 1877 County Hwy A

West Bend, WI 53090

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5. Owner's Agent: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
6. Developer Name: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
7. Subdivision/Development Name *(if applicable)*:  
\_\_\_\_\_
8. Zoning District Classification(s) of Property *(per Town of Barton Zoning Ordinance Designation)*:  
Present: \_\_\_\_\_ Proposed: \_\_\_\_\_
9. Town of Barton Land Use Plan Land Use District Designation(s):  
Present: \_\_\_\_\_ Proposed: \_\_\_\_\_
10. Present Use(s) of Property: Cropland  
*(also indicate SIC--Standard Industrial Classification--Code Number)*
11. Proposed Use(s) of Property: Storage Condos  
*(also indicate SIC--Standard Industrial Classification--Code Number)*
12. Area of the Property (acres/square feet): 11.9 acres / 518,310 s.f.

REQUIRED SIGNATURE(S) FOR ALL TYPES OF APPLICATIONS:

I hereby certify that all statements, forms, and attachments submitted hereto are true and correct to the best of my knowledge and belief:

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date

OTHER REQUIRED APPLICABLE SIGNATURES:

I hereby certify that all statements, forms, and attachments submitted hereto are true and correct to the best of my knowledge and belief:

\_\_\_\_\_  
Applicant/Petitioner Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner's Agent Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Developer's Signature

\_\_\_\_\_  
Date

*No "Town of Barton Zoning Application Form" shall be accepted by the Town of Barton until all of the required items set forth in this Application, as applicable to the type of application being made, have been provided to the Town of Barton including all applicable application fees.*

*Applications shall be filed with  
the Town Clerk  
(or other Town Board authorized agent)*

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*FOR TOWN OF BARTON OFFICE USE ONLY*

Date Application Filed: \_\_\_\_\_ File No: \_\_\_\_\_

ADMINISTRATIVE DEADLINES:

Date Set for:

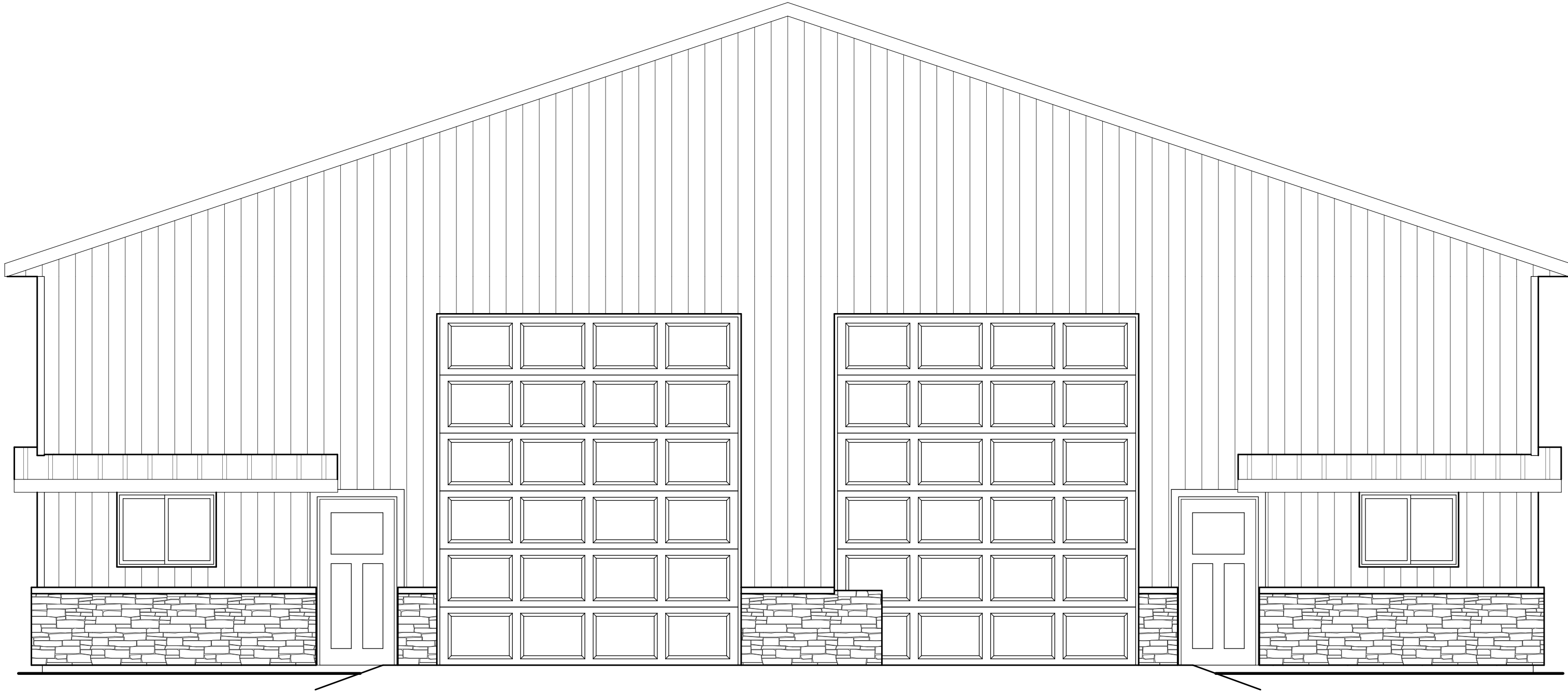
Date:

- |                          |  |       |       |
|--------------------------|--|-------|-------|
| <input type="checkbox"/> | Zoning Administrator<br>(as required)                  | _____ | _____ |
| <input type="checkbox"/> | Town Engineer<br>(as required)                         | _____ |       |
| <input type="checkbox"/> | Plan Commission Review/Action<br>(as required)         | _____ |       |
| <input type="checkbox"/> | Town Board Review/Action<br>(as required)              | _____ |       |
| <input type="checkbox"/> | Zoning Board of Appeals Review/Action<br>(as required) | _____ |       |
| <input type="checkbox"/> | Advertisement/Public Notice<br>(as may be required)    | _____ |       |
| <input type="checkbox"/> | Public Hearing<br>(as may be required)                 | _____ |       |

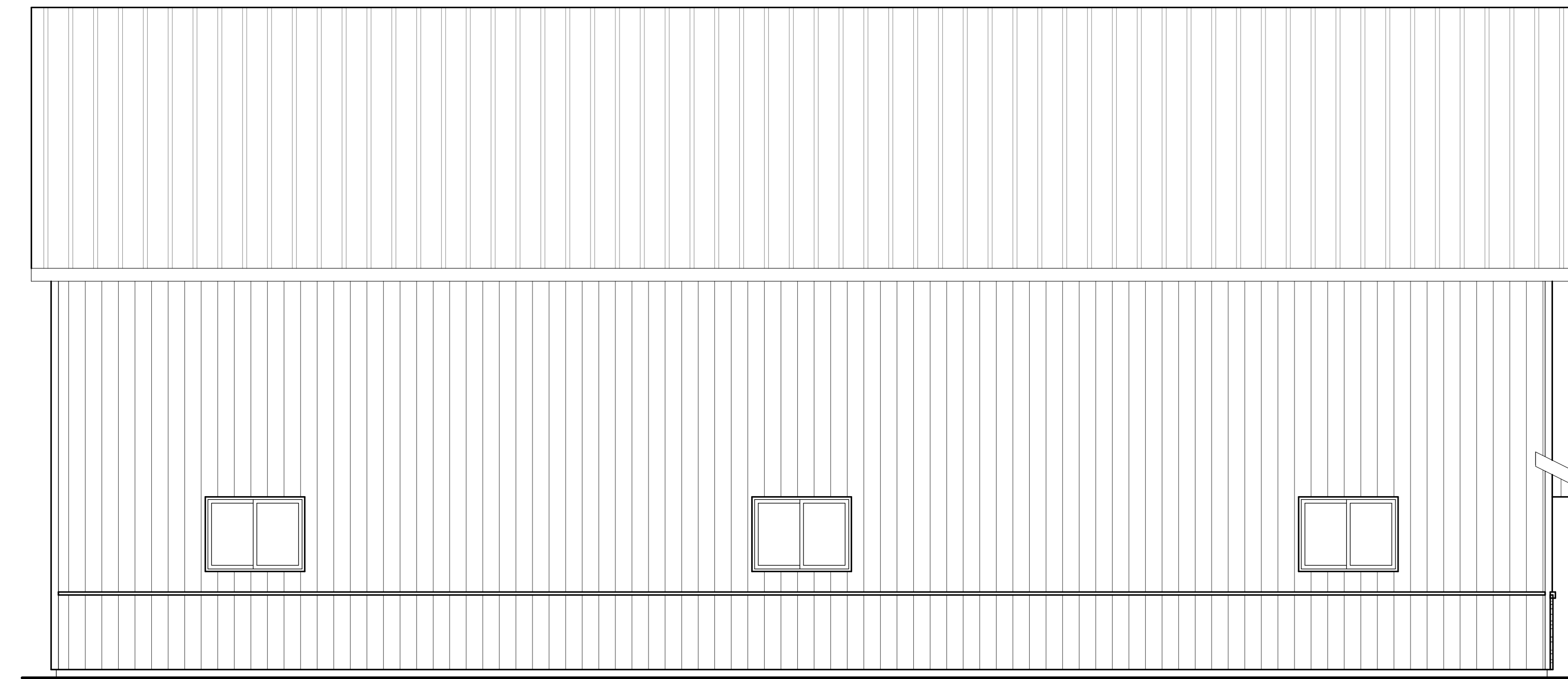
Fees:            Fee Amount                            \$ \_\_\_\_\_

                  Amount Paid                                \$ \_\_\_\_\_

                  Fee Receipt No. \_\_\_\_\_



**FRONT ELEVATION**  
1/4" = 1'-0"



**LEFT ELEVATION**  
1/4" = 1'-0"

**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**

DESIGNER: <b>K. FULLHART</b>		COPYRIGHT © 2024		PRELIMINARY PLAN		05/22/2024		KRF	
SCALE: <b>1/4" = 1'-0"</b>		N & M PROPERTIES		A		A		A	
SHEET NO: <b>A1</b>		Drexel™ DrexelTeam.com		A		A		A	
PROJECT NO: <b>G24-270-C</b>				A		A		A	




**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**

DESIGNER: <b>K. FULLHART</b>			<b>N &amp; M PROPERTIES</b>	<b>COPYRIGHT © 2024</b> COPYRIGHT THESE BUILDING DOCUMENTS ARE THE PROPERTY OF THESE DOCUMENTS WITH THAT THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF N&M PROPERTIES. NO PART OR PORTION OF THESE DOCUMENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM N&M PROPERTIES.	<b>A</b>	<b>PRELIMINARY PLAN</b>	<b>05/22/2024</b>	<b>KRF</b>
SOURCE: <b>1/4" = 1'-0"</b>					<b>A</b>			
SHEET NO:					<b>A</b>			
<b>A2</b>					<b>B</b>			
					<b>C</b>			
		<b>D</b>						
		<b>E</b>						
PROJECT NO: <b>G24-270-C</b>								





 <b>DrexelTeam.com</b>		<h1>N &amp; M PROPERTIES</h1>		<b>COPYRIGHT © 2024</b> COPYRIGHT DREXEL BUILDING SUPPLY, IT IS REPRODUCED BY ANY MEANS ALL OR ANY PARTS THEREOF WITHOUT THE WRITTEN PERMISSIONS WORTH TO PERMISSION OF DREXEL BUILDING SUPPLY. ALL RIGHTS ARE RESERVED. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEMS, WITHOUT PERMISSION IN WRITING FROM DREXEL BUILDING SUPPLY.		<b>PRELIMINARY PLAN</b>		05/22/2024	<b>KR</b>		
DESIGNER: <b>K. FULLHART</b>				SCALE: <b>1/4" = 1'-0"</b>		SHEET NO.: <b>A3</b>		PROJECT NO.: <b>G24-270-C</b>			

*Town of Barton*  
GENERAL ZONING  
(to be completed for all  
zoning related applications)  
*Application Form*

TOWN OF BARTON  
GENERAL ZONING  
APPLICATION FORM

(Required for All Zoning Related Applications)

In accordance with the Town of Barton Zoning Ordinance, applications for all zoning related matters shall be made on this form provided by the Town Clerk (or other Town Board authorized agent). In order for applications to be processed, all required information, drawings, application signatures, and fees required shall be submitted at time of application.

APPLICATION TYPE:

Please check the appropriate box below for the type of Application being submitted:

- |                                     |                                |
|-------------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> | Zoning Permit Application      |
| <input type="checkbox"/>            | Certificate of Occupancy       |
| <input type="checkbox"/>            | Site Plan Review Application   |
| <input checked="" type="checkbox"/> | Zoning Map Amendment Petition  |
| <input checked="" type="checkbox"/> | Zoning Text Amendment Petition |
| <input checked="" type="checkbox"/> | Special Use Permit Application |
| <input type="checkbox"/>            | Appeal                         |
| <input type="checkbox"/>            | Variance                       |
| <input type="checkbox"/>            | Interpretation                 |

REQUIRED INFORMATION:

Please provide the following applicable information:

1. Town of Barton Tax Key Identification Number of Property:

003500A

2 Location of Property (also, please attach legal description and/or boundary survey of property):

Northwest of the intersection of Green Tree Rd. and North

Main Street. Legal description attached.

3. Applicant/Petitioner Name: Georgianna Dee

Telephone Number: 262-623-0201

Address: 910 South Main Street

West Bend, WI 53095

Applicant/Petitioner is (check all that are applicable):

☒ Property Owner

☐ Owner's Agent

☐ Developer

☐ Other (specify)

4. Property Owner: Georgianna Dee

Telephone Number: 262-623-0201

Address: 910 South Main Street

West Bend, WI 53095

5. Owner's Agent: Parish Survey & Engineering, LLC (Kevin Parish)

Telephone Number: 262-346-7800

Address: 122 Wisconsin Street

West Bend, WI 53095

6. Developer Name: (Same as Owner)

Telephone Number:

Address:

7. Subdivision/Development Name (if applicable):

8. Zoning District Classification(s) of Property (per Town of Barton Zoning Ordinance Designation):

Present: R-6 (Residential) Proposed: LM (Limited Manufacturing)

9. Town of Barton Land Use Plan Land Use District Designation(s):

Present: Proposed:

10. Present Use(s) of Property: Agricultural

(also indicate SIC-Standard Industrial Classification-Code Number)

11. Proposed Use(s) of Property: Wedding and events venue



(also indicate SIC-Standard Industrial Classification-Code Number)

12. Area of the Property (acres/square feet): 11.4 acres

Applications shall be filed with  
the Town Clerk  
(or other Town Board authorized agent)

Applicant/Petitioner Signature \_\_\_\_\_ Date \_\_\_\_\_

OTHER REQUIRED APPLICABLE SIGNATURES:

 Property Owner's Signature	 Property Owner's Signature
5/22/24 Date	5/22/24 Date

REQUIRED SIGNATURE(S) FOR ALL TYPES OF APPLICATIONS:



FOR TOWN OF BARTON OFFICE USE ONLY

Date Application Filed: \_\_\_\_\_ File No: \_\_\_\_\_

ADMINISTRATIVE DEADLINES:

Date Set for:

Date:

- |                          |                                       |       |
|--------------------------|---------------------------------------|-------|
| <input type="checkbox"/> | Zoning Administrator                  | _____ |
| <input type="checkbox"/> | (as required)                         | _____ |
| <input type="checkbox"/> | Town Engineer                         | _____ |
| <input type="checkbox"/> | (as required)                         | _____ |
| <input type="checkbox"/> | Plan Commission Review/Action         | _____ |
| <input type="checkbox"/> | (as required)                         | _____ |
| <input type="checkbox"/> | Town Board Review/Action              | _____ |
| <input type="checkbox"/> | (as required)                         | _____ |
| <input type="checkbox"/> | Zoning Board of Appeals Review/Action | _____ |
| <input type="checkbox"/> | (as required)                         | _____ |
| <input type="checkbox"/> | Advertisement/Public Notice           | _____ |
| <input type="checkbox"/> | (as may be required)                  | _____ |
| <input type="checkbox"/> | Public Hearing                        | _____ |
|                          | (as may be required)                  | _____ |

Fees:

Fee Amount \$ \_\_\_\_\_

Amount Paid \$ \_\_\_\_\_

Fee Receipt No. \_\_\_\_\_

*Town of Barton*  
SITE INTENSITY &  
CAPACITY CALCULATIONS  
*Application Form*

# SITE INTENSITY AND CAPACITY CALCULATIONS:

In accordance with Division 3.0500 of the Town of Barton Zoning Ordinance, site intensity and capacity calculations shall be made for each parcel of land to be used or built upon in the Town of Barton including all Certified Survey maps, Preliminary Plats, condominiums, multiple-family residential developments, all nonresidential developments. Said site intensity and capacity calculations shall be made on this form provided by the Town Clerk (or other Town Board authorized agent). In order for applications to be processed, all required information, drawings, application signatures, and fees required shall be submitted at time of application.

## APPLICATION TYPE:

Please check the appropriate box below for the type of Application for which the required "Site Intensity and Capacity Calculations" Form is being submitted (please attached the "Site Intensity and Capacity Calculations" Form to the Application)

### Zoning Related Applications:

- ☒ Zoning Permit Application
- ☐ Site Plan Review Application
- ☒ Zoning Map Amendment Petition
- ☒ Special Use Permit Application
- ☐ Appeal
- ☐ Variance
- ☐ Interpretation

### Land Division Related Applications:

- ☐ Pre-Application Conference and Sketch Plan Review Application
- ☐ Certified Survey Map (with Proposed New Dedicated Public Streets) Application
- ☐ Certified Survey Map (no Proposed New Dedicated Public Streets) Application

Land Division Related Applications (continued):

- ☐ Subdivision Preliminary Plat Application
- ☐ Subdivision Final Plat Application
- ☐ Condominium Plat Application

REQUIRED INFORMATION:

Please provide the following applicable information:

1. Town of Barton Tax Key Identification Number of Property: 003500A

2. Location of Property (also, please attach legal description and/or boundary survey of property):

Northwest of the intersection of Green Tree Rd. and North

Main Street. Legal description attached.

