



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.villageofsummitwi.gov](http://www.villageofsummitwi.gov)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

## AGENDA

### Village of Summit Plan Commission

**Thursday, February 26, 2026, 5:30 p.m.**

At the Summit Village Hall, 37100 Delafield Road

1. CALL TO ORDER
2. ROLL CALL AND CONFIRM POSTING
3. PLEDGE OF ALLEGIANCE
4. MINUTES
  - November 20, 2025
  - January 15, 2026
5. Next meeting date – proposed for Thursday, March 19, 2026, at 5:30 p.m.
6. **REGULAR BUSINESS:**
  - A. Discussion and action on request by Mary Helinski, on behalf of MJ Real Estate Acquisitions LLC, to renew an existing Conditional Use Permit for Canine Campus Pet Resort located at 38322 Delafield Road (SUMT0653997001).
  - B. Discussion and action on request by William Loepfe for a Certified Survey Map to consolidate three lots into two lots. The existing lots are identified as 34311 Valley Road (SUMT0624999001), owned by William and Megahn Loepfe; and Unidentified address (SUMT0625991) and Unidentified address (SUMT0624999003), both owned by Carola Kappus Loepfe Trust C-U The Elizabeth J Bostrom Living Trust.
  - C. Discussion and action on request by William Loepfe to construct an accessory structure that exceeds 60% of the floor area of the existing residence. The existing lots are identified as 34311 Valley Road (SUMT0624999001), owned by William and Megahn Loepfe; and part of the adjacent parcel to the south with an unidentified address (SUMT0625991), owned by Carola Kappus Loepfe Trust C-U The Elizabeth J Bostrom Living Trust.
  - D. Discussion and action on request by Andy Fieber, on behalf of Nemahbin Lake Holdings LLC, for Site Development approval for parking lot, dumpster enclosure, and access improvements on property occupied by Panga, located at 34422 Delafield Road (SUMT0669017).
  - E. Discussion and action on request by John Spheeris for a Certified Survey Map to reconfigure existing lots for the purpose of creating an outlot. The existing lots are identified as 830 N. Sawyer Road (SUMT0674031003), owned by Robert A and Susanne Lang AKA Nancy Susanne Lang, and the adjacent parcel to the north with an unidentified address (SUMT0674031004), owned by Lang Residential Investment LLC and N Susanne Lang.
7. **TRAINING** on the role of the Plan Commissioner

8. **ADJOURN** Plan Commission meeting

Respectfully submitted,

Amy Barrows, Village Planner

**Next meeting date: March 19, 2026**

**Posted: February 20, 2026**

\*\*\*\*\* Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service contact the Village Hall at 567-2757.

\*\*\*\*\* It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any other governmental body except by the Village of Summit Plan Commission noticed above.



## VILLAGE OF SUMMIT PLAN COMMISSION ZONING REPORT

TO: Village of Summit Plan Commission

FROM: Amy Barrows, Village Planner  
*Planning & Zoning LLC*

MEETING DATE: February 26, 2026

RE: **Canine Campus Pet Resort Conditional Use Permit Renewal**  
38322 Delafield Road, SUMT0653997001

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The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet.

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**Property Owner:** MJ Real Estate Acquisitions LLC  
**Applicant:** Mary Helinski, Canine Campus Pet Resort  
**Application Type:** Conditional Use Permit Renewal  
**Location:** 38322 Delafield Road (SUMT0653997001)  
**Zoning:** A-1 Agricultural (35 acres +)  
**Land Use Plan category:** SF Residential 2.4-acre density

### **Recommended Motion.**

Approve the request to renew the Conditional Use for an additional five-year period. The next renewal date shall be January 31, 2031. The Conditional Use renewal is subject to the modified enclosed Conditional Use Agreement. The Conditional Use Agreement shall be reviewed by the Village Attorney before signatures are obtained.

### **Summary:**

The 6-acre subject property currently operates as a dog and cat boarding and dog training facility known as Canine Campus Pet Resort with a Conditional Use Permit. The Conditional Use Permit was originally approved in 1999 and has been renewed several times. The current Conditional Use Permit was required to be renewed in January of 2026. The applicant did apply for the renewal permit on January 5<sup>th</sup>. The applicant is not proposing any changes to the existing Conditional Use Permit or operations. The Conditional Use Permit does need to be updated to reflect current general standards, actual site conditions, and formatting. A draft Conditional Use Permit is enclosed.

The property is currently listed for sale and there is a potential buyer that may possibly close on the sale within the next few months. If the property sells, the new owner/operator will be required to request an amendment to the Conditional Use Permit. All procedures and requirements for approval shall be met, including a public hearing.



