

Town of Barton

GENERAL ZONING

*(to be completed for all
zoning related applications)*

Application Form

Page 1

2. Location of Property (also, please attach legal description and/or boundary survey of property):

Town of Barton - Located 7245 State
Hwy 144 N West Bend UT 53090

3. Applicant/Petitioner Name: Patrick + Diana Paquin

Telephone Number: 414-405-3801

Address: 7245 State Hwy 144 N
West Bend UT 53090

Applicant/Petitioner is (check all that are applicable):

Property Owner ☒

Owner's Agent ☐

Developer ☐

Other (specify) ☐

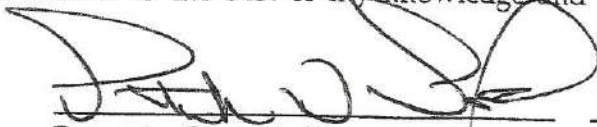
4. Property Owner: Patrick + Diana Paquin

Telephone Number: 414-405-3801

Address: 7245 State Hwy 144 N
West Bend UT 53090

REQUIRED SIGNATURE(S) FOR ALL TYPES OF APPLICATIONS:

I hereby certify that all statements, forms, and attachments submitted hereto are true and correct to the best of my knowledge and belief:



Property Owner's Signature

5-20-24

Date



Property Owner's Signature

5-20-24

Date

OTHER REQUIRED APPLICABLE SIGNATURES:

I hereby certify that all statements, forms, and attachments submitted hereto are true and correct to the best of my knowledge and belief:

Applicant/Petitioner Signature

Date

Owner's Agent Signature

Date

Developer's Signature

Date

No "Town of Barton Zoning Application Form" shall be accepted by the Town of Barton until all of the required items set forth in this Application, as applicable to the type of application being made, have been provided to the Town of Barton including all applicable application fees.

*Applications shall be filed with
the Town Clerk
(or other Town Board authorized agent)*

TOWN OF BARTON
ATTN: TREASURER
3482 TOWN HALL RD
KEWASKUM WI 53040-9469

WASHINGTON COUNTY - STATE OF WISCONSIN
PROPERTY TAX BILL FOR 2023
REAL ESTATE

PAQUIN, PATRICK W
PAQUIN, DIANA D

Parcel Number: T2 000100G
Bill Number: 523116

Important: Be sure this description covers your property. Note that this description is for tax bill only and may not be a full legal description. See reverse side for important information.

Location of Property/Legal Description
7245 STATE HWY 144
Sec. 1, T11N, R19E
PT OF NE NE CSM 2915 LOT 4 DOC 1388740 (HWY DOC 1277013)

5.820 ACRES

523116/T2 000100G
PATRICK W PAQUIN
DIANA D PAQUIN
7245 STATE HWY 144 N
WEST BEND WI 53090

Please inform treasurer of address changes.

ASSESSED VALUE LAND 94,100	ASSESSED VALUE IMPROVEMENTS 420,500	TOTAL ASSESSED VALUE 514,600	AVERAGE ASSMT. RATIO 0.681505940	NET ASSESSED VALUE RATE 0.01156679 (Does NOT reflect credits)	NET PROPERTY TAX 5731.48
ESTIMATED FAIR MARKET VALUE LAND 138,100	ESTIMATED FAIR MARKET VALUE IMPROVEMENTS 617,000	TOTAL ESTIMATED FAIR MARKET VALUE 755,100	<input type="checkbox"/> A star in this box means unpaid prior year taxes.	School taxes also reduced by school levy tax credit 945.34	
TAXING JURISDICTION	2022 EST. STATE AIDS ALLOCATED TAX DIST.	2023 EST. STATE AIDS ALLOCATED TAX DIST.	2022 NET TAX	2023 NET TAX	% TAX CHANGE
WASHINGTON COUNTY	72,969	99,911	1,299.90	1,326.06	2.0%
TOWN OF BARTON	172,579	258,350	815.62	810.03	-0.7%
WEST BEND SCHOOL	1,994,696	2,142,093	3,432.69	2,977.40	-13.3%
MOR PARK TECH COLL	352,598	362,024	314.50	440.62	40.1%
WEST BEND FIRE	0	0	390.68	398.16	1.9%
TOTAL	2,592,842	2,862,378	6,253.39	5,952.27	-4.8%
FIRST DOLLAR CREDIT			-54.12	-46.76	-13.6%
LOTTERY AND GAMING CREDIT			-177.66	-174.03	-2.0%
NET PROPERTY TAX			6,021.61	5,731.48	-4.8%

TOTAL DUE: \$5,731.48

FOR FULL PAYMENT
PAY BY:
JANUARY 31, 2024

Warning: If not paid by due dates, installment option is lost and total tax is delinquent subject to interest and, if applicable, penalty.
Failure to pay on time. See reverse.

FOR INFORMATION PURPOSES ONLY • Voter Approved Temporary Tax Increases

Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends	Taxing Jurisdiction	Total Additional Taxes	Total Additional Taxes Applied to Property	Year Increase Ends
MOR PARK TECH COLL	56,587	85.87	2043				

PAY 1ST INSTALLMENT OF: \$2,779.48

BY JANUARY 31, 2024

AMOUNT ENCLOSED

MAKE CHECK PAYABLE AND MAIL TO:

TOWN OF BARTON
ATTN: TREASURER
3482 TOWN HALL RD
KEWASKUM WI 53040-9469

PIN# T2 000100G
PAQUIN, PATRICK W
BILL NUMBER: 523116

PAY 2ND INSTALLMENT OF: \$2,952.00

BY JULY 31, 2024

AMOUNT ENCLOSED

MAKE CHECK PAYABLE AND MAIL TO:

WASHINGTON COUNTY TREASURER
432 E WASHINGTON ST, PO BOX 1986
WEST BEND, WI 53095-7986

PIN# T2 000100G
PAQUIN, PATRICK W
BILL NUMBER: 523116

INCLUDE THIS STUB WITH YOUR PAYMENT

INCLUDE THIS STUB WITH YOUR PAYMENT

Town of Barton
ZONING PERMIT
ZONING MAP AMENDMENT
ZONING TEXT AMENDMENT
SPECIAL USE PERMIT
Application Form

* SPECIAL USE PERMIT:

1. The following items are required to be submitted with the completed Application:
 - a. A legal description of the subject property.
 - b. Site Plan meeting the requirements of Section 6.0103 of the Zoning Ordinance.
 - c. If natural resources are present on the subject property, a "Natural Resource Protection Plan" meeting the requirements of Division 6.0200 of the Zoning Ordinance and site capacity and intensity calculations prepared in conformance with the required forms and meeting the requirements of Division 3.0500 of the Zoning Ordinance.
 - d. A list of all property tax key numbers, owners, and owner addresses of all properties lying within five hundred (500) feet of the subject property and all property under the same ownership *(use attached "Owners of Property within 500 Feet" form which may be reproduced by the Applicant if additional space is needed to list all such property owners).*
 - e. Additional information may be required by the Plan Commission or the Town Board.
2. Describe in detail the existing use or operations of the premises, if any *(attach additional sheets and/or drawings as necessary):*

3. Describe in detail the proposed use or operations of the premises (attach additional sheets and/or drawings as necessary):

TO BUILD A 30x40 ACCESSORY BUILDING
FOR PERSONAL STORAGE PURPOSES.

* NOTE: TALKED WITH JERMEY PFIEFER AND SAID WE CAN
ADD AN EXTRA 10 FT WE ARE STILL UNDER THE 2.2%
LIMIT EVEN THOUGH PLANS SAID 30x30 ○

4. Indicate the number of employees at the subject property: _____
5. Expected Completion Date: Before Permits Expire
6. Describe the reasons for the Special Use Permit request (attach additional sheets as necessary):

BECAUSE, WE ARE ZONED R4 AND ALREADY
HAVE A 30x40 (1,200 SQFT) BUILDING ON
THE PROPERTY

7. Describe the reasons why the request should be granted showing adequate evidence that the proposed special use will conform to the standards set forth in Division 3.0700 of the Zoning Ordinance (attach additional sheets as necessary):

I HAVE ALREADY HAVE BOTH THE TOWN OF
BARTON BUILDING PERMIT AND THE SHORELAND USE
PERMIT WHICH HAVE BOTH BEEN PAID FOR.

TOWN OF BARTON
ATTN: TREASURER
3482 TOWN HALL RD
KEWASKUM WI 53040-9469

WASHINGTON COUNTY - STATE OF WISCONSIN
PROPERTY TAX BILL FOR 2023
REAL ESTATE

PAQUIN, PATRICK W
PAQUIN, DIANA D

Parcel Number: T2 000100G
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523116/T2 000100G
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DIANA D PAQUIN
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BY JULY 31, 2024

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TOWN OF BARTON
ATTN: TREASURER
3482 TOWN HALL RD
KEWASKUM WI 53040-9469

PIN# T2 000100G
PAQUIN, PATRICK W
BILL NUMBER: 523116

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MAKE CHECK PAYABLE AND MAIL TO:

WASHINGTON COUNTY TREASURER
432 E WASHINGTON ST, PO BOX 1986
WEST BEND, WI 53095-7986

PIN# T2 000100G
PAQUIN, PATRICK W
BILL NUMBER: 523116



INCLUDE THIS STUB WITH YOUR PAYMENT



INCLUDE THIS STUB WITH YOUR PAYMENT

THIS PERMIT MUST BE POSTED NO. **50858**
WASHINGTON COUNTY - ZONING PERMIT

☒ SHORELAND ☐ FLOODPLAIN ☐ WETLAND

LOCATION **Town of Burton, Sec. 1**

PROPERTY ADDRESS **7245 State Rd 144 N**

☒ ZON ☐ ISOA
☐ ADM ☐ REZON
☐ CU

THIS IS TO CERTIFY THAT A ZONING PERMIT HAS BEEN ISSUED BY THE PLANNING AND PARKS DEPARTMENT
TO **Patrick and Diana Paquin** OWNER OR OWNER'S AGENT
FOR **Garage w/ grading** ON THE PREMISES DESCRIBED ABOVE.

SAID OWNER OR OWNER'S AGENT IS HEREBY AUTHORIZED TO PROCEED WITH THE PROJECT ACCORDING TO THE
APPLICATION AND SPECIFICATIONS ON FILE WITH THE PLANNING AND PARKS DEPARTMENT.

ISSUE DATE **2/16/2024** LAND USE INSPECTOR **Joseph Steier**

NOTE: THIS PERMIT MUST BE POSTED IN A PROMINENT PLACE ON THE PREMISES PRIOR TO AND DURING
THE PERIOD OF CONSTRUCTION. THIS PERMIT IS VOID IF CONSTRUCTION IS NOT STARTED AND FINISHED
WITHIN THE TIME PERIODS SPECIFIED IN THE ORDINANCES. APPLICANT MUST CHECK WITH TOWN, STATE,
AND FEDERAL GOVERNMENT AGENCIES REGARDING A NEED FOR ANY ADDITIONAL PERMITS.

EXPIRATION DATE **8/17/2025**
(18 MONTHS AFTER ISSUE DATE)

WASHINGTON COUNTY LAND RESOURCES DIVISION
APPLICATION FOR SHORELAND ZONING PERMIT

App # 36060

Please type or print neatly, provide specific answers, and complete entire application including items on page 2.

Permit # 50858 Sanitary # 258161 Tax Key # T2-000100G

Owner(s) of property: Patrick & Diana PAQUIN Work Phone: 414-405-3801

* email: Patrick @ JPSiteExperts.com Home Phone: N/A

Owner(s) mailing address: 7245 STATE RD 144 N West Bend WI 53090

Address of Property Involved: 7245 STATE RD 144 N West Bend WI 53090
Street City State Zip

Subdivision/CSM # 2915 Location: NE 1/4 NE 1/4 Section: 1 Municipality: BARTON

Zoning: Shoreland ☒ Wetland ☐ Floodplain ☐ Setback from water 900± ft.; Setback from wetland: ft.

Proposed Use/Project(s) Be Specific (see page 2 for items that must be included with application):

Type of Project: New ☒ Addition ☐ Renovation ☒ Fill/Grade/Excavate ☐ Total Extent of Disturbed Soil: 900 sq. ft.

Size of Project(s): L 30' x W 30' x H 16' Elevation of Structure(s) Lowest Floor (NGVD):

Parcel Size: sq. ft.; Impervious Area: sq. ft. % of Lot NOTE: There may be Impervious Area Limits.

For Floodplain Structures: Structural Component \$; Equalized Assessed Value \$; Percentage Value of Project %

Have you or previous owners completed any addition or remodeling to this house? If yes, month/year:

General Contractor's Name: owner Contact Person:

Address: Office Phone:

Proposed Start Date: End March Project Staked Date: currently

The applicant must notify the Land Resources office at 262-335-4445 for an inspection and posting of the permit prior to starting the project (after the proposed structure is staked and after erosion control is installed, if applicable) and call for an inspection after the project is complete. Applicant is responsible to obtain all other required permits from the Town, DNR and/or Army Corps of Engineers. Any modifications, expansions or alterations in the scope, scale, or methods of operation of this permit shall require additional review and approval by a Land Use Inspector before being implemented.

**You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Wisconsin DNR web page and search wetlands.

Owner or Agent Signature: Date: 2-14-24

**By signing this you acknowledge you have read the above statement concerning construction around wetlands.

DEPARTMENT USE ONLY

Individual Reviewing Plan: Date Issued: 2/16/24 Structure(s): \$ 50.00 FEES PAID

Conditions of Approval (This permit expires 18 months after date of issuance):
- seed & mulch all disturbed areas.
- Floor drain to daylight on ground surface. No plumbing.