3. Applicant Name: Georgianna Dee

Telephone Number: 262-623-0201

Address: 910 South Main Street

West Bend, WI 53095

Applicant is (check all that are applicable):

- ☒ Property Owner
- ☐ Subdivider
- ☐ Developer
- ☐ Other (specify)

Town of Barton Application Form  
Site Intensity & Capacity Calculations

Page 3 of 10

Present: \_\_\_\_\_ Proposed: \_\_\_\_\_

9. Town of Barton Land Use Plan Land Use District Designation(s):

Present: R-6 (Residential) \_\_\_\_\_ Proposed: LM (Limited Manufacturing)

8. Zoning District Classification(s) of Property  
(per Town of Barton Zoning Ordinance Designation):

7. Subdivision/Development Name (if applicable):

Address:

Telephone Number:

6. Developer Name:

(Same as Owner)

Address:

Telephone Number:

5. Subdivider Name:

Address: 910 South Main Street  
West Bend, WI 53095

Telephone Number: 262-623-0201

4. Property Owner: Georgianna Dee

# CALCULATION OF BASE SITE AREA

The *base site area* shall be calculated as indicated in Worksheet 1 (Table 3.0502 of the Town of Barton Zoning Ordinance) for each parcel of land to be used or built upon in the Town of Barton including all Certified Survey Maps, Preliminary Plats, condominiums, multiple-family residential developments, all nonresidential development, and as may be required elsewhere in the Town of Barton Zoning Ordinance.

## Worksheet 1

### WORKSHEET FOR THE CALCULATION OF BASE SITE AREA FOR BOTH RESIDENTIAL AND NON-RESIDENTIAL DEVELOPMENT

STEP 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	11.4 acres
STEP 2:	Subtract ( - ) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, and the rights-of-way of major utilities.	- 0.0 acres
STEP 3:	Subtract ( - ) land required to be dedicated for public parks under the requirements of the Town of Barton Land Division Ordinance as amended or other Town Ordinance.	- 0.0 acres
STEP 4:	Subtract ( - ) land which, as a part of a previously approved development or land division, was reserved for open space.	- 0.0 acres
STEP 5:	In the case of "Site Intensity and Capacity Calculations" for a proposed residential use, subtract ( - ) the land proposed for nonresidential uses; or In the case of "Site Intensity and Capacity Calculations" for a proposed nonresidential use, subtract ( - ) the land proposed for residential uses.	- 0.0 acres
STEP 6:	Equals "Base Site Area"	= 11.4 acres



# CALCULATION OF THE AREA OF NATURAL RESOURCES TO BE PROTECTED

All land area with those natural resource features as described in Worksheet 2 (also see Division 4.0100 and Table 3.0503 of the Town of Barton Zoning Ordinance) and lying within the *base site area* (as determined in Worksheet 1), shall be measured relative to each natural resource feature present. The actual land area encompassed by each type of resource is then entered into the column of Worksheet 2 titled "Acres of Land in Resource Feature." The acreage of each natural resource feature shall be multiplied by its respective *natural resource protection standard* as indicated in Worksheet 2 (derived from Table 4.0100 of this Town of Barton Zoning Ordinance for the applicable agricultural, residential, or nonresidential zoning district) to determine the amount of resource protection land or area required to be kept in open space in order to protect the resource or feature. The sum total of all resource protection land on the site equals the *total resource protection land*. The *total resource protection land* shall be calculated as indicated in Worksheet 2.

Worksheet 2

WORKSHEET FOR THE CALCULATION OF  
RESOURCE PROTECTION LAND

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 4.0100 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Feature	Acres of Land in Resource Feature to be Protected
	Agricultural Districts	Residential Districts	Non-Residential Districts		
Steep Slopes: 10-19% 20-30% + 30%	0.00 0.65 0.90	0.60 0.75 0.85	0.40 0.70 0.80	X X X =	   =
Woodlands & Forests (a): Mature Young	0.70 0.50	0.70 0.50	0.70 0.50	X X =	  =
Lakes & Ponds	1.00	1.00	1.00	X =	 =
Streams	1.00	1.00	1.00	X =	 =
Shore Buffer (a)	1.00	1.00	1.00	X =	 =
Floodplains/ Floodways/ Floodlands (b)	1.00	1.00	1.00	X =	 =
Drainageways	0.30	0.30	0.30	X =	 =
Wetlands & Shoreland Wetlands (a)	1.00	1.00	1.00	X =	 =
TOTAL RESOURCE PROTECTION LAND					2.417
(Total Acres of Land in Resource Feature to be Protected)					

- (a) As regulated by Chapter 23 titled "Shoreland and Wetland Zoning" of the Washington County Code as amended.  
(b) As regulated by Chapter 26 titled "Floodplain Zoning" of the Washington County Code as amended.

Note: In conducting the calculations in Table 3.0503, if two (2) or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.00 which represents the higher of the two standards.

# CALCULATION OF SITE INTENSITY AND CAPACITY FOR RESIDENTIAL USES

In order to determine the maximum number of dwelling units which may be permitted on a parcel of land zoned in a residential zoning district, the site intensity and capacity calculations set forth in Worksheet 3 shall be performed.

Worksheet 3

## WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR RESIDENTIAL DEVELOPMENT

STEP 1:	<p>CALCULATE MINIMUM REQUIRED ON-SITE OPEN SPACE:</p> <p>Take <i>Base Site Area</i> (from Step 6 in Table 3.0502): _____</p> <p>Multiply by Minimum <i>Open Space Ratio (OSR)</i> (see specific residential zoning district OSR standard): X _____</p> <p>= _____</p> <p>Equals MINIMUM REQUIRED ON-SITE OPEN SPACE</p>	_____ acres
STEP 2:	<p>CALCULATE NET BUILDABLE SITE AREA:</p> <p>Take <i>Base Site Area</i> (from Step 6 in Table 3.0502): _____</p> <p>Subtract <i>Total Resource Protection Land</i> from Table 3.0503 or <i>Minimum Required On-Site Open Space</i> (from Step 1 above), whichever is greater: _____</p> <p>= _____</p> <p>Equals NET BUILDABLE SITE AREA</p>	_____ acres
STEP 3:	<p>CALCULATE MAXIMUM NET DENSITY YIELD OF SITE:</p> <p>Take <i>Net Buildable Site Area</i> (from Step 2 above): _____</p> <p>Multiply by Maximum <i>Net Density (ND)</i> (see specific residential zoning district ND standard): X _____</p> <p>= _____</p> <p>Equals MAXIMUM NET DENSITY YIELD OF SITE</p>	_____ D.U.s
STEP 4:	<p>CALCULATE MAXIMUM GROSS DENSITY YIELD OF SITE:</p> <p>Take <i>Base Site Area</i> (from Step 6 of Table 3.0502): _____</p> <p>Multiply by Maximum <i>Gross Density (GD)</i> (see specific residential zoning district GD standard): X _____</p> <p>= _____</p> <p>Equals MAXIMUM GROSS DENSITY YIELD OF SITE</p>	_____ D.U.s
STEP 5:	<p>DETERMINE MAXIMUM PERMITTED D.U.s OF SITE:</p> <p>Take the <i>lowest</i> of Maximum Net Density Yield of Site (from Step 3 above, if fractional, round to the next lowest whole number) or Maximum Gross Density Yield of Site (from Step 4 above, if fractional, round to the next lowest whole number): _____</p>	_____ D.U.s

# CALCULATION OF SITE INTENSITY AND CAPACITY FOR NONRESIDENTIAL USES

In order to determine the maximum floor area which may be permitted on a parcel of land zoned in a non-residential zoning district, the site intensity and capacity calculations set forth in Worksheet 4 shall be performed.

## Worksheet 4

## WORKSHEET FOR THE CALCULATION OF SITE INTENSITY AND CAPACITY FOR NON-RESIDENTIAL DEVELOPMENT

STEP 1:	CALCULATE MINIMUM REQUIRED LANDSCAPE SURFACE:  Take Base Site Area (from Step 6 in Table 3.0502): <u>11.4</u> Multiply by Minimum Landscape Surface Ratio (LSR) (see specific zoning district LSR standard): <u>X 0.5</u> Equals MINIMUM REQUIRED ON-SITE LANDSCAPE SURFACE: =		
STEP 2:	CALCULATE NET BUILDABLE SITE AREA:  Take Base Site Area (from Step 6 in Table 3.0502): <u>11.4</u> Subtract Total Resource Protection Land from Table 3.0503 or Minimum Required Landscape Surface (from Step 1 above) whichever is greater: <u>5.7</u> Equals NET BUILDABLE SITE AREA =		
STEP 3:	CALCULATE MAXIMUM NET FLOOR AREA YIELD OF SITE:  Take Net Buildable Site Area (from Step 2 above): <u>5.7</u> Multiply by Maximum Net Floor Area Ratio (N FAR) (see specific nonresidential zoning district NFAR standard): <u>X 0.57</u> Equals MAXIMUM NET FLOOR AREA YIELD OF SITE =		3.25 acres
STEP 4:	CALCULATE MAXIMUM GROSS FLOOR AREA YIELD OF SITE:  Take Base Site Area (from Step 6 of Table 3.0502): <u>11.4</u> Multiply by Maximum Gross Floor Area Ratio (GFAR) (see specific nonresidential zoning district GFAR standard): <u>X 0.31</u> Equals MAXIMUM GROSS FLOOR AREA YIELD OF SITE =		3.53 acres
STEP 5:	DETERMINE MAXIMUM PERMITTED FLOOR AREA OF SITE:  Take the lowest of Maximum Net Floor Area Yield of Site (from Step 3 above) or Maximum Gross Floor Area Yield of Site (from Step 4 above): (Multiply results by 43,560 for maximum floor area in square feet):		3.25 acres ( <u>141,570</u> sf.)

# NATURAL RESOURCE PROTECTION PLAN REQUIREMENTS

If natural resource features defined and described in Divisions 4.0100 and 9.0100 of the Town of Barton Zoning Ordinance are present on the property for which a Site Plan review, Planned Unit Development "Concept Plan," or Planned Unit Development "Preliminary Plan" is requested, twenty (20) full size copies of a "Natural Resource Protection Plan" drawn to the same scale as the Site Plan, Planned Unit Development "Concept Plan," or Planned Unit Development "Preliminary Plan" shall be submitted. The "Natural Resource Protection Plan" shall show the following:

- A. Proposed Name. The proposed name of the development.
- B. Location. The location of the proposed development.

- C. Names, Addresses, and Telephone Numbers of the Owners, Subdividers, Lessee and/or Developer. The names, addresses, and telephone numbers of the owners, subdividers, lessee and/or developer(s) of the property and of the designer of the plan.
- D. Date. Date of the "Natural Resource Plan" submittal and all applicable revision dates.

- E. Site Boundary. The boundary line of the site with dimensions and bearings, indicated by a solid line, and the total land area encompassed by the site.
- F. Lot Lines, Right-of-Way Lines, and Easements. The location of all proposed lot lines, right-of-way lines, and easements.

- G. Existing Streets. The location, ownership, widths, and names (if available) of all existing and previously platted streets, rights-of-way, parks, and other public or open spaces located within or adjacent to the subject property.

- H. Easements and Neighboring Property Boundaries. The location and dimensions of all permanent easements and the subject property boundary lines adjacent to the site.

- I. Location and Extent of Existing Natural Resource Features. The location and extent of any existing natural resource features defined and described in Divisions 4.0100 and 9.0100 and of the Town of Barton Zoning Ordinance. Each individual resource area on the site shall be graphically shown on the "Natural Resource Protection Plan."

- J. Disturbed and Preserved Natural Resource Features. Graphic and numerical illustration shown on the "Natural Resource Protection Plan" of those existing

K. Method of Natural Resource Preservation. Graphic illustration and notes relating to now those natural resource features, which are to be preserved, will actually be preserved (conservation easements, deed restrictions, protective covenants, etc.).

is to take place with natural resource protection easements shall be indicated. designated on the "Natural Resource Protection Plan." Any areas of the site where natural resources are to be mitigated and how and where the mitigation may be shown in tabular form with labeled reference to specific areas resource and those areas of resources that are to be preserved. Numerical data and showing on the illustration the area (in square feet or acres) of each existing natural resource features that will be disturbed and those that will be preserved

L. Scale, North Arrow, Contours. A drawing legend containing the scale appropriate to the size of the Site Plan, the date of preparation, north arrow, and designation of existing and proposed contours at a maximum two (2) foot contour interval.

M. Maximum Sheet Size of "Natural Resource Protection Plan." The "Natural Resource Protection Plan" shall not exceed a maximum sheet size as required for the Site Plan, Planned Unit Development "Concept Plan," or Planned Unit Development "Preliminary Plan" whichever is applicable.

N. "Site Intensity and Capacity Calculations" Required. All applicable "Site Intensity and Capacity Calculations" as required under Division 3.0500 of the Town of Barton Zoning Ordinance.

*Town of Barton*  
ZONING PERMIT  
ZONING MAP AMENDMENT  
ZONING TEXT AMENDMENT  
SPECIAL USE PERMIT  
*Application Form*

ZONING PERMIT:

Application for a Zoning Permit shall be made in duplicate to the Zoning Administrator for Zoning Administrator consideration of the intended use. The Zoning Permit shall include the following:

1. A Site Plan and/or Plat of Survey of the property in a form and indicating information and data as set forth under the requirements of Section 6.0103 (as applicable) of the Town Zoning Ordinance.

2. A Sanitary Permit when such Sanitary Permit is required under the provisions of Chapter 25 "Sanitary Code" of the Washington County Code as amended.

3. Description of the type of structure (if applicable, attach additional sheets and/or drawings as necessary):  
Several existing buildings will be renovated, and several will be removed.

4. Describe in detail the existing use or operations of the premises (attach additional sheets and/or drawings as necessary):  
The parcel is currently used for farmland with a house, barn, and several sheds.

5. Describe in detail the proposed use or operations of the premises (attach additional sheets and/or drawings as necessary):  
The proposed use of the property is a wedding and events venue.

6. Indicate the number of employees at the subject property: 10

7. Expected Completion Date: April, 2025

Town of Barton Application Form

Zoning Permit, Zoning Amendments, and Special Use Permit



ZONING MAP OR TEXT AMENDMENT PETITION:

1. Petitions for any change in the district boundaries or amendments to the regulations shall include the following:

- a. Name, address, and telephone number of the petitioner for a zoning amendment; agent; and tax key numbers, names, and addresses of all property owners of all properties lying within five hundred (500) feet of the area proposed to be rezoned.
- b. A plot plan drawn to scale of one inch equals one hundred feet (1"=100') showing the area proposed to be rezoned, its location, its dimensions, the location and classification of adjacent zoning districts, and the location and existing use of all properties within five hundred (500) feet of the area proposed to be rezoned.

- c. A complete legal description of the property for which a change in zoning is requested. In the case of a proposed Zoning Ordinance text amendment, the petitioner shall provide a copy of the text proposed to be changed as well as the new text being proposed by the petitioner.

- d. A general description of the proposed development of the property.
- e. A Site Plan of the proposed development of the property meeting the requirements set forth under Division 6.0100 of the Zoning Ordinance.
- f. A Landscape Plan meeting the requirements set forth under Division 6.0300 of the Zoning Ordinance. Any required bufferyard easements shall be so noted on the Landscape Plan.

- g. If natural resource features are present on the subject property, as defined in Divisions 4.0100 and 9.0100 of the Zoning Ordinance, a Natural Resource Protection Plan meeting the requirements set forth in Division 6.0200 of the Zoning Ordinance.

- h. Site Intensity and Capacity Calculations meeting the requirements set forth in Division 3.0500 of the Zoning Ordinance and in the prescribed format set forth in the Town's application form.

- i. Architectural Plans (as applicable) of the proposed development of the property meeting the requirements set forth under Division 6.0400 of the Zoning Ordinance.

- j. Any additional information may be required by the Plan Commission or the Town Board.

*Town of Barton Application Form*

*Zoning Permit, Zoning Amendments, and Special Use Permit*

2 State the reason for the Zoning Map Amendment Petition and indicate how the change of the zoning district will not be detrimental to the majority of persons or properties in the surrounding area, or to the Town of Barton in general (attach additional sheets and/or drawings as necessary):

The proposed zoning map amendment will allow for the use of a wedding and events venue on the property. There will be little additional traffic generated from the proposed venue.

3. In the case of a Zoning Ordinance text amendment, indicate the present Town of Barton Zoning Ordinance text (please insert Town of Barton Zoning Ordinance text reference, attach additional sheets as necessary):

§ 500-47 LM Limited Manufacturing District.  
District intent. The LM Limited Manufacturing District is intended to provide for manufacturing, industrial, warehousing, and uses of a limited nature and size in locations where the relative proximity to other uses requires more restrictive regulation. It may be used to accommodate existing scattered uses of an industrial nature so as not to make them nonconforming uses. The LM District is not intended to accommodate business parks under unified design and ownership which would be best accommodated under the BP Business Park District. The character of the LM District is suburban.  
District standards. The LM District is further intended to have the development standards as set forth in Table 2D at the end of this chapter. Those developments served by on-site sewage disposal systems must meet all requirements set forth under § 500-14 of this chapter.  
Permitted, accessory, and special uses. See §§ 500-67, 500-68, 500-69 and 500-70, Article X, § 500-73, and Article XI.

4. In the case of a Zoning Ordinance text amendment, indicate the requested and proposed Town of Barton Zoning Ordinance text amendment (attach additional sheets as necessary):

We are requesting to add SIC 7299 (miscellaneous personal services, not elsewhere classified) as a use in the LM District.