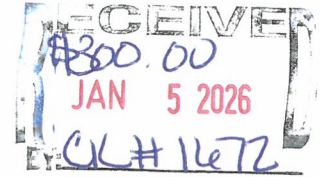
Redacted  
Personal Info.

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Highway Dept., 567-2422  
Police Dept., 567-1134  
Building Inspector, 646-2577

Date Filed: 1/5/26

\$300.00 Application Fee Paid 300



### Conditional Use Permit Application Packet

Based on Chapter 235 Article X of the Code of the Village of Summit

Please read and complete this application carefully. All applications must be signed and dated.

1. APPLICANT OR AGENT

Canine Campus Pet Resort  
Mary Helinski

2. PROPERTY OWNER

<sup>MJ</sup>  
MJ Real Estate Acquisitions LLC  
Mary Helinski

Phone # \_\_\_\_\_

Phone # ( ) \_\_\_\_\_

FAX # ( ) \_\_\_\_\_

FAX # ( ) \_\_\_\_\_

3. To Whom Should the Permit be Issued?

Mary Helinski Canine Campus Pet Resort

4. Property Address and Legal Description of the Property: (May appear on the tax bill)

38322 Delafield Rd  
LOT 1 SURVEY 4559 VOL 36/247 DOC# 1264427 SE1/4 SEC17 + NE1/4 SEC20

5. Tax Key Number: SUMT 0653 997 001

6. What is the Property Zoning Classification in the Village of Summit? ~~R-1~~ A-1

What is the Property Zoning Classification in Shoreland Floodland Protection Ordinance Code? n/a

7. Identify the type of use immediately adjacent to this property.

North 1 residence on ~10 acres      South buffalo farm

East farm	West farm
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8. Is this a New Use? NO OR Is this an existing use to be expanded? NO - just renewal

9. Describe the proposed use, how it fits within the listed Conditional Uses allowed in the current zoning of the property, and the general plan for the property.

this is a renewal of original 1999 Conditional Use permit  
for dog boarding/training facility. There are no changes  
to existing permit

10. List the dimensions and levels of ALL buildings in coordination with site plan information that will be submitted to the Plan Commission for review.

	Outside Dimensions	Number of levels
Building "A":	<u>Residence 1569 SF</u>	<u>2</u>
Building "B":	<u>detach garage 1050 SF</u>	<u>1</u>
Building "C":	<u>Kennel + runs 5000 SF</u>	<u>1</u>
	<u>D (not built - training facility) 7500 SF</u>	
Total Floor Area is	<u>15,120 SF</u> square feet.	

11. Identify the proposed use of EACH building and remaining outdoor area.

Building "A": Residence

Building "B": garage

Building "C": boarding/DC for dogs + cats

Outdoor Uses? fenced area for dog exercising + field area for walks + other on lead activities

12. How many employees will be working in this operation? ~ 7 FTE

13. What hours of the day will the business be operating? lobby hours 7-8 AM + 5-6 pm for clients  
6:15 AM - 10:30 PM for staff

14. What days of the week will the business be operating? 7 days/week

15. Will there be any unusual odors, smoke or noise generated by the proposed use that do not exist on the site at the present time? YES \_\_\_ NO X If yes, please describe below. School Mon-Fri, 6:30 pm - 9:30 pm

16. Locate each sign on the site plan and submit the drawings, including area of each sign, color, number of faces, and overall height (if free-standing).

Number of Free-standing signs: 1 (see attached) this was permitted

Number of Wall-mounted signs: 0

17. Please locate all the proposed parking on the site plan.

Number of Parking spaces proposed on the property? unmarked but approximately 10

If not currently hard surfaced, the parking lot and any expansions will be paved by? no changes proposed

18. Is there a need for any special type of security fencing?

YES  NO  Type of fencing proposed: \_\_\_\_\_

19. Is there any special lighting proposed?

YES  NO  Type of lighting proposed: \_\_\_\_\_

20. Will a special license be required from the Village, County or State in order to operate this business? YES  NO  If yes, please describe below. just conditional use

\_\_\_\_\_  
\_\_\_\_\_

21. Has the State or County acted on your project proposal to date, either with building plan reviews, site plan reviews, Conditional Use activities or other design reviews? YES  NO  If yes, please describe below, along with contact name and office.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

22. Timetable: Describe the proposed timetable for the completion of any building construction, parking or grading improvements, landscaping, occupancy date, opening date, etc.

none planned  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

23. SIGNATURES

NOTE: ALL APPLICATIONS MUST BE SIGNED BY THE PROPERTY OWNER

Mykelin                      5 Jan 26                      same  
Applicant                      date                      Property Owner                      date

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Use this space to further describe the proposal, or detail points from above

Facility is currently listed for sale. There is a potential  
buyer with a possible sale in April 2026. Nothing  
is official. Potential buyers are Cathy + Corrie McHugh

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*20' from edge of road*

# **CANINE CAMPUS BUSINESS PLAN**

**MARCH 2016  
MARY HELINSKI**

## **Description of My Business**

Canine Campus will provide boarding and daycare services for both dogs and cats. Ancillary services such as grooming, water therapy, and sales of miscellaneous pet care products will also be offered on a limited basis. Dog training services may be offered in the future.

