



Village Hall, 262-567-2757
Fax, 262-567-4115
Highway Dept., 262-567-2422
Police Dept., 262-567-1134
Building Inspector, 262-490-4141
www.villageofsummitwi.gov

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

AGENDA

Village of Summit Plan Commission Thursday, July 16, 2026, 5:30 p.m.

At the Summit Village Hall, 37100 Delafield Road

1. CALL TO ORDER
2. ROLL CALL AND CONFIRM POSTING
3. PLEDGE OF ALLEGIANCE
4. MINUTES
 - June 18, 2026
5. Next meeting date – proposed for Thursday, August 20, 2026, at 5:30 p.m.
6. **PUBLIC HEARING:** to receive comments on a proposed request by Kent Brooks, property owner, for a Special Exception to allow remodeling, repair, and a vertical expansion to an existing detached garage located within the front/street setback. The detached garage is located within the road right-of-way of Venice Beach Road. The property is located at 34306 Venice Beach Road (SUMT0669036). *This matter will be postponed to the August 20, 2026 Plan Commission meeting. The public hearing notice did not reference a required special exception from offset.*
7. **REGULAR BUSINESS:**
 - A. Discussion and action on request of Andy Fieber, on behalf of Nemahbin Lake Holdings, LLC, to amend the Business Plan of Operation to accommodate operational changes and a change in operation name from Panga Bar & Grill and Panga Rentals to Highwater Bar & Grill and Highwater Rentals and to update signage, at property located at 34422 Delafield Road (SUMT0669017).
 - B. Discussion and provide feedback on Draft Design Guidelines for The Harvest at Pabst Farms Development proposed by Cobalt Partners, LLC on behalf of Pabst Farms Land Co C LLC and Pabst Farms Land Co R LLC, property owners of land in the Pabst Farms Development identified as SUMT0629998011 & SUMT0629998012.
9. **ADJOURN** Plan Commission meeting

Respectfully submitted,

Amy Barrows
Village Planner

Next meeting date: August 20, 2026

Posted: July 10, 2026

***** Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service contact the Village Hall at 567-2757.

***** It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any other governmental body except by the Village of Summit Plan Commission noticed above.



VILLAGE OF SUMMIT PLAN COMMISSION ZONING REPORT

TO: Village of Summit Plan Commission

FROM: Amy Barrows, Village Planner
Planning & Zoning LLC

MEETING DATE: **July 16, 2026**
June 18, 2026

RE: **Business Plan of Operation Amendment – Business Name & Operational Changes Signage**
34422 Delafield Road (SUMT0669017)

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet.

Property Owner: Nemahbin Lake Holdings LLC
Applicant: Andy Fieber
Zoning: NC Neighborhood Commercial, Floodplain Overlay
Land Use Plan: Mixed Use Commercial

BPO: Possible Motion: *Motion to approve the proposed Business Plan of Operation Amendment subject to the list of conditions provided at the end of this staff report.*

Plan Commission shall determine the number of recreational equipment racks and equipment allowed and conditions related to music.

Signage: Possible Motion: *Motion to approve the signage subject to window signage complying with Section 23-4.(4) of the Village of Summit Code of Ordinances.*

Summary:

The 0.67-acre subject property is located on Delafield Road with frontage on Upper Nemahbin Lake. The property is directly east of the channel that connects Upper and Lower Nemahbin Lakes. The property consists of a significant amount of floodplain, including floodway. The property to the east is owned by the Upper Nemahbin Lake Management District for lake access. The properties east of the lake management district property are used and zoned for residential purposes. The adjacent property west of the channel is also used and zoned for residential purposes.

The property historically had a main building used as a gathering place, restaurant and tavern and an accessory building. In 2015, the use expanded to include a grill and outdoor seating and the accessory building was used for retail sales and to store equipment for paddleboard and kayak rentals. The accessory building was recently removed from the property.

Proposal:

The applicant would like to continue operating the restaurant and tavern as “Highwater Bar & Grill” and operate the paddleboard and kayak rental business as “Highwater Rentals”. The rental sales would take place outside of the main building.

Below is a list of approved and existing buildings and uses based on the most recent Business Plan of Operation. Proposed changes are shown in red ink, which include changes approved at the February Plan Commission meeting regarding parking.

This request was posted as part of the June Plan Commission agenda. Plan Commission tabled action because the applicant was not present at the meeting. The applicant made modifications to their original application so the July packet should be used for review.

Buildings/Uses:

- Restaurant/tavern serving food and beverages, including alcohol. ~~There is also a self-service and pickup window. The window area is used for ordering menu items online and picking them up at the window.~~
 - 1,930 sq. ft. 1-story building
- ~~Retail/storage building, including the sale of snacks and bait, and lockers and changing rooms~~
 - ~~965 sq. ft. 1-story building. This building has been removed from the property.~~
- Outdoor space used for outdoor seating, dining, and the rental of recreational equipment.
- The applicant has obtained a liquor license.
- ~~The applicant has indicated that they would like to modify the rental of aquatic equipment from two outdoor racks with 8 units of recreational equipment each (16 total) to three outdoor racks with a total of 16 units between all three racks.~~

Site Plan: The current site plan is in the property file with a date of March 18, 2016. The site plan includes parking counts, pier locations, parking layout, building locations, floodplain boundary, and outdoor spaces. ~~The applicant has submitted a revised Site Plan to pave the existing parking lot, which was approved by Plan Commission on February 26, 2026, but has not been implemented. A copy of the approved site plan is included in the packet.~~

Number of Employees: Up to 25 employees with a mix of full-time and part-time employees

Hours of Operation: Monday-Thursday 11 am – 2:30 am, Friday-Saturday 11 am – 2:30 am, Sunday 11 am – 2:30 am. ~~Rental in outbuilding and~~ Equipment rental has limited hours of 6 am – 9 pm.

Signage: There is one existing free-standing illuminated pole sign located in the southeast corner of the building advertising the name of the operation. ~~The applicant has replaced the face of the existing pole sign with a sign face that advertises the new business name. There was previously another free-standing illuminated pole sign adjacent to the accessory building advertising 7 Up. The sign has been removed.~~

~~The previous approvals for the property do not mention any window signage. The applicant has recently installed significant window signage that is illustrated in pictures that are included in the meeting packet. Section 23-4(4) states that window signs shall not cover more than 1/3 of any window area. Window signs,~~

except for painted signs and decals, shall be placed only on the inside of commercial buildings.

Parking Spaces: There are currently 28 useable stalls. The applicant received approval by the Plan Commission in February of this year for a total of 29 paved parking stalls. The applicant intends on paving the parking lot in the fall of this year, weather permitting. Currently, there are a total of 104 seats, including indoor and outdoor seating. The applicant is proposing to have a total of 116 seats, which could be provided since the applicant is removing the retail space from the outbuilding and adding an additional parking stall. Below are the ordinance requirements for parking:

- Restaurant/tavern: One space for each four seats or one space for each 150 sq. ft. of floor area, whichever is greater. On the subject property, ~~26~~ 29 spaces are required based on the seating criteria with a total of 116 seats. It would be difficult to determine the number of parking spaces required based on floor area since the outdoor dining is not all on a hard surfaced area. However, parking requirements would be more restrictive using the criteria for number of seats.
- ~~Retail: One space for each 150 sq. ft. of floor area is required. Since the retail area makes up 300 sq. ft., two additional spaces are required.~~
- ~~A total of 28 parking spaces are required.~~

Music: The applicant is currently limited to live music during special events only. Music that is piped through speakers is limited to inside the building and to the existing outside speakers. There are two speakers on the north side of the building and one speaker on the west side of the building. According to the applicant, the speakers have ample volume control.

The applicant is proposing outdoor live music during Wednesday evenings from 6:00 p.m. – 9:00 p.m. and Sunday afternoons from 2:00 p.m. – 5:00 p.m. Outdoor music will run from Memorial Day to Labor Day as weather permits. Music will be acoustical in nature and amplified via speaker. The temporary stage location will be at the Northeast corner of the yard and will face the direction of the Bark River channel.

The applicant is proposing Indoor live music every Sunday afternoon from 2:00 p.m. – 5:00 p.m., Labor Day to Memorial Day. Indoor live music will not be amplified via speaker to the outdoor patio space. Indoor music (ex. Jukebox music), will be amplified via indoor and outdoor mounted speakers and will be limited to inside the building and to the outside speakers that are directed towards the patio seating areas.

Special Events: Maximum of three special events a year.

Water Access/Piers: There is a boat launch that has been used by the lake management district in the past. The current owner will modify the permitted lake access on an as negotiated basis with the Upper Nemahbin Lake Management District and/or authorized representatives. ~~The current owner limits trailer parking to 5 trailers.~~ There are 4 piers that extend to a water depth of 3 ft. per WDNR requirements.

List of uses and conditions that must be followed in accordance with the 2016 Business Plan of Operation approval and as further modified herein.

1. Maximum of ~~28~~ 29 off-street parking spaces as shown on the site plan
2. Maximum seating at the restaurant of ~~104~~ 116 seats, including indoor and outdoor seating
3. ~~Maximum retail space in the second building of 300 square feet~~

Highwater Bar & Grill and Highwater Rentals (previously Panga)

4. Maximum number of special events that must be approved by the Village Board: 3 special events annually.
5. No changes to the pole signage is permitted, except for replacing the face of the 61" tall x 49" wide pole sign located at the street's edge. The 7-up sign has been removed and shall not be replaced with another pole sign in the future.
6. Window signage shall comply with Section 23-4.(4) of the Village of Summit Code of Ordinances. Window signs shall not cover more than 1/3 of any window area.

Panga Highwater Bar and Grill

1. Full-service restaurant and bar. Permitted Use under Section 111-354 (b)(4)
25 employees
2. Indoor and outdoor dining. Permitted Use under Section 111-354 (b)(4)
limited seating based on parking available
limited seating location outside floodplain
3. Special events Require special events permit from Village Board, maximum
3 events annually.
4. Seasonal outdoor bar Accessory to permitted use
limited seating based on parking available
limited location outside floodplain
5. Seasonal outdoor grill area Accessory to permitted use
limited seating based on parking available
limited location outside floodplain
6. Firepit Accessory to permitted use
7. Parking Minimum and maximum of twenty-eight~~nine~~ off-street
parking spaces
8. Music All outdoor speakers shall be turned off by 9 pm Sunday-
Thursday and 10 pm Friday and Saturday. ~~No indoor or
outdoor live music is proposed at this time, except during
special events.~~ Plan Commission will need to determine if
indoor or outdoor live music is permitted. If so, when.

Nomad Boardsports, now Panga Rentals Highwater Rentals

- | | |
|--|---|
| 1. Rentals of kayaks, canoes, Pontoon and SUP boards | Permitted use under Section 111-354(b)(8), Maximum of 3 pontoon boats, 2 changing rooms, lockers, 10 rental bikes, 2 outdoor racks that hold 8 units of recreational equipment each 3 outdoor racks that hold an aggregate total of 16 units between all 3 racks. Hours of operation limited to 6 am – 9 pm |
| 2. Launching | Accessory use, limited use not open to the public. The lake management district has been given permission to use it at no cost, maximum of 5 trailers parked on site. |
| 3. Lessons | Accessory use |
| 4. Retail shop | Permitted use, 300 square feet of retail with limited hours of operation from 6 am – 9 pm |
| 5. Live bait | Permitted use within the existing accessory building |
| 6. Snack and sundries | Accessory use within the existing accessory building |
| 7. Changing room | Accessory use within the existing accessory building |
| 8. Lockers | Accessory use within the existing accessory building |
| 9. Tech/repair support | Accessory use within the existing accessory building |
| 9. Bicycle rentals | Permitted use under Section 111-354(b)(8) Maximum of 10 bikes |

APPLICANT'S REQUESTED CHANGES

~~Panga~~ **Highwater** Bar & Grill and ~~Panga~~ **Highwater** Rentals

Business Plan of Operation [REDACTED]

34422 Delafield Road, SUMT0669017

Buildings/Uses:

- Restaurant/tavern serving food and beverages, including alcohol. ~~There is a self-service and pickup window that have not previously been addressed by the Plan Commission.~~
 - 1,930 sq. ft. 1-story building
- ~~Retail/storage building, including the sale of snacks and bait, and lockers and changing rooms~~
 - ~~965 sq. ft. 1-story building~~
- Outdoor space used for outdoor seating, dining, and the rental of recreational equipment.
- The applicant has obtained a liquor license **covering the name change** ~~subject to approval of the business plan of operation and compliance with the building-inspector and fire inspection reports.~~

Site Plan: Approved plan is in the property file with a date of March 18, 2016. The site plan includes parking counts, pier locations, parking layout, building locations, floodplain boundary, and outdoor spaces. **Parking Plan update per 2/26/2026 Parking Plan design by The Sigma Group.** *~~It should be noted that the floodplain was revised as part of a Letter of Map Revision in 2022. The site plan will need to be updated to reflect the revised floodplain prior to any site-improvements being proposed.~~*

Number of Employees: Up to 25 employees with a mix of full-time and part-time employees

Hours of Operation: Monday-Thursday 11 am – 2:30 am, Friday-Saturday 11 am – 2:30 am, Sunday 11 am – 2:30 am. Retail in outbuilding and equipment rental has limited hours of 6 am – 9 pm.

Signage: There is one existing free-standing illuminated pole sign located in the southeast corner of the building advertising the name of the operation. ~~There is another existing free-standing illuminated pole sign adjacent to the accessory building advertising 7 Up.~~ There is also an existing small sign attached to the utility pole adjacent to the road that will be removed. There are no wall-mounted signs. No changes are proposed. **Please see below ‘Signage’ section for details.**

Parking Spaces: ~~28 useable stalls~~ **29 usable stalls.** ~~There are a total of 104 seats~~ **There are a total of 116 seats,** including indoor and outdoor seating. Below are the ordinance requirements for parking:

- Restaurant/bar: One space for each four seats or one space for each 150 sq. ft. of floor area, whichever is greater. On the subject property, ~~26~~ **29** spaces are required based on the seating criteria. It would be difficult to determine the number of parking spaces required based on floor area since the outdoor dining is not all on a hard surfaced area. However, parking requirements would be more restrictive using the number of seats.
- ~~Retail: One space for each 150 sq. ft. of floor area is required. Since the retail area makes up 300 sq. ft., two additional spaces are required.~~
- **A total of 28 29 parking spaces are required.**

Music: The applicant is proposing live music during **Wednesday evenings from 6:00 p.m. – 9:00 p.m. and Sunday afternoons from 2:00 p.m. – 5:00 p.m..** Outdoor music will run from Memorial Day to Labor Day as weather permits. Music will be acoustical in nature and amplified via speaker. The temporary stage location will be at the Northeast corner of the yard and will face the direction of the Bark River channel. Indoor live music will take place every Sunday afternoon from 2:00 p.m. – 5:00 p.m., Labor Day to Memorial Day. Indoor live music will not be amplified via speaker to the outdoor patio space. Indoor music (ex. Jukebox music), will be amplified via indoor and outdoor mounted speakers and will be limited to inside the building and ~~to the outside speakers that are directed towards the patio seating areas~~ **special events only.** Music that is piped through speakers will be limited to inside the building and to the outside speakers that currently exist. There are two speakers on the north side of the building and one speaker on the ~~south~~ **west** side of the building. According to the applicant, the speakers have ample volume control.