5. In the case of a Zoning Ordinance text amendment, indicate the reason for the request and indicate how the change of the Town of Barton Zoning Ordinance text will not be detrimental to the Town of Barton in general (attach additional sheets and/or drawings as necessary):

This text amendment will allow the operation of a banquet and wedding venue at the parcel. This text amendment allows for services that do not fall under other zoning districts, none of which generate large volumes of traffic on a regular basis.

**\*SPECIAL USE PERMIT:**

1. The following items are required to be submitted with the completed Application:

- a. A legal description of the subject property.
- b. Site Plan meeting the requirements of Section 6.0103 of the Zoning Ordinance.
- c. If natural resources are present on the subject property, a "Natural Resource Protection Plan" meeting the requirements of Division 6.0200 of the Zoning Ordinance and site capacity and intensity calculations prepared in conformance with the required forms and meeting the requirements of Division 3.0500 of the Zoning Ordinance.

- d. A list of all property tax key numbers, owners, and owner addresses of all properties lying within five hundred (500) feet of the subject property and all property under the same ownership (use attached "Owners of Property within 500 Feet" form which may be reproduced by the Applicant if additional space is needed to list all such property owners).
- e. Additional information may be required by the Plan Commission or the Town Board.

2. Describe in detail the existing use or operations of the premises, if any (attach additional sheets and/or drawings as necessary):

The parcel is currently used for farmland with a house, barn, and several sheds.

3. Describe in detail the proposed use or operations of the premises (attach additional sheets and/or drawings as necessary):

The proposed use of the premises is a wedding and events venue.

4. Indicate the number of employees at the subject property: 10

5. Expected Completion Date: April, 2025

6. Describe the reasons for the Special Use Permit request (attach additional sheets as necessary):

The proposed future bed and breakfast is not a permitted use in the LM zoning district.

7. Describe the reasons why the request should be granted showing adequate evidence that the proposed special use will conform to the standards set forth in Division 3.0700 of the Zoning Ordinance (attach additional sheets as necessary):

The request for a special use permit should be granted to allow the enhancement of the property while maintaining the rural character and natural resources of the property. The proposed use will include a diverse location of structures, mixed compatible uses, attractive recreation and landscaped spaces, and safe and efficient design for pedestrian and vehicular traffic.

# Owners of Property within 500 Feet

Property Tax Key Number:	Owner Name and Address:
003300Y 0032	Patricia Dornacker, Donna Bichler 5966 Division Road West Bend, WI 53095
003300A	Jon Dornacker 7159 CTY HWY D West Bend, WI 53090
0037 003500Z 11190230003	Georgianna Dee 910 S Main St West Bend, WI 53095
11190230407	Daniel & Susan Pawlowski N 1875 Shale Ave Campbellsport, WI 53010
11190230406 11190230404	David & Kristine Pansing 7511 CTY HWY D West Bend, WI 53090
11190230405	Greg & Nancy Mangan W196N16540 Hawthorn Dr Jackson, WI 53037
11190230403	RFL Properties, LLC 729 Mitter Circle West Bend, WI 53090
11190230402	Wagner Investment Properties I, LLC 3484 Paradise Dr West Bend, WI 53095
11190230401	Alan & Kristin Gross 2018 Green Tree Rd West Bend, WI 53090

(continued on next page)

## Town of Barton Application Form

Zoning Permit, Zoning Amendments, and Special Use Permit

# Owners of Property within 500 Feet

Property Tax Key Number:	Owner Name and Address:
11190230002	Greentree Road Apartments, LLC W11097 Van Buren Rd Columbus, WI 53925
11190230001	Juan Cuellar, Maria Servin 710 Mulberry Dr W West Bend, WI 53090 Beau Wolfertz 2108 Green Tree Rd West Bend, WI 53090
11190240054	11190240054 Fair Winds Commercial, LLC W284N6656 Hawthorne Rd Hartland, WI 53025
11190240015	Dale & Deborah Bossler 2032 N Main St West Bend, WI 53090
11190240055	Jennifer Ceretto 2010 N Main St West Bend, WI 53090
11190240272	Home Path Flin LP 5116 N 126th St Butler, WI 53007
11190231902	Angela Drake 1902 Camden Ln West Bend, WI 53090
11190232017	Erik Backhaus 2017 Green Tree Rd West Bend, WI 53090

(continued on next page)

## Town of Barton Application Form

Zoning Permit, Zoning Amendments, and Special Use Permit



# Owners of Property within 500 Feet

Property Tax Key Number:	Owner Name and Address:
11190231041	Greentree Rentals, LLC W3798 Shady Ln Saukville, WI 53080
11190230004	Thomas & Kimberly Simonsen 1943 Green Tree Rd West Bend, WI 53090
11190210001	Adult Education Dist 10 Board of VOC Tech 235 N National Ave Fond Du Lac, WI 54935
11190240052	Jeffrey Fidler 2859 Ridge Rd Kewaskum, WI 53040
11190240053	Edward & Charlotte Nowak 2030 Woodlawn Ave West Bend, WI 53090
11190240077	Ploch Properties, LLC PO Box 671 Beaver Dam, WI 53916
11190240010	Thomas & Betty Barlow 2020 Woodlawn Ave West Bend, WI 53090
11190240009	Eric Westphal 527 North St West Bend, WI 53090
11190240425	Courtney & Brody Preisinger 812 Fairview Dr West Bend, WI 53090

(continued on next page)

## Town of Barton Application Form

Zoning Permit, Zoning Amendments, and Special Use Permit

*Town of Barton Application Form*  
*Zoning Permit, Zoning Amendments, and Special Use Permit*

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*Page 9 of 12*

[illegible]



FOR TOWN OF BARTON OFFICE USE ONLY

Zoning Permit:

1. Review of plans by the Zoning Administrator:

Date Zoning Administrator Review Completed: \_\_\_\_\_

Signature of Reviewer \_\_\_\_\_

Date \_\_\_\_\_

Date Zoning Administrator Transmits Plans to Plan Commission for Review and Consideration: \_\_\_\_\_

2. Review of plans by the Plan Commission:

Date Plan Commission Review Completed: \_\_\_\_\_

☐ Approved

☐ Denied

☐ Approved with Conditions (please attach list of conditions)

Signature of Plan Commission Chairman \_\_\_\_\_

Date \_\_\_\_\_

3. Date Zoning Permit Issued by Zoning Administrator: \_\_\_\_\_

Town of Barton Application Form

Zoning Permit, Zoning Amendments, and Special Use Permit

FOR TOWN OF BARTON OFFICE USE ONLY

(continued)

Zoning Map or Text Amendment:

1. Review of zoning map or text amendment by the Plan Commission:

Date of Plan Commission Public Hearing: \_\_\_\_\_

Date Plan Commission Review Completed: \_\_\_\_\_

☐ Recommend Approval

☐ Recommend Denial

☐ Recommend Approval with Modifications  
(please attach modifications)

2. Review of zoning map or text amendment by the Town Board:

Date of Town Board Action: \_\_\_\_\_

☐ Approved

☐ Denied

☐ Approved with Modifications  
(please attach list of modifications)

FOR TOWN OF BARTON OFFICE USE ONLY

(continued)

Special Use Permit:

1. Review of plans by the Plan Commission:

Date of Plan Commission Public Hearing: \_\_\_\_\_

Date Plan Commission Review Completed: \_\_\_\_\_

☐ Recommend Approval

☐ Recommend Denial

☐ Recommend Approval with Conditions

(please attach list of conditions)

2. Review of plans by the Town Board:

Date of Town Board Review Completed: \_\_\_\_\_

☐ Approved

☐ Denied

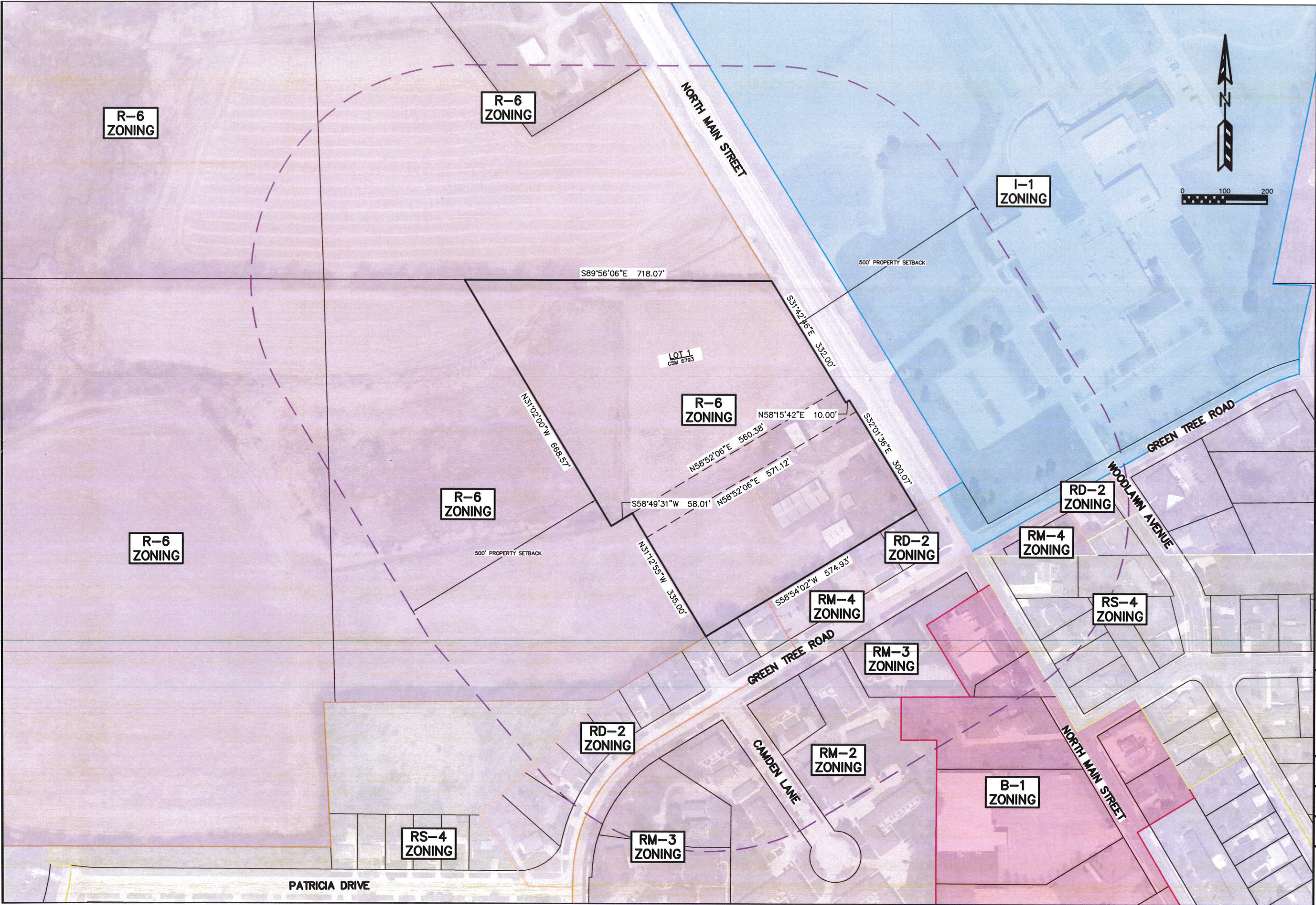
☐ Approved with Conditions

(please attach list of conditions)

Legal Description

Parcel 1 of Certified Survey Map 6793, Recorded as Document No. 1445239, being part of the NE ¼ of the SW ¼ and the NW ¼ of Section 2, Township 11 North, Range 19 East, Town of Barton, Washington County, Wisconsin.





REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX



**PSE**  
PARISH SURVEY & ENGINEERING  
122 Wisconsin Street, West Bend, WI 53095  
262.346.7800  
www.parishse.com

PROJECT TITLE:  
**DEE FARM  
910 S MAIN STREET  
WEST BEND, WI 53098**

PLAN TITLE:  
**EXISTING  
ZONING  
PLAN**

DRAWN BY:  
**JAB**

DESIGNED BY:  
**KJP**

CHECKED BY:  
**KJP**

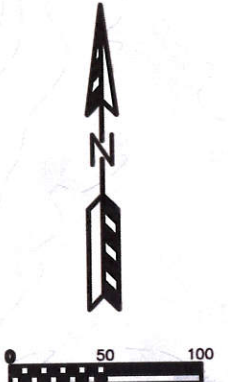
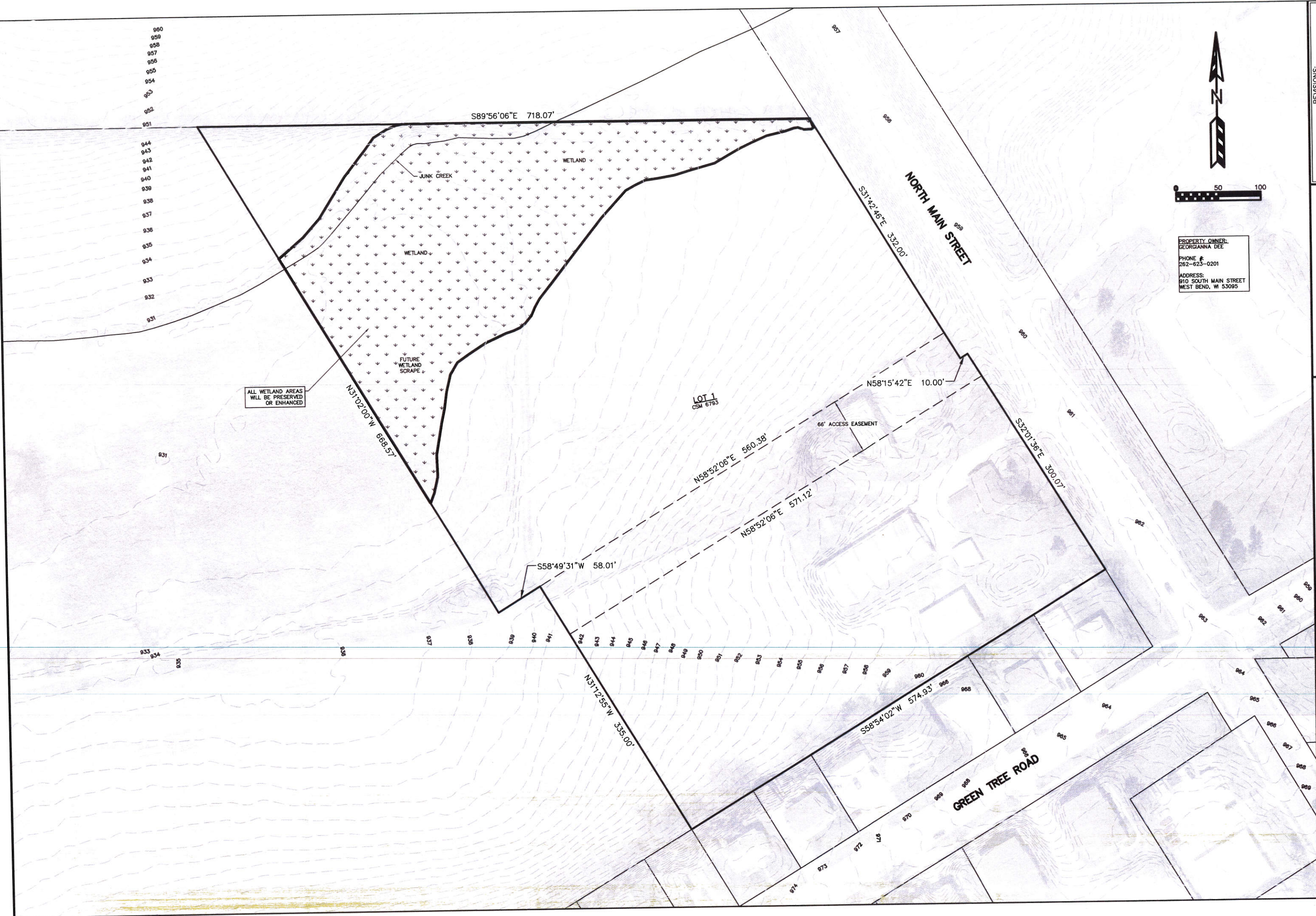
PLAN DATE:  
**5-22-2024**

PROJECT NO:  
**\TZ-32-20\**

**FINAL**

SHEET NO:  
**C1.01**





PROPERTY OWNER:  
GEORGIANNA DEE  
PHONE #:  
262-623-0201  
ADDRESS:  
910 SOUTH MAIN STREET  
WEST BEND, WI 53095

REVISIONS:		
NO.	DATE	DESCRIPTION
1	XX-XX-XX	XXXXXXXXXXXXXXXXXXXX

**PSE**  
PARISH SURVEY & ENGINEERING  
122 Wisconsin Street, West Bend, WI 53095  
262.346.7800  
www.parishse.com

PROJECT TITLE:  
**DEE FARM  
910 S MAIN STREET  
WEST BEND, WI 53098**

PLAN TITLE:  
**NATURAL  
RESOURCE  
PROTECTION  
PLAN**

DRAWN BY:  
**JAB**  
DESIGNED BY:  
**KJP**  
CHECKED BY:  
**KJP**

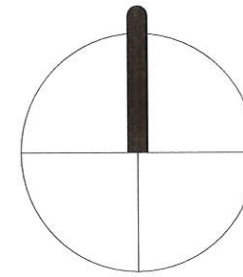
PLAN DATE:  
**5-22-2024**

PROJECT NO:  
**\TZ-32-20\**

**FINAL**

SHEET NO:  
**C1.02**





JENDUSA  
DESIGN &  
ENGINEERING  
ARCHITECTS & ENGINEERS  
1615 Vettebison Rd Ste 200  
Hartland, WI 53029  
P262-264-6340  
F866-326-1552  
Wjendusaeng.com