Posting Date: Inspector: ☐ Approved ☐ Disapproved Minor Grading: \$ 50.00

Follow-up Date: Inspector: ☐ Approved ☐ Disapproved Total Fee: \$ 100.00

Remarks: Date Paid: 2/14/24

Received By: Receipt # 2303-0017

Date Mailed to Owner / Township: 2/19/24 Form 536 (Rev. 01/01/2022)

Continued on Page 2

* email owner permit

WASHINGTON COUNTY LAND RESOURCES DIVISION

APPLICATION FOR SHORELAND ZONING PERMIT

Please type or print neatly, provide specific answers, and complete entire application including checklist.

Owner(s) of property: PATRICK & DIANA PAONIN Tax Key # _____

THE FOLLOWING ITEMS MUST BE PROVIDED WITH THIS APPLICATION:

NOTE: We recommend a "rough sketch" of the proposed project be completed and that you meet with the Land Use Inspector before final plan submittal.

1. ☐ Full legal description of property.
2. ☐ A survey or plot plan (top/bird's-eye view), drawn to scale which clearly shows the following:
 - a) ☐ Boundaries of the property. Arrow indicating North.
 - b) ☐ Location of existing and proposed building/structures.
 - c) ☐ Location of private sewage system and water well.
3. ☐ Grading Plan/Erosion Control Plan (and Stormwater Management Plan, if applicable), drawn to scale, using a top/bird's-eye view which clearly shows the following:
 - a) ☐ All existing and proposed impervious surface areas.
 - b) ☐ Total extent of disturbed areas for all proposed projects, including soils/backfill areas.
 - c) ☐ Erosion control method and location.
 - d) ☐ Existing and proposed drainage swales, terracing, retaining walls, planting beds, downspout locations and clear water sump locations.
 - e) ☐ Current and proposed stormwater runoff drainage patterns (use arrows to show).
 - f) ☐ Site restoration plan.
4. ☐ A drawing or plans which show a north-south and east-west cross-sectional view to the property lines, or a topographical map, showing proposed cutting and filling encompassing the entire project area. Label existing and proposed surface elevations, including drainage swales.
5. ☐ A drawing or plans which clearly show a north-south and east-west cross-sectional view of the proposed building/structure. Label the proposed building/structure.
6. ☐ For projects proposed in floodplain, floodfringe, or floodway, additional detailed survey and/or engineer work will need to be completed and documentation provided to this office. Please contact this office for requirements specific to your project(s).



WASHINGTON COUNTY

EST. 1848 WISCONSIN

Washington County, WI
Planning & Parks Departments
Public Agency Center
333 E. Washington St., Suite 2300
West Bend, WI 53095-2003

02/14/2024 08:40AM Pay P.
002303-0017

MISCELLANEOUS

Shore/Wet/Flood Zone

Permit (282013)

2024 Item: 282013

1 @ \$100.0000

Shore/Wet/Flood Zone

Permit (282013) \$100.00

\$100.00

Subtotal \$100.00

Total \$100.00

CHECK \$100.00

Check Number 3790

Change due \$0.00

Paid by: PATRICK & DIANA PAQUIN

Comments: PATRICK & DIANA PAQUIN - 7245
STATE RD 144 N., WEST BEND, WI 53090 -
T2_000100G - SEC 1

Thank you for your payment

Washington County, WI COPY
DUPLICATE RECEIPT

Design #: 314951525481
Estimate #: 28224
Store: WEST BEND

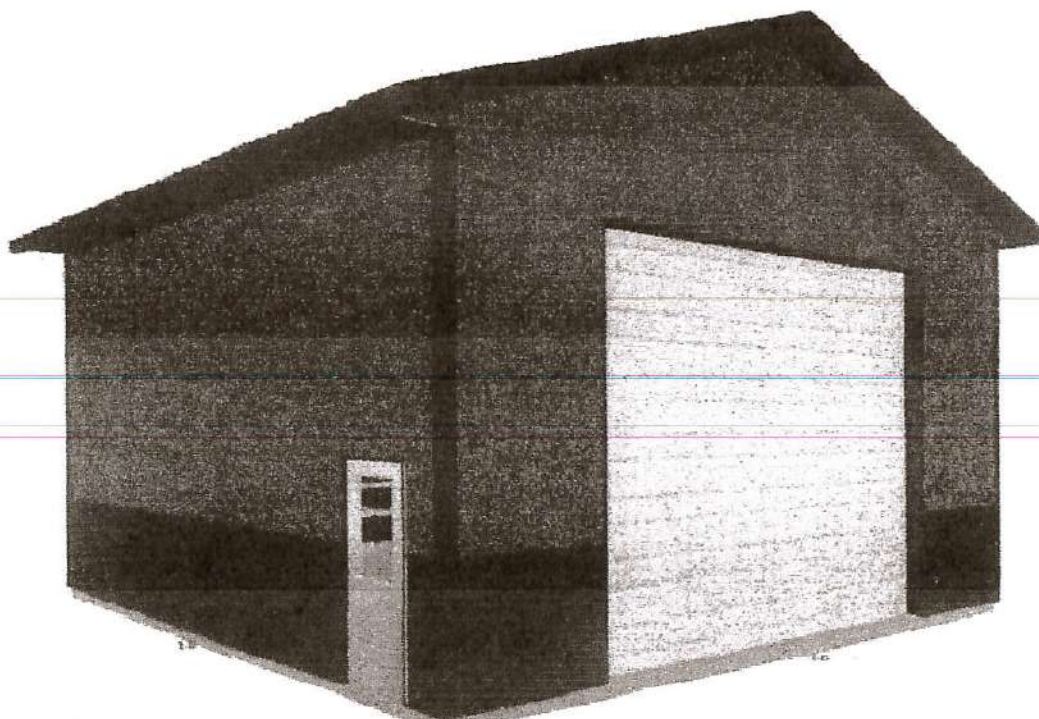
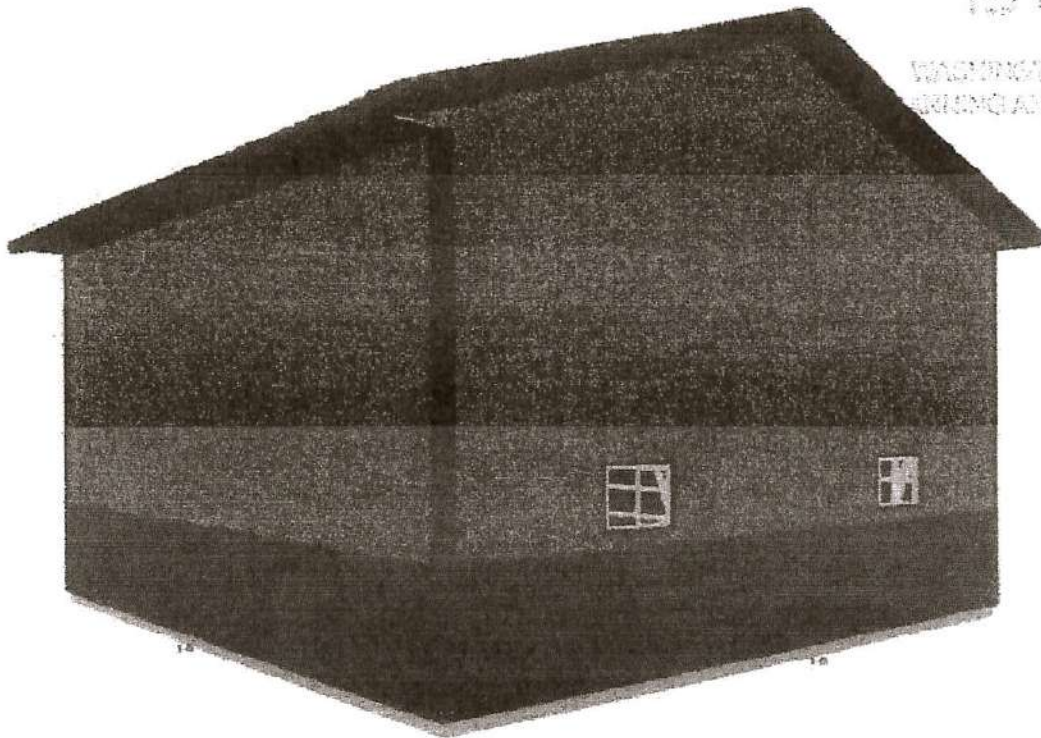


Post Frame Building Estimate
Date: Feb 1, 2024 9:15:13 AM

Elevation Views



WASHINGTON COUNTY
PLANNING DEPT.



For other design systems search "Design & Buy" on Menards.com

Page 2 of 7

Town of Barton
 3482 Town Hall Road
 Kewaskum, WI 53040
 Phone: (262)334-2765

Building Permit Application
 Permit #- B24-019
 Tax Key- T2-0001-006

Owner's Name	Mailing Address, City, State, Zip Code	
Patrick & Diana Paquin	7245 State Road 144 N West bend 53090	
Project address	Owner's phone #, include area code	
7245 State Road 144 N West bend 53090	(414)-405-3801	
Contractor's name	Contractor's Mailing address, city, state, zip code	
Contractor's Dwelling Contractor (DC) #:	Phone #, include area code	Fax #
Dwelling Contractor Qualifier (DCQ) #:		

Type of project

- | | |
|---|---|
| <input type="checkbox"/> New one and two-family residence | <input type="checkbox"/> HVAC (Add or replace AC, replace furnace etc.) |
| <input type="checkbox"/> Commercial/industrial/multi-family | <input type="checkbox"/> Alteration (Reroof, siding, windows, interior remodel, finish basements) |
| <input checked="" type="checkbox"/> Accessory buildings (120 Sq. ft. or over) | |
| <input type="checkbox"/> Additions | <input type="checkbox"/> Other |
| <input type="checkbox"/> Deck, Pool, Fence | |

Project Description: 30'x 30' x 16' Garage with mezzanine

Used for: Storage

Estimated Cost: \$50,000

Needed with Application

- | | |
|--|---|
| <input type="checkbox"/> Wash. Co. Planning and Parks Dept. sign off sheet-if in area beyond 1000 ft. of body of water/wetlands or Wash. Co. Shoreland zoning permit if within 1000 ft. of body of water/wetland (These are not needed for Alterations, or HVAC) | <input type="checkbox"/> 2 sets of building plans (3 sets if you want copy returned) |
| | <input type="checkbox"/> 2 copies of survey or site plan- showing location of proposed structure (can be sketched on survey/site plan) (3 sets if you want copy returned) (These are not needed for Alterations, or HVAC) |

Signature of Applicant: Patrick Paquin

Date: 2-27-24

The applicant agrees to comply with the Municipal Ordinances, State of WI Building Codes, and with the conditions of this permit; understands that the issuance of the permit creates no legal liability, expressed or implied, of the Department, Municipality, Agency or Inspector; and certifies that all of the above information is accurate.

To request an inspection: call the Building Inspector at number listed. Please give project address, permit # if possible, and type of inspection. Please give at least 24-hour notice on all inspections. 48-hour notice on footing inspections if possible.

***Drop off completed application at Town Hall or contact Building Inspector**

Certified Building Inspector
Jeremy Pfeifer
Office: 262-629-1774
Cell: 262-689-7346
License #: 1293974
Email: jeremy@jpbbuildinginspections.com

Accepted by _____

Date _____

Paid _____

Office use only			
Basement SF.-	Garage SF- <u>900</u>	HVAC-	Plan Review- <u>60</u>
Living space SF-	Decks/Porch SF-	Erosion-	Inspection- <u>225</u>
Commercial SF-		Zoning-	Occupancy- <u>35</u>
<u>900 + 225 = 225</u>		Other-	WI Seal-
			TOTAL- \$ <u>320.00</u>

Issued: 3/7/24

Pat ckc 3799 3/7/24 SE

Other Property WE OWN

WELL

House MAIN lateral

Septic Chambers

Septic Pond

Shed

17' 30' 30' 16' NEW Addition Shed

L.P. PUMP

0003 1412AC 000400V

000100G 5.82AC

Size: 30' x 30' x 16'

KEY

Excavating Area Around New Addition Shed

Green Space Around Buildings (Grass)

West North East South

☐ Current Parcel

Address Point

Shoreland Zoning District

Urbanized Area 2010

Lot Number

Certified Survey Number

Parcel Taxkey & Acreage Plat

PLSS Section

PLSS Quarter

Lot

Certified Survey Map

Right-of-Way

Municipality

SIZE: 30 x 30 x 16

KEY

LEAVING AREA + AROUND
 NEW ALLIUM SHED
 * + Green Space Around Buildings
 (GRASS)

Town of Barton
3482 Town Hall Road
Kewaskum, WI 53040
Phone: (262)334-2765

Building Permit Application
Permit #- _____
Tax Key- _____

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*Drop off completed application at Town Hall or contact Building Inspector	
Accepted by _____	Date _____ Paid _____

Office use only			
Basement SF.-	Garage SF-	HVAC-	Plan Review-
Living space SF-	Decks/Porch SF-	Erosion-	Inspection-
Commercial SF-		Zoning-	Occupancy-
		Other-	WI Seal-
			TOTAL-