Special Events: Maximum of 3 special events a year.

Water Access/Piers: There is a boat launch that has been used by the lake management district in the past. **The current owner will modify the permitted lake access on an as negotiated basis with the Upper Nemahbin Lake Management District and/or authorized representatives.** ~~The current owner limits trailer parking to 5 trailers.~~ There are 4 piers that extend to a water depth of 3 ft. per WDNR requirements.

List of uses and conditions that must be followed in accordance with the 2016 Business Plan of Operation approval:

Panga Highwater – BPO

1. Maximum of ~~28~~ **29** off-street parking spaces as shown on the site plan
2. Maximum seating at the restaurant of ~~104~~ **116** seats, including indoor and outdoor seating
- ~~3. Maximum retail space in the second building of 300 square feet~~
4. Maximum number of special events that must be approved by the Village Board: 3 special events annually.
5. No changes to signage is permitted.
 - **Signage includes:**
 - **(1) pole mounted street sign that is 61” x 49”.**
 - **(7) window perforated window film signs of various sizes**

Panga Bar and Grill

- | | |
|---|---|
| 1. Full-service restaurant and bar.
25 employees | Permitted Use under Section 111-354 (b)(4) |
| 2. Indoor and outdoor dining. | Permitted Use under Section 111-354 (b)(4)
limited seating based on parking available
limited seating location outside floodplain |
| 3. Special events | Require special events permit from Village Board,
maximum 3 events annually. |
| 4. Seasonal outdoor bar | Accessory to permitted use
limited seating based on parking available
limited location outside floodplain |
| 5. Seasonal outdoor grill area | Accessory to permitted use
limited seating based on parking available
limited location outside floodplain |
| 6. Firepit | Accessory to permitted use |
| 7. Parking | Minimum and maximum of twenty-eight twenty-
nine off-street parking spaces |
| 8. Music | All outdoor speakers shall be turned off by 9 pm
Sunday-Thursday and 10 pm Friday and Saturday.
Live music per the music section above. No-
indoor or outdoor live music is proposed at this-
time, except during special events. |

Nomad Boardsports, now Panga Rentals

- | | |
|--|--|
| 1. Rentals of kayaks, canoes, Pontoon and SUP boards | Permitted use under Section 111-354(b)(8), Maximum of 3 pontoon boats, 2 changing rooms, lockers, 10 rental bikes, 2 3 outdoor racks that hold a total of 16 units 8 units of recreational equipment each.
Hours of operation limited to 6 am – 9 pm |
| 2. Launching | Accessory use, limited use not open to the public. The lake management district has been given permission to use it at no cost, maximum of 5 trailers parked on-site. |
| 3. Lessons | Accessory use |
| 4. Retail shop | Permitted use, 300 square feet of retail with limited hours of operation from 6 am – 9 pm |
| 5. Live bait | Permitted use within the existing accessory building |
| 6. Snack and sundries | Accessory use within the existing accessory building |
| 7. Changing room | Accessory use within the existing accessory building |
| 8. Lockers | Accessory use within the existing accessory building |
| 9. Tech/repair support | Accessory use within the existing accessory building |
| 10. Bicycle rentals | Permitted use under Section 111-354(b)(8)
Maximum of 10 bikes |



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Summit Village Hall 37100 Delafield Rd • Summit, WI 53066

Date Filed: 05/21/26

Consult Village of Summit FEE Schedule for applicable fees: _____

Plan of Operations Review Application Packet

Based on Chapter 235-56 of the Code of the Village of Summit

Please read and complete this application carefully. All applications must be signed and dated.

1. APPLICANT OR AGENT

Andy Fieber

Phone # () _____

E Mail _____

2. PROPERTY OWNER

Nemahbin Lake Holdings, LLC

Phone # () _____

E Mail _____

3. Expanded Business Operations _____

New Business Operation _____

Business Name	Highwater Bar & Grill and Highwater Rentals
Business Owner	Nemahbin Lake Partners, LLC
Business Address	34422 Delafield Rd. Oconomowoc, WI 53066

4. Legal Description of Property (may appear on Tax Bill): _____

PT BLK F VENICE PARK PT NE1/4 SEC 24 T7N R17E; COM SWLY CRNR BLK F; N11°30'W 95.3 FT; N66°38'E 195.5 FT; S9°24'E 258.5 FT; N68°09'W 222 FT TO BGN :: EX DOC #2807234 FOR ROAD

5. Tax Key Number: SUMT 0669017

6. Identify the type of use immediately adjacent to this property boundary

North unchanged	South
East	West

7. What is the Property Zoning Classification? _____

NC neighborhood Comm

8. List Dimensions and Level of ALL Buildings (coordinate with site plan information)

Outside Dimensions	Number of Floors (levels)
Building "A": 1930 sq ft (main building)	1
Building "B": _____	_____
Building "C": _____	_____

Total Floor Area is _____ square feet.

9. Identify the Proposed Use of EACH Building and remaining outdoor area.

Building "A": Main building bar & grill

Building "B": _____

Building "C": _____

Outdoor Uses: _____

10. How many employees will be working in this operation? 25, mostly part time

11. What hours of the day will the business operate? 11am 2:00am except close 02:30am Friday and Saturday

12. What days of the week will the business operate? all

13. Locate each sign on the site plan and submit the drawings, which include area of each sign, colors, number of faces and overall height (if free-standing).

Number of Free-standing or Pole-mounted signs: 2

Number of Wall-mounted signs: 0

14. Please locate all proposed parking on the site plan.

Number of Parking Spaces on property? 29

Will the parking lot be paved? Yes No

If not currently paved, when will the paving be completed? Fall of 2026



15. Will there be any unusual odors, smoke or noise generated by the proposed use which do not exist on the site at the present time? Yes No If yes, please describe below.

16. Will a special license be required from the Village, County or State in order to operate this business? Yes ___ No If yes, please describe below.

17. Has the State or County acted on your project to date, either with building plan reviews, site plan reviews, Conditional Use activities, or other design reviews? Yes No ___ If yes, please describe below.

WI DNR has reviewed. I assume Waukesha County has reviewed.

18. SIGNATURES - ALL APPLICATIONS MUST BE SIGNED BY THE PROPERTY

			05/21/26
Applicant	date	Property Owner	date
Joel Wallskog, applicant and property owner.			

Use this space to further describe the proposal, or detail points from above.

Please see separate attachment.

Respectfully submitted, Andy Fieber

Highwater Bar and Grill, and Highwater Rentals

Business Plan of Operation Approval

34422 Delafield Road, SUMT0669017

Property Owner:	Nemahbin Lake Holdings, LLC
Applicant:	Andy Fieber, Nemahbin Lake Partners LLC
Current Zoning:	NC Neighborhood Commercial, Floodplain Overlay
Land Use Plan:	Mixed Use Commercial

The Business Operation is limited to the uses and buildings as listed in the February 19, 2026 Business Plan Approval and as described below.

Buildings/Uses:

- Restaurant/tavern serving food and beverages, including alcohol.
 - 1,930 sq. ft. 1-story building
- Outdoor space used for outdoor seating, dining, and the rental of recreational equipment.
- The applicant has obtained an updated liquor license covering the name change.

Site Plan: Approved plan is in the property file with a date of February 26, 2026. The site plan includes parking counts, pier locations, parking layout, building locations, floodplain boundary, and outdoor spaces.

Number of Employees: Up to 25 employees with a mix of full-time and part-time employees

Hours of Operation: Monday-Thursday 11 am – 2:30 am, Friday-Saturday 11 am – 2:30 am, Sunday 11 am – 2:30 am. Retail in outbuilding and equipment rental has limited hours of 6 am – 9 pm.

Signage: There is one existing free-standing illuminated pole sign located in the southeast corner of the building advertising the name of the operation. There are no wall-mounted signs. No changes are proposed. See below ‘signage’ list below for details.

Parking Spaces: 29 usable stalls. There are a total of 116 seats, including indoor and outdoor seating. Below are the ordinance requirements for parking:

- Restaurant/bar: One space for each four seats or one space for each 150 sq. ft. of floor area, whichever is greater. On the subject property, 29 spaces are required based on the seating criteria. It would be difficult to determine the number of parking spaces required based on floor area since the outdoor dining is not all on a hard surfaced area. However, parking requirements would be more restrictive using the number of seats.

Music: The applicant is proposing live music during special events only. Music that is piped through speakers will be limited to inside the building and to the outside speakers that currently exist. There are two speakers on the north side of the building and one speaker on the south side of the building. According to the applicant, the speakers have ample volume control.

Special Events: Maximum of 3 special events a year.

Water Access/Piers: There is a boat launch that has been used by the lake management district in the past. The current owner will modify the permitted lake access on an as negotiated basis with the Upper Nemahbin Lake Management District and/or authorized representatives. There are 4 piers that extend to a water depth of 3 ft. per WDNR requirements.

List of uses and conditions that must be followed in accordance with the 2026 Business Plan of Operation approval. Requirements added as part of this proposal are in bold:

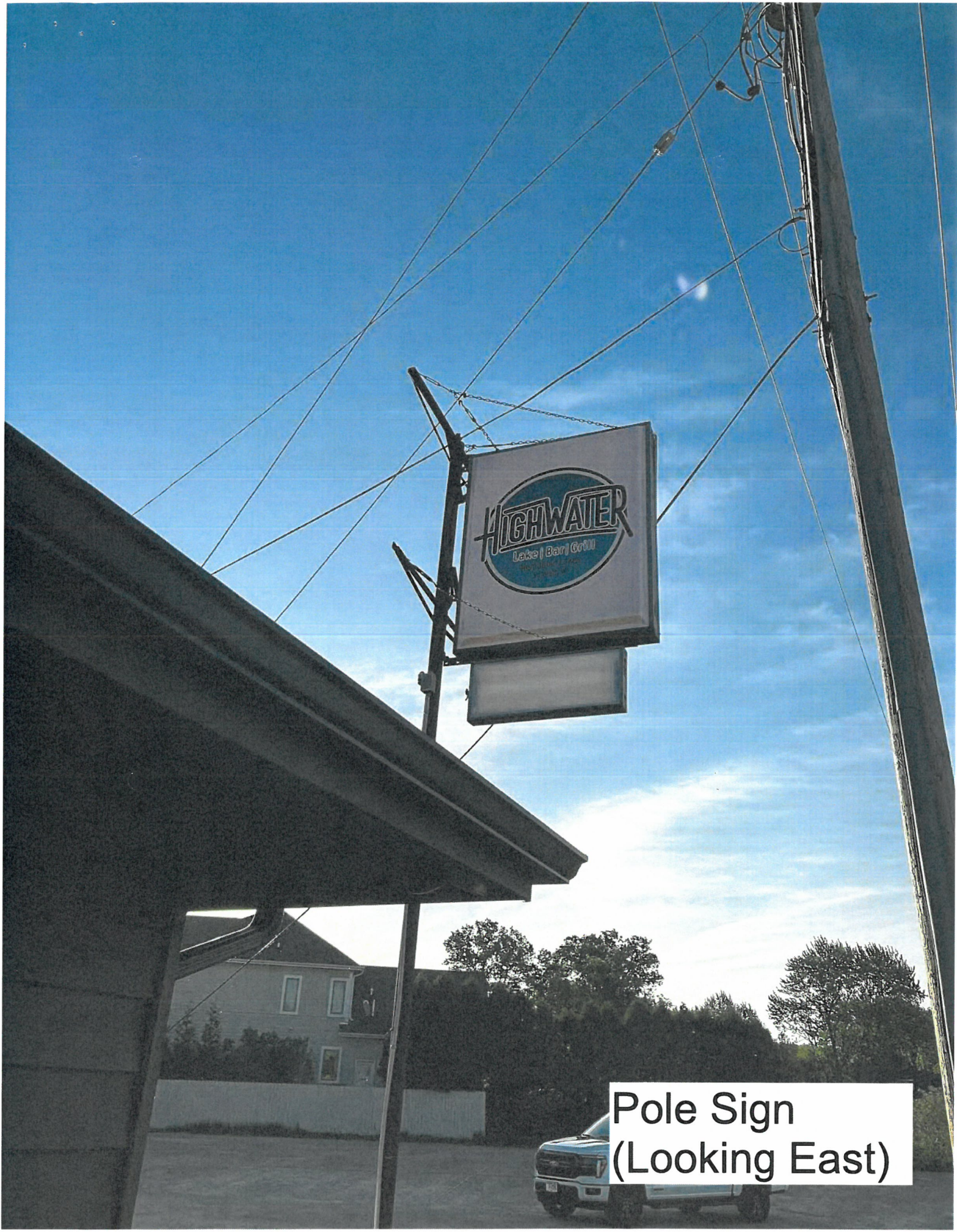
1. Maximum of 29 off-street parking spaces as shown on the site plan
2. Maximum seating at the restaurant of 116 seats, including indoor and outdoor seating
3. Maximum number of special events that must be approved by the Village Board: 3 special events annually.
4. **No changes to signage is permitted.**
 - **Signage includes:**
 - **(1) pole mounted street sign that is 61” x 49”.**
 - **(7) window perforated window film signs of various sizes**

High Water Bar and Grill

- | | |
|---|--|
| 1. Full-service restaurant and bar.
25 employees | Permitted Use under Section 111-354 (b)(4) |
| 2. Indoor and outdoor dining. | Permitted Use under Section 111-354 (b)(4)
limited seating based on parking available
limited seating location outside floodplain |
| 3. Special events | Require special events permit from Village Board,
maximum 3 events annually. |
| 4. Seasonal outdoor bar | Accessory to permitted use
limited seating based on parking available
limited location outside floodplain |
| 5. Seasonal outdoor grill area | Accessory to permitted use
limited seating based on parking available
limited location outside floodplain |
| 6. Firepit | Accessory to permitted use |
| 7. Parking | Minimum and maximum of twenty-nine off-street
parking spaces |
| 8. Music | All outdoor speakers shall be turned off by 9 pm
Sunday-Thursday and 10 pm Friday and Saturday.
No indoor or outdoor live music is proposed at this
time, except during special events. |

High Water Rentals

- | | |
|---|--|
| 1. Rentals of kayaks, canoes,
Pontoon and SUP boards | Permitted use under Section 111-354(b)(8),
Maximum of 3 pontoon boats,
3 outdoor racks that hold 16 units of recreational
equipment each
Hours of operation limited to 6 am – 9 pm |
| 2. Launching | Accessory use, limited use not open to the public. |
| 3. Lessons | Accessory use |
| 4. Bicycle rentals | Permitted use under Section 111-354(b)(8)
Maximum of 10 bikes |



Pole Sign
(Looking East)



Pole Sign
(Looking West)