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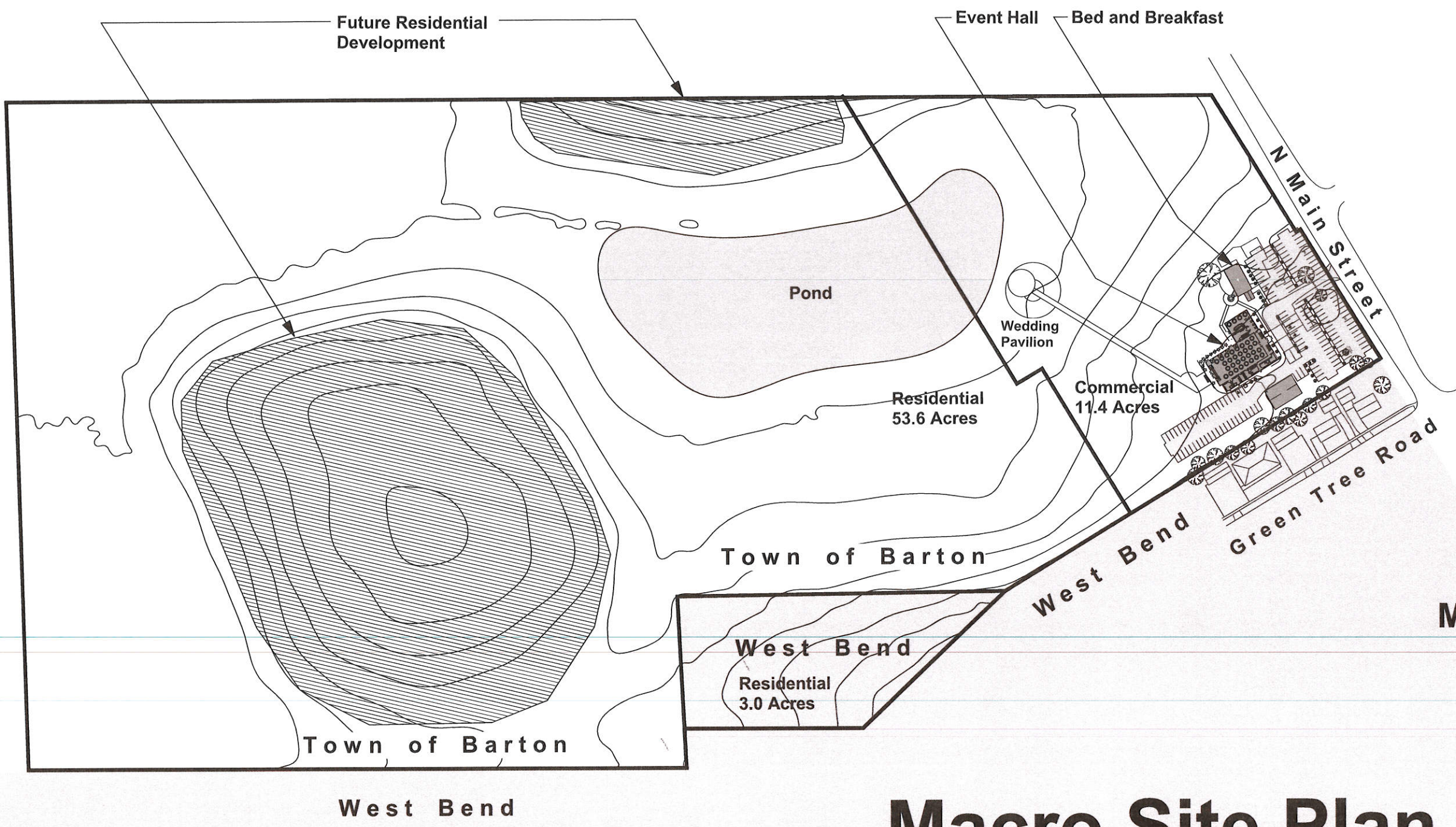
**Dee Farm  
Enterprise, LLC**  
  
910 S Main Street  
West Bend, WI 53098

SHEET TITLE

**Macro Site Plan**

Scale 1"=100'

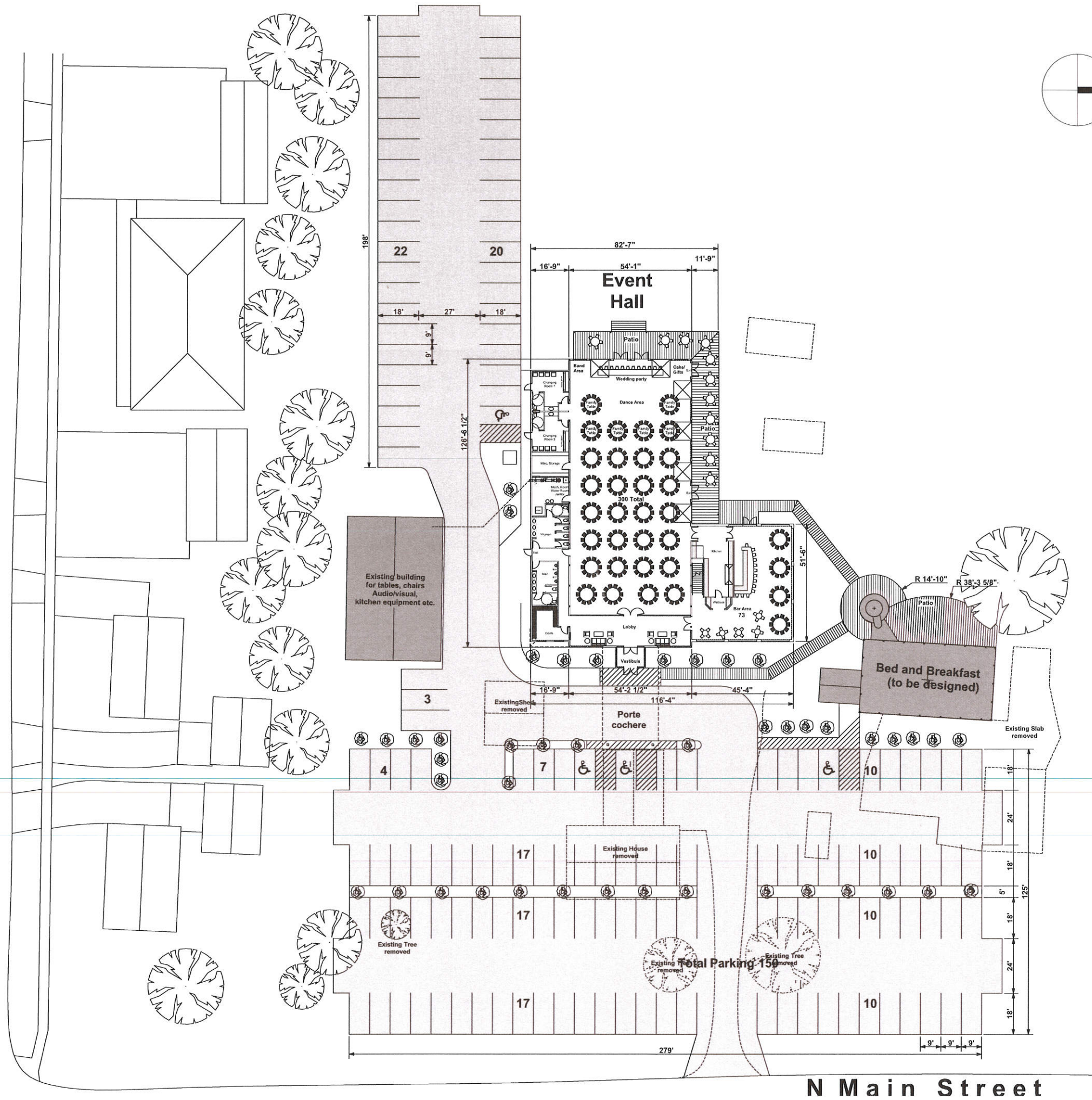
PROJECT NO.	23-0000
DATE	12-4-2023
SCALE	AS NOTED
CHECKED BY	JFJ
DRAWN BY	CSL
SHEET	C



**Macro Site Plan**  
Scale 1"=100'



Green Tree Road



**JENDUSA**  
DESIGN &  
ENGINEERING  
ARCHITECTS & ENGINEERS  
4615 Vettebison Rd Ste 200  
Hartland, WI 53029  
P262-264-6340  
F866-326-1552  
Wjendusaeng.com

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REVISIONS



**Dee Farm  
Enterprise, LLC**

910 S Main Street  
West Bend, WI 53098

SHEET TITLE

**Site Plan**

Scale 1"=20'-0"

PROJECT NO. 23-0000

DATE 12-4-2023

SCALE AS NOTED

CHECKED BY JFJ

DRAWN BY CSL

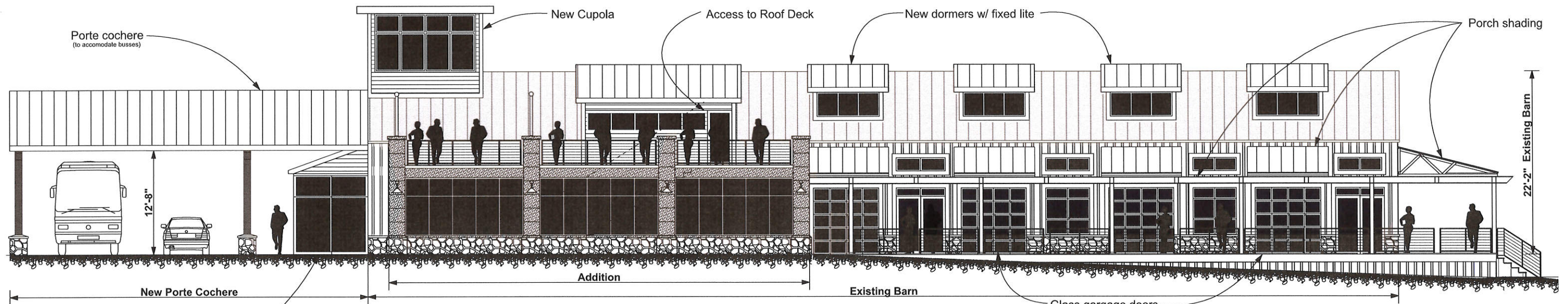
SHEET  
**A1.0**

N Main Street

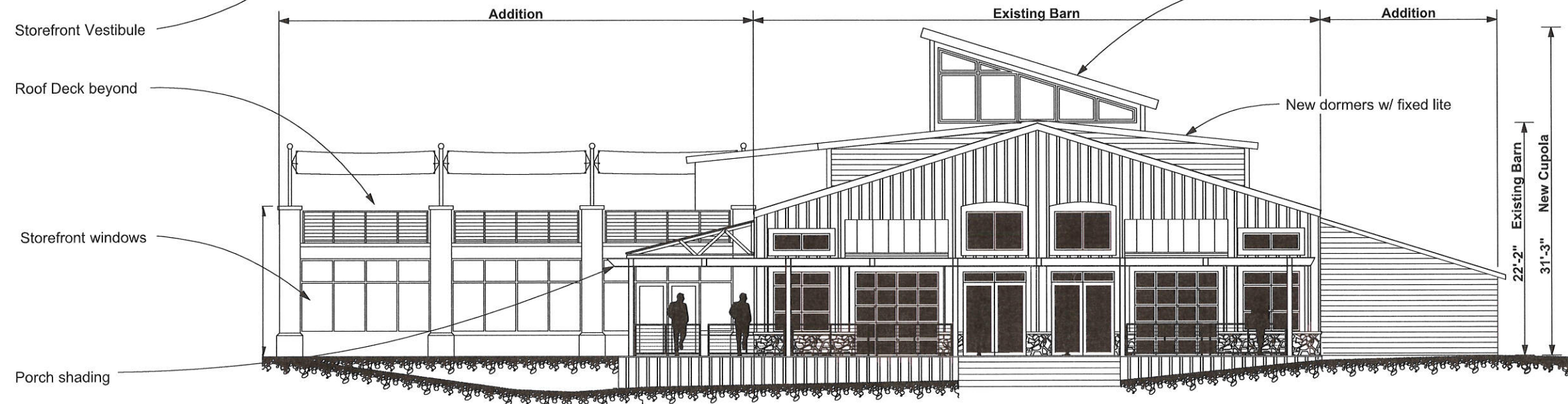




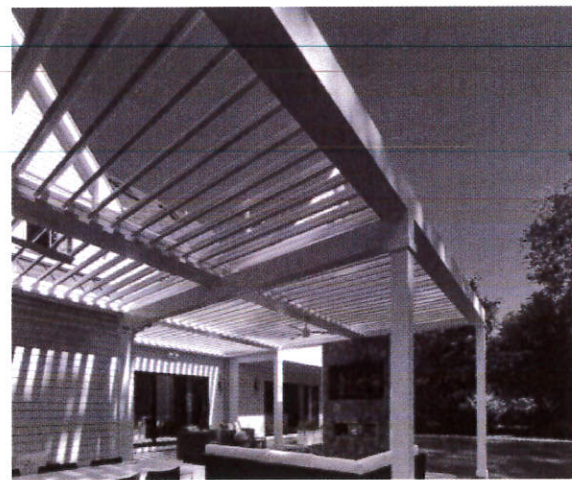




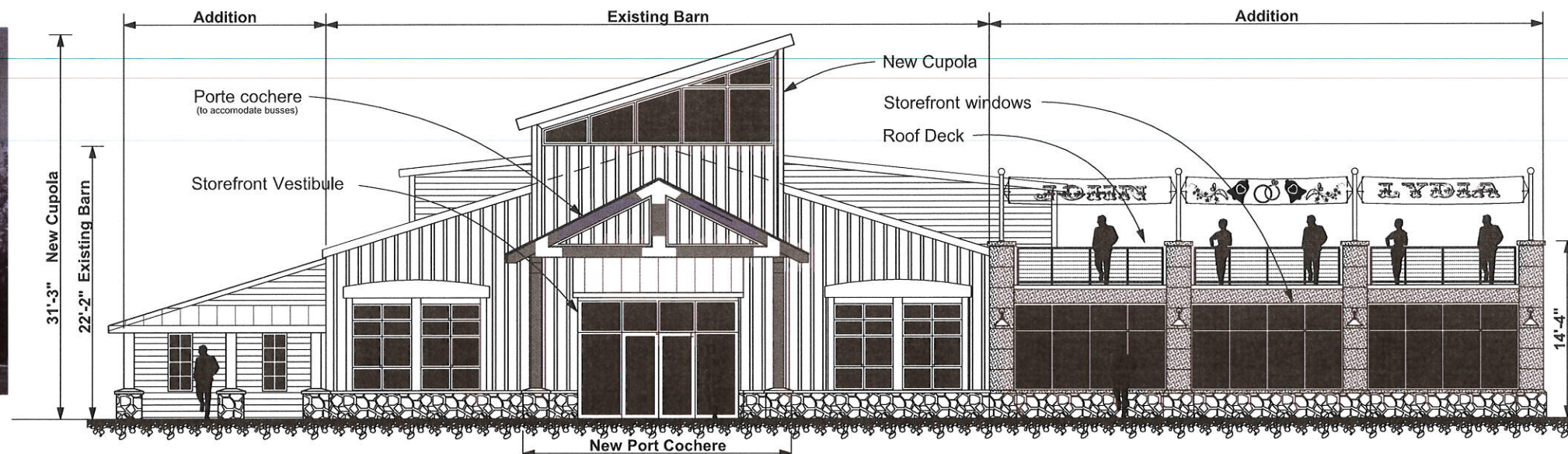
North Elevation



West Elevation



Porch Shading Example



East Elevation (Main Street Elevation)

REVISIONS
△
△
△
△
△

## Dee Farm Enterprise, LLC

910 S Main Street  
West Bend, WI 53098

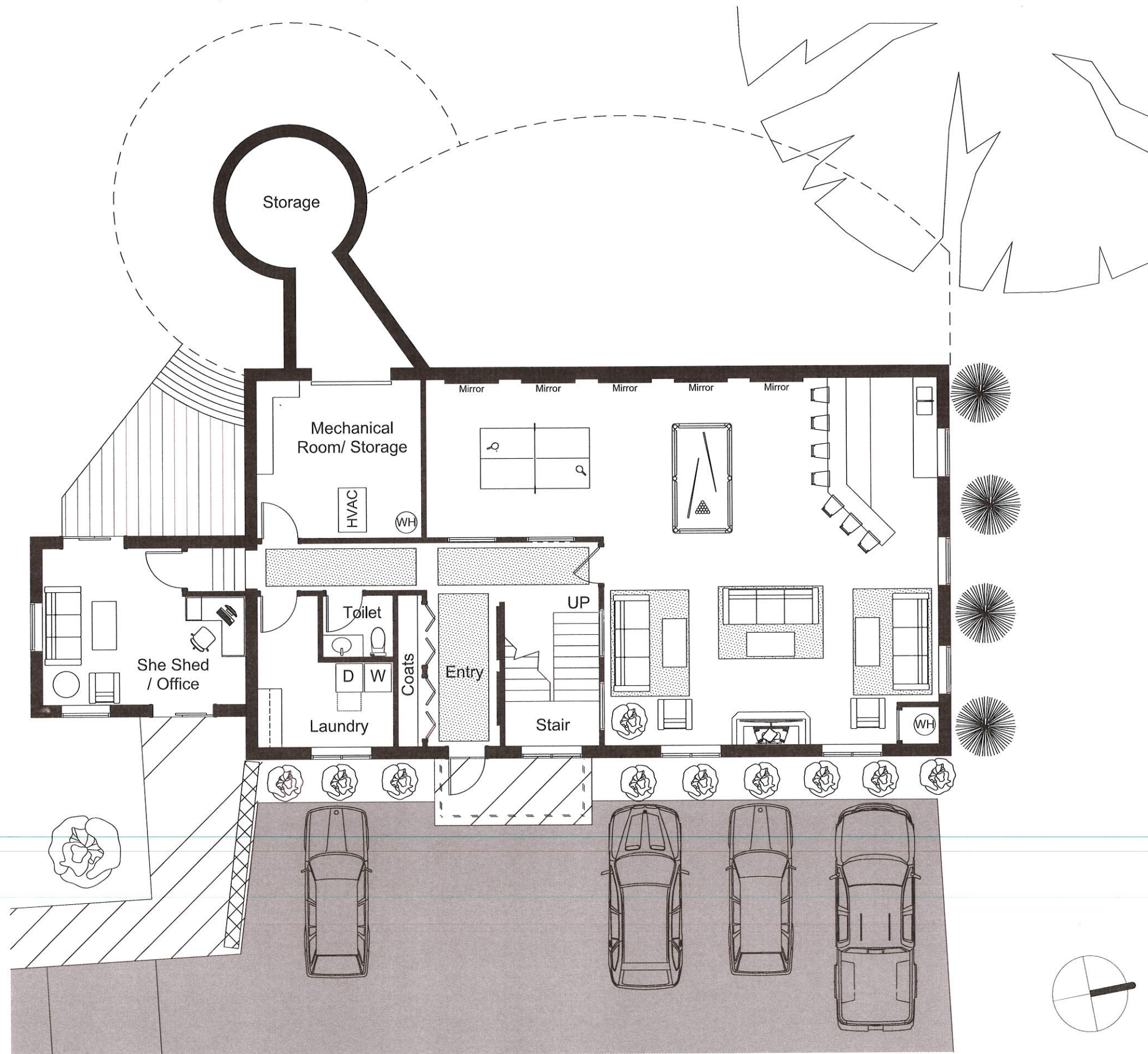
SHEET TITLE

## Elevations

Scale 3/16"=1'-0"