Issued: / /20

Design #: 314951525481
Estimate #: 28224
Store: WEST BEND

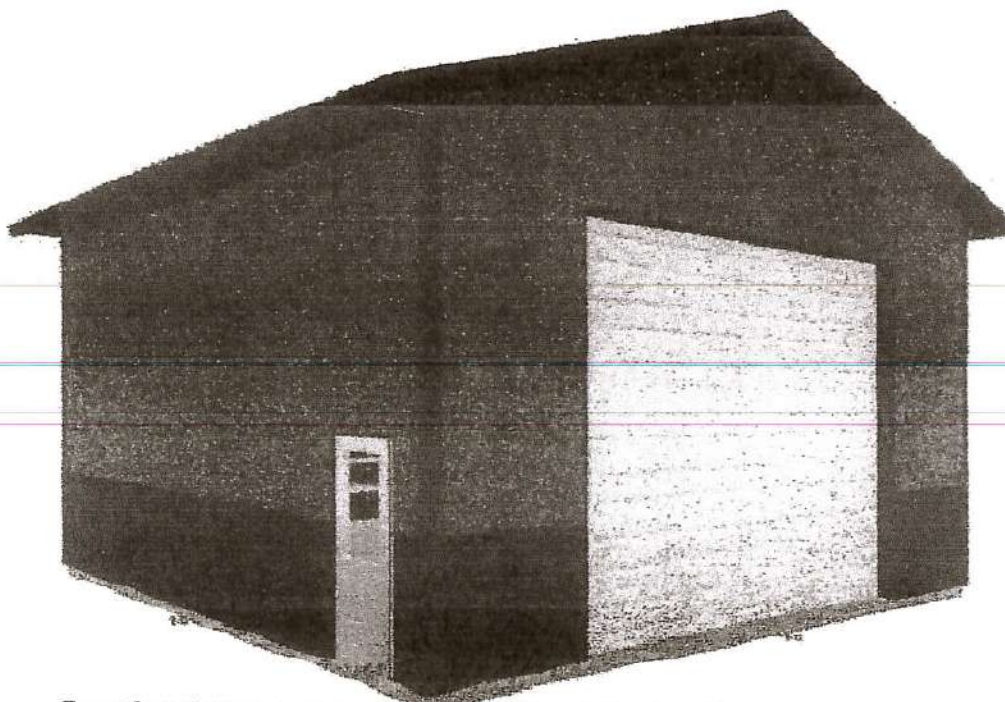
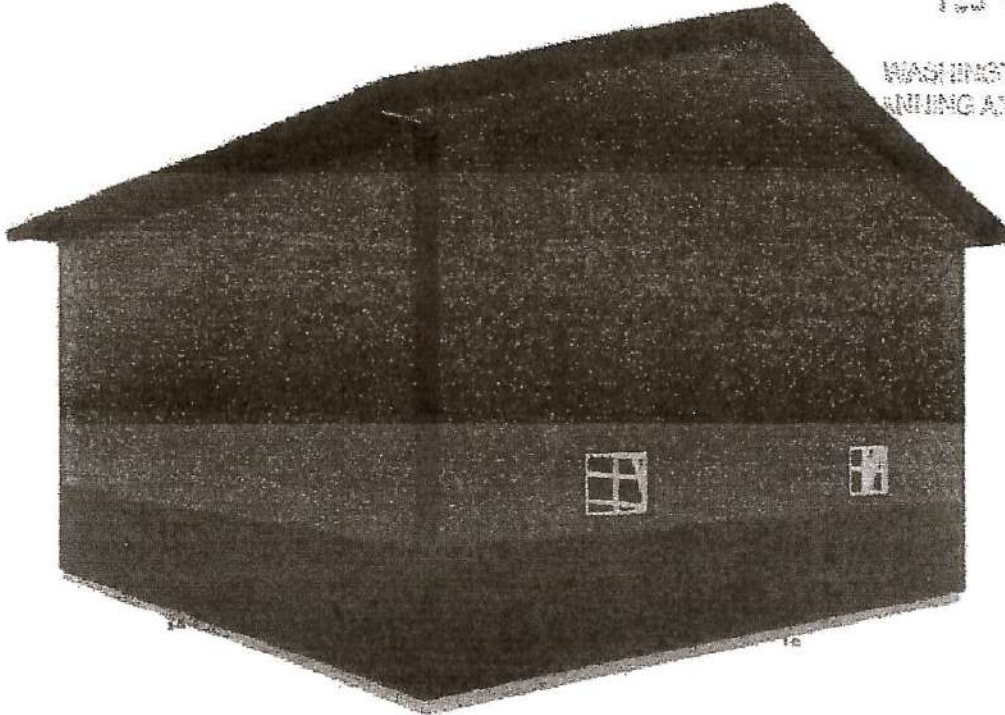


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Elevation Views

RECEIVED
FEB 14 2024

WASHINGTON COUNTY
PLANNING AND PARKING DEPT.



Design #: 314951654761

Estimate #: 29458

Store: WEST BEND

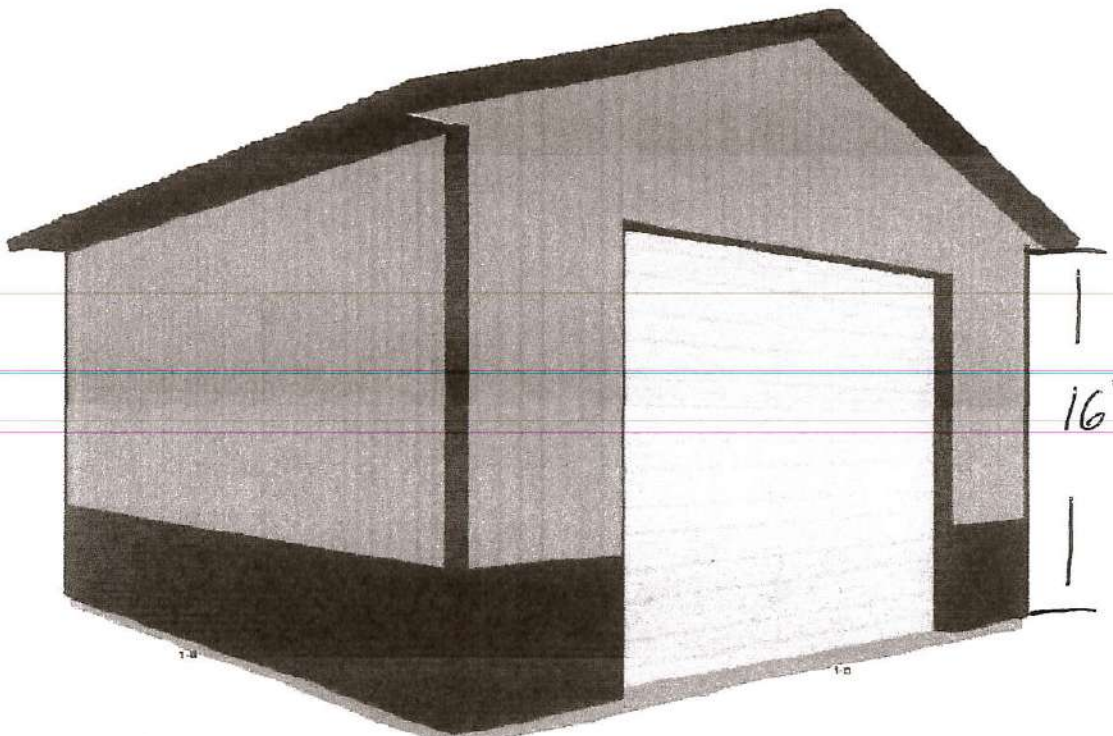
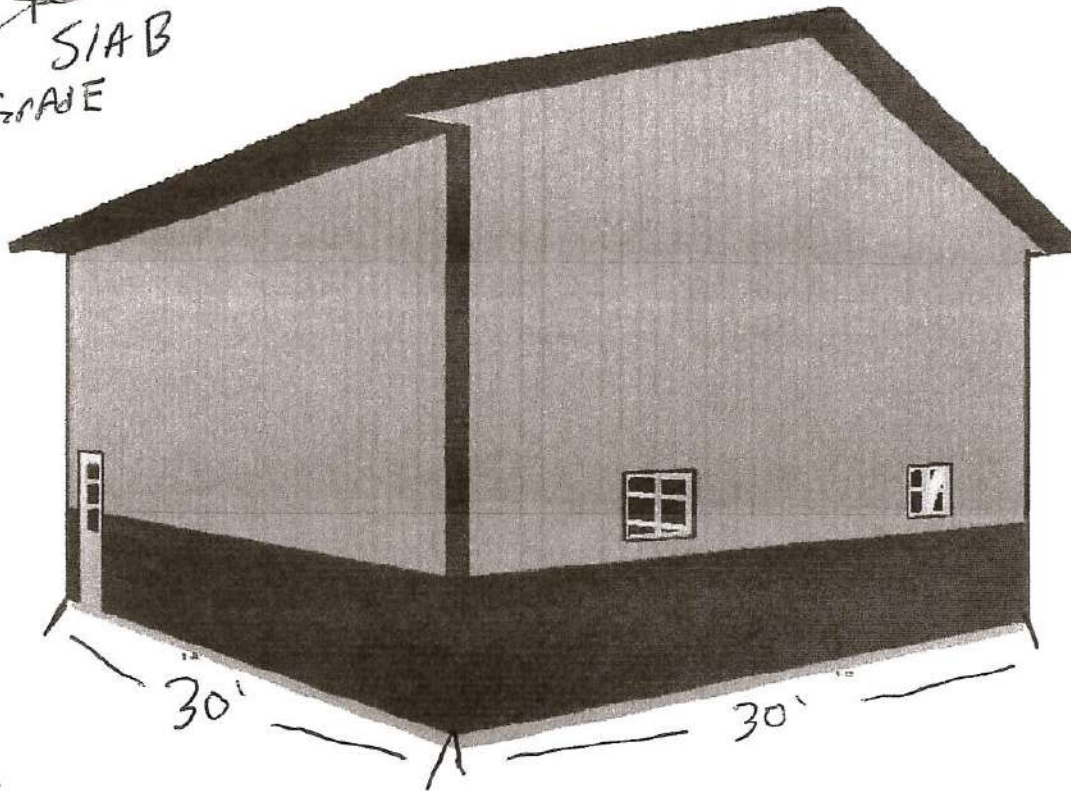
MENARDS

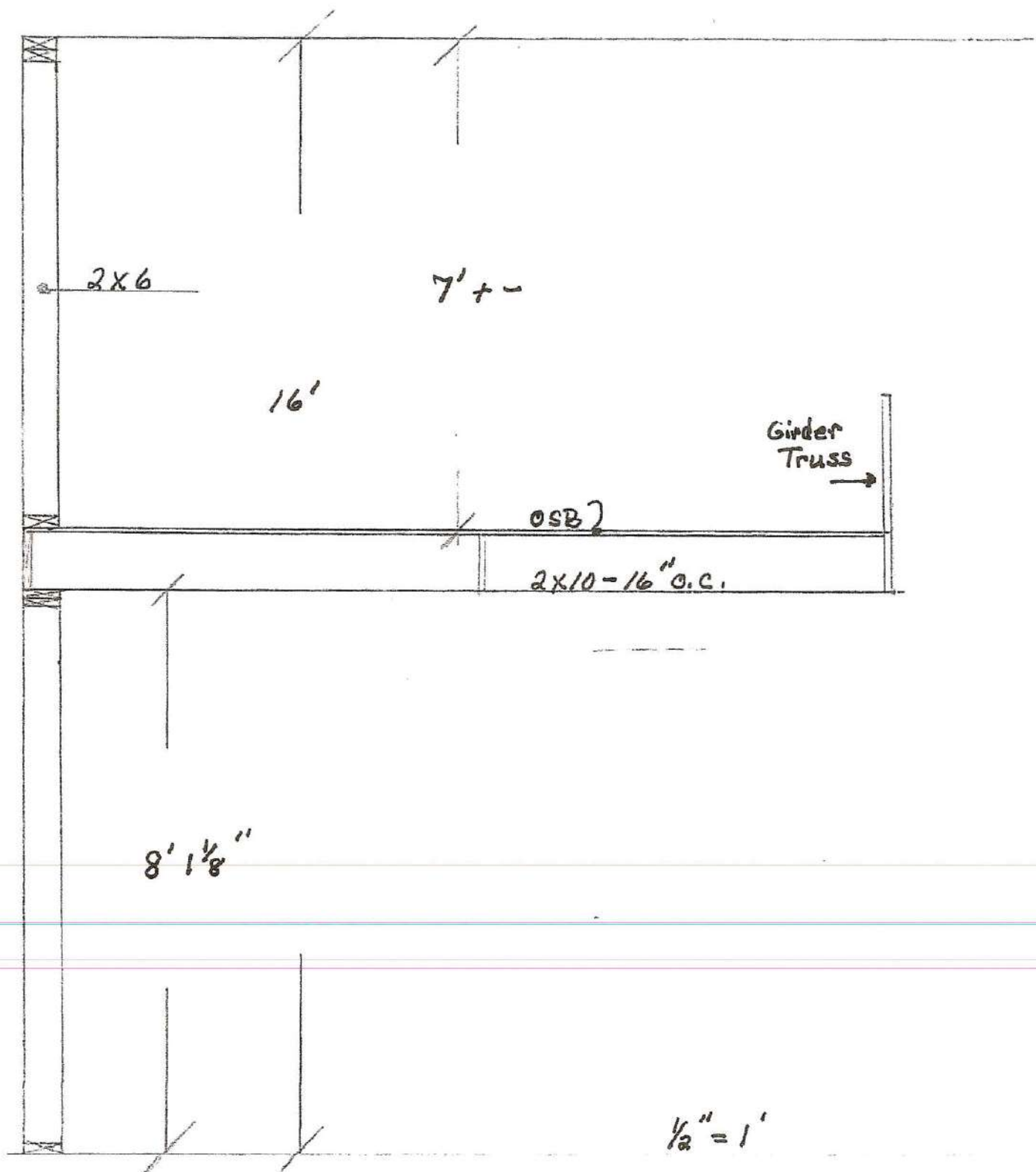
Post Frame Building Estimate

Date: Feb 13, 2024 8:18:32 AM

* Going to HAVE
5" ~~Beam~~ Beam
SIAB
GRADE

Elevation Views





30'

12'

2x10-16" o.c.