North Elevation



West Elevation



East Elevation



South Elevation



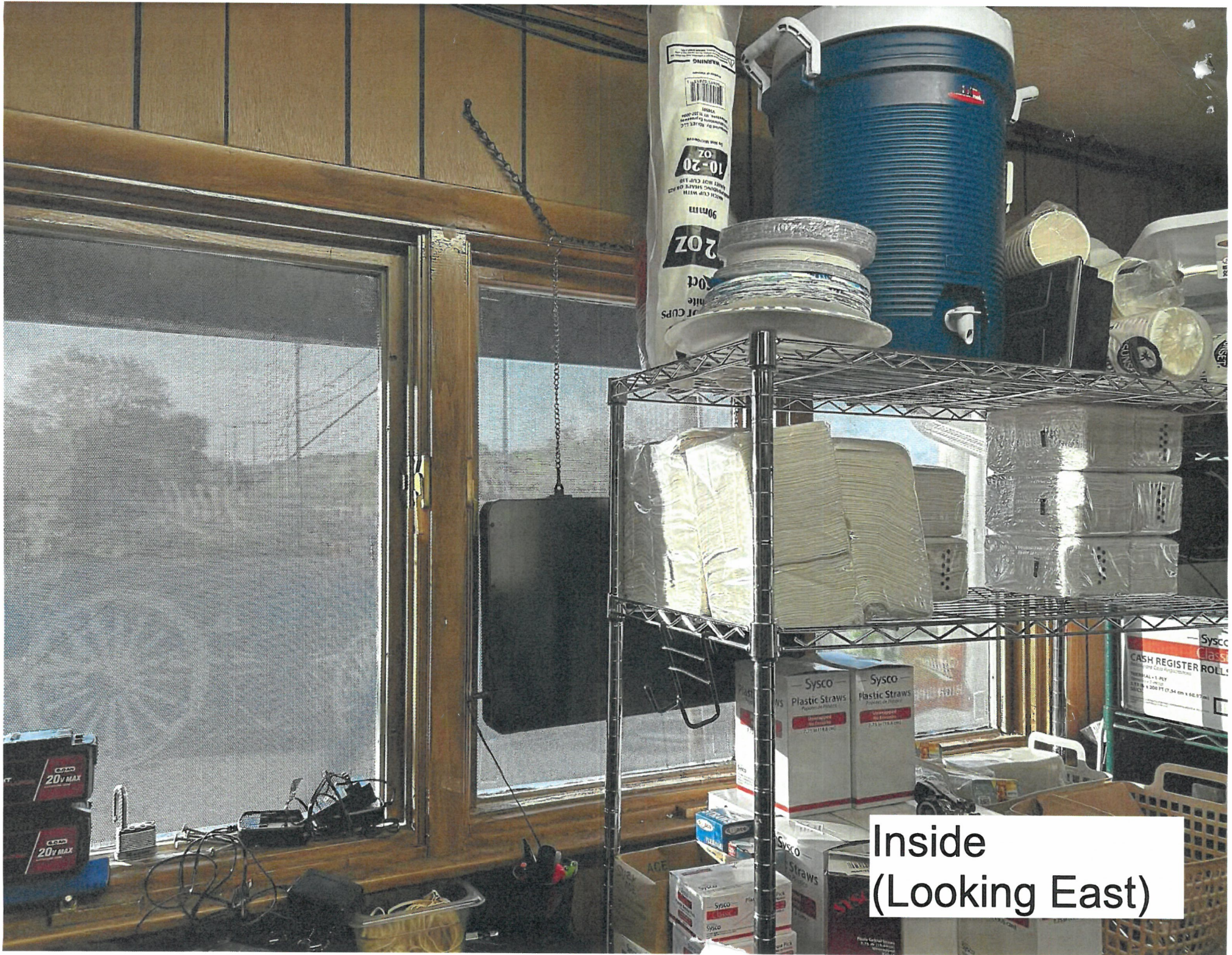
Inside
(Looking North)



Inside
(Looking West)



Inside
(Looking East)



Inside
(Looking East)

2026.02.26

ARCONEY

L100

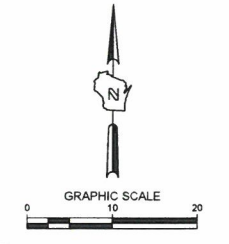
22772



- LEGEND:**
- TURFGRASS SEED
 - HARDWOOD BARK MULCH PLANT BED
 - GRAVEL (SEE CIVIL PLANS)
 - P/L PROPERTY LINE
 - SHOVEL CUT PLANT EDGING
 - ASPHALT SURFACE
 - 5" THICK CONCRETE WALK
 - CONCRETE PAVEMENT
 - CURB & GUTTER/ FLOW THROUGH CURB (ACCEPT)
 - PROPOSED SIGN
 - PROPOSED FENCE (SEE ARCHITECTURAL PLANS)
 - REMOVABLE FENCE POST (REFER TO OWNER FOR WOOD POST AND FENCE DETAIL)

PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS SHRUBS					
	RA	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.	Cont.	16
EVERGREEN SHRUBS					
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal.	Cont.	6
PERENNIALS					
	SA	Sedum x 'Autumn Fire' / Autumn Fire Sedum	1 gal.	Cont.	9

SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210



PANGA
34422 DELAFIELD ROAD
SUMMIT, WI
LANDSCAPE PLAN

ISSUANCE	DATE
PRELIMINARY	2025-01-22
VILLAGE SUBMITTAL	2025-03-12
VILLAGE SUBMITTAL	2025-08-08
VILLAGE SUBMITTAL	2025-10-23
VILLAGE SUBMITTAL	2025-11-20
VILLAGE SUBMITTAL	2026-01-22
VILLAGE SUBMITTAL	2026-02-12
VILLAGE SUBMITTAL	2026-02-26

NO. REVISION	DATE

- LANDSCAPE GENERAL NOTES:**
- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
 - INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
 - COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
 - RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
 - PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.



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THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

PROJECT NO:	22772
DESIGN DATE:	---
PLOT DATE:	2026.02.26
DRAWN BY:	AJR
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	L100



VILLAGE OF SUMMIT PLAN COMMISSION ZONING REPORT

TO: Village of Summit Plan Commission

FROM: Amy Barrows, Village Planner
Planning & Zoning LLC

MEETING DATE: July 16, 2026

RE: Design Guidelines for The Harvest at Pabst Farms

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet.

Applicant: Cobalt Partners, LLC on behalf of Pabst Farms Land Co C LLC and Pabst Farms Land Co R LLC, property owners of land in the Pabst Farms Development identified as SUMT0629998011 & SUMT0629998012

SUMMARY:

The Village Board adopted an ordinance to create a new mixed use zoning district, called the Mixed Use – Pabst Farms (MU-PF) Zoning District. The new zoning district would accommodate the proposed development referred to as The Harvest at Pabst Farms. One of the new zoning district standards requires the following:

“Development shall be subject to Design Guidelines that must be established by the Plan Commission and adopted by the Village Board as part of the establishment of the Planned Development Overlay District for the subject properties.”

The developers of The Harvest at Pabst Farms development are requesting feedback on DRAFT Design Guidelines before submitting a final version that will be considered as part of the request to rezone the subject properties to the new zoning district and to request approval of a Planned Development Overlay District.

The Design Guidelines are intended to be used by the City of Oconomowoc and Village of Summit during the development review process. Committee members from the City and Village have been working with the developers in preparing the draft document.

Enclosed is a draft that includes the following topics with planner suggestions:

1 Introduction and Applicability

1.1 Purpose

1.2 Project Area

- The location description should include a commercial zone north of Pabst Farms Boulevard.
- The project area map should outline the project boundary.

1.3 Relationship to Municipal Code

- 1.4 Review Intent
- 2 Overall Design Vision
 - 2.1 Character Statement
 - 2.2 Districtwide Standards
 - 2.3 Materials and Color
 - Section 2.1 requires four-sided architecture. However, this section only prohibits low-quality materials on public-facing commercial or multi-family elevations. This section should match the intent of Section 2.1.
- 3 Commercial/Retail Design Guidelines
 - 3.1 Intent
 - Consider adding fitness and health to the list of uses in the first sentence.
 - 3.2 Site Organization
 - The developer should ensure that the site plans illustrate room for screening from parking lots since it appears parking lots will face public streets in the southwest corner of CTH P and Pabst Farms Boulevard.
 - 3.3 Building Composition and Massing
 - 3.4 Storefronts and Glazing
 - Consideration should be given to removing the title “retail type”, since the uses extend beyond retail.
 - 3.5 Large-Format Retail and Outlots
 - 3.6 Commercial Materials
 - Consider replacing “recommended” with “required”, as suggested in Section 2.1.
 - 3.7 Service, Loading, and Utilities
 - Consider replacing the term “should” with “shall” in the 6th and 7th points.
- 4 Multi-Family and Attached Residential Guidelines
 - 4.1 Intent
 - The developer should be prepared to explain the methods that will be used to create an agrarian identity.
 - 4.2 Site Planning and Building Placement
 - This section refers to some of the parking standards. There are additional standards in Section 6. A reference to Section 6 should be provided so provisions are not missed during development review.
 - 4.3 Building Composition and Massing
 - 4.4 Entries, Ground Floors, and Open Space Edges
 - Consider identifying acceptable balcony material types
 - 4.5 Multi-Family Materials and Glazing
 - 4.6 Service, Loading, and Utilities
 - The developer should add that rooftop satellite fixtures are prohibited.
- 5 Single-Family Neighborhood Guidelines
 - 5.1 Intent
 - 5.2 Lot and Street Character
 - 5.3 Primary Façade Architecture
 - Consider referencing Subdivision Declaration of Restrictions managed by a Homeowner’s Association in this section.

Design Guidelines – The Harvest at Pabst Farms

5.4 Materials

- Consider modifying the 2nd point so that low-quality and temporary-feeling materials are prohibited on all sides.

5.5 Accessory Elements, and Utilities

- Consider replacing “district signage” with “the standards of these design guidelines and Planned Development Overlay District of each community.”

6 Public Realm, Landscape, and Open Space

6.1 Landscape Vision

6.2 Community Green and Heritage Greenway

- The developer should describe the use of the community green space when there are no organized activities taking place. The images show an active market environment.

6.3 Streetscape Landscape

- The developer should identify the vision corner area when there is one arterial and one local road. These measurements should be reviewed by the Public Works Department.

6.4 Parking Lot and Service Area Landscape

- The zoning code currently requires a landscape island for every 15 parking spaces. The design guidelines require a landscape island for every 12 parking spaces. The developer should consider consistent requirements.
- The intent of the 3rd comment is unclear.

6.5 Plant Palette Direction

7 Storm Water

8 Lighting Guidelines

8.1 Intent

8.2 Districtwide Lighting Standards

- Plan Commission should provide feedback regarding the types of pole lighting.

8.3 Building and Landscape Lighting

8.4 Parking and Service Lighting

- Plan Commission should consider pole height and frequency of lighting. The Village of Summit general design guidelines limit pole lights to 15 feet, not including a 3-foot base. Hope Church has 27.5 ft. tall light poles.
- Plan Commission may also want to consider the timing of lighting and whether certain lights can be dimmed or turned off at night.

9 Signage Guidelines and Initial Master Sign Program

9.1 Intent

9.2 Base Signage Requirements and Harvest Standards

- Plan Commission should review the sign location and standards carefully.

9.3 Building Sign Standards

- Art/murals should be addressed.

9.4 Does not exist – document numbering should be corrected.

9.5 Monument and Gateway Signs

9.6 Prohibited or Discouraged Sign Types

- The guidelines should clearly identify which signs are prohibited and which signs are discouraged.

PROPOSED ACTION: Provide feedback. No motion is required at this meeting.

The
HARVEST
AT PABST FARMS

DESIGN GUIDELINES

*Initial Draft | City of Oconomowoc +
Village of Summit*

Prepared for review and coordination. This draft is intended to establish a shared design framework for parcels within The Harvest at Pabst Farms masterplan area spanning both municipalities.



Contents

1.0	Introduction and Applicability
2.0	Overall Design Vision
3.0	Commercial / Retail Design Guidelines
4.0	Multi-Family and Attached Residential Guidelines
5.0	Single-Family Neighborhood Guidelines
6.0	Public Realm, Landscape, and Open Space
7.0	Storm Water
8.0	Lighting Guidelines
9.0	Signage Guidelines and Initial Master Sign Program

Note: Page numbers should be updated after final layout and image placement.

1.0

INTRODUCTION AND APPLICABILITY

A shared design framework for parcels within The Harvest at Pabst Farms master plan area.



1.1 Purpose

The Harvest at Pabst Farms Design Guidelines establish the intended character, quality, and coordination standards for development within the Harvest master plan area. The intent is to create a high-quality, complete neighborhood. The guidelines allow flexibility for multiple builders, tenants, parcel owners, and development phases while maintaining a cohesive identity across the full development.

The document is structured as a standalone guideline package for adoption and use by both the City of Oconomowoc and the Village of Summit. It is intended to support municipal review, developer review, and long-term private implementation while maintaining consistency across jurisdictional boundaries.

1.2 Project Area

The Harvest at Pabst Farms includes the proposed development area north of I-94 and between North Sawyer Road and Town Center Way around the Costco project currently underway. The plan is organized into three primary development zones: a commercial zone between I-94 and Pabst Farms Boulevard; a multi-family and attached residential zone north of Pabst Farms Boulevard extending toward the linear greenway; and a single-family neighborhood zone along the north edge of the property transitioning to existing neighborhoods. All standards necessary to interpret and apply these design guidelines are intended to be contained within this document. The following bullet points identify specific project scope nuances and exclusions which are more clearly mapped on the following page.

- Development south of I-94 is not included in this design guideline project.
- The Costco parcel currently under development is not included in this design guideline project.
- The municipal boundary between the City of Oconomowoc and the Village of Summit generally follows the east side of the proposed boulevard and the east side of the Costco parcel; final jurisdictional limits shall be confirmed by survey and municipal mapping.