PROJECT NO.	23-0000
DATE	12-4-2023
SCALE	AS NOTED
CHECKED BY	JFJ
DRAWN BY	CSL
SHEET	A1.1





**Bed & Breakfast Lower Level**

**JENDUSA**  
DESIGN & ENGINEERING  
ARCHITECTS & ENGINEERS  
4615 Vettebison Rd Ste 200  
Hartland, WI 53029  
P262-264-6340  
F866-326-1552  
Wjendusaeng.com

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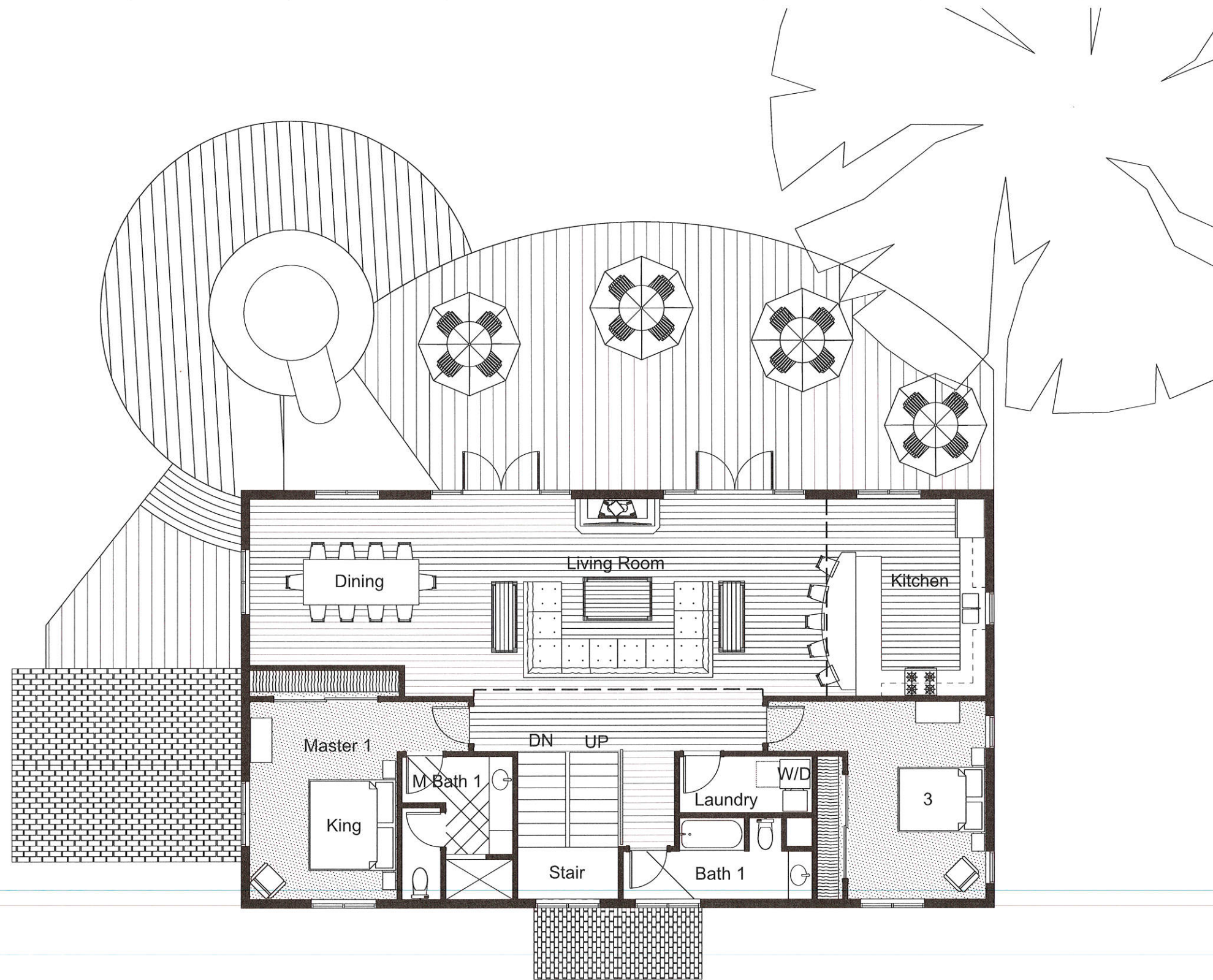
REVISIONS	
△	
△	
△	
△	
△	

**Dee Farm  
Enterprise, LLC**  
910 S Main Street  
West Bend, WI 53098

SHEET TITLE  
**Lower Level**  
Scale 1/4"=1'-0"

PROJECT NO.	23-0000
DATE	1-18-2024
SCALE	AS NOTED
CHECKED BY	JFJ
DRAWN BY	CSL
SHEET	1





JENDUSA  
DESIGN &  
ENGINEERING  
ARCHITECTS & ENGINEERS  
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Dee Farm  
Enterprise, LLC

910 S Main Street  
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SHEET TITLE

1st Floor  
Scale 1/4"=1'-0"

PROJECT NO.

23-0000

DATE

1-10-2024

SCALE

AS NOTED

CHECKED BY

JFJ

DRAWN BY

CSL

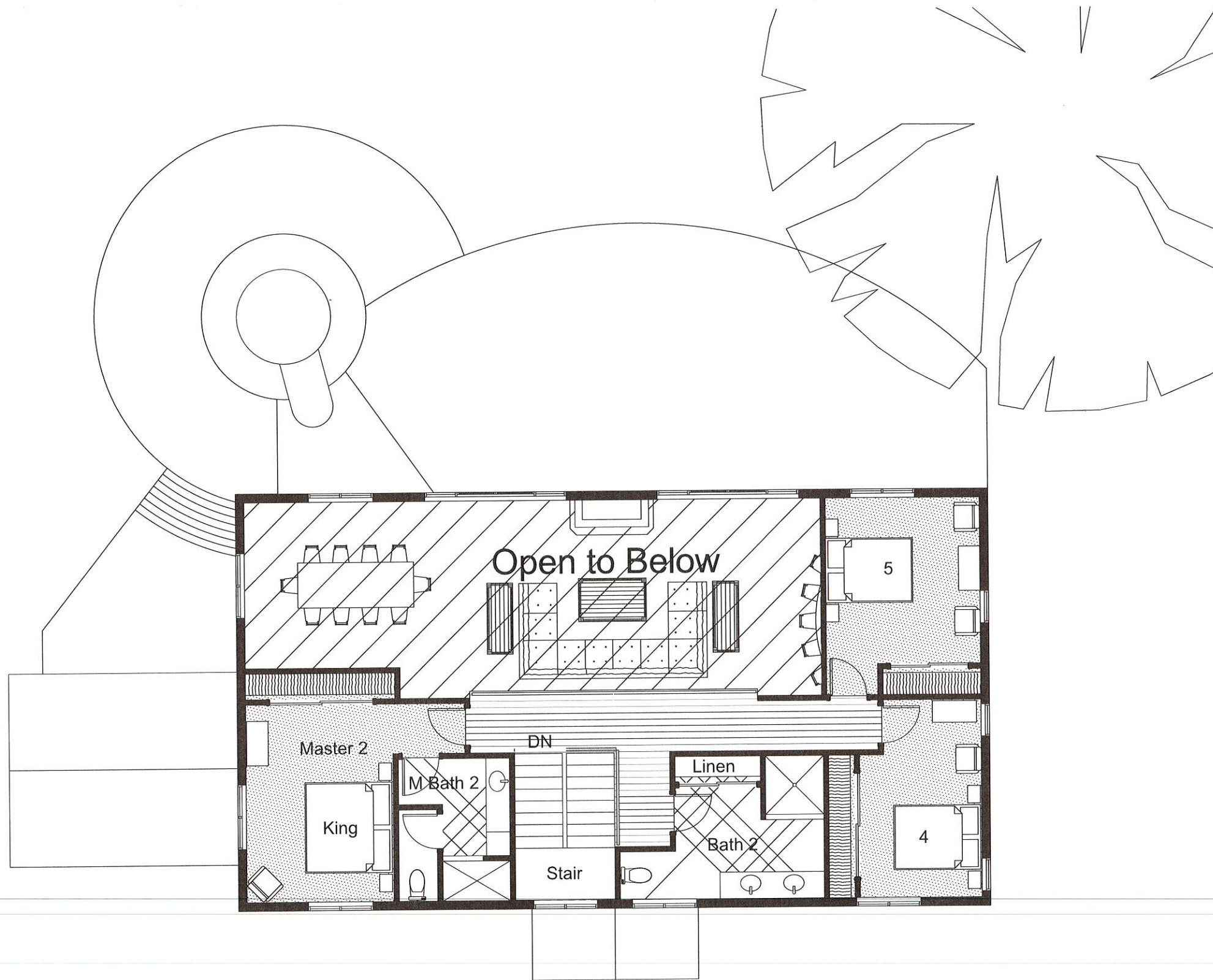
SHEET

2

Bed & Breakfast

1st Floor





# Bed & Breakfast

## 2nd Floor

JENDUSA

DESIGN & ENGINEERING

ARCHITECTS & ENGINEERS

4615 Vetselson Rd Ste 200

Hartland, WI 53029

P262-264-6340

F866-326-1552

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REVISIONS

Dee Farm Enterprise, LLC

910 S Main Street

West Bend, WI 53098

SHEET TITLE

2nd Floor

Scale 1/4"=1'-0"

PROJECT NO.

23-0000

DATE

1-10-2024

SCALE

AS NOTED

CHECKED BY

JFJ

DRAWN BY

CSL

SHEET

3







# Pionkowski Barn



## General Notes

Do not scale drawings. Consult the designer with any questions. Field verify all dimensions and conditions prior to fabrication or installation of any part or components.

Although every effort has been made in preparing these plans and checking them for accuracy, the contractors must review all details of their trades and be responsible for the same.

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## SHEET INDEX

Sheet Number	Sheet Title
CS	COVERSHEET
Architectural Set	
A1	EXT. ELEVATIONS
A1.2	ROOF PLAN & DETAILS
A2	FOUNDATION PLAN
A3	FIRST FLOOR PLAN
A4	SECOND FLOOR PLAN
Electrical Set	
E1	FIRST FLOOR ELECTRICAL
E2	SECOND FLOOR ELECTRICAL
Structural Set	
S1	TYPICAL WALL SECTIONS & DETAILS

SQUARE FOOTAGE	
Wood Shop	1497 Sq.Ft.
Open Storage Shop	4329 Sq.Ft.
Powder Room	55 Sq.Ft.
Mechanical Room	144 Sq.Ft.
Total 1st Floor Area	6025 Sq.Ft.
Front Porch	42 Sq.Ft.
Wood Shop Storage	1065 Sq.Ft.
Farmhand Quarters	1001 Sq.Ft.
Storage Loft	788 Sq.Ft.
Total 2nd Floor Area	2854 Sq.Ft.



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todd@highland-builders.com

PROJECT NAME

PIONKOWSKI  
7049 KETTLE VIEW DRIVE  
WEST BEND, WI

ISSUE

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COVERSHEET

SHEET NUMBER

CS



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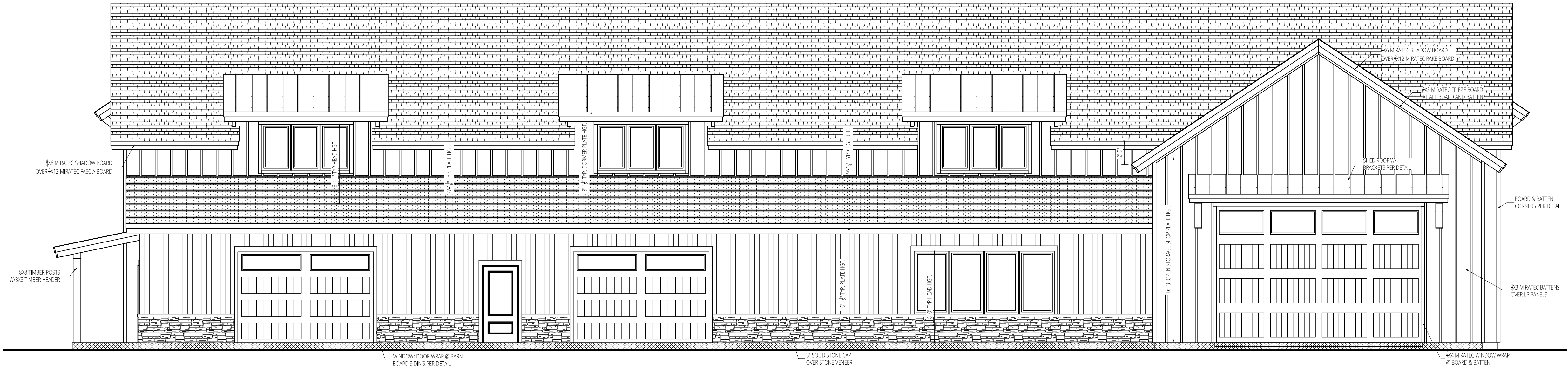
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EXT. ELEVATIONS

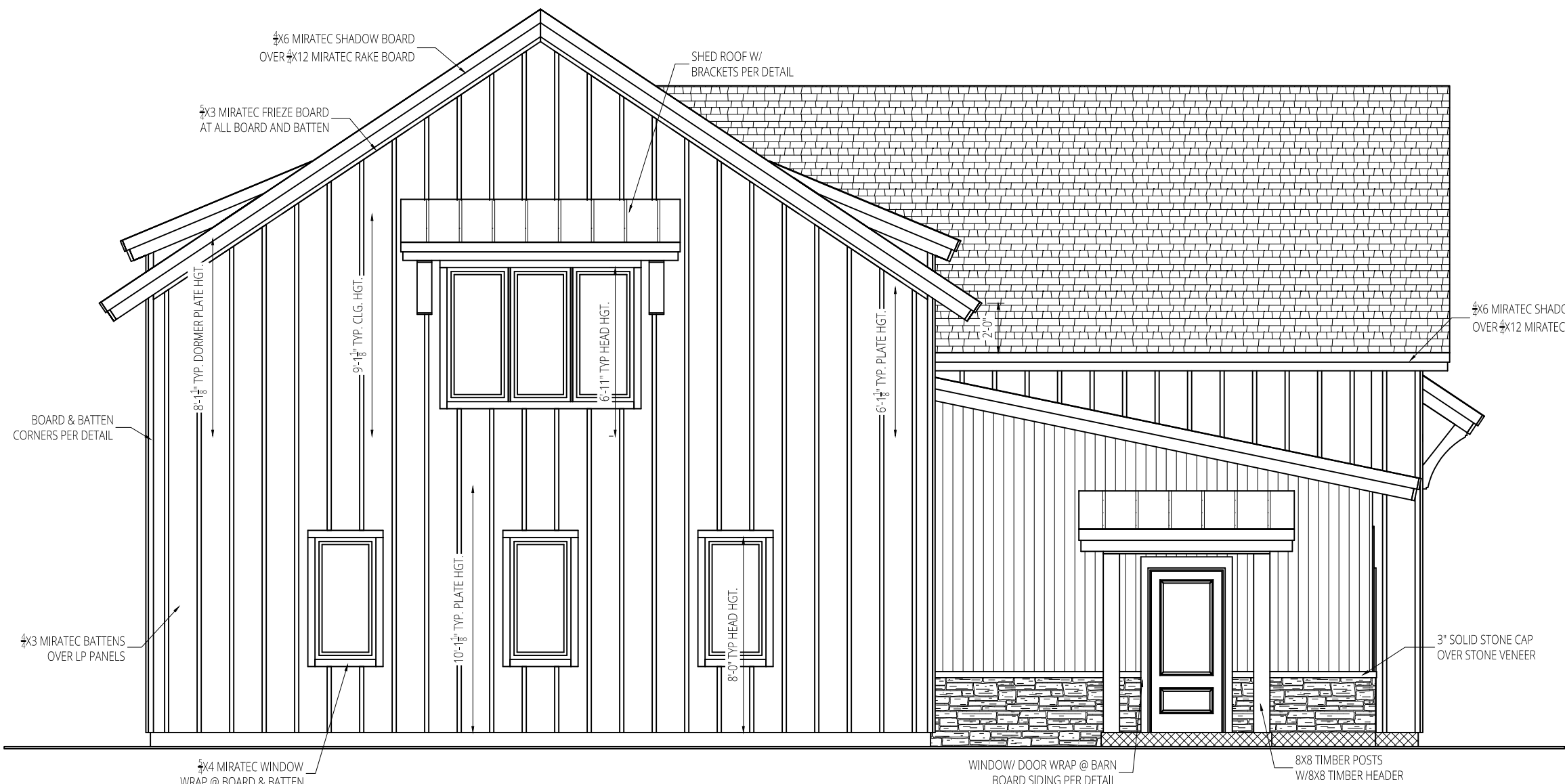
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A1