X or 2 ply girder truss

can add OSB or plywood on one side or both.

30x30 garage

$\frac{1}{4}" = 1'$

Town of Barton

GENERAL ZONING

*(to be completed for all
zoning related applications)*

Application Form

TOWN OF BARTON GENERAL ZONING APPLICATION FORM

(Required for All Zoning Related Applications)

In accordance with the Town of Barton Zoning Ordinance, applications for all zoning related matters shall be made on this form provided by the Town Clerk (or other Town Board authorized agent). In order for applications to be processed, all required information, drawings, application signatures, and fees required shall be submitted at time of application.

APPLICATION TYPE:

Please check the appropriate box below for the type of Application being submitted:

- ☐ Zoning Permit Application
- ☐ Certificate of Occupancy
- ☒ Site Plan Review Application
- ☐ Zoning Map Amendment Petition
- ☐ Zoning Text Amendment Petition
- ☐ Special Use Permit Application
- ☐ Appeal
- ☐ Variance
- ☐ Interpretation

REQUIRED INFORMATION:

Please provide the following applicable information:

1. Town of Barton Tax Key Identification Number of Property:

T2 007500A

2. Location of Property *(also, please attach legal description and/or boundary survey of property):*

Southwest of the intersection of County Highway "D" and State Highway "45".

3. Applicant/Petitioner Name: Mark Foyse

Telephone Number: 414-218-8377

Address: 1877 County Hwy A

West Bend, WI 53090

Applicant/Petitioner is *(check all that are applicable):*

Property Owner ☒

Owner's Agent ☐

Developer ☐

Other (specify) ☐ _____

4. Property Owner: N&M Properties, LLC

Telephone Number: 414-218-8377

Address: 1877 County Hwy A

West Bend, WI 53090

5. Owner's Agent: _____
Telephone Number: _____
Address: _____

6. Developer Name: _____
Telephone Number: _____
Address: _____

7. Subdivision/Development Name *(if applicable)*:

8. Zoning District Classification(s) of Property *(per Town of Barton Zoning Ordinance Designation)*:
Present: _____ Proposed: _____
9. Town of Barton Land Use Plan Land Use District Designation(s):
Present: _____ Proposed: _____
10. Present Use(s) of Property: Cropland
(also indicate SIC-Standard Industrial Classification-Code Number)
11. Proposed Use(s) of Property: Storage Condos
(also indicate SIC-Standard Industrial Classification-Code Number)
12. Area of the Property (acres/square feet): 11.9 acres / 518,310 s.f.

REQUIRED SIGNATURE(S) FOR ALL TYPES OF APPLICATIONS:

I hereby certify that all statements, forms, and attachments submitted hereto are true and correct to the best of my knowledge and belief:

Property Owner's Signature

Date

Property Owner's Signature

Date

OTHER REQUIRED APPLICABLE SIGNATURES:

I hereby certify that all statements, forms, and attachments submitted hereto are true and correct to the best of my knowledge and belief:

Applicant/Petitioner Signature

Date

Owner's Agent Signature

Date

Developer's Signature

Date

No "Town of Barton Zoning Application Form" shall be accepted by the Town of Barton until all of the required items set forth in this Application, as applicable to the type of application being made, have been provided to the Town of Barton including all applicable application fees.

*Applications shall be filed with
the Town Clerk
(or other Town Board authorized agent)*

FOR TOWN OF BARTON OFFICE USE ONLY

Date Application Filed: _____ File No: _____

ADMINISTRATIVE DEADLINES:

Date Set for:

Date:

- | | | | |
|--------------------------|--|-------|-------|
| <input type="checkbox"/> | Zoning Administrator
(as required) | _____ | _____ |
| <input type="checkbox"/> | Town Engineer
(as required) | _____ | |
| <input type="checkbox"/> | Plan Commission Review/Action
(as required) | _____ | |
| <input type="checkbox"/> | Town Board Review/Action
(as required) | _____ | |
| <input type="checkbox"/> | Zoning Board of Appeals Review/Action
(as required) | _____ | |
| <input type="checkbox"/> | Advertisement/Public Notice
(as may be required) | _____ | |
| <input type="checkbox"/> | Public Hearing
(as may be required) | _____ | |

Fees: Fee Amount \$ _____

 Amount Paid \$ _____

 Fee Receipt No. _____

HWY D & HWY 45
WEST BEND, WI 53090

LOCATION MAP:

West Bend Elevator

Puppyland Humane Society

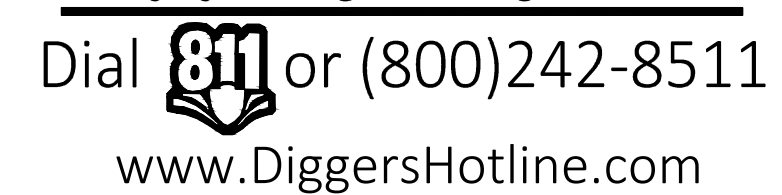
South 40th Street

WB Warehousing & Logistics - North

PROJECT LOCATION

OWNER:
N&M PROPERTIES, LLC
ATTN: MARK FOYSE
1877 COUNTY HWY A
WEST BEND, WI 53090

CIVIL:
PSE, LLC
ATTN: KEVIN PARISH
122 WISCONSIN STREET
WEST BEND, WI 53095



CIVIL SHEET INDEX:	
SHEET	SHEET TITLE
C.100	TITLE
C.101	EXISTING CONDITIONS PLAN
C1.02	PROPOSED SITE PLAN
C1.03	INTERIM GRADING & EROSION CONTROL PLAN
C1.04	EROSION CONTROL PLAN
C1.05	GRADING PLAN
C1.06	EROSION CONTROL DETAILS
C1.07	LANDSCAPE PLAN
C1.08	STAGING PLAN
C2.00	ZONING MAP

[illegible]

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parrishse.com

PROJECT TITLE:

**N&M PROPERTIES, LLC
HWY D & HWY 45
WEST BEND, WI 53090**

PLAN TITLE:

TITLE SHEET

DRAWN BY:

JAB

DESIGNED BY:

KJP

CHECKED BY:

KJP

PLAN DATE:

5-20-2024

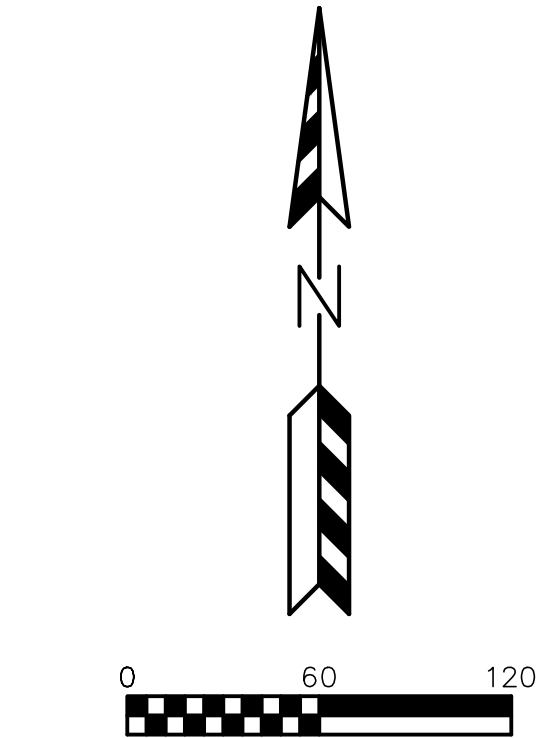
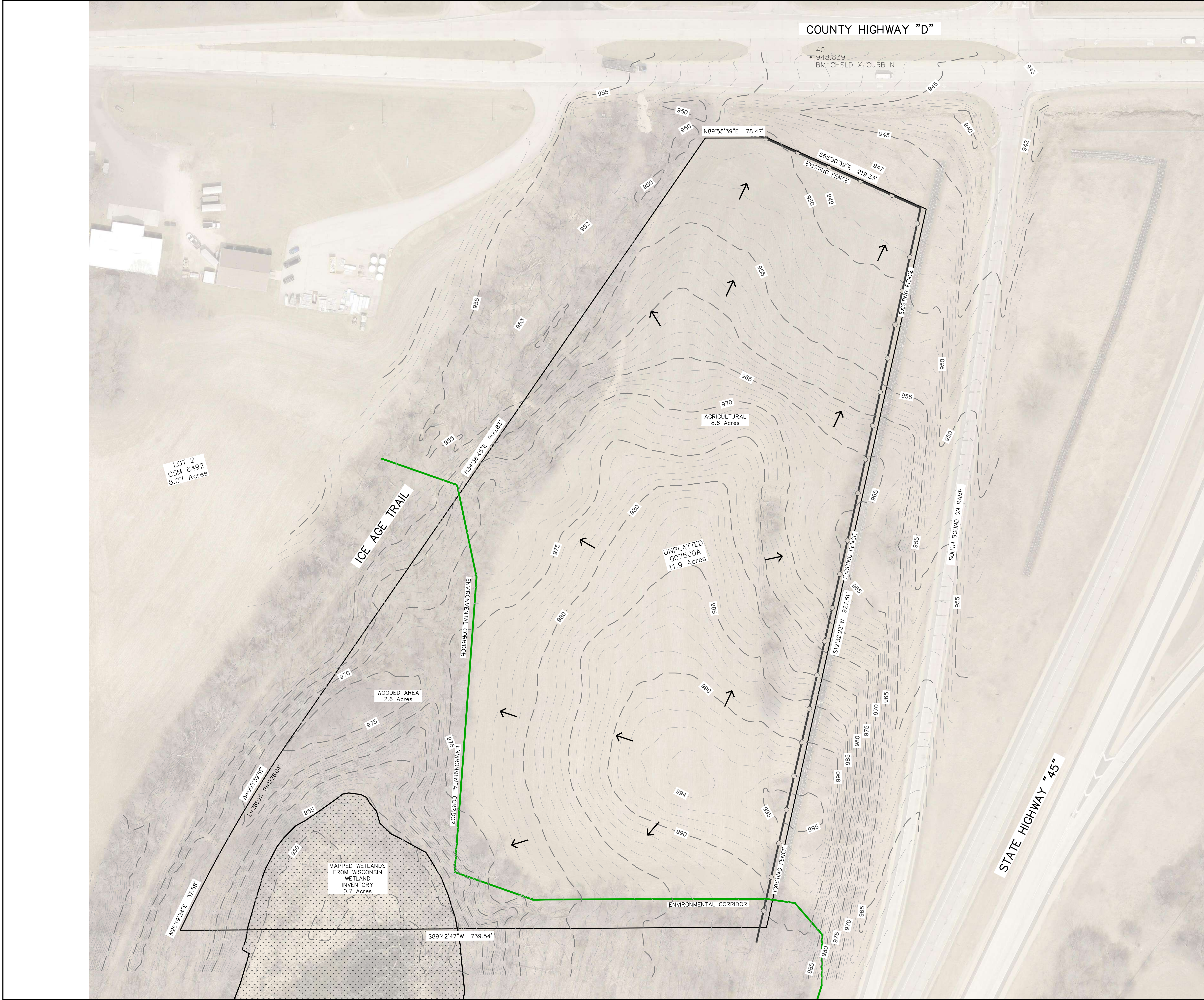
PROJECT NO:

\BM-28-23\

FINAL

SHEET NO:

C1.00



- LEGEND:**
- - - 896 - - - EXISTING MINOR CONTOUR.
 - - - 895 - - - EXISTING MAJOR CONTOUR.
 - OHEL — — OVERHEAD ELECTRIC LINE.
 - BuEl — — BURIED ELECTRIC LINE.
 - BuTel — — BURIED TELEPHONE LINE.
 - FO — — FIBER OPTIC LINE.
 - GAS — — GAS LINE.
 - SAN — — SANITARY SEWER MAIN OR LATERAL.
 - WAT — — WATER MAIN OR SERVICE.
 - ===== STORM SEWER LINE.
 - [ELEC] — ELECTRIC METER.
 - [GAS] — GAS METER.
 - [GAS VALVE] — GAS VALVE.
 - [FIRE HYDRANT] — FIRE HYDRANT.
 - [POWER POLE] — POWER POLE.
 - [SN] — SANITARY SEWER MANHOLE.
 - [ST] — STORM SEWER MANHOLE.
 - [SSEW INLET] — STORM SEWER INLET.
 - [T] — TELEPHONE PEDESTAL.
 - [TRAN] — TRANSFORMER.
 - [W VALVE] — WATER VALVE.
 - [DRAINAGE ARROW] — DRAINAGE ARROW.

- SITE NOTES:**
- THICKNESS OF TOPSOIL: 10" AVERAGE
 - TYPE OF TOPSOIL: LOAM AND SANDY LOAM
 - ELEVATION TO GROUNDWATER: SOIL SURVEY INDICATES > 6.5', BUT TOPOGRAPHY SUGGESTS GROUNDWATER SHOULD BE AT ELEVATION 955.00.
 - SURFACE WATERS: NO SURFACE WATERS BUT WETLANDS IN SOUTHWEST CORNER. NO EXCAVATION PROPOSED WITHIN 75 FEET OF WETLAND.
 - EXISTING TOPOGRAPHY SHOWN.
 - DRAINAGE PATTERN: DRAINAGE ARROWS PROVIDED.
 - WETLAND AND ENVIRONMENTAL CORRIDOR LINES ARE SHOWN. NO SHORELAND OR FLOODPLAIN PRESENT.
 - PARCEL IS PREDOMINANTLY AGRICULTURAL LAND, WITH PLANT AND WILDLIFE PRESENT WITHIN THE ENVIRONMENTAL CORRIDOR. THERE WILL BE NO DISTURBANCE WITHIN THE ENVIRONMENTAL CORRIDOR.
 - NO MAN-MADE FEATURES ON-SITE, HOWEVER COMMERCIAL BUSINESSES USES ARE ADJACENT TO SITE.
 - NO PREVIOUS NONMETALLIC MINING ACTIVITIES.
 - TOPSOIL WILL BE STOCKPILED FOR RE-USE DURING RECLAMATION.