## **Targeted Market and Customers**

Canine Campus has developed a loyal customer base over its 15 years of existence by offering hands on care not normally provided by other kennels. This has been developed through local veterinary services and word of mouth. This will continue as is and expanded to a greater radius if needed. Brochures and discounts for new customers will also be used as needed (welcome wagon packages)

## **Growth Trends In This Business**

Pet boarding services will continue to be needed. The local residential and business areas are expanding/ developing. More customers are coming from the west where there is a gap of kennel services.

## **Pricing Power**

Location is near populated areas and easy access from highway  
Hands on exercise 2x day or as requested  
Quality trained personnel  
Quiet hours and use of non-invasive measures to keep pets calm  
Special needs and requests tailored to individual pets needs  
Environmental controls (no smell, air conditioning, heated floors, etc)  
Higher occupancy rates (60% vs 45% average industry normal for kennels)

## **Biography**

I retired as a Commander in 2005 after 21 years active duty in the US Navy as a Civil Engineer Corps Officer. I have lead military, civilian (US and foreign) and contract personnel in nearly all aspects of shore based facility management. This included Public Works functions (utilities, transportation, maintenance, planning/design, services, etc), construction, project management, environmental, and budgeting, as well as administering numerous multi-million dollar contracts under the Federal Acquisitions Regulations (FAR).

Since retiring, I have been consistently working with dogs. As a volunteer with Golden Retriever Rescue of Wisconsin (GRRoW), I have conducted over 200 temperament testing on dogs, fostered over 40 dogs (most with behavioral and/or medical issues) in my home, developed new procedures and electronic business tools, streamlined organization processes and staffing, trained countless other volunteers and provided training and behavioral consultations.

I have been active in K9 Search and Rescue (SAR) work since 2007. I have trained, certified, and deployed one dog during this time period. He is now retired and I am working towards certification with two others. I have been a lead trainer for a dozen other SAR personnel.

I am the current President of North American Search Dog Network (NASDN), a nationally recognized certifying and training agency. I have lead the organization into upgrading our processes to meet current industry standards as well as developing business tools and data management, as well as instructing and certifying dogs for our volunteers.

I am a current K9 Trainer at Washington County Humane Society, teaching basic obedience and scent classes.

I completed one year of Veterinary technician school and worked at an emergency clinic during my coursework.

I have also helped out at Canine Campus as kennel staff when they have been short handed.

## **Education**

BS(Ocean Engineering) 1984 US Naval Academy

MS (Civil Engineering) 1994 University of Maryland

MA (National Strategy and Policy) 1999 US Naval War College

## **Organization**

MJ Real Estate Acquisitions LLC will purchase all real estate and assets

MJ Acquisitions LLC will purchase business and Canine Campus name and intellectual property. Once sale is completed, MJ acquisitions will change name to Canine Campus LLC.

Canine Campus LLC will lease kennel facility and house from MJ Real Estate acquisitions LLC.

Marianne will remain as site manager for one year post sale (maximum time allowed by SBA for prior owner).

Site manager will reside in house on premises.

Existing staff of twelve will be retained.

Hours of operation will remain the same

Work hours and procedures will remain the same.

## **Facility**

3200sf kennel built in 2000

400sf kennel addition built 2005 (aquapaws)

House build 1918 two story w/basement ~3600sf

Stand alone 3 car garage

There is potential to add an additional building on site (training facility).

VILLAGE OF SUMMIT ORDER  
GRANTING A CONDITIONAL USE AND  
PRESCRIBING CONDITIONS TO OPERATE  
A DOG AND CAT KENNEL AND DOG TRAINING FACILITY  
AT 38322 DELAFIELD ROAD (SUMT0653997001)  
IN THE VILLAGE OF SUMMIT

WHEREAS, a petition has been filed by MJ Real Estate Acquisitions LLC (hereinafter "Owner"), doing business as Canine Campus Pet Resort (hereinafter "Petitioner"), on January 5, 2026 to grant a Conditional Use Permit that had been previously issued for the premises known as 38322 Delafield Road in the Village of Summit, said premises consisting of approximately 6.0 acres, as legally depicted and described Exhibit A, attached hereto and incorporated herein (hereinafter "Subject Property"); and

WHEREAS, a Conditional Use Permit was issued in 1999 on behalf of Marge Wappler and Marianne Giuffre, as the previous Owners and Canine Campus, Inc. as the previous Operator; and