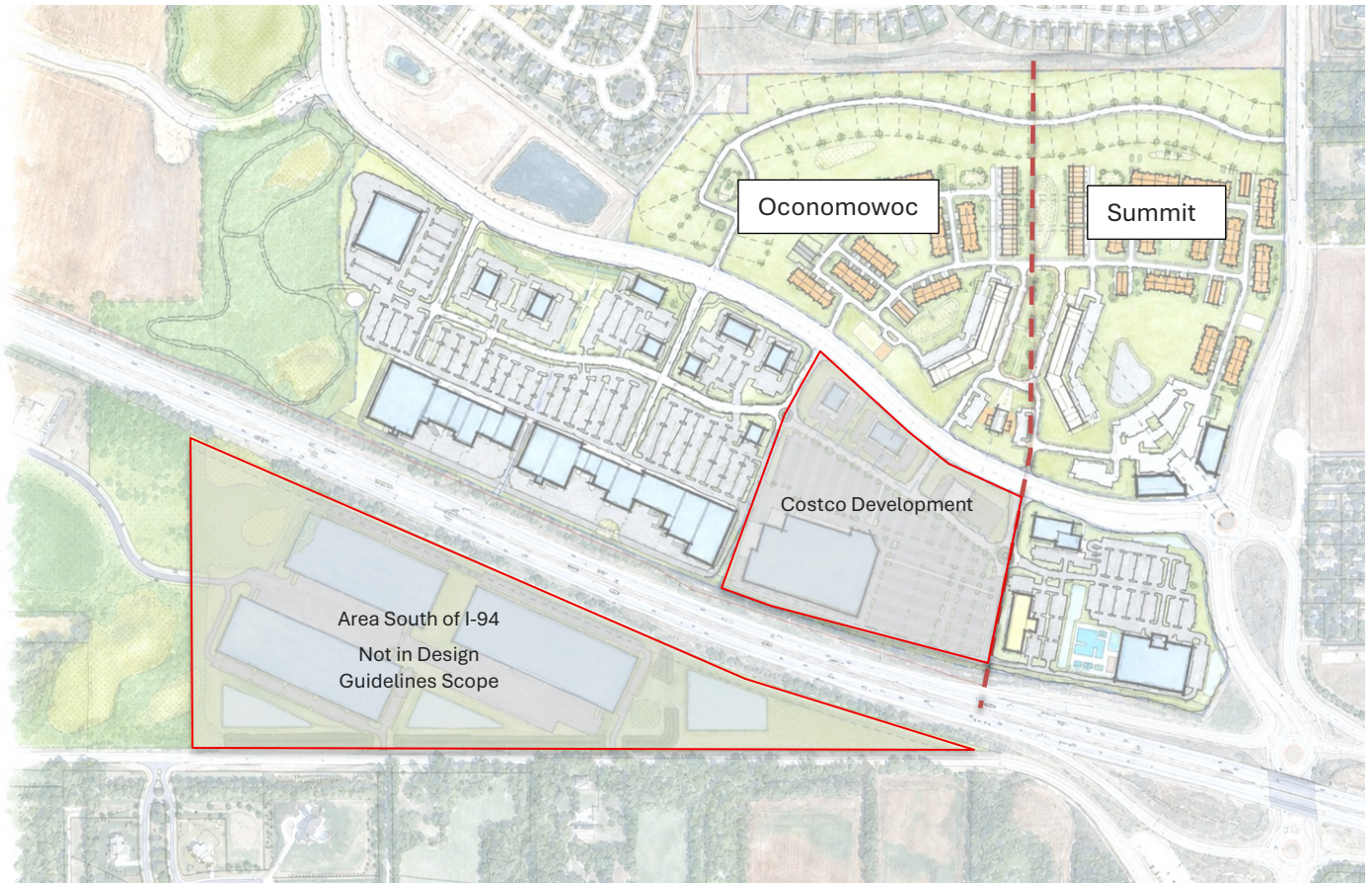


Figure 1.1 - Project area and applicability diagram.

1.3 Relationship to Municipal Code

These Design Guidelines supersede local municipal design standards where they provide specific direction for The Harvest at Pabst Farms and where adopted or approved by the City of Oconomowoc and the Village of Summit. Where these guidelines are silent, applicable local zoning, subdivision, building, signage, lighting, landscape, stormwater, engineering, and administrative requirements shall continue to apply.

These Design Guidelines do not supersede applicable health, safety, state, federal, building code, fire code, accessibility, utility, floodplain, shoreland, wetland, stormwater, or environmental requirements. Those requirements shall continue to apply. Within this document, the concept of applying a more restrictive standard may be used selectively for targeted design elements when it supports the intended character, quality, and public realm outcomes of The Harvest.

Regulating Language

The term "shall" or "must" indicates a standard intended for consistent enforcement. The term "should" indicates a preferred approach that may be adjusted when the applicant demonstrates an equal or better design response. The terms "encouraged" and "may" identify recommended strategies or acceptable options.

1.4 Review Intent

Each development proposal shall be reviewed for both technical compliance and contribution to the overall district character. A proposal may comply with individual dimensional standards but still be inconsistent if it results in a generic, auto-oriented, or disconnected environment. Conversely, alternative design solutions may be considered when they clearly advance the intent of these guidelines and maintain a high level of design quality.

2.0

OVERALL DESIGN VISION

Modern timeless character, district cohesion, and landscape-forward placemaking.



2.1 Character Statement

The Harvest at Pabst Farms shall draw from the agricultural heritage of Pabst Farms without relying on literal historic replication. The desired character is timeless and contemporary: simple building forms, durable materials, expressive rooflines, strong pedestrian edges, authentic landscape systems, and public spaces that feel cultivated, welcoming, and rooted in Wisconsin.

Rooted in place: Buildings, landscapes, and signage should reflect the Pabst Farms legacy and the Lake Country / Wisconsin context.

- Modern, not nostalgic: Timeless references shall be interpreted through clean detailing, high-quality materials, and contemporary performance.
- Landscape first: Open spaces, greenways, native planting, stormwater systems, and street trees shall be treated as primary organizing elements.
- Connected and walkable: Streets, trails, sidewalks, and open spaces shall form a connected network across residential and commercial areas.
- Cohesive but varied: Individual buildings may have identity, but all shall contribute to a coordinated district palette and shared design language.
- Four-sided architecture: Buildings shall be designed with a consistent level of quality, material consideration, and architectural detail on all publicly visible elevations, including side and rear façades.

2.2 Districtwide Standards

All buildings shall be designed as four-sided architecture, with finished materials and intentional composition on all public-facing elevations.

- Primary facades shall address streets, greens, trails, plazas, and other public-facing spaces with entries, windows, materials, lighting, and landscape treatment.
- Blank walls visible from streets, trails, greens, parking areas, or adjacent development shall not be permitted. Where blank service areas are unavoidable, they shall be screened or articulated with material changes, landscape, trellis, public art, or architectural elements.
- Building forms shall be composed to create a human-scale, pedestrian-oriented, authentic neighborhood character. Changes in plane, massing breaks, roof variation, entry emphasis, material hierarchy, facade rhythm, porches, storefronts, and landscape edges shall support walkable daily life and comfortable public-facing environments.
- Mechanical equipment, meters, transformers, service areas, loading areas, and trash/recycling enclosures shall be screened from public view and integrated into the building or landscape design.
- Outdoor spaces shall be designed as usable places rather than residual landscape. Seating, shade, lighting, planting, and pedestrian connections shall be coordinated with the intended use of each space.
- Dumpster Enclosure constructed of primary building material, masonry base, minimum of 6' tall, with a man-door.

2.3 Materials and Color

The Harvest material palette shall emphasize permanence, warmth, texture, and long-term durability. Light-toned stone, masonry, fiber cement, high-quality metal, wood-toned systems, board-and-batten, vertical siding, standing seam metal, and dark bronze or black accents are appropriate when composed intentionally. See recommended material percentages for each use found in the specific section in this document.

- Primary materials shall be durable, finish-grade materials appropriate for public-facing facades.
- Accent materials shall be used to reinforce entries, corners, bays, or special architectural features rather than as thin applied decoration.
- Colors should be muted, natural, and regionally grounded: warm whites, limestone tones, charcoals, deep greens, weathered wood, bronze, black, and muted earth tones.
- Highly saturated corporate color fields should be limited to signage and small accent areas; tenant identity shall not dominate the district character.
- Low-quality materials are not permitted on public-facing commercial or multi-family elevations, including pedestrian-level conditions. Prohibited materials include utility-grade materials, exposed unfinished block, residential vinyl siding, poorly detailed EIFS (a system that does not include a spray on vapor barrier affixed to a system approved backup substrate with adequate drainage plane and weep holes), untreated utility panels, and similar low-quality or unfinished materials.
- An appropriately detailed EIFS systems can never be more than 10% of a building material composition without municipal approval.

3.0

COMMERCIAL / RETAIL DESIGN GUIDELINES

A destination shopping, dining, service, and employment-oriented commercial environment serving The Harvest, nearby neighborhoods, and the broader Lake Country region.



3.1 Intent

The commercial zone shall function as a destination district for shopping, dining, services, entertainment, hospitality, and community gathering, serving both local residents and the broader region. As a public gateway to The Harvest, buildings, parking, landscape, lighting, signage, and open spaces shall work together to create an identifiable, high-quality commercial environment that is visible from major roadways, comfortable at the pedestrian scale, and distinct from generic highway retail.

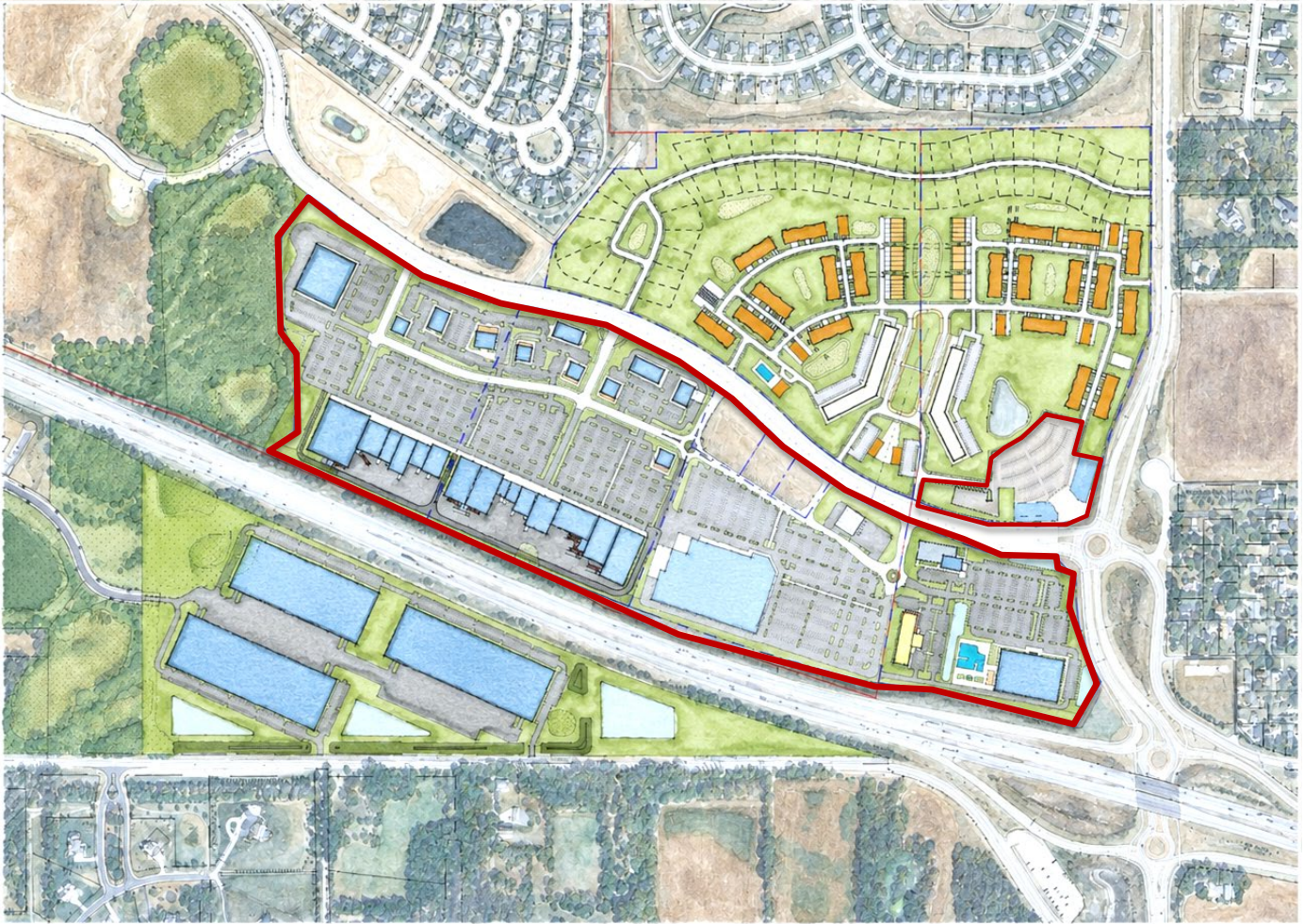


Figure 3.1 – Commercial Zone areas

3.2 Site Organization

- Where possible, commercial buildings shall be organized to create recognizable street edges, entry courts, outdoor dining areas, and pedestrian routes rather than isolated buildings within parking fields. Where parcel or infrastructure layout is already established, building and site design shall use landscape, pedestrian routes, outlots, entry features, and signage to strengthen the intended district character.
- Parking shall be located to the side, rear, or interior of commercial blocks to the greatest extent practicable. Parking areas located between a building and a public street, internal drive, trail, plaza, or other public-facing edge shall be screened and visually softened with landscape, low walls, grade changes, outlot buildings, or other approved edge-defining elements.
- Primary customer entries shall include a covered or sheltered element that provides weather protection and contributes to the pedestrian-scaled character of the district. Acceptable elements include integrated roof overhangs, recessed entry volumes, architectural canopies, awnings, trellises, pergolas, or similar shade structures when designed as part of the overall building and site composition.
- Pedestrian routes shall connect public sidewalks, parking areas, building entries, outdoor seating, plazas, trail connections, passenger drop-off areas where applicable, and adjacent parcels.
- Service, loading, trash, and utility areas shall be located away from primary streets and public spaces to the greatest extent practicable, and shall be screened with building-integrated materials and landscape.
- All primary commercial building entries should include a clearly defined covered or sheltered area that reinforces the entry, provides weather protection, and contributes to the pedestrian-scaled character of the district. Acceptable covered elements may include integrated roof overhangs, recessed entry volumes, architectural canopies, awnings or other decorative shade structures, provided they are designed as part of the overall building composition.

- Covered elements shall be durable, appropriately scaled to the entry or pedestrian area served, and coordinated with building materials, lighting, signage, storefront rhythm, and landscape. Decorative shade structures shall provide meaningful shade, weather protection, or spatial definition and shall not be used as applied ornament only.

3.3 Building Composition and Massing

Element	Commercial Standard
Base	Buildings shall include a durable, pedestrian-scaled base using masonry, stone, textured panels, or other tactile materials. The base shall reinforce corners, storefronts, and primary pedestrian edges.
Rhythm	Facades shall establish a legible module through storefront bays, structural spacing, vertical panelization, material changes, or entry groupings. Primary facades should not extend more than 40 feet without a meaningful change in plane, material, glazing, or architectural detail.
Scale	Large commercial footprints shall be broken into smaller visual components. Human-scaled elements such as canopies, storefront framing, seating, lighting, planters, and signage shall be concentrated at pedestrian interfaces.
Height	Flat rooflines and continuous parapets shall be varied with stepped parapets, gabled accents, tower or vertical-like elements, or expressed entry volumes. Roof and parapet variation should occur at intervals appropriate to the building length and tenant modules.
Massing	Buildings shall read as composed structures rather than monolithic boxes. Shifts in plane, connector elements, recesses, projected entries, and material hierarchy shall be used to break down large volumes.
Proportion	Storefronts and window groupings should favor tall, vertical proportions or well-composed storefront bays. Horizontal ribbon windows should be used sparingly and only as part of a larger composition.
Layering	Depth shall be created through recessed entries, projecting canopies, deep window frames, material returns, trellis elements, and shadow-producing details.

Table 3.1 - Commercial building composition.