REVISIONS:	
NO.	DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:
**N&M PROPERTIES, LLC
HWY D & HWY 45
WEST BEND, WI 53090**

PLAN TITLE:
**EXISTING
CONDITIONS
PLAN**

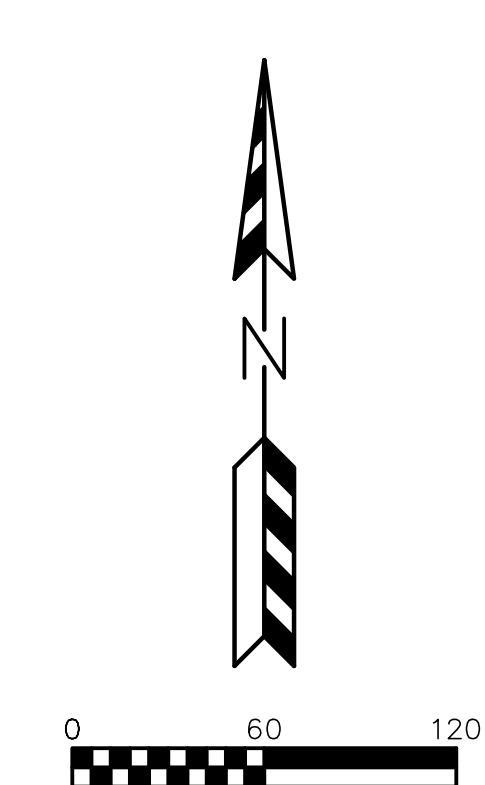
DRAWN BY:
KJP
DESIGNED BY:
KJP
CHECKED BY:
KJP

PLAN DATE:
03-14-2024

PROJECT NO:
\BM-28-23

FINAL

SHEET NO:
C1.01



JUNE 1, 2024

1. INSTALL SILT FENCE, AND TEMPORARY STONE TRACKING PAD AS SHOWN ON PLANS.

JUNE 2, 2024 - WITHIN 1, 2024

2. STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAP AND CONSTRUCT A TEMPORARY STOCKPILE, TO BE SEEDED AND SILT FENCE PLACED AROUND THE PERIMETER.
3. CONSTRUCT THE SEDIMENT TRAP, ALL GRADING SHALL DIRECT ALL RUN-OFF TO THE WET DETENTION POND THROUGHOUT THE CONSTRUCTION PROCESS.
4. STRIP REMAINING TOPSOIL WITHIN GRADING LIMITS AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "SPECIFICATIONS FOR GRADING & EROSION CONTROL" ON "CONSTRUCTION NOTES PAGE".
5. BEGIN PROPOSED SITE GRADING - RESEED SECTIONS OF PROJECT THROUGHOUT THE GRADING PROCESS TO MINIMIZE RUN-OFF.

OCTOBER 2 - 15, 2024

6. APPLY TEMPORARY STABILIZATION TO ENTIRE SITE.

STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH MDRN TECHNICAL STANDARD 1050. FROM OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.

CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENT SET FORTH BY THE FEDERAL, STATE & LOCAL PERMITS. NOTIFY TOWN OF BARTON PRIOR TO CHANGE.

AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMP'S SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE MAXIMUM EXTENT PRACTICABLE

REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMP'S.

[illegible]

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122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:

PROJECT TITLE:
**N&M PROPERTIES, LLC
HWY D & HWY 45
WEST BEND, WI 53090**

PLAN TITLE:

INTERIM GRADING & EROSION CONTROL PLAN

DRAWN BY:

KJP

DESIGNED BY:

KJP

CHECKED BY:

KJP

PLAN DATE:

03-14-2024

PROJECT NO:

PROJECT NO:
\\BM-28-23\

\ DM-28-25 \

FINAL

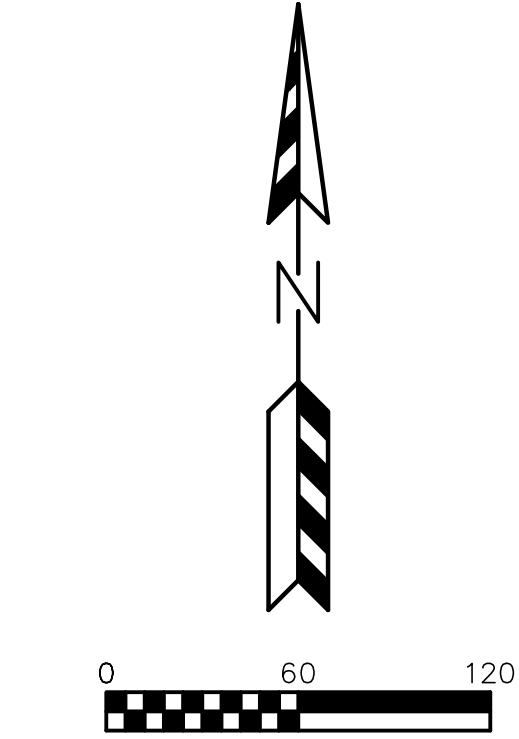
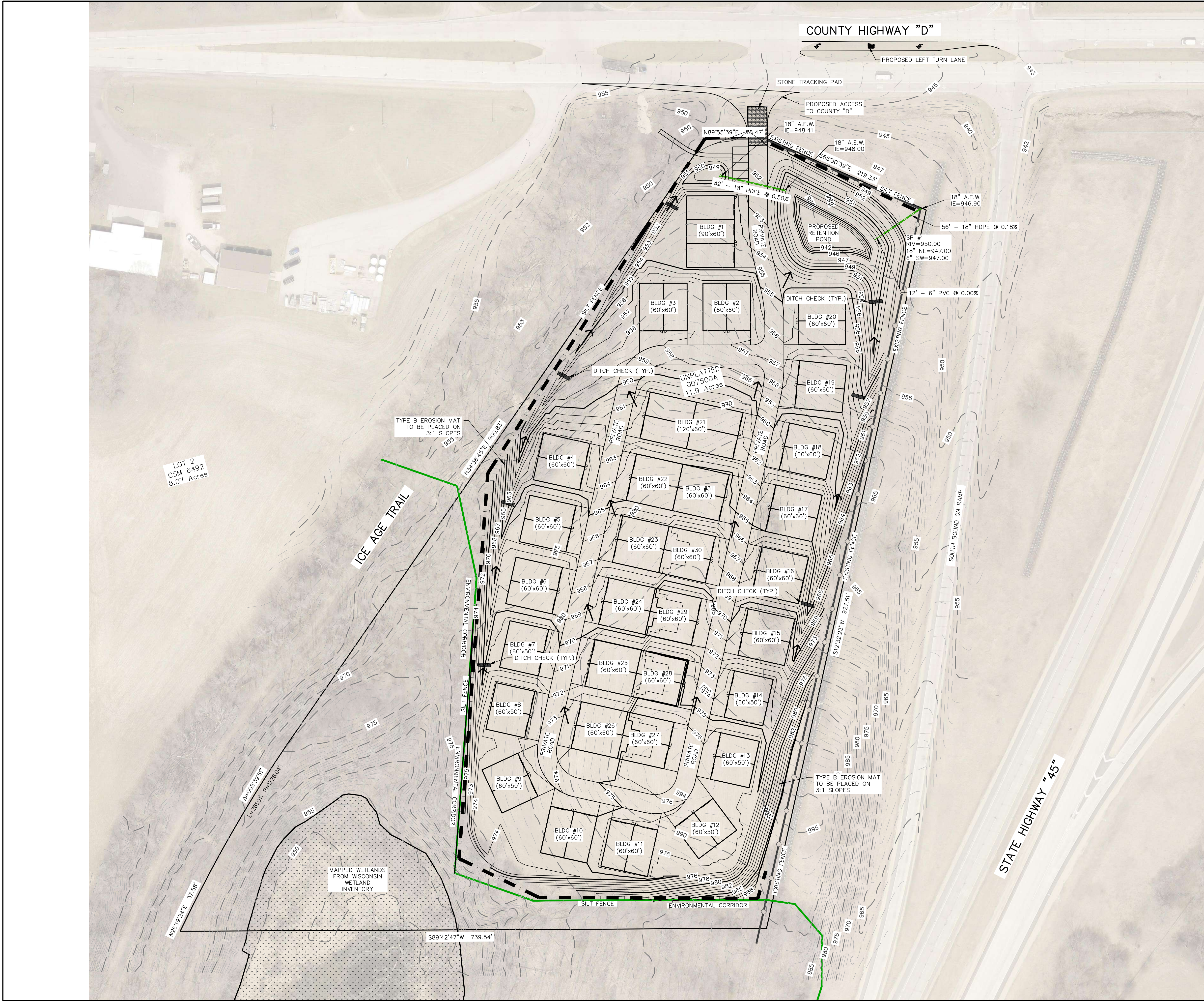
FINAL

SHEET NO:

SHEET NO.

C1 03

C1.03



- LEGEND:**
- 936 --- EXISTING MINOR CONTOUR.
 - 935 --- EXISTING MAJOR CONTOUR.
 - 936 - PROPOSED MINOR CONTOUR.
 - 935 - PROPOSED MAJOR CONTOUR.
 - PROPOSED STORM SEWER.
 - EXISTING STORM SEWER.
 - - - - - INSTALL SILT FENCE.
 - - - - - INSTALL DITCH CHECK.
 - DRAINAGE ARROW.

STAGES OF CONSTRUCTION TIME SCHEDULE:

- APRIL 1, 2024**
- INSTALL SITE SILT FENCE, AND TEMPORARY STONE TRACKING PAD AS SHOWN ON PLANS.
- APRIL 2, 2024 - OCTOBER 1, 2024**
- STRIP TOPSOIL WITHIN THE LIMITS OF THE WET DETENTION POND AND CONSTRUCT A TEMPORARY STOCKPILE, TO BE SEEDDED AND SILT FENCE PLACED AROUND THE PERIMETER.
 - CONSTRUCT THE WET DETENTION POND. ALL GRADING SHALL DIRECT ALL RUN-OFF TO THE WET DETENTION POND THROUGHOUT THE CONSTRUCTION PROCESS.
 - STRIP REMAINING TOPSOIL WITHIN GRADING LIMITS AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "SPECIFICATIONS FOR GRADING & EROSION CONTROL" ON "CONSTRUCTION NOTES PAGE".
 - BEGIN PROPOSED SITE GRADING - RESEED SECTIONS OF PROJECT THROUGHOUT THE GRADING PROCESS TO MINIMIZE RUN-OFF.
- OCTOBER 2 - 15, 2024**
- APPLY TEMPORARY STABILIZATION TO ENTIRE SITE.
- APRIL 1 - SEPTEMBER 2, 2025**
- CONSTRUCT BUILDING PADS AND BUILDINGS.
 - CONTINUE SITE GRADING.
 - INSTALL BASE COURSES, PROPOSED PAVEMENT.
- SEPTEMBER 2 - 15, 2025**
- APPLY FINAL STABILIZATION TO ENTIRE SITE.
- ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15. ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)
- STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH WDN TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.
- CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY TOWN OF BARTON PRIOR TO CHANGE.
- AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPS SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE MAXIMUM EXTENT PRACTICABLE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMPS.

REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:

**N&M PROPERTIES, LLC
HWY D & HWY 45
WEST BEND, WI 53090**

PLAN TITLE:

**EROSION
CONTROL
PLAN**

DRAWN BY:

KJP

DESIGNED BY:

KJP

CHECKED BY:

KJP

PLAN DATE:

03-14-2024

PROJECT NO:

\BM-28-23

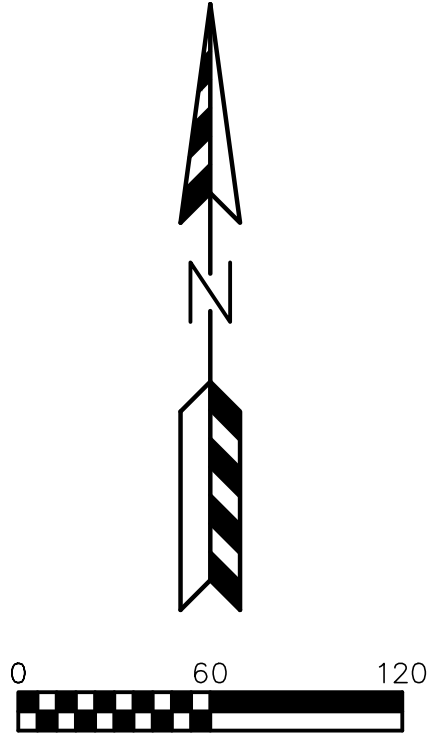
FINAL

SHEET NO:

C1.04



- LEGEND:
- 936 --- EXISTING MINOR CONTOUR.
 - 935 --- EXISTING MAJOR CONTOUR.
 - 936 --- PROPOSED MINOR CONTOUR.
 - 935 --- PROPOSED MAJOR CONTOUR.
 - EX 934.23 - EXISTING SPOT ELEVATION.
 - 934.23 - PROPOSED SPOT ELEVATION.
 - TW 934.23 - PROPOSED TOP OF WALL ELEVATION.
 - BW 934.23 - PROPOSED BOTTOM OF WALL ELEVATION.
 - PROPOSED STORM SEWER.
 - EXISTING STORM SEWER.



REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

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PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:
**N&M PROPERTIES, LLC
HWY D & HWY 45
WEST BEND, WI 53090**

PLAN TITLE:
**GRADING
PLAN**

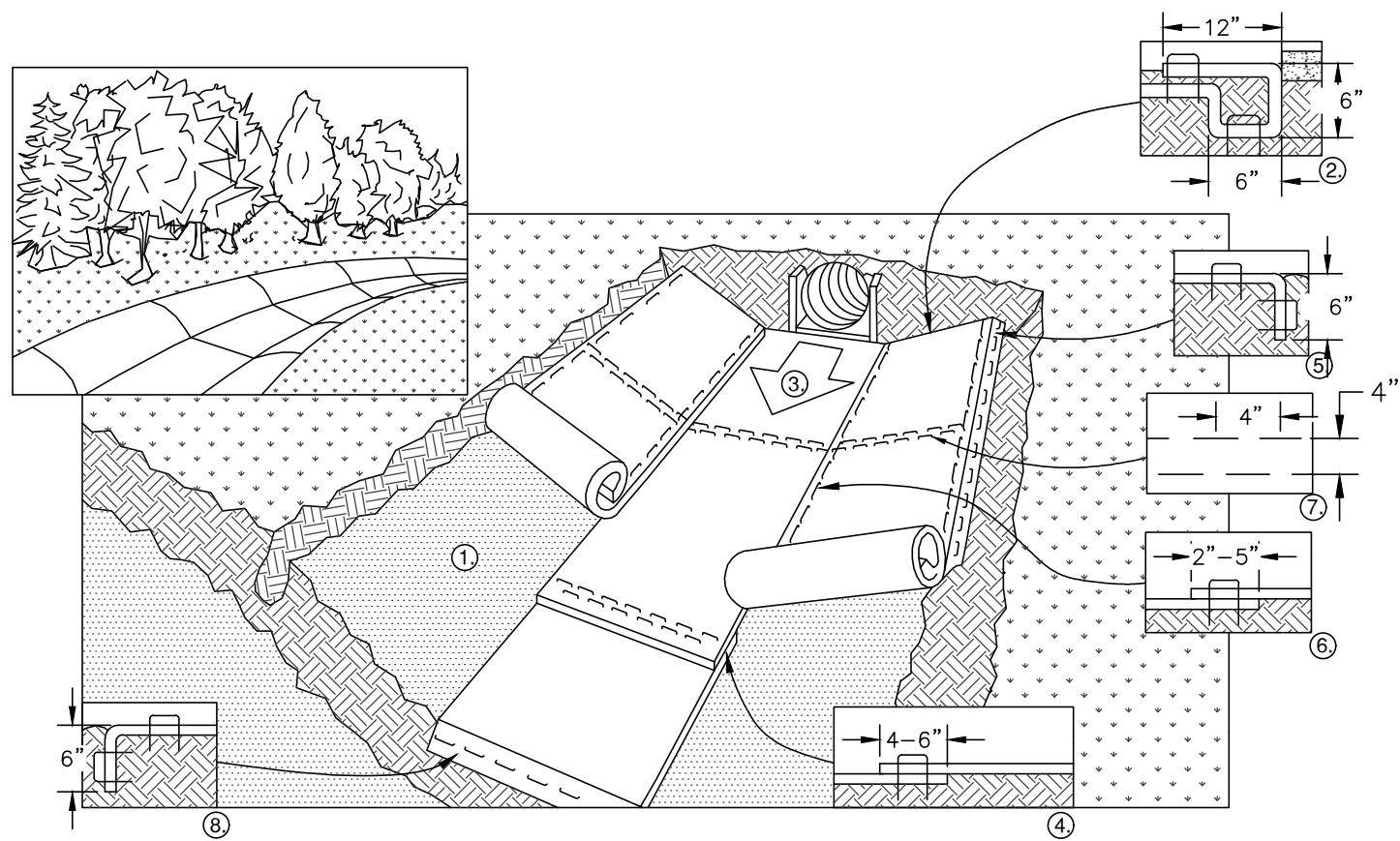
DRAWN BY:
KJP
DESIGNED BY:
KJP
CHECKED BY:
KJP

PLAN DATE:
03-14-2024

PROJECT NO:
\BM-28-23

FINAL

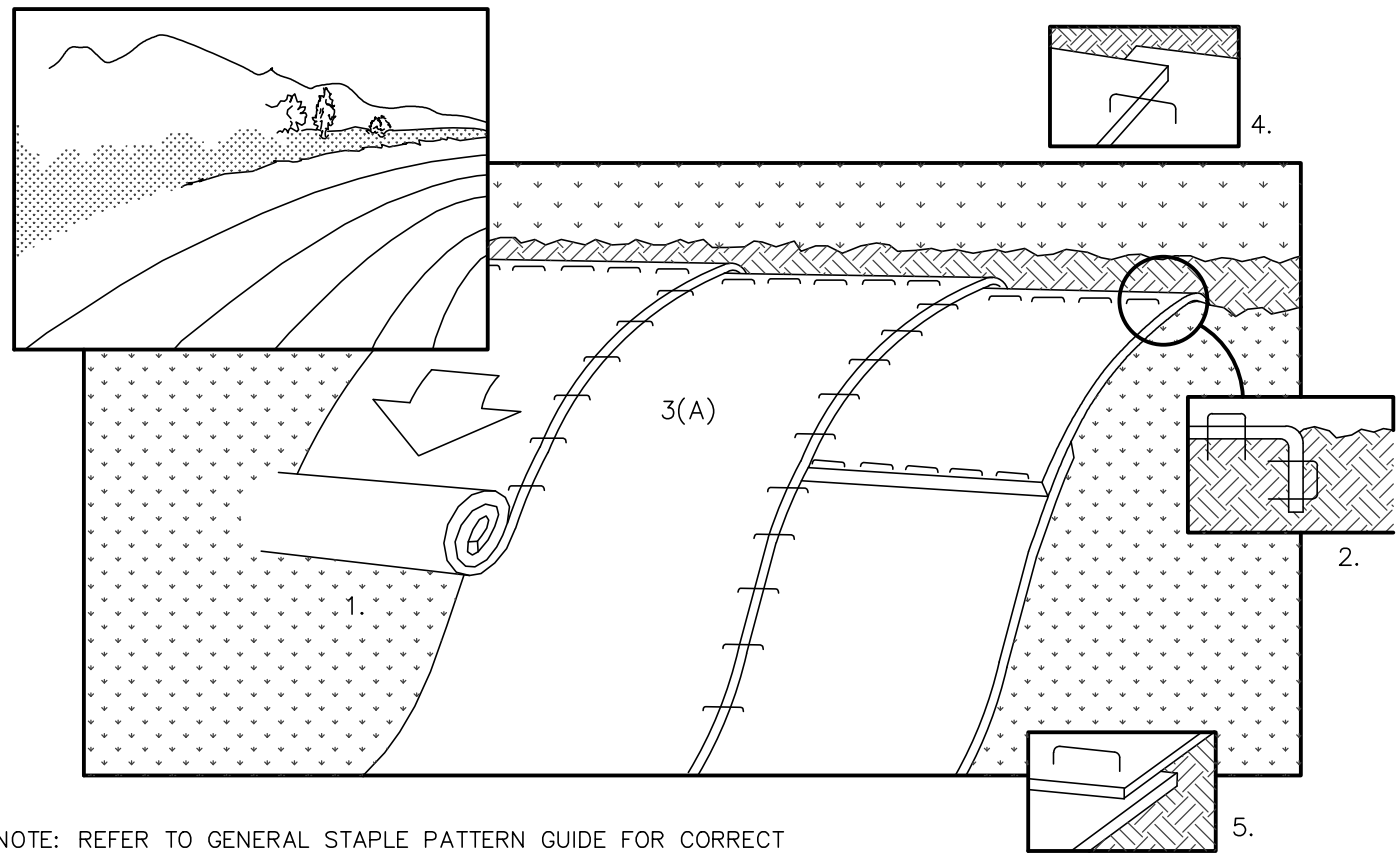
SHEET NO:
C1.05



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 4" AND STAPLED.
7. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE: ALL STAPLES MUST BE 6" OR GREATER IN LENGTH

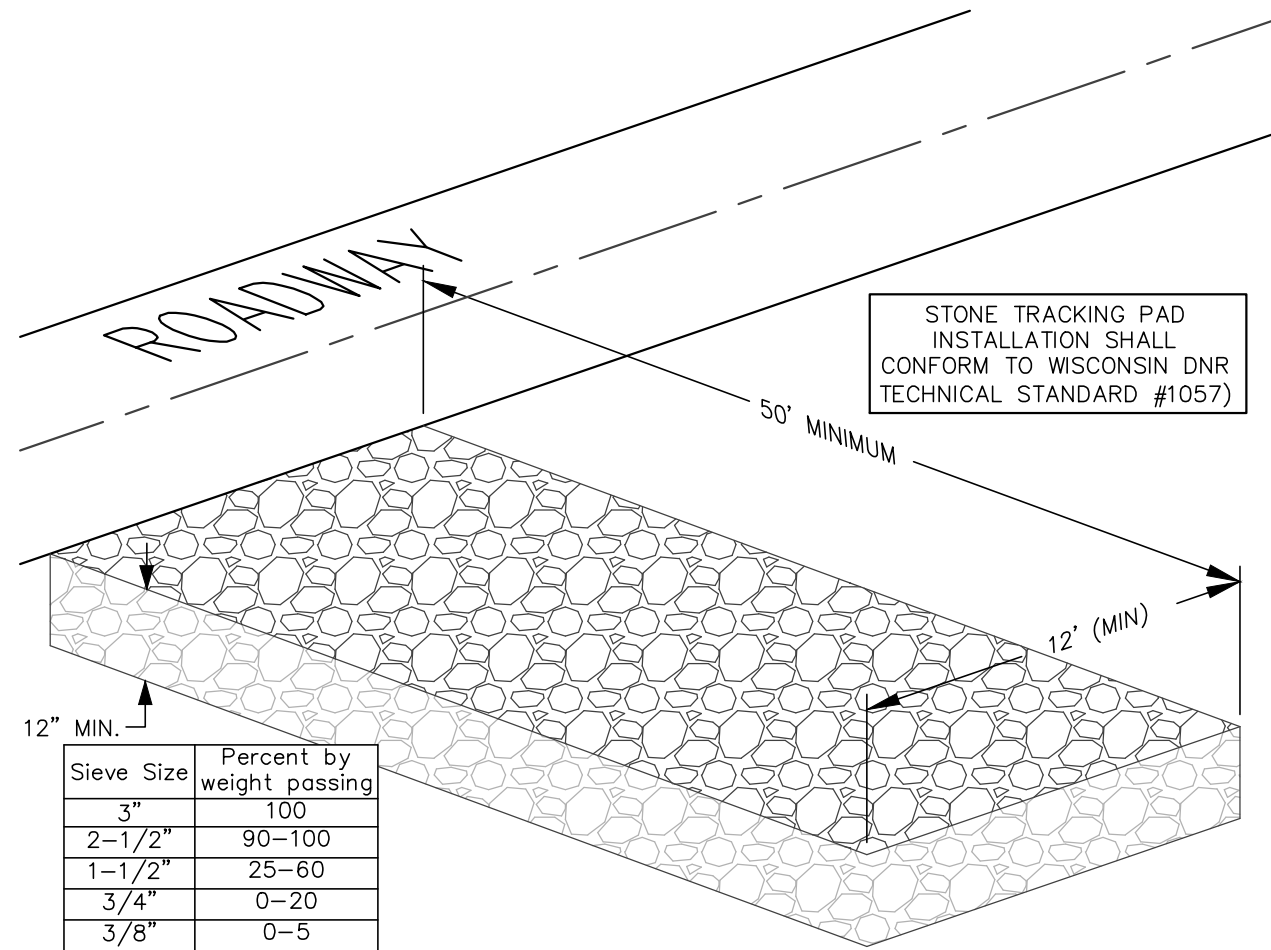
EROSION CONTROL MAT – CHANNEL INSTALLATION



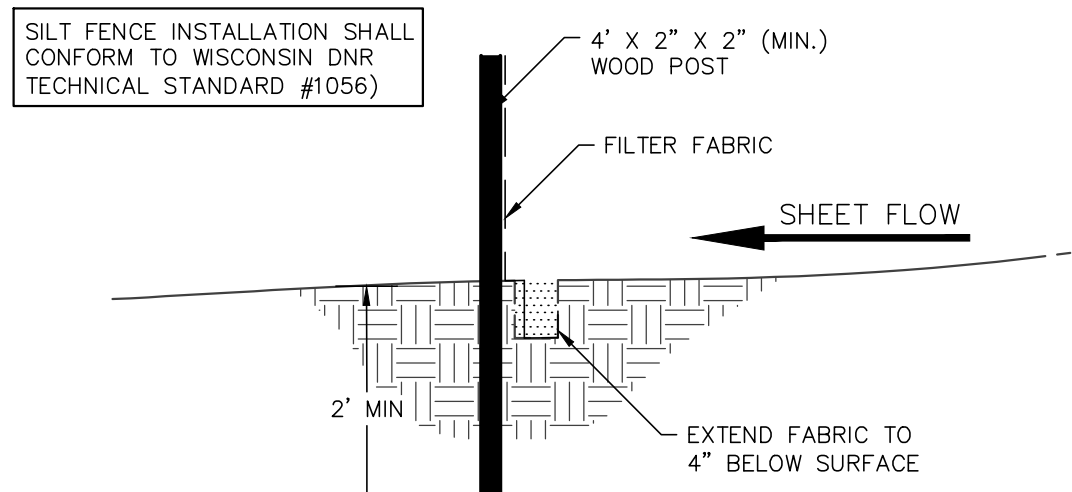
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