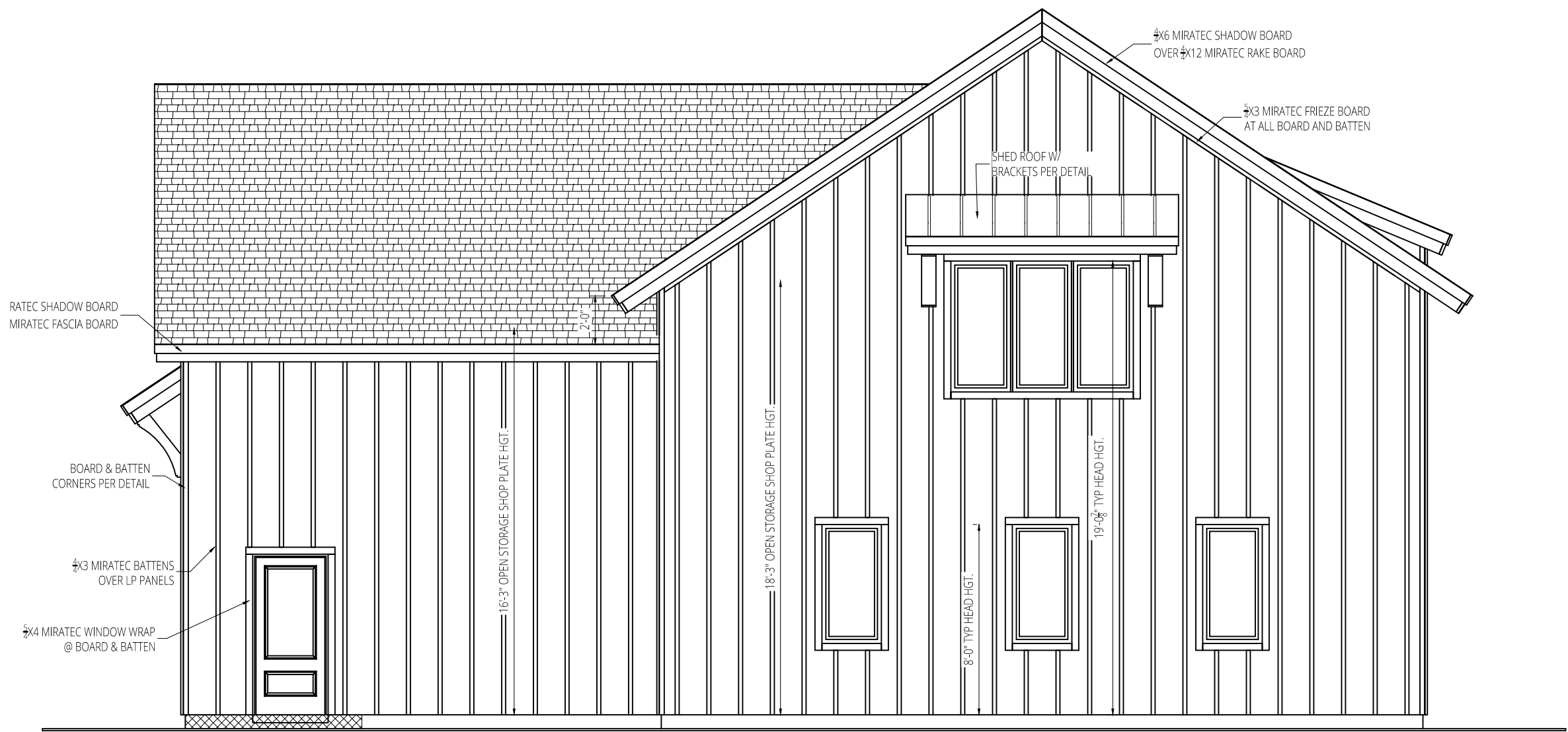
Front Elevation

SCALE:  $\frac{1}{8}'' = 1'-0''$



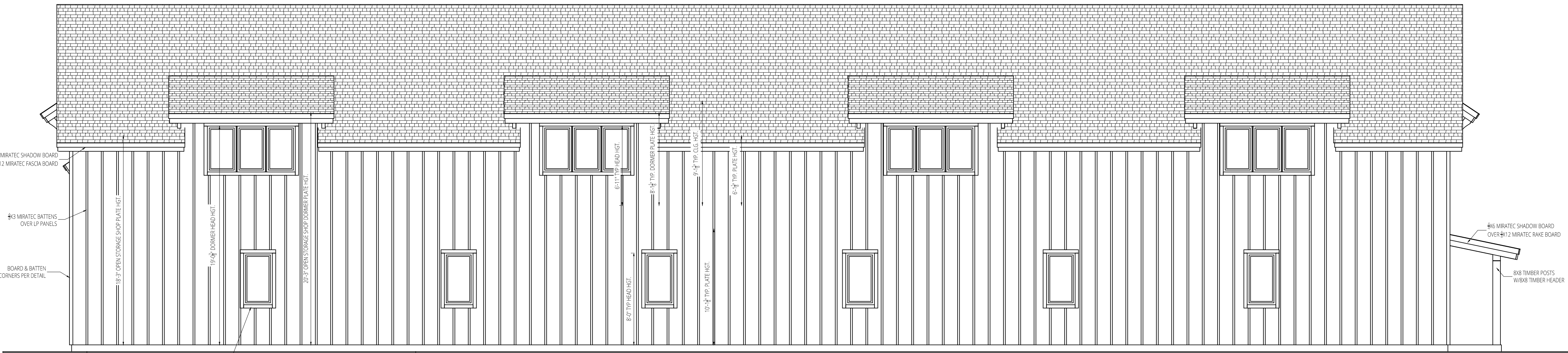
Left Elevation

SCALE:  $\frac{1}{8}'' = 1'-0''$



Right Elevation

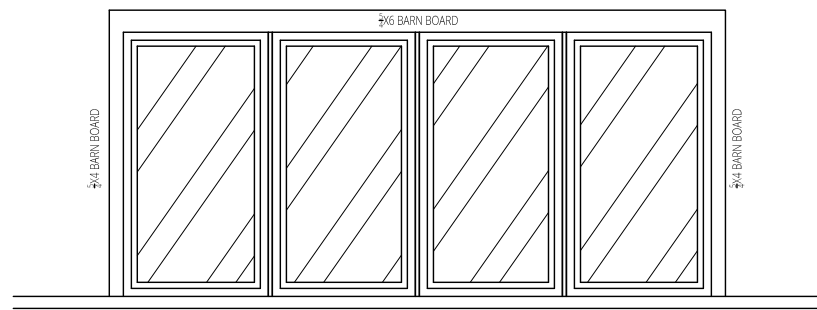
SCALE:  $\frac{1}{8}'' = 1'-0''$



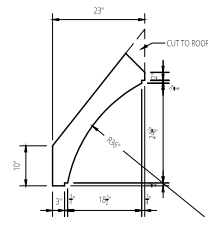
Rear Elevation

SCALE:  $\frac{1}{8}'' = 1'-0''$

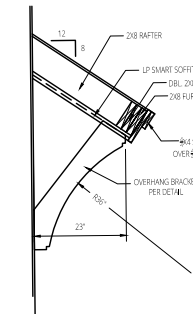




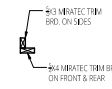
BARN BOARD WINDOW TRIM



SHED ROOF BRACKET DETAIL



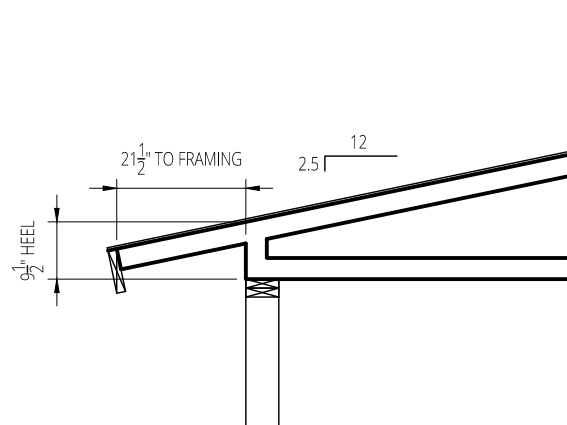
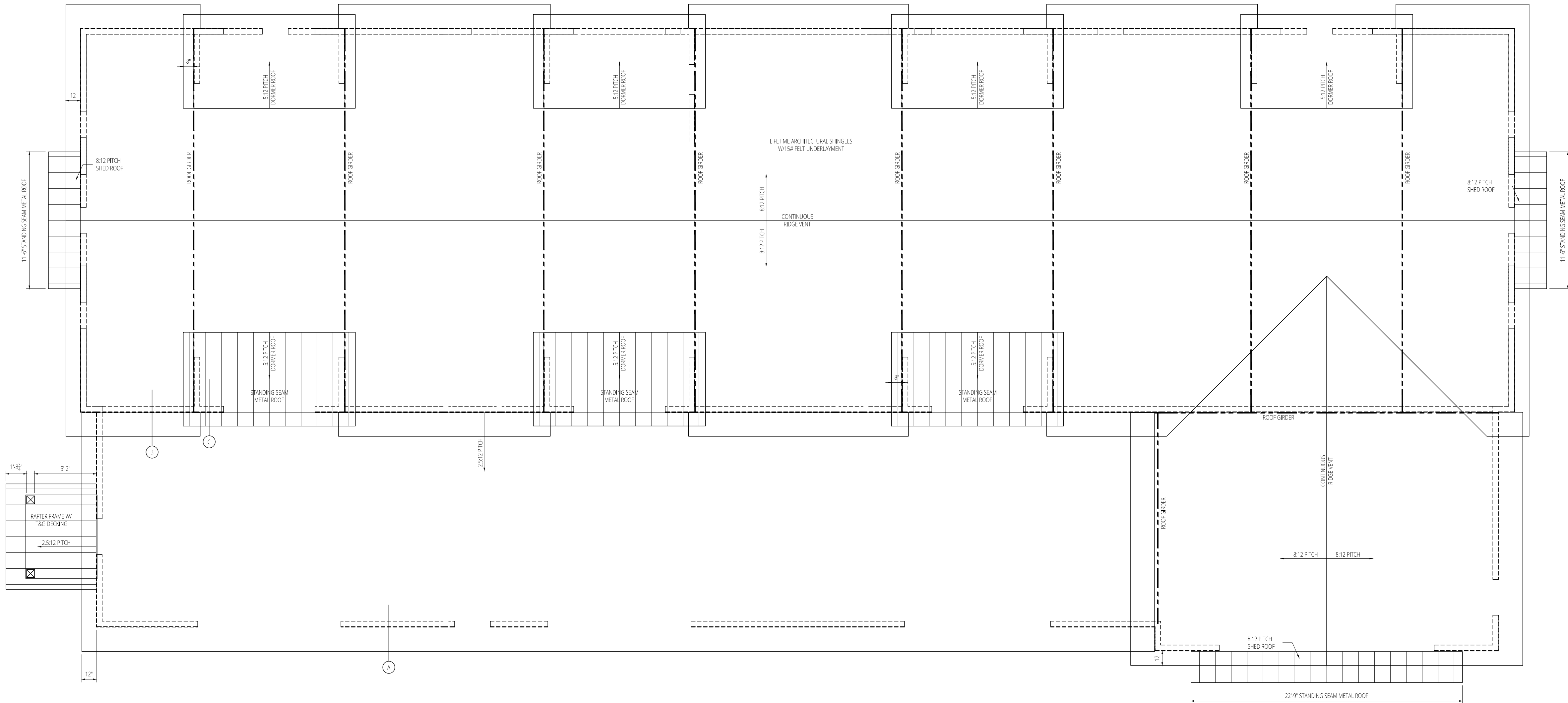
SHED ROOF DETAIL



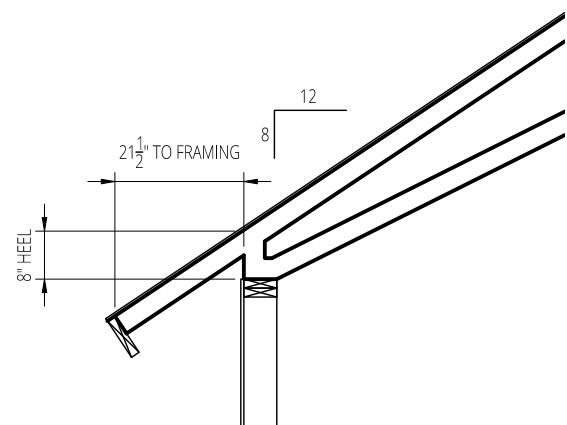
TYPICAL CORNER DETAIL AT B&B

## Exterior Details

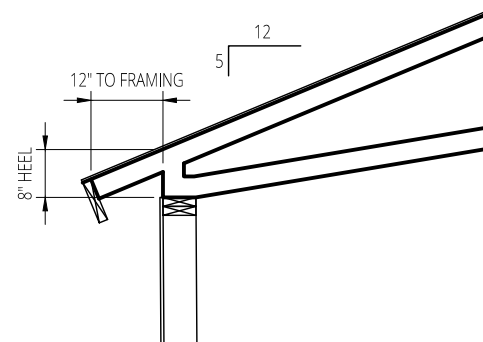
NTS



DETAIL A



DETAIL B



DETAIL C

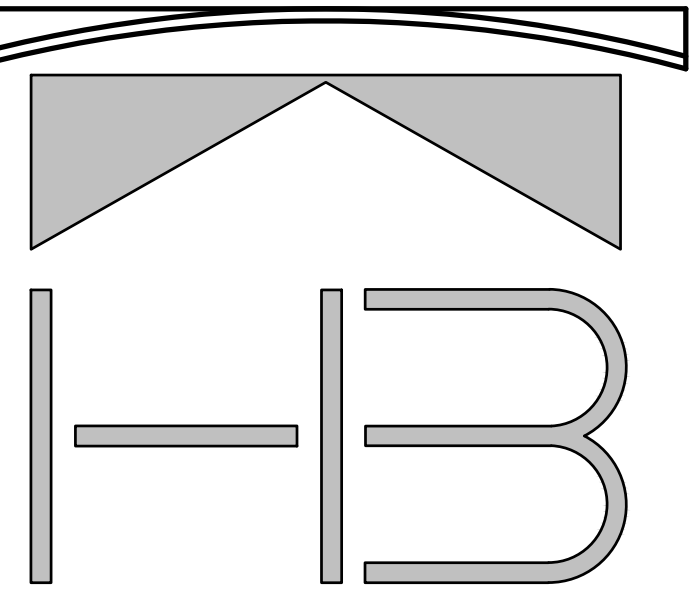
## Roof Heel Details

NTS

## Roof Plan

SCALE:  $\frac{3}{16}'' = 1'-0''$

Notes:  
2X4 ENGINEERED ROOF TRUSSES @ 24" O.C. PER ROOF TRUSS LAYOUT  
ALL HANGERS & TIE DOWNS TO BE SIZED AND SUPPLIED BY TRUSS MANUFACTURER  
ALL DIMENSIONS ON ROOF PLAN ARE SHOWN AS FINISH SOFFIT DIMENSIONS  
REFER TO HEEL DETAILS FOR TRUSS TAIL DIMENSIONS & FASCIA DETAIL  
ALL STRUCTURAL HEADERS AND GIRDERS ARE SHOWN FOR PRELIMINARY USE ONLY  
FINAL STRUCTURAL LOCATIONS TO BE DETERMINED BY SUPPLIER



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262-573-9251 (Todd)

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[todd@highland-builders.com](mailto:todd@highland-builders.com)