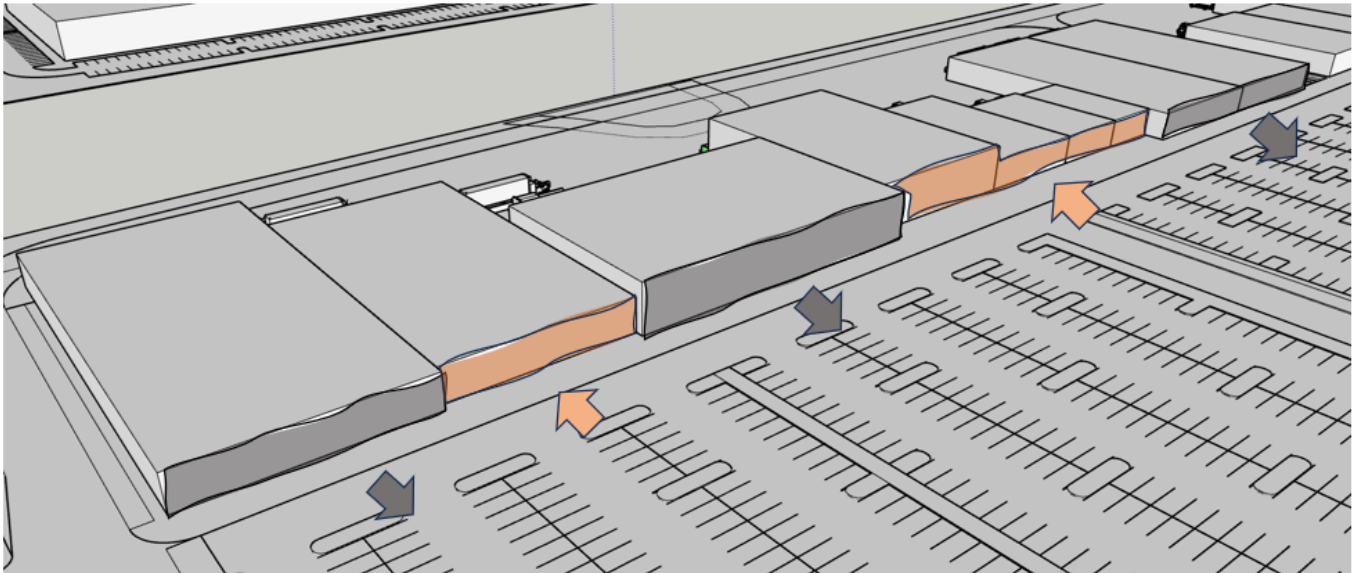


Figure 3.3 – Building composition and Massing Example

3.4 Storefronts and Glazing

Ground-floor commercial facades along primary streets, plazas, sidewalks, and outdoor dining areas shall maximize visual connection between interior activity and the public realm. Clear, non-tinted glazing shall be prioritized between approximately 2 feet and 8 feet above finished grade at active frontages.

Retail Type	Target Transparency Standard
In-line retail / restaurant / civic-facing tenant	Approximately 40 percent minimum glazing along active primary frontage; higher transparency encouraged where feasible.
Mid-box retail	Approximately 15 to 25 percent glazing , concentrated at entries, corners, display zones, and active pedestrian edges.
Large-format retail	Approximately 15 to 25 percent glazing , focused at primary entries, corners, lobbies, customer service areas, or integrated storefront zones.
Secondary / service elevations	Transparency may be reduced when facades are screened, not publicly visible, or used for service/loading; articulation and landscape screening are still recommended where applicable.

Where full transparency is limited by tenant operations, it is recommended facades shall be activated with canopies, integrated signage, display windows, public art, trellis systems, landscape, seating, material changes or relief. These elements shall be designed as part of the building composition.

3.5 Large-Format Retail and Outlots

- Large-format buildings shall include architectural treatment at all publicly visible elevations and shall not rely on a single decorated entry facade.
- Entry volumes are recommended to be scaled to create identity and wayfinding without overwhelming adjacent pedestrian spaces.

- Outlot buildings shall be oriented to reinforce the street or internal pedestrian network and shall not block required visibility or safe circulation.
- Drive-throughs, pick-up windows, and service lanes should be located to the side or rear of buildings where feasible and should not dominate primary public-facing frontages.
- Queuing, pick-up, and drive-through lanes should be heavily landscaped and shall be designed to avoid conflicts with pedestrian paths. Minimum drive through stacking of 100'



01 Large Anchor Tenant - Version 1



02 Large Anchor Tenant – Version 2



03 Medium Size Tenant



04 Small Tenant

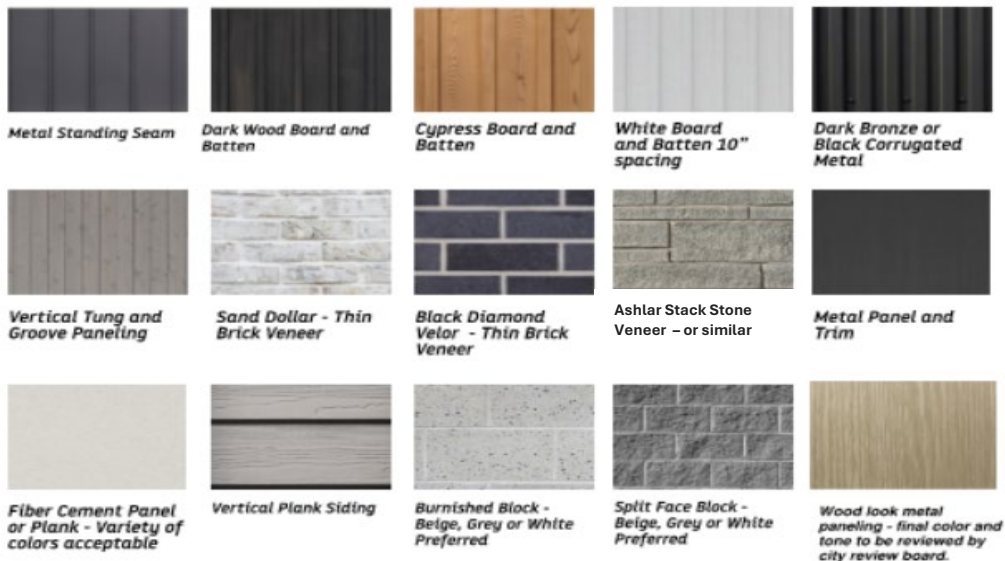
3.6 Commercial Materials

- Primary commercial materials shall include natural stone, thin brick, high-quality masonry, high-quality burnished block. In areas where large expanse of burnished block is being used it is recommended burnished block should be layered, stacked, or patterned in a way to resemble a high-quality stone or a material equal to. Other high-quality materials include glass, fiber cement, high-quality metal panel systems, architectural CMU, wood or wood-toned systems, and refined rainscreen materials.
- **Recommended 4-sided architecture.** Elevations that do not face a pedestrian thoroughfare may vary from the recommended material proportions, provided that the overall composition of all four building elevations collectively meets the recommended material distribution requirements.

Material	Recommended Range
Masonry	20–35%
Wood-Look Metal	20–35%
Primary Materials	15–30%
Glazing	15–25%
Accent Materials	0–10%

- At least three complementary durable materials should be used on primary commercial facades, with a clear hierarchy of base, field, and accent materials.
- Accent metal panels and EIFS systems should generally be limited to accent or upper facade conditions and should not dominate any primary pedestrian frontage unless detailed as a high-quality rainscreen system.
- Tenant prototype materials may be adapted only where they fit the district palette and are integrated into the architecture.
- Dumpster enclosures, screen walls, and service-yard enclosures shall use materials compatible with the principal building.
- Recommended Range of Materials on Primary street-facing elevations. On buildings with an elevation not facing a primary pedestrian thorough fare materials can be weighted to have a higher or lower percentage of material types as long as the total proportion of materials across all elevations meets the recommended range.
- Drive Through canopies and other structures shall be constructed of same materials as primary building and with the same level of architectural quality and detailing.

Recommended Primary Materials
Materials that make up the majority of the composition of a building's facades.



Recommended Secondary Materials

Materials that have less prominence on a building's facades but are compositionally significant to the architecture.



Metal Roof



Brick - Beige, Grey or White Preferred. Painting Not Allowed



Timber Post Details and Accents



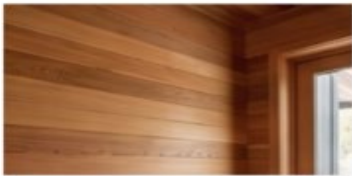
Country Square Squire or Similar



Machine Cut Stone Veneer



Rectangular, varied



Tongue and Groove Soffit Paneling



Terra Cotta (earth tones)



Wood paneling in storefront

Recommended Architectural Components

Architectural Components bring a cohesiveness to the buildings design and compositionally significant to the



Tall, Vertical Window Groupings



Perforated Metal Screening



Exterior Wood Screen & Slatting



Flat Plate Chimney Cap



Proportioned Material Breaks, for signage and pedestrian experience



Awings and Canopies

*The colors and materials depicted herein are intended as recommended design references and are not mandatory selections. Alternative colors and materials may be considered acceptable, provided they are of comparable quality, durability, and design intent. Final selection of all exterior colors, materials, finishes, and associated details shall be subject to review and approval by the municipality to ensure consistency with the overall architectural character, quality standards, and objectives of these Design Guidelines.

Figure 3.6 - Commercial material palette and components. Continued

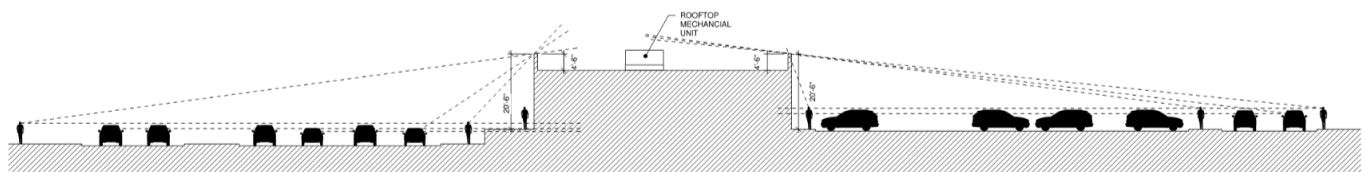
3.7 Service, Loading, and Utilities

- Service and loading shall be located away from primary streets, greens, plazas, trails, and residential frontages to the greatest extent practicable.
- Trash and recycling enclosures shall be constructed of materials compatible with the principal building, shall include opaque gates and man doors.
- Transformers, meters, backflow preventers, utility cabinets, and mechanical equipment shall be coordinated early in site planning and screened from public view.
- Screening shall combine architectural walls, landscape, grade, or fencing while maintaining access for operations and safety.
- Emergency access requirements shall be satisfied without compromising the intended pedestrian and landscape character where feasible.
- Rooftop mechanical units should be screened using extended parapet walls or architectural screen elements that align with the overall building’s architecture. Units should be coordinated early in building planning to be located as central as possible in larger mid and big box retailers. Standalone retailers should also follow the same guidelines to screen rooftop units.
- Key views and sections like the examples below should be illustrated and presented to the plan commission to show that mechanical areas screening.

Recommended HVAC enclosure (foliage, built screen)



Parapet Screening rooftop units.



Roof Screening Reference Diagram

- Development proposal must illustrate mechanical screening from key vantage points to ensure mechanical units are screened and integrated to the overall buildings architecture.



Figure 3.4 Commercial Screening Example

Recommended trash enclosures (made from quality materials, no Dumpster visible, fully closed and latched)



Figure 3.5 Commercial Trash Enclosure Example

- Trash enclosure must be consistent with adjacent building materials. They must include a person access point.

4.0

MULTI-FAMILY AND ATTACHED RESIDENTIAL GUIDELINES

A range of housing choices organized around greens, streets, paths, and community amenities.



Figure 4.1

4.1 Intent

The multi-family and attached residential zone shall provide a diversity of housing opportunities and lifestyles supported by nearby commercial areas, open spaces, and pedestrian connections. The district shall create a gradient of development intensity from the lower-scale single-family areas to the more active commercial areas along I-94. Buildings shall frame streets, greens, courtyards, and pedestrian routes while maintaining a modern agrarian identity through simple forms, strong materials, and landscape integration.



Figure 4.1 - Multi-family and attached residential concept renderings.

4.2 Site Planning and Building Placement

- Buildings shall be arranged to define streets, common greens, courtyards, and pedestrian connections rather than sitting as isolated objects in parking fields.
- Primary entries, lobby entrances, stoops, patios, and amenity spaces shall face streets, greens, trails, or common open spaces wherever practical.
- Parking shall be located behind, beside, beneath, or internal to buildings where feasible. Surface parking visible from public spaces shall be screened with landscape, low walls, or grade transitions.
- Garage structures, carports, detached accessory buildings, and maintenance buildings shall use architectural elements and materials compatible with principal buildings.
- Building layouts shall preserve and enhance pedestrian connections to the commercial zone, community green, trails, and adjacent residential areas.
- Exterior parking lots to contain a minimum of 5% of greenspace area to break up the asphalt areas. All parking lots shall be asphalt paved and contain concrete curb and gutter

4.3 Building Composition and Massing

Element	Multi-Family / Attached Residential Standard
Base	Buildings shall be visually grounded with a durable base using stone, masonry, brick, architectural block, or similarly durable materials at pedestrian-facing levels.
Rhythm	Long facades shall be broken into bays using entries, balconies, window groupings, material changes, projections, recesses, or roof shifts. Facade relief should occur at intervals generally not exceeding 40 feet on primary elevations.

Element	Multi-Family / Attached Residential Standard
Scale	Multi-story buildings shall incorporate human-scaled elements such as stoops, porches, canopies, balconies, low walls, lighting, and foundation planting at ground level.
Height	Rooflines shall include variation through gables, parapet steps, expressed stair/entry volumes, dormer-like elements, or other massing changes. Uniform rooflines across long buildings shall be avoided.
Massing	Buildings should read as linked volumes or clustered pavilions rather than singular blocks. Recessed connectors, material changes, glass links, and similar design strategies are encouraged to reduce perceived scale and create visual interest. Primary building corners shall receive a higher level of articulation through enhanced massing, material transitions, glazing, roofline expression, or other architectural detailing.
Proportion	Windows should favor vertical proportions or well-composed stacked groupings. Window alignment shall reinforce facade rhythm and residential scale.
Layering	Depth shall be created through recessed windows, material returns, balcony depth, canopy projections, and landscape transitions between private and common spaces.

Figure 4.2 - Multi-family and attached residential concept massing diagrams.

Elements of Design

- Plan relief and modulation
- Materiality
- Expressed Entry
- Non continuous roof-lines
- Visible Amenities
- Character of primary elevation**



*Solutions should accommodate categories below as outline in design guidelines.





Figure 4.3 - Multi-family massing and facade strategy.

4.4 Entries, Ground Floors, and Open Space Edges

- Primary building entries shall be covered and legible from streets, drives, and pedestrian routes and shall be emphasized through lighting, canopy, landscape, or material change.
- Ground-floor residential units facing streets, greens, or walks should include stoops, patios, low walls, porches, or landscape thresholds to create a usable semi-private edge.
- Amenity spaces, clubhouses, leasing areas, and community rooms shall be located to activate open spaces and important pedestrian routes where feasible.
- Blank ground-floor walls, exposed utility areas, and inactive edges along greens or primary walks shall not be permitted.
- Balconies shall be integrated into the building composition and should contribute depth and shadow; tacked-on balcony systems without architectural integration are discouraged.