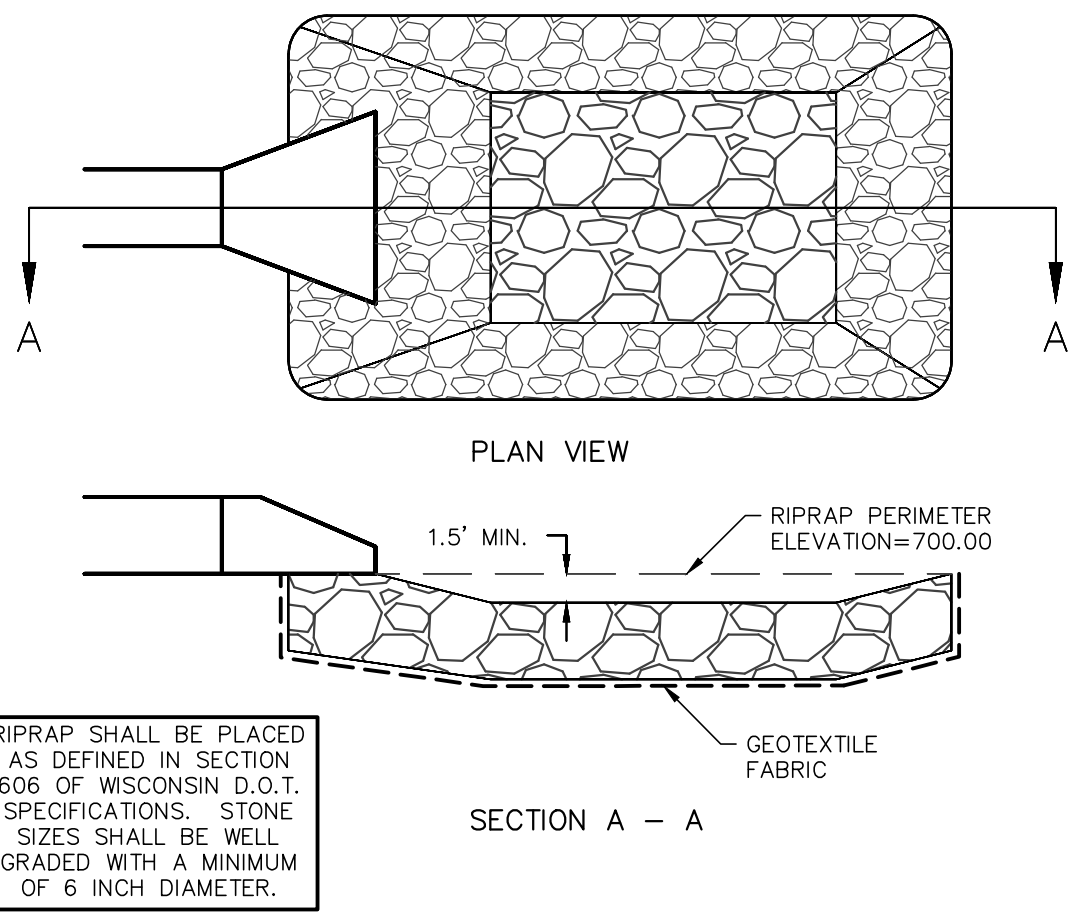
EROSION CONTROL MAT – SLOPE INSTALLATION



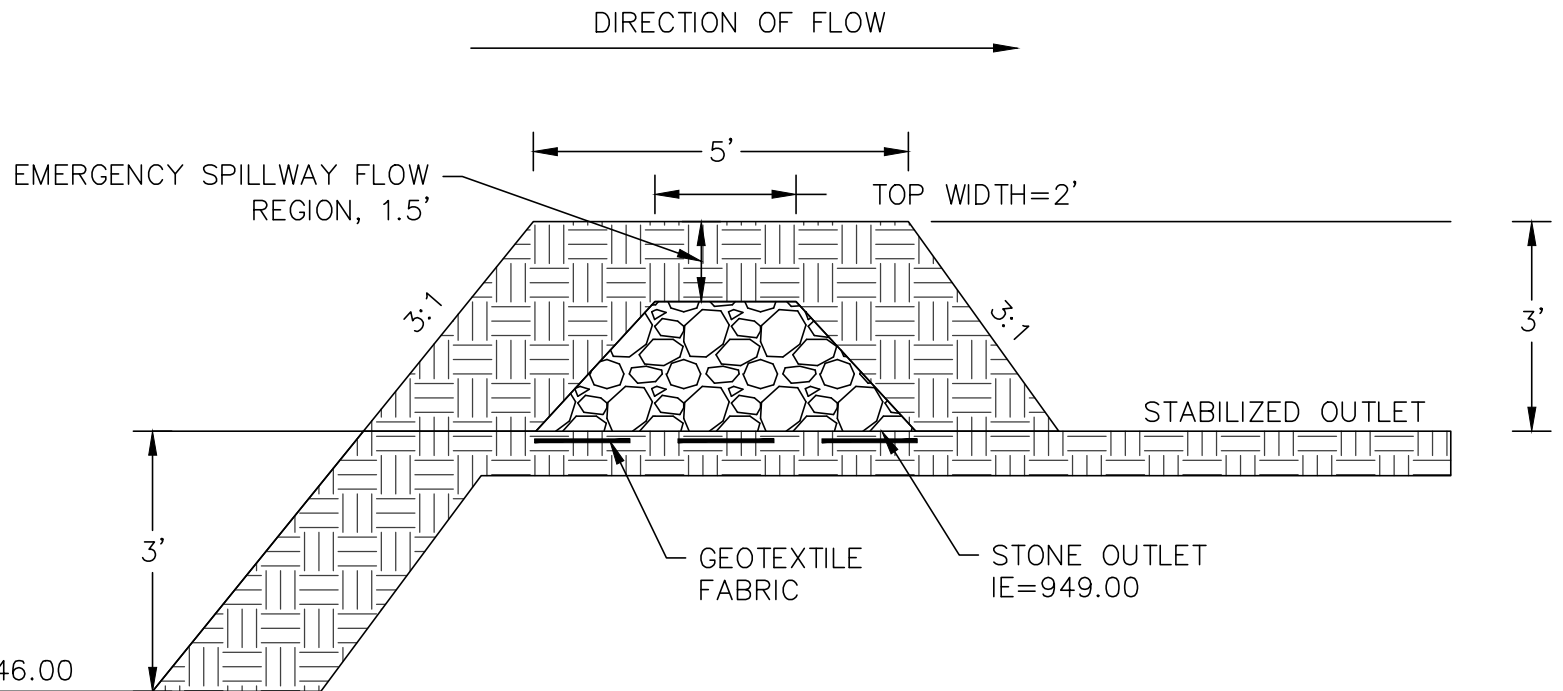
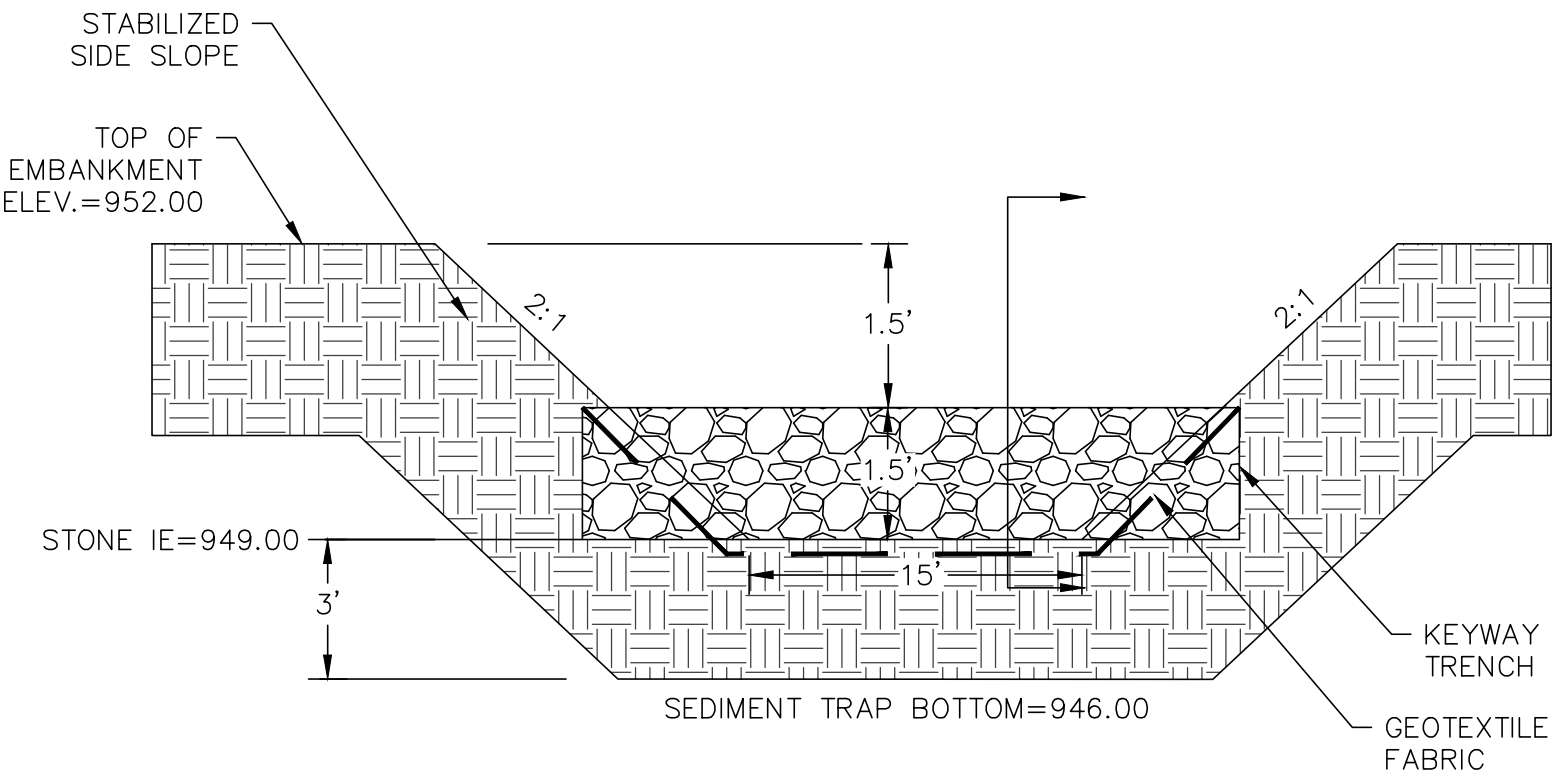
STONE TRACKING PAD DETAIL



SILT FENCE CONSTRUCTION (SHEET FLOW)



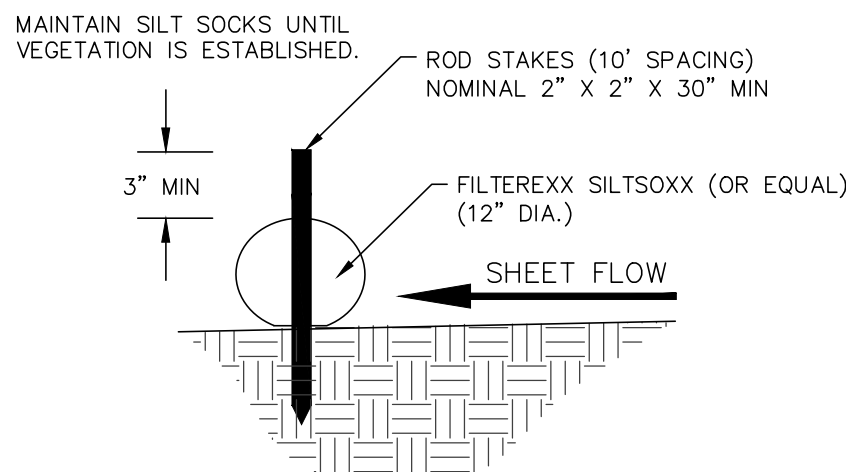
RIPRAP/STILLING BASIN DETAIL



STONE SIZE – STONE SIZE SHALL CONSIST OF ANGULAR WELL GRADED 3 TO 6 INCH CLEAR WASHED STONE.

KEYWAY TRENCH – THE STONE OUTLET SHALL BE PROTECTED FROM UNDERCUTTING BY EXCAVATING A KEYWAY TRENCH ACROSS THE STONE FOUNDATION AND UP THE SIDES TO THE HEIGHT OF THE OUTLET. SEE FIGURE. UNDERLYING WITH GEOTEXTILE FABRIC IS OPTIONAL.