PROJECT NAME

PIONKOWSKI  
7049 KETTLE VIEW DRIVE  
WEST BEND, WI

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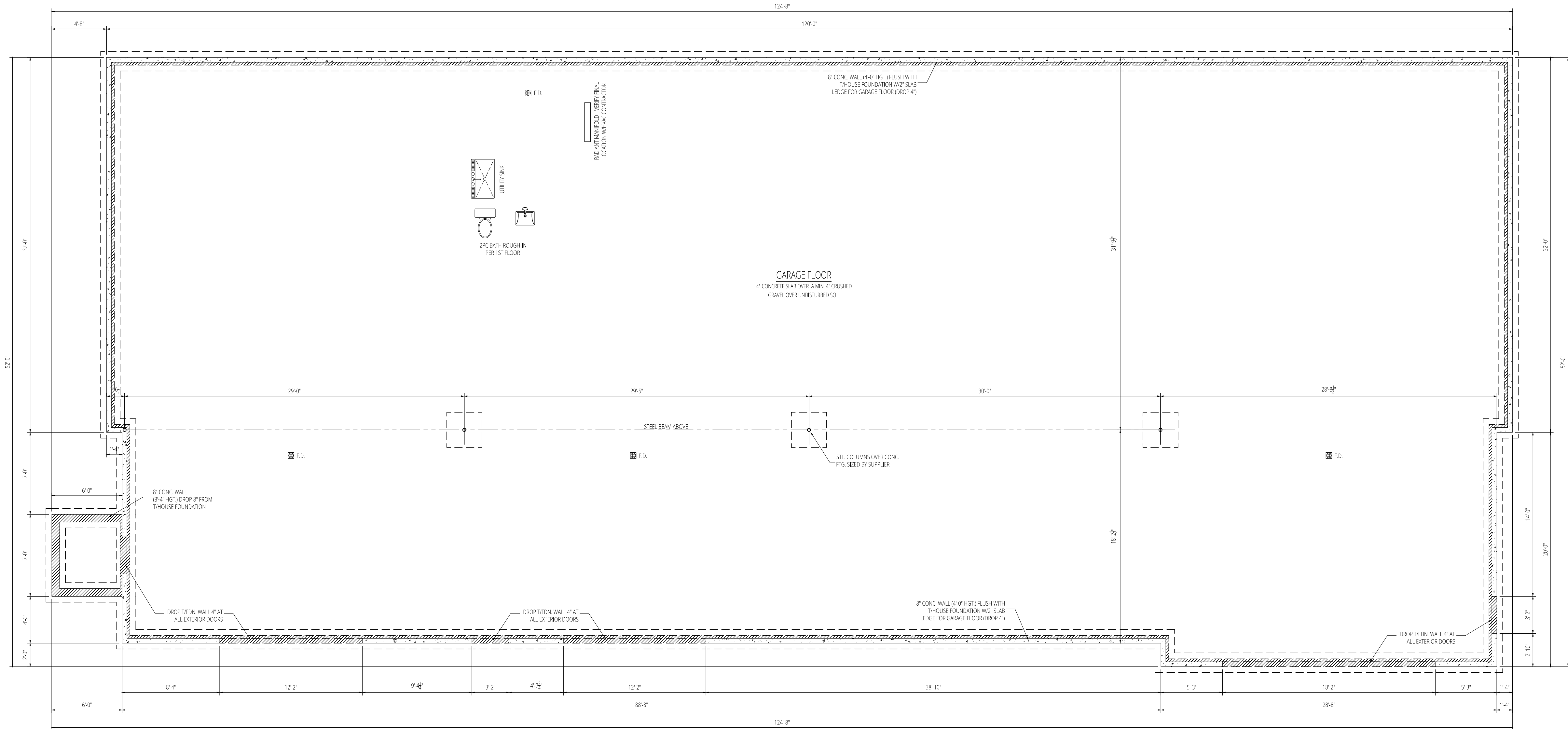
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SHEET TITLE

ROOF PLAN &  
DETAILS

SHEET NUMBER

A12



### Foundation Plan

SCALE:  $\frac{3}{16}'' = 1'-0''$

ALL DIMENSIONS ARE FACE TO FACE OF STUD/CONCRETE  
WALLS TO HAVE TREATED PLATES IF PLACED ON CONCRETE FLOOR  
ALL MECHANICALS ARE TO BE VERIFIED ON SITE W/OWNER BASED ON MEP DESIGN/REQUIREMENTS AND INSTALLATION



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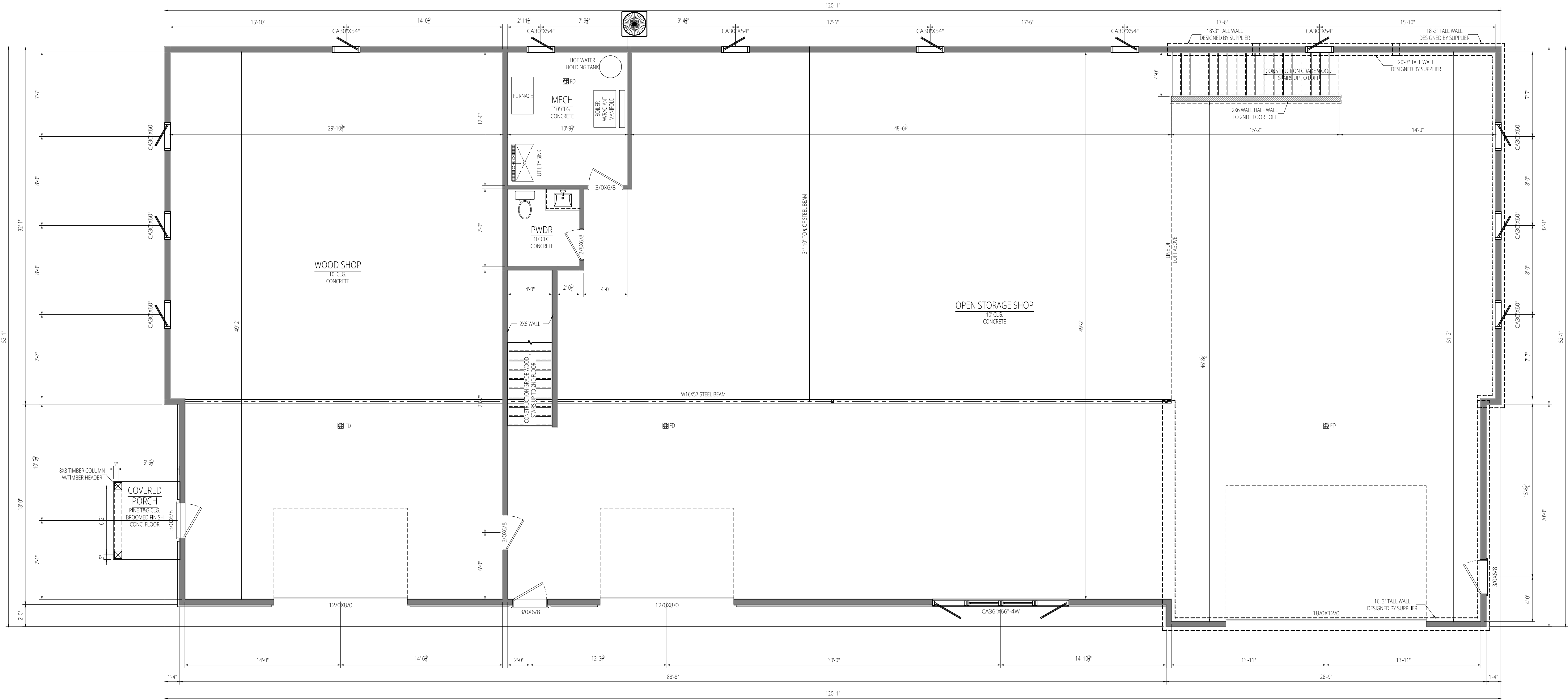
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FOUNDATION PLAN

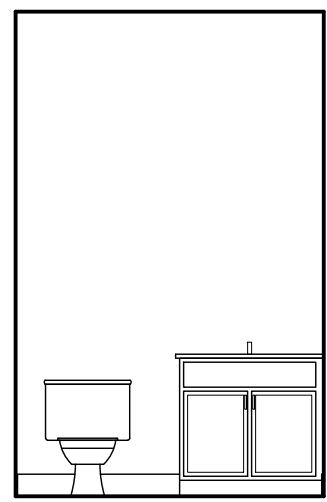
SHEET NUMBER

A2



First Floor Plan

SCALE:  $\frac{3}{8}" = 1'-0"$   
ALL DIMENSIONS ARE FACE TO FACE OF STUD/CONCRETE  
1st FLOOR WALLS TO BE 2X6 (10'-1 $\frac{1}{2}"$ )



Powder



8008 TOWN HALL ROAD  
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SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A3

PROJECT NAME

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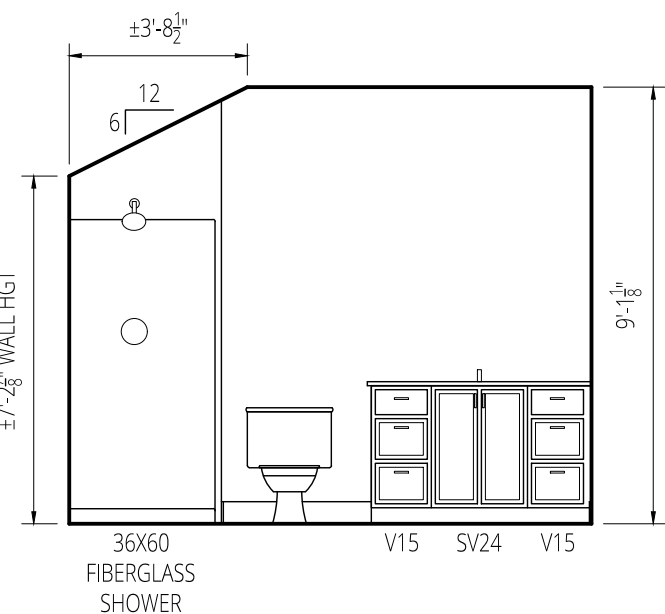
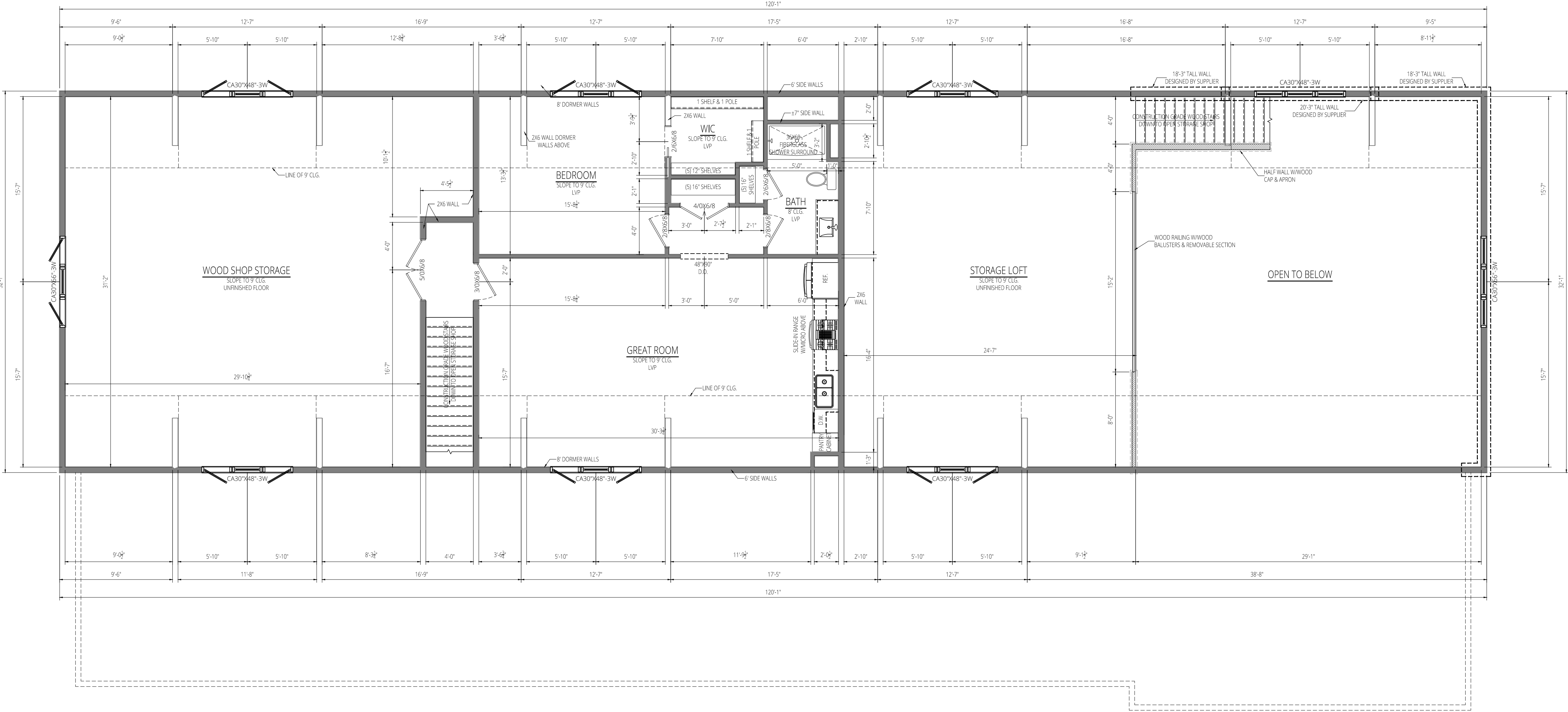
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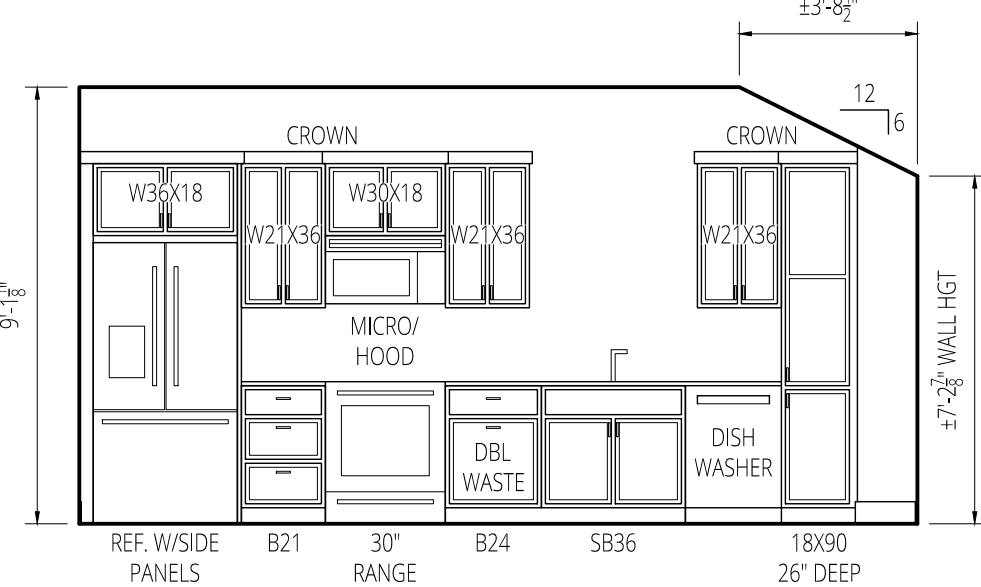
SECOND FLOOR  
PLAN

SHEET NUMBER

A4



Bath



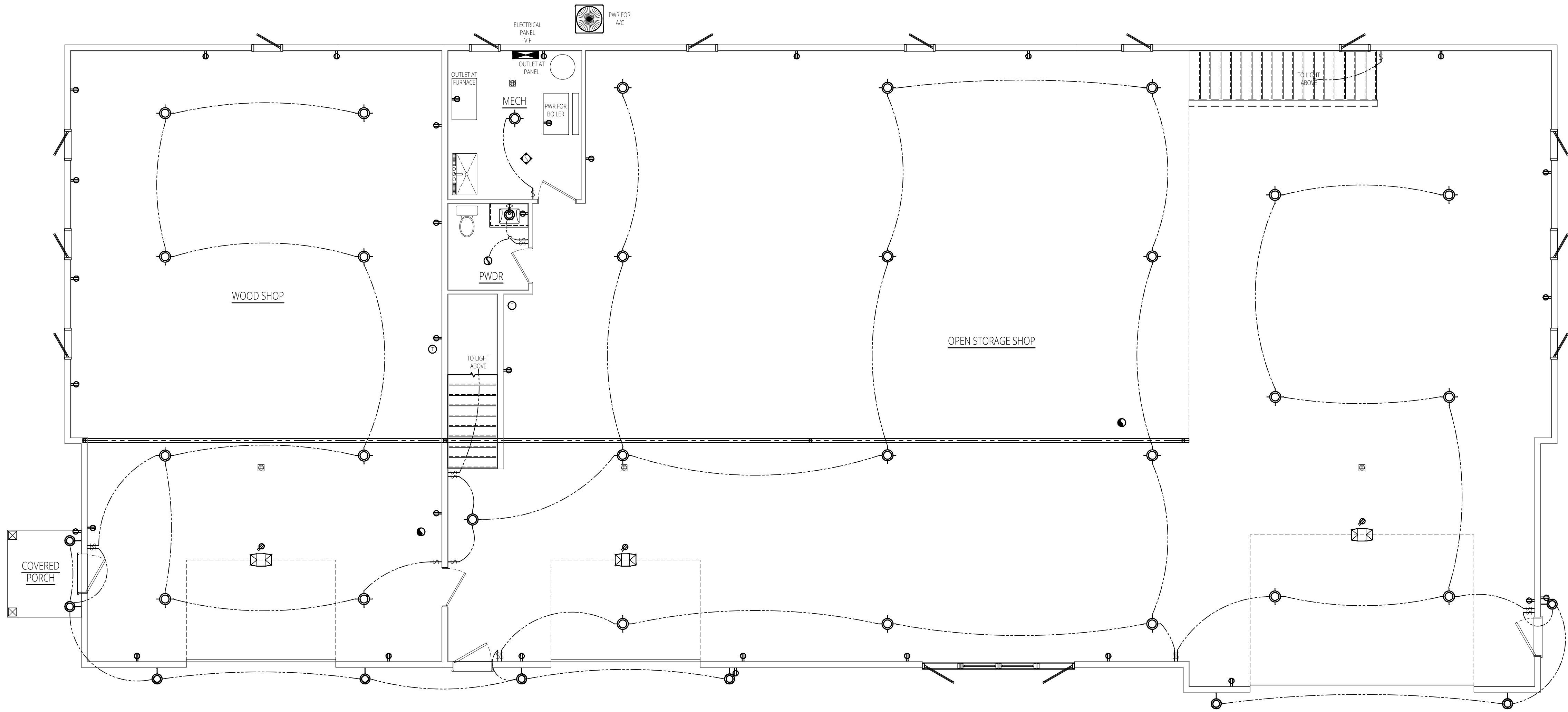
Great Room

### Second Floor Plan

SCALE: 3/8" = 1'-0"  
ALL DIMENSIONS ARE FACE TO FACE OF STUD/CONCRETE  
2ND FLOOR WALLS TO BE 2X6 (6'-1 1/8")