4.5 Multi-Family Materials and Glazing

- Primary materials shall include durable masonry, stone, thin brick, fiber cement, high-quality panel systems, wood or wood-toned systems, architectural block, glass, and refined metal accents.
- Material changes should be integrated with facade relief and occur at intervals generally not exceeding 40 feet on primary elevations (Per Building Composition and Massing section 4.3)

- Finish-grade materials shall be used consistently on all public-facing facades and elevations visible from greens, trails, streets, and parking courts.
- Material changes shall occur at inside corners, changes in plane, floor lines, structural bays, or other logical architectural breaks; arbitrary surface-applied changes are discouraged.
- Ground-floor amenity and lobby spaces should incorporate generous clear glazing to support activity, safety, and connection to open spaces.
- Residential windows shall be organized to reinforce facade rhythm and shall not appear randomly placed.

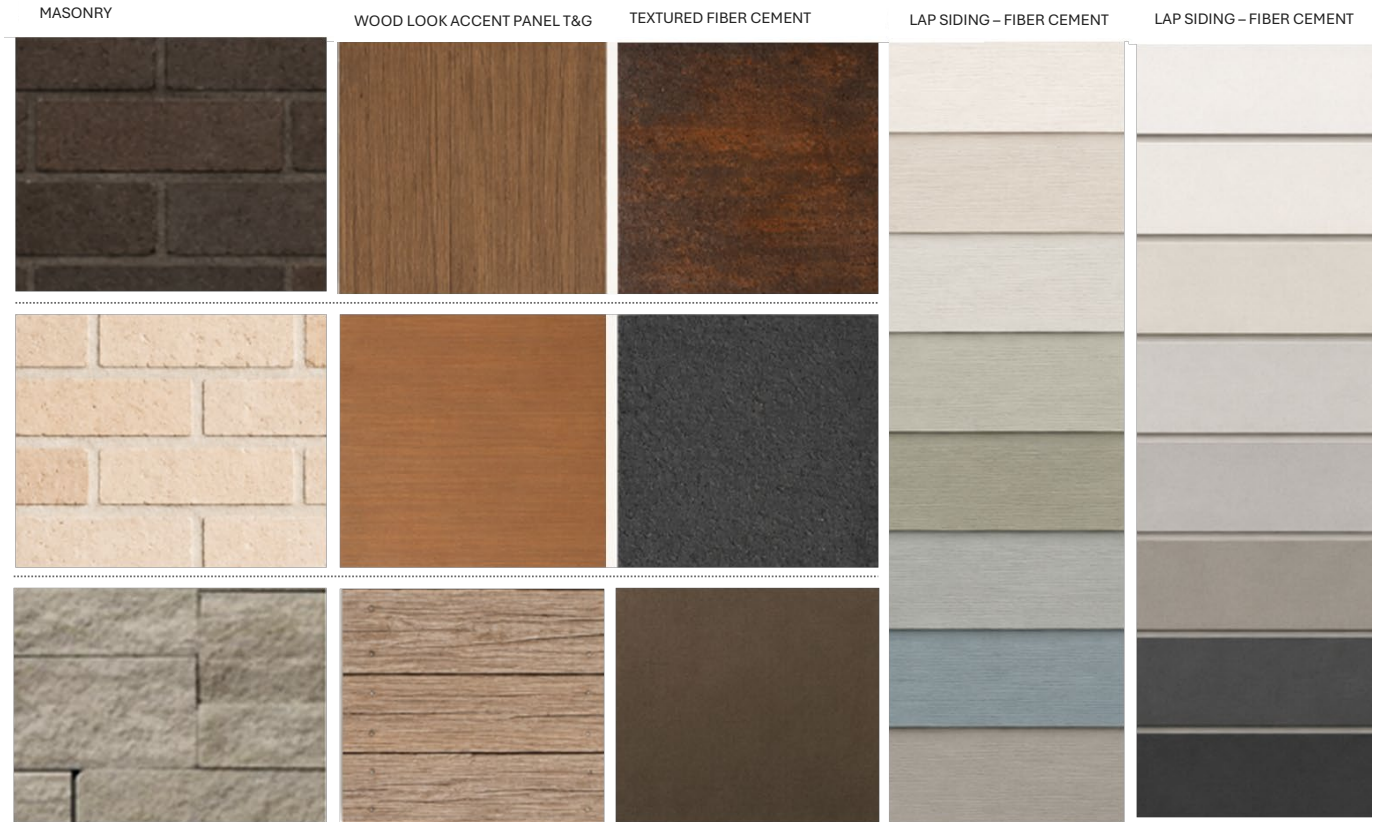


Figure 4.5 - Multi-family material and detail palette.

4.6 Service, Loading, and Utilities

- Service and loading shall be located away from primary streets, greens, plazas, trails, and residential frontages to the greatest extent practicable.
- Trash and recycling enclosures shall be constructed of materials compatible with the principal building and shall include opaque gates.
- Transformers, meters, backflow preventers, utility cabinets, and mechanical equipment shall be coordinated early in site planning and screened from public view.
- Screening shall combine architectural walls, landscape, grade, or fencing while maintaining access for operations and safety.
- Emergency access requirements shall be satisfied without compromising the intended pedestrian and landscape character where feasible.
- Roof Vents, building penetrations and related exhaust pipes shall compliment the building material palette or be painted to match the roof colors.
- Wall pack AC units shall be disguised to blend in with the building façade colors.

5.0

SINGLE-FAMILY NEIGHBORHOOD GUIDELINES

Neighborhood character, amenity-rich public realm, and transition to existing residential areas.



5.1 Intent

The single-family zone shall provide a comparable neighborhood feel and experience to surrounding developments to the north. As such, it provides a transition from the multi-family and commercial zones to transition to surrounding residential areas while maintaining the overall Harvest identity. The primary focus of these standards is public-facing neighborhood character: street edges, front facades, garages, porches, landscape, fencing, and the relationship between homes and common open spaces.

Figure 5.1 - Single-family neighborhood organization.

5.2 Lot and Street Character

- Homes shall orient primary facades, entries, porches, or stoops toward the street, green, or public-facing open space.
- The neighborhood shall emphasize walkable streetscapes with connected sidewalks, street trees, porch edges, and layered front-yard planting.
- Front yards should remain visually open and porch-oriented. Tall continuous hedge walls, opaque front-yard fencing, and visually defensive landscape edges are discouraged.
- Corner lots and lots facing common greens shall treat both public-facing elevations as primary or enhanced side facades.
- Driveways and garages should be designed to minimize visual dominance and pedestrian conflicts along sidewalks.

5.3 Primary Facade Architecture

Element	Single-Family Standard
Facade Composition	Primary facades shall demonstrate a clear composition with an entry, windows, material hierarchy, roof form, and landscape relationship.
Base	Where used, stone, brick, or masonry bases shall appear structurally grounded and shall turn corners rather than terminating abruptly on primary facades.
Roof Form	Gables, simple shed forms, standing seam accents, dormer-like elements, and composed roof transitions are encouraged. Excessively complex suburban rooflines are discouraged.
Porches / Stoops	Porches, stoops, covered entries, or entry recesses should be used to create a visible threshold between home and street.
Windows	Street-facing windows should favor vertical proportions, grouped openings, or well-composed contemporary patterns. Blank street-facing walls shall not be permitted.
Garages	When Garage doors are front facing they should be part of the architectural character.
Variation	Repeated plans along the same street shall vary in massing, roof form, porch/entry treatment, color, or material composition to avoid monotony.

Figure 5.1 - Single-family public-facing facade composition.

5.4 Materials

- Recommended primary materials include fiber cement siding, board-and-batten, vertical siding, wood or wood-toned systems, stone, thin brick, standing seam metal accents, and high-quality windows and doors.
- Public-facing elevations shall use finish-grade materials and shall avoid large areas of low-quality or temporary-feeling materials.
- Stone or masonry used on primary facades shall be detailed as a grounded material with appropriate returns, corners, caps, and transitions.

5.5 Accessory Elements, and Utilities

- Utility meters, air-conditioning units, refuse storage, and service equipment shall be located or screened to reduce visibility from streets and common open spaces.
- Accessory structures visible from public spaces should use materials, roof forms, and colors compatible with the principal residence.
- Mail kiosks, neighborhood signs, and common-area structures shall follow the district signage and material palette.

6.0 PUBLIC REALM, LANDSCAPE, AND OPEN SPACE

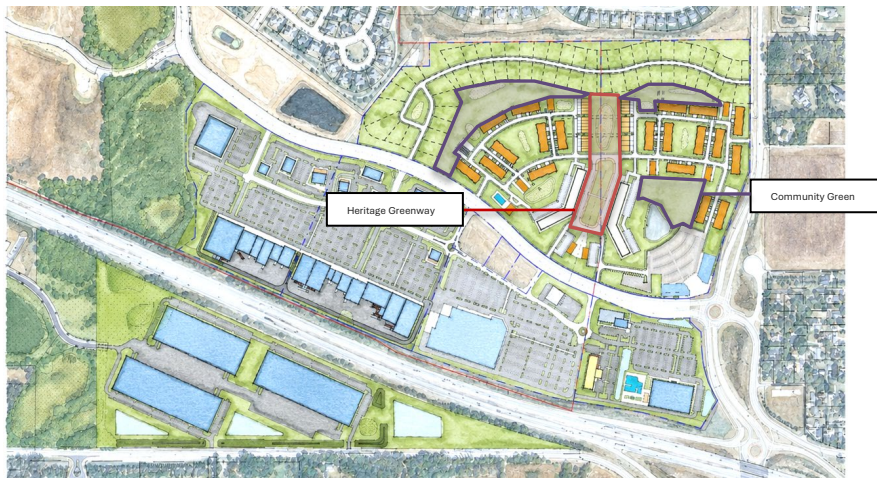
A connected landscape system rooted in Wisconsin ecology and Pabst Farms heritage.

6.1 Landscape Vision

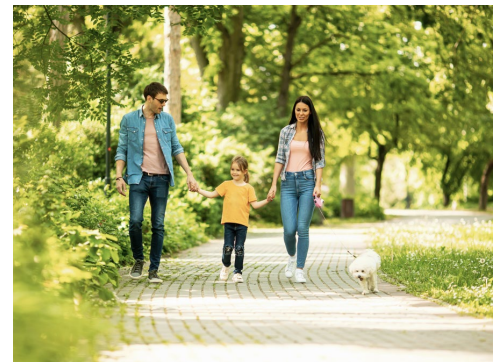
Landscape shall be a defining feature of The Harvest. The character should balance cultivation, biodiversity, and ecology: structured and legible in civic and retail areas, softer and more naturalized along greenways, trails, stormwater corridors, and residential edges. Native and regionally adapted plantings shall provide seasonal change, habitat value, durability, and a strong sense of place.



6.2 Community Green and Heritage Greenway



- The community green and linear greenway shall be designed as primary organizing spaces, not leftover buffers.
- These spaces shall include connected paths, shade trees, layered native planting, seating opportunities, lighting, and locations for community gathering.
- The heritage of Pabst Farms should be interpreted through signage, landscape patterns, garden plots, market structures, or agricultural references integrated into the public realm.
- Greens shall maintain long views, safe visibility, and accessible routes while providing spatial variety through planting, landform, informal seating, and program zones.
- Open spaces should support flexible use: informal play, walking, small gatherings, market events, seating, and daily resident activity.

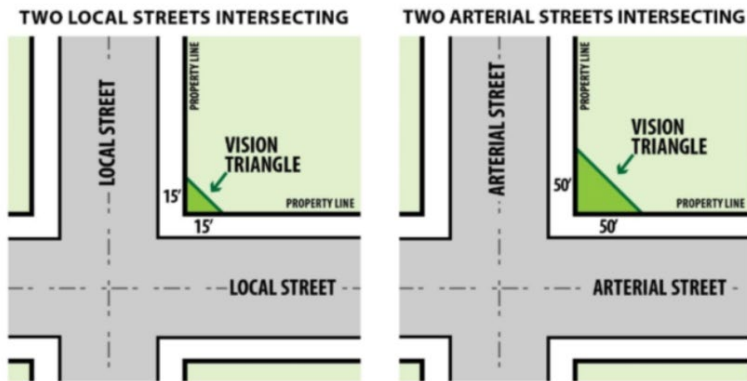




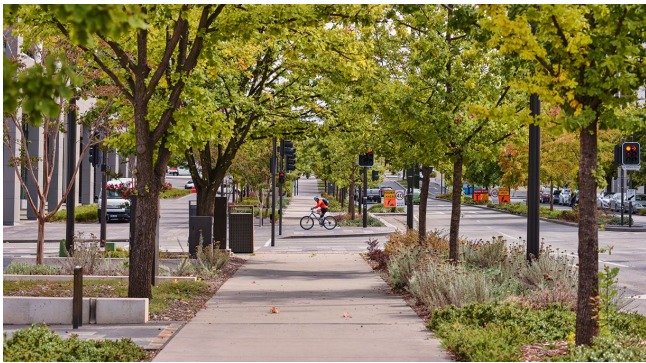
6.3 Streetscape Landscape

- Public and private streets shall include a consistent canopy tree rhythm using durable, regionally appropriate species. Street tree species shall be selected such that no one species is more than 15% of the total street trees.
- Streetscape planting shall be coordinated with utilities, snow storage, signage, lighting, driveways, and clear sight triangles.

VISION CLEARANCE TRIANGLE (PLAN VIEW)



- Retail streetscapes shall prioritize accessibility, pedestrian comfort, seating, and shade.
- Residential streetscapes shall emphasize porch-to-sidewalk connections, layered front-yard planting, and a continuous neighborhood canopy.
- Developer responsible for cost of trees in the public ROW
- In public and private planting beds in street terraces and private yard areas should use broad, simplified groupings of grasses, perennials, shrubs, and groundcovers rather than scattered ornamental plantings.



- Parking areas shall include landscaped terminal islands at the ends of parking rows and at least one internal landscaped island for every 12 contiguous parking spaces. Islands shall be sized to support healthy canopy tree growth, understory planting, snow storage coordination, and safe vehicle overhang conditions.
- Parking lot perimeter edges visible from streets, greens, trails, residential areas, or primary pedestrian routes shall include layered planting with canopy trees, shrubs, grasses, and groundcovers sufficient to soften views of vehicles while preserving safety, visibility, and wayfinding.
- Large parking fields shall be organized into smaller visual “rooms” through the use of tree islands, planting fingers, pedestrian spines, bioswales, low walls, shade-tree rows, or similar landscape elements. In multi-family zones, no more than three consecutive double loaded parking bays, or an equivalent large parking module, should occur without an intervening landscape break, planted divider, pedestrian walk, or green infrastructure element to reduce the appearance of expansive uninterrupted hardscape.
- Where landscaping is used for screening, plantings shall exceed minimum landscape standards and provide screening at the time of installation.
- Planting in snow storage areas shall be salt-tolerant and selected for long-term durability. Evergreen shrubs should be avoided in heavy snow storage zones unless protected.
- Service and loading areas shall be screened using a combination of walls, fences, evergreen and deciduous planting, berms, or architectural enclosures.
- Landscape screening shall not obstruct required visibility, safe access, or building identification.



6.5 Plant Palette Direction

Plant selection shall emphasize Wisconsin-native, native cultivars, or regionally adapted species. Plants shall be urban-tolerant, pollinator-supportive, have four-season interest, and be low-maintenance. Plants selection shall account for the drier; sandy soils found in the Pabst Farm development. The use of ornamental grasses and mass plant groupings shall be prioritized in the overall design.