SEDIMENT TRAP DETAIL



DITCH CHECK DETAIL

REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXX

PSE
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122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:

**N&M PROPERTIES, LLC
HWY D & HWY 45
WEST BEND, WI 53090**

PLAN TITLE:

**EROSION
CONTROL
DETAILS**

DRAWN BY:

KJP

DESIGNED BY:

KJP

CHECKED BY:

KJP

PLAN DATE:

03-14-2024

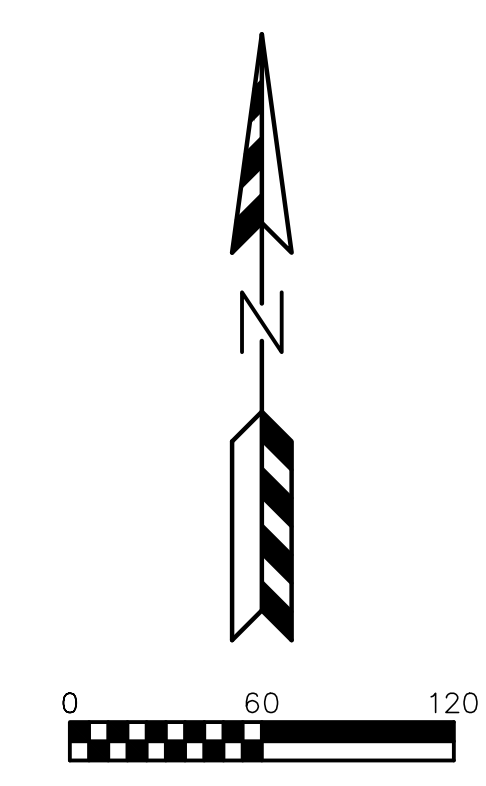
PROJECT NO:

\BM-28-23

FINAL

SHEET NO:

C1.06



<u>PLANT LIST</u>				
KEY	QTY	SIZE	COMMON NAME	ROOT
	(11)		<u>EVERGREEN TREES</u>	
CB5	3	4'	COLORADO BLUE SPRUCE	BB
BH5	6	4'	BLACK HILLS SPRUCE	BB
	(64)		<u>DECIDUOUS SHRUBS</u>	
DK	64	18"	KODIAK ORANGE DIERVILLA	POT
	(128)		<u>PERENNIALS</u>	
SA	128	1 G	AUTUMN JOY SEDUM	CON

- NOTES:
- 1) DESIGNATED LAWN AREAS TO RECEIVE A MINIMUM OF 4" OF TOPSOIL, STARTER FERTILIZER, AND LOCALLY GROWN BLUEGRASS SOD.
 - 2) INDIVIDUAL TREES AND SHRUB GROUPINGS IN LAWN AREAS TO RECEIVE SHREDDED HARDWOOD BARK MULCH PLANT RINGS (4" DIAMETER) SPREAD TO A DEPTH OF 3"
 - 3) OWNER WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE AFTER COMPLETION AND ACCEPTANCE OF THE PROJECT.

[illegible]

PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:
**N&M PROPERTIES, LLC
HWY D & HWY 45
WEST BEND, WI 53090**

PLAN TITLE:

**LANDSCAPE
PLAN**

DRAWN BY:
JAB

DESIGNED BY:
KJP

CHECKED BY:
KJP

PLAN DATE:
04-08-2024

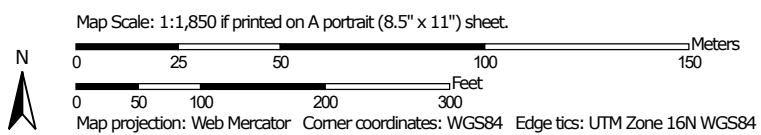
PROJECT NO:
 \BM-28-23\

FINAL

SHEET NO:


C1.07

Hydrologic Soil Group—Washington County, Wisconsin



MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points




 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Washington County, Wisconsin
 Survey Area Data: Version 23, Sep 8, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 4, 2022—Sep 13, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
BsA	Brookston silt loam, 0 to 2 percent slopes	C/D	0.0	0.1%
CcB2	Casco sandy loam, 2 to 6 percent slopes, eroded	B	0.3	2.6%
CkC2	Casco-Fox loams, 6 to 12 percent slopes, eroded	B	3.7	36.7%
CrD2	Casco-Rodman complex, 12 to 20 percent slopes, eroded	B	5.1	51.2%
FsB	Fox silt loam, 2 to 6 percent slopes	B	0.3	3.2%
JuA	Juneau silt loam, 1 to 3 percent slopes	B/D	0.6	6.2%
Totals for Area of Interest			10.0	100.0%

Project Narrative for Business Condos

May 2024

N&M Properties, LLC is proposing to construct thirty-one (31) business condos for various uses at the following property located in the Town of Barton:

- Subject property:
 - Address: HWY D and HWY 45, West Bend, WI
 - Parcel Number: T2 007500A
 - Size: Approximately 11.9 acres
 - Current Owner: N&M Properties, LLC

Market Demand for Business Condo Units

N&M Properties, LLC market research indicates pent up demand for business condo buildings in the West Bend area.

These units generate very little traffic and include low intensity activities/uses.

For the business condo units, our primary target is contractors, small businesses and general storage. We understand that not all the units will be sold to contractors/small businesses. We envision most units will be used by:

- Electrical contractors
- Plumbing contractors
- HVAC contractors
- Acoustical ceiling contractors
- Floor coating contractors
- Property manager warehouse
- Commercial artist
- Cleaning business
- Remodeling contractors
- Security system contractor
- Workshops
- Flooring installation contractor
- Online marketing/advertising studio-shop
- Commercial artist
- Hobbyist

Development Overview

- 31 commercial buildings fronting on County HWY D (3,000 sq.ft. up to 7,200 sq.ft.).
- The master site grading will take place in 3 phases.
 - Phase 1 – Central third of site
 - Phase 2 – North third of site
 - Phase 3 – South third of site

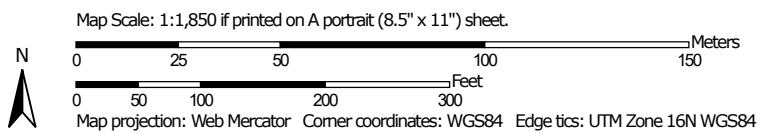
The business condos will be constructed as soon as the grading allows. These business condos are shown in sizes ranging from 60'x50' and 120'x60'. Depending on market demand, some of the business condos may be reduced in size.

- Maximum number of condo units would be thirty-one (31)
- Each business condo will have parking for two (2) vehicles
- Garage lighting will be provided

Hydrologic Soil Group—Washington County, Wisconsin



Soil Map may not be valid at this scale.




**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

12/20/2023
Page 1 of 4

MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines

 A
 A/D
 B
 B/D
 C
 C/D
 D
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Soil Rating Points




 A
 A/D
 B
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Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
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Background

 Aerial Photography

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Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

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Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
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Totals for Area of Interest			10.0	100.0%

ZONING

500 Attachment 3

Town of Barton

Table 3 Worksheets

**Table 3A
Worksheet for the Calculation of Base Site Area
for Both Residential and Nonresidential Development**

Step 1:	Indicate the total gross site area (in acres) as determined by an actual on-site boundary survey of the property.	<u>11.9</u> acres
Step 2:	Subtract (–) land which constitutes any existing dedicated public street rights-of-way, land located within the ultimate road rights-of-way of existing roads, and the rights-of-way of major utilities.	– <u>0.0</u> acres
Step 3:	Subtract (–) land required to be dedicated for public parks under the requirements of Chapter 340, Land Division, as amended, or other Town ordinance.	– <u>0.0</u> acres
Step 4:	Subtract (–) land which, as a part of a previously approved development or land division, was reserved for open space.	– <u>0.0</u> acres
Step 5:	In the case of site intensity and capacity calculations for a proposed residential use, subtract (–) the land proposed for nonresidential uses; or, in the case of site intensity and capacity calculations for a proposed nonresidential use, subtract (–) the land proposed for residential uses.	– <u>0.0</u> acres
Step 6:	Equals base site area.	= <u>11.9</u> acres

BARTON CODE

Table 3B
Worksheet for the Calculation of Resource Protection Land

Natural Resource Feature	Protection Standard Based Upon Zoning District Type (circle applicable standard from Table 500-109 for the type of zoning district in which the parcel is located)			Acres of Land in Resource Features	Acres of Land in Resource Feature to be Protected
	Agricultural Districts	Residential Districts	Nonresidential Districts		
Steep slopes:					
10% to 19%	0.00	0.60	0.40	X <u>1.12</u> =	<u>0.448</u>
20% to 30%	0.65	0.75	0.70	X <u>0.00</u> =	<u> </u>
+ 30%	0.90	0.85	0.80	X <u>0.00</u> =	<u> </u>
Woodlands and forests (a):					
Mature	0.70	0.70	0.70	X <u>0.57</u> =	<u>0.399</u>
Young	0.50	0.50	0.50	X <u>1.27</u> =	<u>0.635</u>
Lakes and ponds	1.00	1.00	1.00	X <u>0.00</u> =	<u> </u>
Streams	1.00	1.00	1.00	X <u>0.00</u> =	<u> </u>
Shore buffer (a)	1.00	1.00	1.00	X <u>0.00</u> =	<u> </u>
Floodplains/floodways/ floodlands (b)	1.00	1.00	1.00	X <u>0.00</u> =	<u> </u>
Drainageways	0.30	0.30	0.30	X <u>0.00</u> =	<u> </u>
Wetlands and shoreland wetlands (a)	1.00	1.00	1.00	X <u>0.70</u> =	<u>0.700</u>
Total resource protection land (total acres of land in resource feature to be protected)					<u>2.182</u>

NOTES:

- (a) As regulated by Chapter 23, Shoreland, Wetland and Floodplain Zoning, of the Washington County Code, as amended.
- (b) As regulated by Chapter 23, Shoreland, Wetland and Floodplain Zoning, of the Washington County Code, as amended.

Note: In conducting the calculations in this table, if two or more natural resource features are present on the same area of land, only the most restrictive resource protection standard shall be used. For example, if floodplain and young woodlands occupy the same space on a parcel of land, the resource protection standard would be 1.00, which represents the higher of the two standards.

BARTON CODE

Table 3D
Worksheet for the Calculation of Site Intensity
and Capacity for Nonresidential Development

Step 1:	<p>Calculate minimum required landscape surface:</p> <p>Take base site area (from Step 6 in Table 3A): <u>11.9</u></p> <p>Multiply by minimum landscape surface ratio (LSR) (see specific zoning district LSR standard): X <u>0.40</u></p> <p>Equals minimum required on-site landscape surface = <u>4.76</u> acres</p>	
Step 2:	<p>Calculate net buildable site area:</p> <p>Take base site area (from Step 6 in Table 3A): <u>11.9</u></p> <p>Subtract total resource protection land (from Table 3B) or minimum required landscape surface (from Step 1 above), whichever is greater: - <u>4.76</u></p> <p>Equals net buildable site area = <u>7.14</u> acres</p>	
Step 3:	<p>Calculate maximum net floor area yield of site:</p> <p>Take net buildable site area (from Step 2 above): <u>7.14</u></p> <p>Multiply by maximum net floor area ratio (NFAR) (see specific nonresidential zoning district NFAR standard): X <u>0.85</u></p> <p>Equals maximum net floor area yield of site = <u>6.07</u> acres</p>	
Step 4:	<p>Calculate maximum gross floor area yield of site:</p> <p>Take base site area (from Step 6 of Table 3A): <u>11.9</u></p> <p>Multiply by maximum gross floor area ratio (GFAR) (see specific nonresidential zoning district GFAR standard): X <u>0.42</u></p> <p>Equals maximum gross floor area yield of site = <u>5.00</u> acres</p>	
Step 5:	<p>Determine maximum permitted floor area of site:</p> <p>Take the lowest of maximum net floor area yield of site (from Step 3 above) or maximum gross floor area yield of site (from Step 4 above): (Multiply results by 43,560 for maximum floor area in square feet):</p>	<p><u>5.00</u> acres (<u>217,800</u> square feet)</p>

ZONING

500 Attachment 3

Town of Barton

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BARTON CODE

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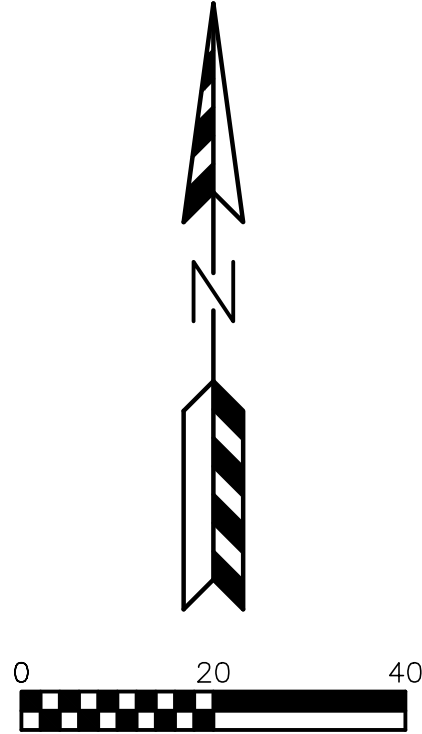
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BARTON CODE

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REVISIONS:	
NO.	DATE DESCRIPTION
1	XX-XX-XX XXXXXXXXXXXXXXXXXXXX

PSE
PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:
**MURIEL LANE DUPLEXES
MURIEL LANE
WEST BEND, WI 53095**

PLAN TITLE:
**CONCEPT
PLAN**

DRAWN BY:
KJP
DESIGNED BY:
KJP
CHECKED BY:
KJP

PLAN DATE:
5/30/2024

PROJECT NO:
\TZ-30-20

PRELIMINARY

SHEET NO:
C1.00

[illegible]

PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800 www.parishse.com

PROJECT TITLE:

**LIGHTHOUSE LANE DEVELOPMENT
TOWN OF BARTON**

PLAN TITLE:

**CONCEPT
PLAN**

DRAWN BY:
KJP

DESIGNED BY:
KJP

CHECKED BY:
KJP

PLAN DATE:
5/30/2024

PROJECT NO:
\\ZI-04-21\\

CONCEPT

SHEET NO:

C1.00