Electrical Symbols

	WALL SWITCH "D" INDICATED DIMMER
	DUPLEX OUTLET "USB" INDICATES USB CHARGING
	SWITCHED OUTLET
	FLOOR OUTLET
	TV CONNECTION VERIFY CABLE REQ'S W/OWNER
	ETHERNET/PHONE JACK VERIFY CABLE REQ'S W/OWNER
	SMOKE DETECTOR
	CARBON MONOXIDE/ SMOKE DETECTOR
	THERMOSTAT
	DOORBELL
	GARBAGE DISPOSAL
	KEYLESS LIGHT FIXTURE
	CAPPED CEILING BOX NO FIXTURE
	CEILING MOUNTED FIXTURE
	GAS LINE
	6\" CAN LIGHT U.N.O.
	6\" DIRECTIONAL CAN LIGHT
	PENDANT LIGHT
	UNDER CABINET LIGHT FIXTURE
	WALL SCONCE
	EXHAUST FAN
	EXHAUST FAN W/LIGHT
	CEILING FAN
	CEILING FAN W/LIGHT
	GARAGE DOOR OPENER
	ELECTRICAL METER
	ELECTRICAL PANEL
	AIR CONDITIONER
	GAS METER



First Floor Electrical Plan

SCALE:  $\frac{3}{16}'' = 1'-0''$



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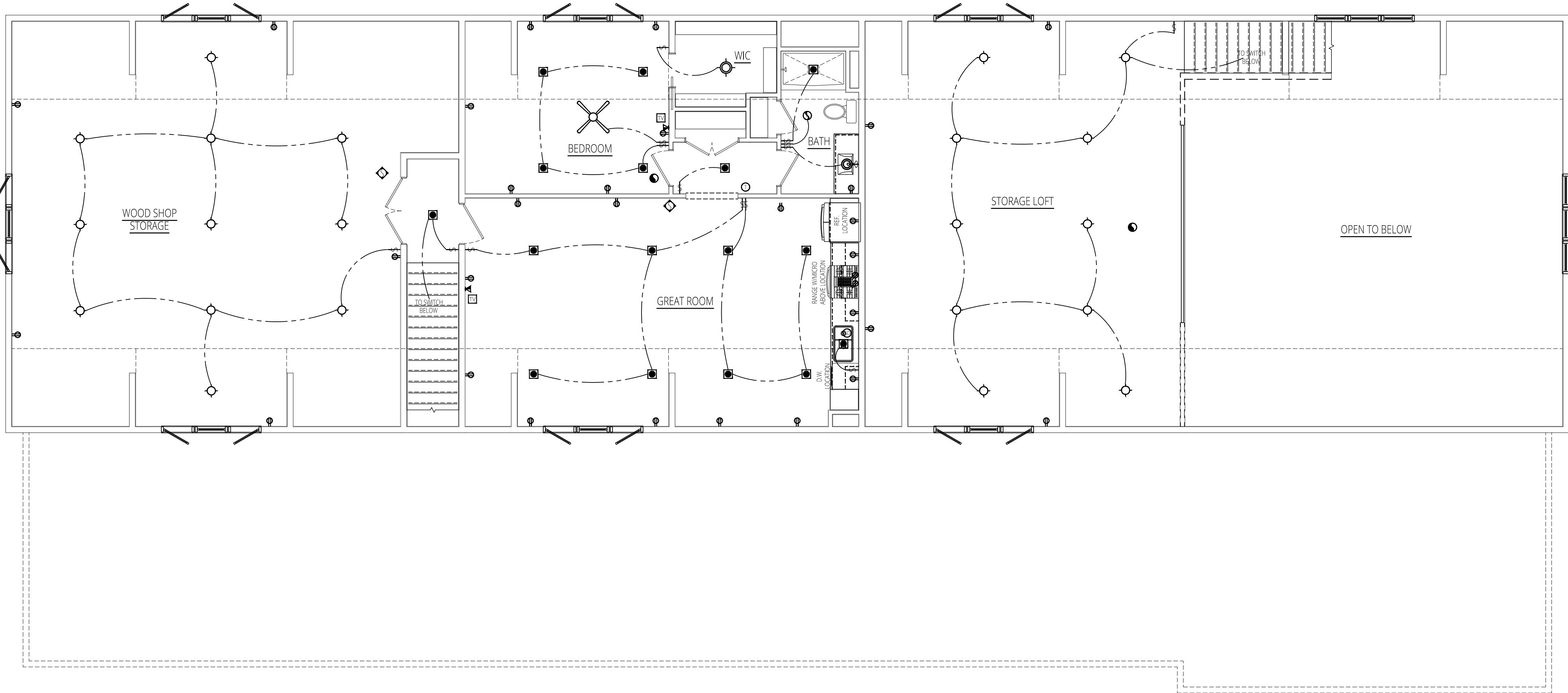
FIRST FLOOR  
ELECTRICAL

SHEET NUMBER

E1

Electrical Symbols

	WALL SWITCH 'D' INDICATED DIMMER
	DUPLEX OUTLET 'USB' INDICATES USB CHARGING
	SWITCHED OUTLET
	FLOOR OUTLET
	TV CONNECTION VERIFY CABLE REQ'S W/OWNER
	ETHERNET/PHONE JACK VERIFY CABLE REQ'S W/OWNER
	SMOKE DETECTOR
	CARBON MONOXIDE/ SMOKE DETECTOR
	THERMOSTAT
	DOORBELL
	GARBAGE DISPOSAL
	KEYLESS LIGHT FIXTURE
	CAPPED CEILING BOX NO FIXTURE
	CEILING MOUNTED FIXTURE
	GAS LINE
	6" CAN LIGHT U.N.O.
	6" DIRECTIONAL CAN LIGHT
	PENDANT LIGHT
	UNDER CABINET LIGHT FIXTURE
	WALL SCONCE
	EXHAUST FAN
	EXHAUST FAN W/LIGHT
	CEILING FAN
	CEILING FAN W/LIGHT
	GARAGE DOOR OPENER
	ELECTRICAL METER
	ELECTRICAL PANEL
	AIR CONDITIONER
	GAS METER



Second Floor Electrical Plan

SCALE:  $\frac{3}{16}'' = 1'-0''$



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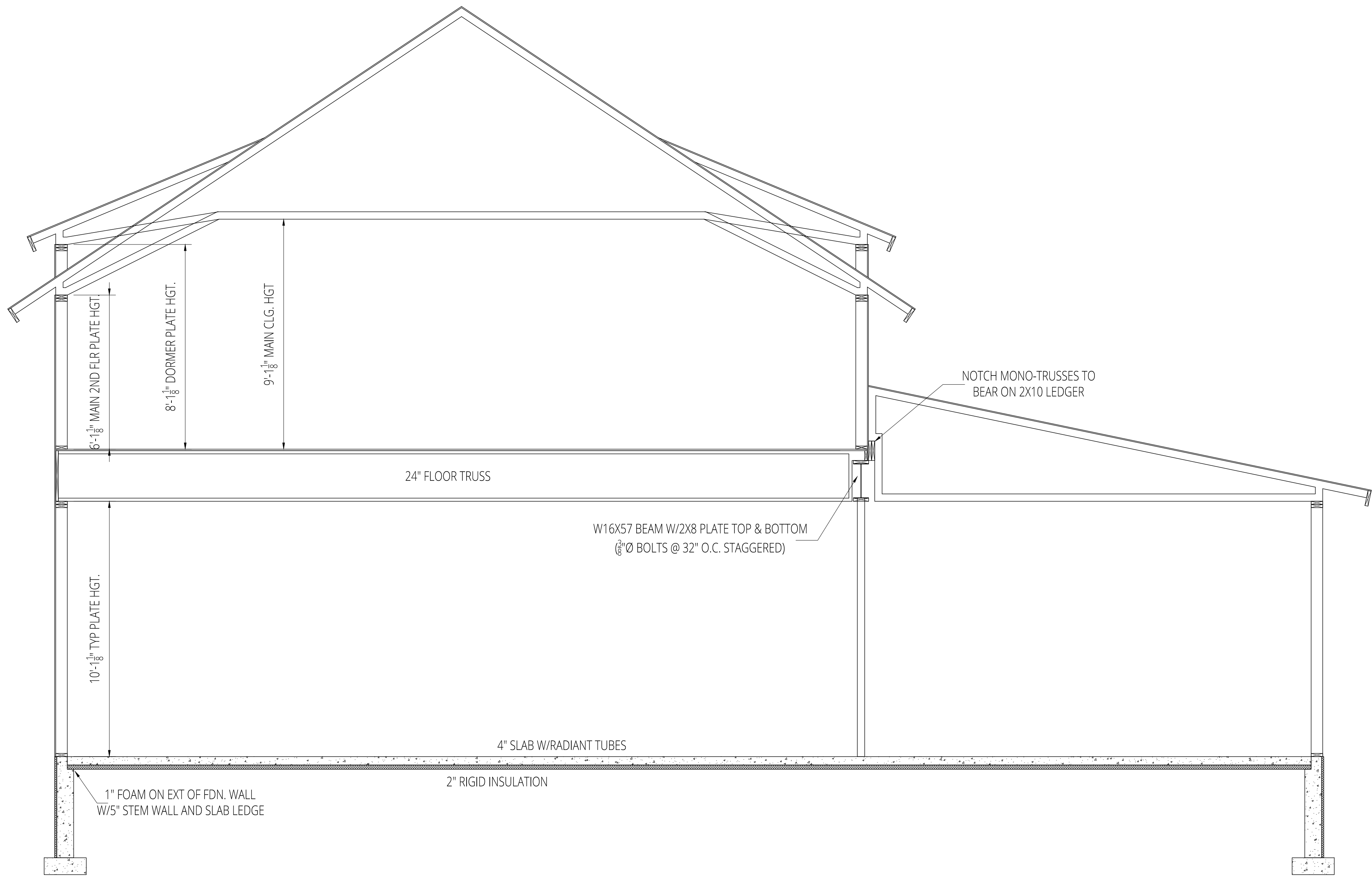
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SECOND FLOOR  
ELECTRICAL

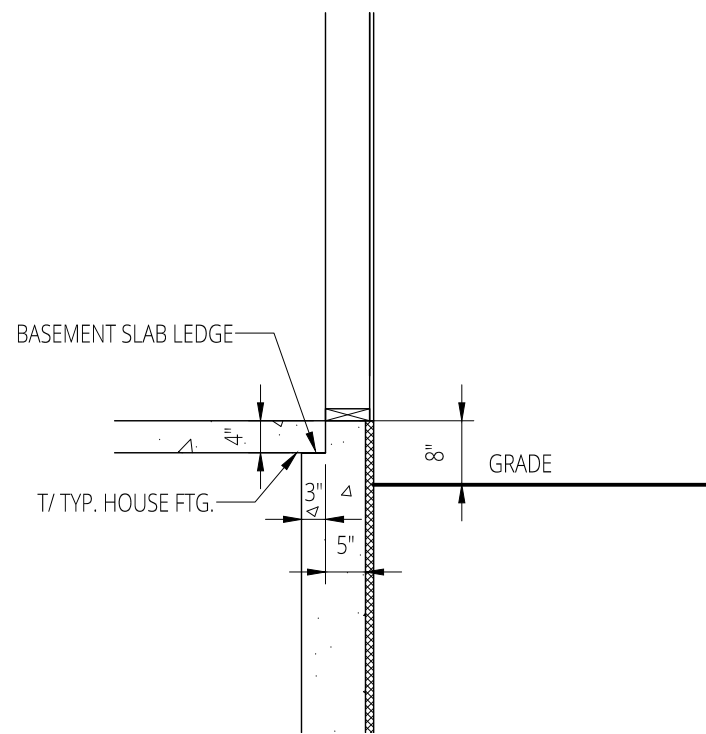
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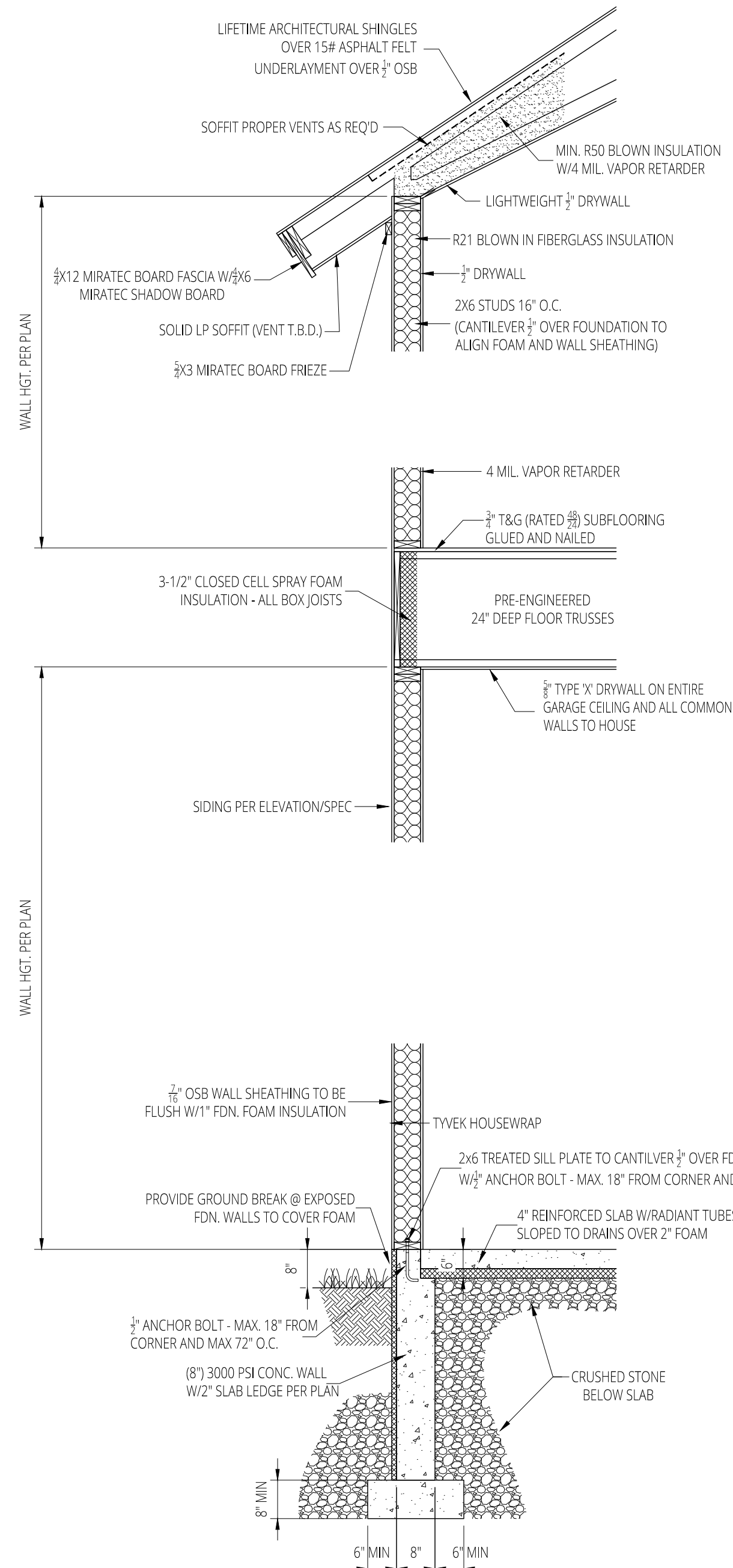
BUILDING SECTION

NTS



Typical Foundation Slab Ledge Detail

SCALE: 1/2" = 1'-0"



Typical Wall Detail

SCALE: 1/2" = 1'-0"

PIONKOWSKI  
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WEST BEND, WI

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WITHOUT THE EXPRESSED WRITTEN CONSENT OF  
K ARCHITECTURAL DESIGN, LLC

SHEET TITLE

TYPICAL WALL  
SECTIONS &  
DETAILS

SHEET NUMBER

S1



Plat of Survey  
for  
Shane and Jaclyn Pionkowski

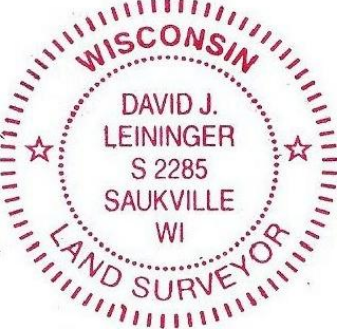
The North Half of the SOUTHEAST Quarter (N 1/2 SE 1/4) of Section Five (5), Township Eleven (11) North, Range Nineteen (19) East, Town of Barton, Washington County, Wisconsin, EXCEPTING THEREFROM that portion described by Warranty Deeds recorded on October 26, 1984, In Volume 841 Page 496, as Document No. 472717.

State of Wisconsin)  
Ozaukee County)s.s.

I certify that I have surveyed the above described Property, and this map is a true representation thereof and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements, and roadways and visible encroachments, if any, to the best of my knowledge and belief.  
This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

Dated this 22nd day of April, 2024.

*David J. Leininger*  
David J. Leininger, S-2285



Note:

Easement to Wisconsin Telephone Company and the American Telephone and Telegraph Company of Wisconsin recorded on November 12, 1929, in Volume 107, Page 15, as Document No. 145241 is non-descriptive

The wetlands boundaries and primary environmental corridor boundaries have been traced from the Washington County GIS website

The aerial photo, shoreland boundaries and stream have been digitally copied from the Washington County data portal.

The topography shown has been shot using gps.

Proposed Foundation Detail  
Scale: 1" = 30'

Need roughly 8,500 cu yards  
of fill for berm and yard  
(per owner)

◇ - wood lath set

Bearings are referenced to the WISCRS, Washington County Coordinate System. The east line of the SE 1/4 of Sec. 5-11-19 has a bearing of S 00°18'40" E.

Scale in feet  
1" = 100'

Beaver Dam Road

East Quarter corner  
Sec. 5-11-19  
conc.mon./iron plug found

Kettle View Drive

Southeast corner  
Sec. 5-11-19  
conc. mon./iron plug found