Open areas and the side slopes of storm water facilities shall incorporate native grass and forb seed mixes that create pastoral meadows.



7.0 STORM WATER

Stormwater Management Coordination

The Harvest at Pabst Farms includes lands within both the City of Oconomowoc and the Village of Summit, and stormwater management requirements shall be coordinated with the municipality in which each parcel is located, as well as the Pabst Farms Joint Stormwater District (PFJSD). The PFJSD has its own design standards which must be followed in addition to the underlying municipal standards, as well as its own approval process.

For some portions of the development, a regional stormwater management system is in place – the PFJSD standards provide guidance regarding the regional systems. Specific development proposals tributary to the regional stormwater systems shall provide an appropriate stormwater conveyance plan demonstrating how runoff will be directed to the regional system. Individual parcels may rely on the established regional stormwater management strategy, subject to review and approval by the municipalities and the PFJSD. Developers shall consult with the municipalities and the PFJSD regarding specific stormwater requirements, connection points, conveyance design, permitting, and any applicable engineering standards.

For portions of the development that are not tributary to a regional stormwater system, individual development parcels shall provide both on-site stormwater quality treatment, detention and infiltration as part of their overall site design, as required by the municipalities and the PFJSD. Development proposals shall preserve adequate land area to accommodate the parcel-specific stormwater management strategy, including water quality and infiltration facilities, conveyance routes, maintenance access, and any required buffers or setbacks. Developers shall coordinate with the applicable municipality and PFJSD to confirm specific stormwater requirements and applicable engineering standards.

- *Development proposals shall be reviewed and approved by all applicable approving jurisdictions, including the City of Oconomowoc or Village of Summit, the Pabst Farms Joint Stormwater District (PFJSD), and the Wisconsin Department of Natural Resources (DNR) when DNR approval or permitting is required. Developers shall coordinate early with the applicable municipality, PFJSD, and any other regulatory agencies to confirm review procedures, stormwater requirements, permitting obligations, and approval timelines.*

8.0 LIGHTING GUIDELINES

Warm, controlled, pedestrian-scaled lighting that supports safety and atmosphere.

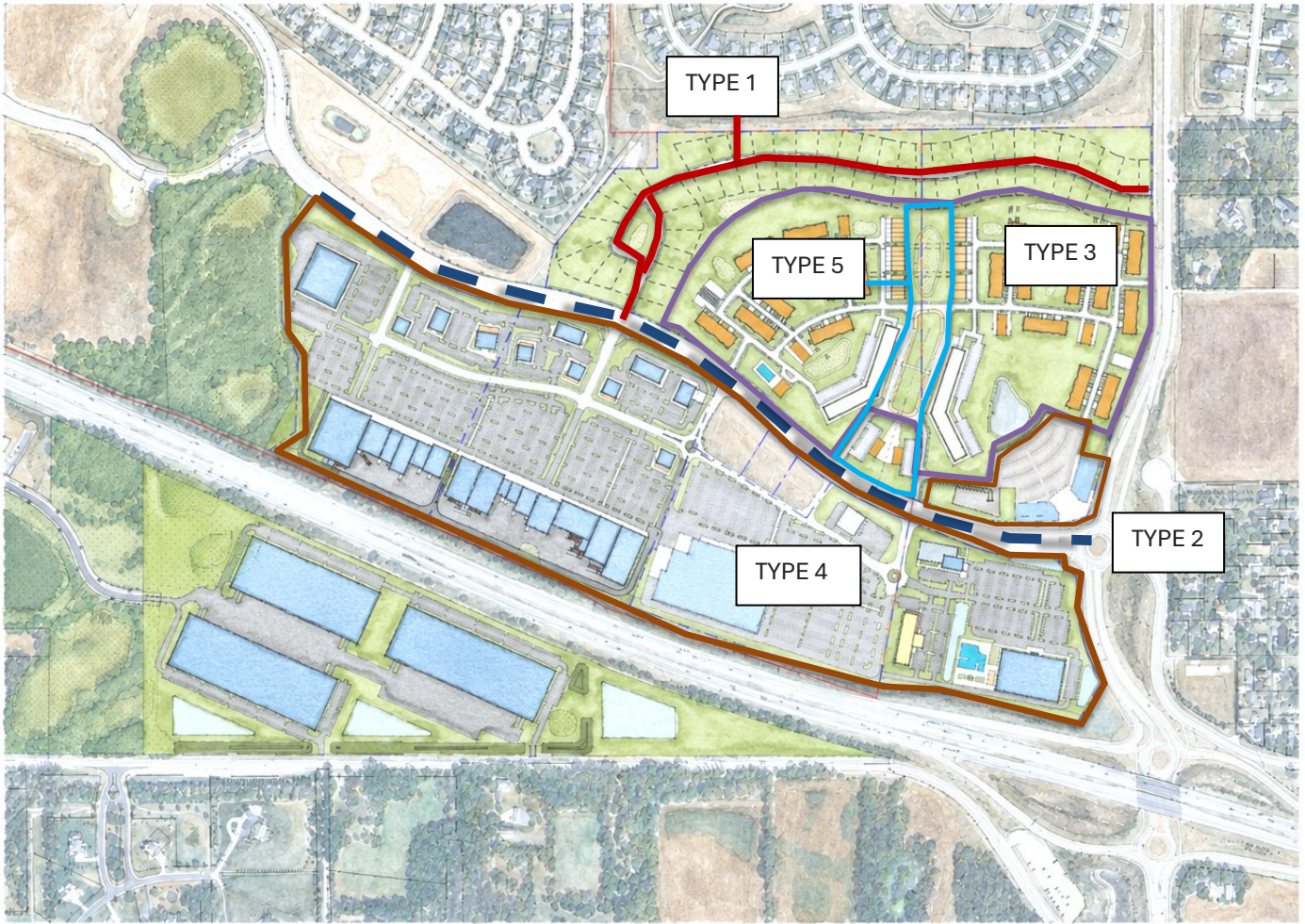
8.1 Intent

Lighting at The Harvest shall support safety, wayfinding, evening activity, and a cohesive nighttime identity without creating glare, over-lighting, or excessive spillover. Lighting shall be layered and warm, emphasizing entries, pedestrian routes, public spaces, and building character.

Figure 8.1 - Lighting family and hierarchy.

8.2 Districtwide Lighting Standards

- Fixtures shall be full cut-off or fully shielded where required to minimize glare and light trespass.
- Warm color temperatures are required for a cohesive nighttime character. General site lighting should typically be 3000K or warmer; accent and hospitality lighting should typically be 2700K to 3000K.
- Fixture finishes should be black, dark bronze, or similarly muted tones unless otherwise approved as part of a coordinated fixture family.
- Lighting levels shall be appropriate to the function of the area and shall avoid overly bright or flat illumination.
- *Photometric plans submitted separately for the development shall demonstrate compliance with municipal standards, transitions to adjacent uses, and control of light spill at property lines. See attached lite pole fixtures for more detail.*



TYPE 1 (Streetlight): Hinkley Edgewater Extra Large Post Mount Lantern

TYPE 2: 25' BENHAMIN FRANKLIN PARKWAY STYLE.

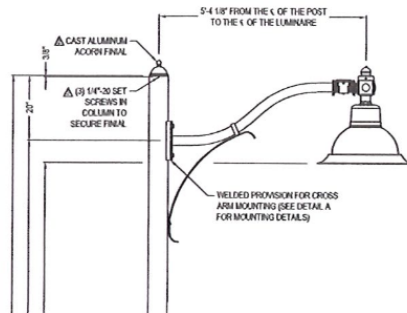
TYPE 3: Hinkley Edgewater Extra Large Post Mount Lantern

TYPE 4 (Parking lot Lighting): McGRAW EDISON GALN Galleon II.

TYPE 5 (pedestrian bollard lighting): AXIM COLUMNS – GENERAL PEDESTRIAN BOLLARD LIGHTING – Final height to be submitted with final lighting package. Bollard height should be scaled appropriately to the adjacent use, entry or landscape area.



Type 1 & 3



Type 2



Type 4



Type 5

8.3 Building and Landscape Lighting

- Building lighting shall be integrated into the architecture through sconces, canopy lighting, recessed fixtures, signage lighting, or concealed linear lighting.

- Facade lighting may highlight architectural features, entries, material texture, and important vertical elements
- Landscape lighting shall be used selectively for entries, important trees, seat walls, paths, signage, and gathering areas.
- Tree uplighting and accent lighting shall be focused and controlled to avoid glare or disruption to adjacent residential areas.
- Outdoor dining, plazas, and community spaces may use festoon lighting, low-level fixtures, and integrated lighting to create a warmer social character.
- See type 5 cut sheets for pedestrian bollard lighting to be used in site wide application where applicable.





8.4 Parking and Service Lighting

- Parking areas shall be safely illuminated but visually secondary to storefronts, entries, pedestrian routes, and public spaces.
- Pole heights shall be minimized where practical and shall comply with municipal standards.
- Lighting at service and loading areas shall be functional, shielded, and oriented away from residential areas and public spaces.
- Lighting controls shall support energy efficiency, security, curfew settings, and maintenance access.
- See type 5 cut sheets for pedestrian bollard lighting to be used in site wide application where applicable.

9.0 SIGNAGE GUIDELINES AND INITIAL MASTER SIGN PROGRAM

A coordinated sign family for district identity, tenant visibility, wayfinding, and pedestrian scale.

- Sign permits are required for all permanent signs.

9.1 Intent

Signage shall be treated as an integrated component of architecture, landscape, and public realm design. The Harvest sign system shall balance tenant visibility with district cohesion, supporting clear wayfinding, durable materials, restrained lighting, and a contemporary agrarian identity.

9.0 Signage Guidelines – Master Site Signage

THE HARVEST SIGNAGE LOCATIONS

-  PRIMARY PYLON
-  SECONDARY GATEWAY & WAYFINDING SIGNAGE
-  TERTIARY MONUMENT AND WAYFINDING SIGNAGE
-  DEVELOPMENT MONUMENT SIGNAGE
-  Brand identity gateway

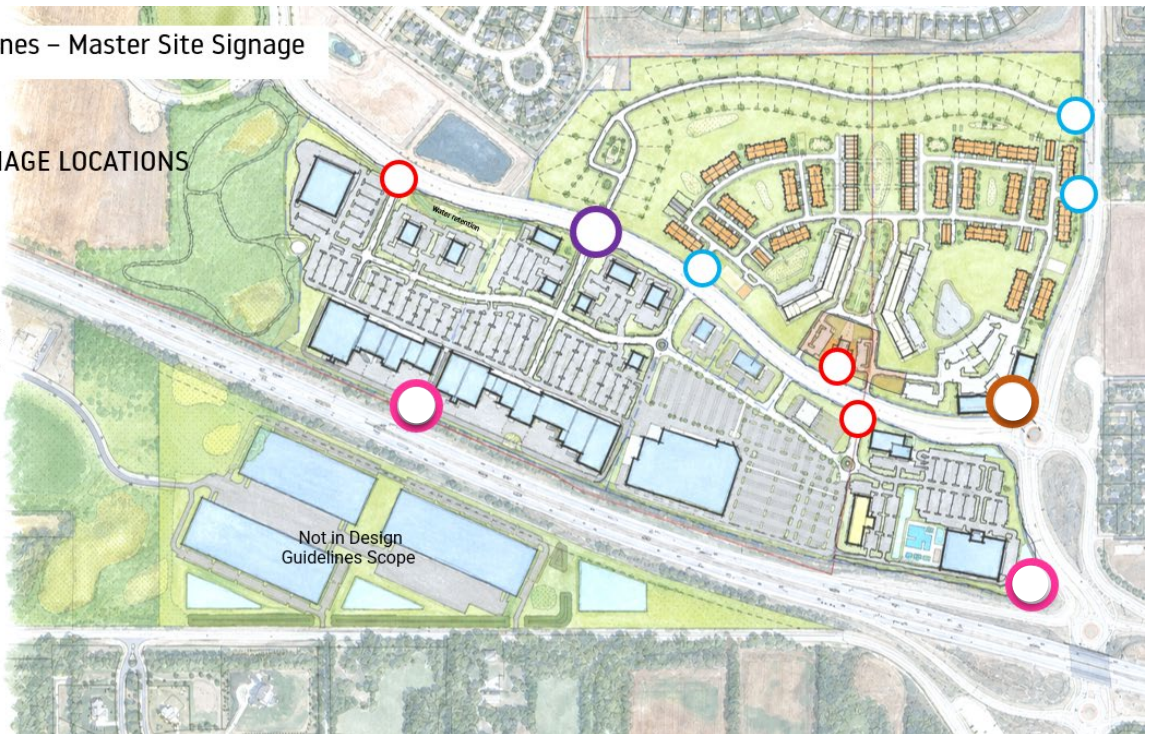


Figure 9.1 - Sign family and hierarchy.

9.2 Base Signage Requirements and Harvest Standards

Because The Harvest spans two municipalities with different base sign standards, the following matrix summarizes key municipal requirements and establishes the Harvest standard that is intended to supersede local municipal design standards where more specific. Permit procedures, inspections, and public health and safety requirements continue to apply unless otherwise approved by the municipality having jurisdiction.

- **The Harvest Branded Signage Locations:** Gateway, wayfinding, monument, pylon, and brand identity signs shall be located generally as shown on the Harvest Branded Signage Locations exhibit. These signs establish the overall Harvest identity, hierarchy, and arrival experience across the full development.

Sign Type / Topic	Purpose	Typical Location/ Standard
Master sign program	Establishes a unified Harvest sign family across both jurisdictions.	Required for commercial, residential, gateway, wayfinding, and shared amenity signage. Sign families shall coordinate materials, typography, colors, lighting, placement, and hierarchy.
District Gateway Monument	Identifies The Harvest at major entries and reinforces the overall development identity.	Located at primary vehicular gateways, generally as shown on the Harvest Branded Signage Locations exhibit. Signs shall be integrated with landscape, low walls, controlled lighting, and the Harvest stone, wood, and metal material palette. Standard commercial monuments should not exceed 32 ft high unless a larger sign is specifically approved as part of the adopted master sign program for a major gateway condition.
Brand Identity Gateway Sign	Establishes a major arrival moment and reinforces The Harvest brand identity.	Located at key gateway locations shown on the exhibit. May be larger or more prominent than standard monument signage when approved as part of the adopted master sign program. Preferred max height is 10 ft and max face area is 75 SF per side unless otherwise approved as a coordinated gateway element.
Wayfinding / Directional Signage	Guides drivers, pedestrians, cyclists, service vehicles, and visitors through the development.	Located at primary decision points and coordinated with the Harvest sign family. Typography, colors, materials, lighting, and arrow logic shall be consistent across the district.
Development Monument Signage	Identifies major development areas, shared amenities, districts, or neighborhood entries.	Located generally as shown on the Harvest Branded Signage Locations exhibit. Signs shall be low-profile, landscape-integrated, and coordinated with the overall Harvest material and signage palette. max 10 ft high, 75 SF per side, minimum 10 ft from street right-of-way, minimum 5 ft from other lot lines, and limited in number
Primary Pylon	Provides high-visibility identification for the overall development and major tenants.	Permitted only where shown on the Harvest Branded Signage Locations exhibit and as approved through the master sign program. Pylon signage may include major tenant identification but shall remain coordinated with the Harvest brand system. Pylon Sign shall not exceed 46'-0"
Secondary Gateway / Wayfinding Sign	Reinforces district identity and supports circulation at secondary entries.	Located at secondary gateway or internal decision points. Signs shall be subordinate to primary gateway signage and coordinated with the overall Harvest sign hierarchy.
Tertiary Monument / Wayfinding Sign	Provides smaller-scale identity, orientation, and directional support.	Located at internal streets, neighborhood transitions, shared amenities, or trail/green connections. Signs shall be scaled to their setting and integrated with landscape.

• **Development Parcel Signage:** Individual commercial, residential, mixed-use, tenant, and neighborhood signs shall follow the standards in the matrix below and shall be coordinated with the overall Harvest sign family. Parcel signage may support individual tenant or neighborhood identity but shall not compete with, duplicate, or visually overwhelm the Harvest-branded gateway and wayfinding system.

Sign Type / Topic	Purpose	Typical Location/ Standard
Commercial Multi-Tenant Monument	Identifies multiple tenants within commercial parcels.	Located at shared commercial entries. Signs shall be low, horizontal, landscape-integrated, and built from the Harvest material palette. Tenant panels shall use a coordinated cabinet or panel system and avoid cluttered tenant stacking.
Single-Tenant Monument	Identifies a stand-alone tenant, civic, amenity, or outlot building.	Signs shall follow the approved Harvest signage prototype and be integrated with storefront bays, sign bands, entry volumes, canopies, or facade modules. Signs shall not exceed 32 feet in height unless specifically approved through the adopted master sign program.
Residential / Neighborhood Monument Sign	Provides primary tenant identification for commercial buildings.	Scaled to the residential setting and integrated with landscape, low walls, lighting, and planting. Preferred maximum height is 5 feet and maximum face area is 32 SF per side unless approved as a coordinated gateway element

Sign Type / Topic	Purpose	Typical Location/ Standard
Commercial Wall Sign — Inline, Mid-Box, and Multi-Tenant	Provides primary tenant identification for commercial buildings.	<p>Provides primary tenant identification for commercial buildings. Signs shall align with the approved Harvest signage prototype and be integrated with storefront bays, sign bands, entries, canopies, awnings, or façade modules. Signs shall not exceed 32 feet in height unless specifically approved.</p> <p>For multi-tenant commercial or industrial buildings, each tenant may have one sign on the pedestrian entry façade and one sign on a secondary façade. A third sign may be permitted on a third building elevation, provided the tenant does not exceed the total allowable sign area calculated from either the pedestrian entry façade or secondary façade frontage.</p> <p><i>The total area of all building-mounted signage shall be limited to 1.5 square feet of sign area for each linear foot of primary building façade frontage. Sign area shall be calculated cumulatively for all signs on the building. For example, a building with 60 linear feet of primary façade frontage would be permitted up to 90 square feet of total signage area, unless otherwise approved by the reviewing authority.</i></p> <p><i>Freestanding or tenant building wall signage can be allowed on additional building sides under special approval with municipal review.</i></p> <p>Individually mounted, extruded, cut-out, channel, or halo-lit letters are preferred.</p>
Commercial Wall Sign — Tenant Identification	Identifies individual tenants on building facades.	<p>Identifies individual tenants on building facades.</p> <p>For multi-tenant commercial or industrial buildings, each tenant may have one sign on the pedestrian entry façade and one sign on a secondary façade. A third sign may be permitted on a third building elevation, provided the tenant does not exceed the total allowable sign area calculated from either the pedestrian entry façade or secondary façade frontage.</p> <p><i>The total area of all building-mounted signage shall be limited to 1.5 square feet of sign area for each linear foot of primary building façade frontage. Sign area shall be calculated cumulatively for all signs on the building. For example, a building with 60 linear feet of primary façade frontage would be permitted up to 90 square feet of total signage area, unless otherwise approved by the reviewing authority.</i></p> <p><i>Freestanding or tenant building wall signage can be allowed on additional building sides under special approval with municipal review.</i></p> <p>Individually mounted, extruded, cut-out, channel, or halo-lit letters are preferred.</p>
Blade / Projecting Signs	Provides pedestrian-scale tenant identification.	<p>Feathers signs are not permitted. Promoted in pedestrian-oriented retail areas near storefront entries, arcades, patios, or walkable retail streets. Signs shall maintain clear pedestrian clearance, typically 8 feet minimum above walks, and shall not project more than 4 feet from the facade unless approved.</p>
Awning / Canopy Sign	Provides tenant identity and pedestrian emphasis.	<p>Signage shall be integrated into the canopy, awning, or marquee design. Lettering should be restrained, aligned with tenant bays, and generally limited to the valance or face of the canopy. Letters not exceeding 8 inches are treated separately; larger letters are considered wall signs.</p>
Window Sign / Vinyl	Provides secondary storefront information.	<p>Window graphics shall preserve transparency into active interiors. At primary storefronts, opaque graphics should generally not exceed 10% of the active window area unless approved for special design or privacy conditions.</p>
Electronic / LED / Reader Board	Provides limited digital messaging where specifically approved.	<p>Building-mounted electronic message boards and LED reader boards are permitted. Limited digital components may be considered only at primary development monument signs with strict brightness, size, content, and change-frequency controls. Signs shall not revolve, flash, scroll, blink, chase, or otherwise be animated; electronic message signs may fade over at least 3 seconds, must remain static for at least 5 seconds, and images shall not be animated.</p>

Sign Type / Topic	Purpose	Typical Location/ Standard
Temporary Sign / A-Frame / Banner	Supports daily pedestrian-scale messages, temporary events, seasonal uses, and grand openings.	High-quality A-frame signs may be allowed in pedestrian retail areas when stable, durable, and kept outside accessible routes. Temporary banners shall be limited to approved grand opening, seasonal, or event conditions. Inflatables, streamers, pennants, and visually cluttered temporary advertising are not permitted. Temporary signs should be limited to 24 SF maximum.
Pole / Pylon / Roof Sign	Provides high-visibility signage where specifically approved.	Parcel-specific pole, pylon, and roof signs are not permitted. Freestanding pylon signage is accepted only where shown on the Harvest Branded Signage Locations exhibit. Requests for additional signage may be reviewed by the City Architectural Commission or Village Plan Commission for special exceptions

9.3 Building Sign Standards

- Primary tenant signs shall be integrated with the building architecture and shall align with storefront bays, entry volumes, canopies, or sign bands.
- Channel letters, reverse-lit letters, extruded letters, cut-out letters, halo-lit signs, and high-quality externally lit signs are preferred.
- Raceways, conduits, transformers, and mounting hardware shall be concealed or integrated into the sign design.
- Internally illuminated cabinet or box signs are not permitted unless specifically approved as part of a high-quality, architecturally integrated system.
- Tenant signs shall not cover architectural features, windows, material transitions, cornices, or primary details.
- Sign lighting shall be warm, controlled, and free of glare.
- Art / murals on buildings should be discussed. If the art is not advertising a specific name or specific product, then it should not be counted as a sign. All proposed art could be approved by either Staff or AC/PC of the community.

Primary Signage

A mix of signage types is encouraged to create depth, rhythm, and visual cohesion across Pabst Farms. Primary signage should be clear, legible from a distance, and integrated with the building architecture.



Recommended Types

Architectural

Primary Sign: Best

Options: Channel or Extruded

Lighting: Internal Neon, Reverse, or Internal

Location: Entry Facade



Extruded

Primary Sign: Better

Options: Floating or Wall-Mounted

Lighting: Reverse or External

Location: Entry or Non-Entry Facades



Cut-out

Primary Sign: Good

Options: Offset or Wall-Mounted

Lighting: Internal or External

Location: Entry Facade



Secondary & Eye-Level Signage

While Primary Signage identifies the retailer from a distance, the human scale is addressed by Eye-level Signage. The intermediate between the two scales addressed by Secondary Signage. Together, this layering of signage provides visual interest and promotes attraction to pedestrians walking by.



Recommended Types

Flag

Secondary Sign: Best

Options: Horizontal or Vertical, Fabric or Rigid

Lighting: Internal or External

Location: Entry or Non-Entry Facades & Special Conditions



Awning

Primary Sign: Good

Options: Line of Dome, Wall Mounted

Lighting: External (From Above)

Location: Entry or Non-Entry Facades & Special Conditions



Vinyl (On-Glazing)

Primary Sign: Good

Options: Offset or Wall-Mounted

Lighting: Internal or External

Location: Entry Facade



Recommended Types

Included below are precedents that are indicative of the signage standard and recommendations for retailers at the River Point District.

Precedent 1

This signage demonstrates depth as well as featuring a clean and durable letter on natural building material.



Precedent 2

The extruded letters on a canopy give dimension to the streetscape. It also provides multiple levels of signage on the facade.



Precedent 3

Well-made flag signs add visual interest for pedestrians and make stores easily identifiable.



Quantity & Scale

The quantity and scale of signage at The Harvest at Pabst Farms should ensure tenants are easily identifiable without overwhelming the building or streetscape. The following guidelines apply to all retail buildings within the master plan, with limited exceptions for select large-format conditions.



Example of Primary Signage



Example of Secondary & Eye-level Signage

Recommended Signage:

Signage at multiple scales including extruded letters at cantilever; horizontal and vertical flags; eye-level signage.



Quantity

- 1 primary sign per facade frontage per tenant*
- 1-2 flag signs per entry facade (fabric or solid)
- 1 eye-level sign/graphic per 12 linear feet of entry facade



Example: Retail Storefront

- Height: 15'-8"
- 15% of 15'-8" = 28" Max Height

***Exception:**

Primary signs are also allowed on special condition facades. Perimeter buildings along Copeland Avenue may also have additional primary signs on the facade facing Copeland if that facade is not an entry facade.



Scale

General Guidelines

- Minimum sign height: 16"
- Maximum sign height: 15% of retail floor height

Flags

- Wall mounted fabric flag may not be >10" in height and must maintain a vertical proportion; may not extend >4' off facade or <-8' from ground
- Wall mounted solid flag may not be >36" in width or 36" in height; may not be <-8' from ground plane; may not project >4' from the outermost facade

Suspended

- Suspended signs which are perpendicular to the facade and project over pedestrian paths may not be <-8' from ground nor project >4' from outermost building facade

Awning

- Minimum lettering height = 8"
- Maximum sign height = 5% of retail floor height
- Text on awning preferred on face perpendicular to ground plane
- Awning may not extend more than 4' from outermost facade

Vinyl sign on glass

- text/graphic/pattern may not cause >10% of glazing to become opaque
- Maximum text height = 5% of retail storefront.

Recommended Signage:

Primary, secondary, and tertiary signs are present. Signage has a consistent design. Temporary sign is for announcing opening date only and is subject to City of La Crosse requirements for temporary signs.

Placement & Orientation

It is recommended that facades feature a balance of parallel and perpendicular signage to enhance visual access and branding capabilities. Signage should be located over entries, at sides of in-line bays, or at locations considerate of materials and their arrangement. Signage should be relevant within the overall architectural design.



Example of Successful Signage



Example of Eye Level Signage

Multiple orientations of signage attract views from different directions and are visually appealing



Example of Flag and Awning Signage

Awnings should be located at windows and doors to emphasize architectural design. Awnings should not be continuous features which wrap the entire building or storefront.



Unacceptable Signage Placement

Signage does not brand business and is placed between to structural bays. No other signage is provided.



Recommended Signage Placement

Signage is centered on the retail unit and between facade elements. Signage works with building design to define storefront size.

Material

To maintain consistency at The Harvest at Pabst Farms, building signage should follow a cohesive design language. Materials should be durable and complementary to the building façade, with appropriate contrast and integrated illumination, and should be thoughtfully incorporated into the overall storefront design.



Example of Complimentary Retail Signage

Color & Pattern

Color of signage shall complement building materials. Colors are recommended to be solid. Limit use of distracting patterns.



Example of Signage Material and Color



Examples of Complimentary Retail Signage

Recommended

Signage colors and materials complement building materials.



Recommended Materials for Retail Signage



Stainless Steel



Translucent Durable Plastic



Steel Channel



Wood



Vinyl Lettering/Graphics



Aluminum

Awning Guidelines

Recommended

Dome awnings complement upper arched windows. Colors are neutral and consistent. Awnings are made of durable canvas.

Unacceptable

Domed awnings do not complement rectangular facade elements. Vinyl awnings are unacceptable. Awnings may not extend full length of building.



Example if Recommended Awning



Example of Unacceptable Awning



Example of Unacceptable Awning

9.5 Monument and Gateway Signs

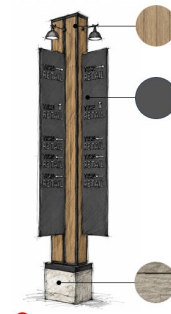
- Gateway signs shall combine signage, landscape, lighting, and low wall elements to create a memorable arrival sequence.
- Monument signs shall use the district material palette: stone, brick, masonry, wood tone, blackened metal, dark bronze metal, or other approved durable materials.
- Signs shall be designed as horizontal, ground-related elements rather than tall pole signs unless otherwise required or approved for visibility.
- Digital or electronic message components shall not be used on building facades. If permitted by municipal code, limited digital components may be considered only at development monument signs and shall be carefully controlled for brightness, change frequency, size, and content.
- Monument sign planting shall maintain visibility while grounding the sign with native grasses, perennials, shrubs, and seasonal interest.



○ Pylon sign



○ Secondary Gateway



○ Wayfinding Sign



Brand Identity Gateway Sign

9.6 Prohibited or Discouraged Sign Types

- Flashing, animated, or moving signs, except as specifically permitted for approved monument sign components.
- Building-mounted electronic message boards or LED reader boards.
- Generic internally lit cabinet / box signs not integrated into the architecture.
- Roof signs, inflatable signs, pennants, streamers, and excessive temporary banners.
- Signs with exposed raceways or uncoordinated wiring.
- Large blank corporate color panels used as signage fields rather than architectural materials.

- Signage that obstructs pedestrian routes, sight triangles, windows, doors, fire access, or required accessibility clearances.
- Feather Sign, inflatable sign or Temporary fabric flags.

Unacceptable Signage Types

Sign types that are visually intrusive, poorly legible, or lack durability are not appropriate for The Harvest at Pabst Farms and should be avoided.

LED / Electronic

These signs can be very difficult to read and detract from the desired architecture aesthetic of the development.



Exception:

LED and electronic signs will be allowed at Development Monument Signs. Electronic signs may not be attached to building facades at any location.

Box Signs

These signs are generally flat, are not pedestrian friendly, and do not contribute to the architectural design of the building.



Temporary

Temporary signs are of poor quality and durability and do not contribute to the architectural aesthetic of the building.



Exception:

Temporary and banner signs may be used for short durations during grand openings or for seasonal messages. This rule does not apply to easel/triangle signs which are put out daily by businesses; these signs are encouraged at pedestrian locations.

Painted

These signs are very flat and do not contribute to the architectural aesthetic of the building.



Fabric/ Inflatable

These are low quality solutions that take away from the aesthetic.