WHEREAS, the Conditional Use Permit was reviewed and renewed in 2004, 2010 and October, 2015; and

WHEREAS, the Subject pProperty and business were sold in 2016 and the Owner of the Subject Property received approval on March 24, 2016 to grant the existing conditions and operations in an application filed on February 29, 2016; and

WHEREAS, the March 24, 2016 grant was granted for a period of five years and the Owner obtained approval for another five- year grant on February 18, 2021 with no proposed changes to the operation approved in 2016 pursuant to Village Code Section 111-321(1); and

WHEREAS, pursuant to Village Code Section 111-321(1) the Petitioner seeks a conditional use permit with no proposed changes to the operation, except that the CUP will explicitly apply to dogs and cats and accurately reflect existing and proposed facilities; and

WHEREAS, the request identifies continued use as a dog and cat kennel and dog training facility pursuant to the Zoning Code of the Village of Summit for the Subject Property; and premises known as 38322 Delafield Road in the Village of Summit, said premises consisting of approximately 6.0 acres, as shown on the attached drawing, (hereinafter "SUBJECT PROPERTY"), legally described as follows:  
(See Exhibit "A" attached)

WHEREAS, the Ssubject Property was zoned A, Agricultural District in 1999 when the petition was originally filed, and is currently zoned A-1 Agricultural District~~1, Estate Residential District~~; and

WHEREAS, in the 1999 Town of Summit Zoning Code, Section 5.10(1)(C3) listed “Animal hospitals, kennels and laboratories using animals or animal products” as an authorized conditional use on the Ssubject Property; and

WHEREAS, in 1999 the Town Plan Commission found that the Petitioner’s proposed use was an authorized conditional use on the Ssubject Property per Section 3.09(1)(A) of the Town of Summit Zoning Code; and

WHEREAS, the Town of Summit incorporated into the Village of Summit on July 29, 2010, with all of the Conditional Use Permits continuing under the new Village of Summit Ordinances; and

WHEREAS, in 2020 the Village adopted Section 111-321(1A) allowing for the continuation of existing Conditional Use Permits subject to all conditions stated in the existing permit; and

WHEREAS, pursuant to Village Code Sections 111-313 and 111-318, the Petitioner filed the required building, site and operational plans for review of the current petition and said petition was subject to the application, procedures, and requirements pursuant to Village Code Chapter 111 Article XI regarding Conditional Uses; and

WHEREAS, this Conditional Use Permit is the only active and valid Conditional Use Permit assigned to the Subject Property; and

WHEREAS, the Village of Summit Plan Commission finds that the operation remains compatible with the surrounding areas and that the application does not propose any changes to the terms of the previously granted the Conditional Use Permit in March, 2016 and February, 2021 beyond specifying that the Subject Property may be used as a cat kennel in addition to a dog kennel; and

WHEREAS, the Plan Commission for the Village of Summit, following the necessary study and investigation pursuant to Village Code Section 111-312(c), having given the matter due consideration, and having based its determination on the effect of extending such conditional use permit on the health, general welfare, safety and economic prosperity of the Village and specifically of the immediate neighborhood in which said use will be located, as well as impact on surrounding properties as to noise, dust, smoke, odor or other similar factors, determined that the continued use would not violate the spirit or intent of Village Code Chapter 111 Zoning and Shoreland Protection Ordinance of the Zoning Code for the Village of Summit, would not be contrary to the

public health, safety or general welfare of the Village of Summit, would not be hazardous, harmful, noxious, offensive or nuisance by reason of smoke, dust, odor, or other similar factors and will not for any other reason cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the conditional use is operated pursuant to the following conditions and in strict compliance with the same; ~~and-~~

WHEREAS, the Plan Commission for the Village of Summit has determined that the conditions are reasonable, and are based upon substantial evidence and that the Petitioner has demonstrated that the Petitioner will comply with the conditions imposed in this Conditional Use Permit and has met the applicable conditional use standards of Village Code Section 111-321(1) which are met in this case by substantial evidence

NOW, THEREFORE, the Plan Commission for the Village of Summit, Waukesha County, Wisconsin, DOES HEREBY ORDER ~~IT IS ORDERED~~ AS FOLLOWS:

Commencing upon the date hereof, the Conditional Use Permit is granted and shall apply only to the use of the aforementioned Subject Property by Canine Campus Pet Resort, LLC as a dog and cat boarding kennel and dog training and conditioning facility, and the Conditional Use Permit shall continue in existence only so long as the conditional use is operated in compliance with this Conditional Use pPermit. This Conditional Use Permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions and limitations.

1. This conditional use is granted for the aforementioned uses subject to the following conditions:
  - 1.1 PETITIONER AGREEMENT. As a condition precedent to the grant of the Conditional Use Permit, the ~~P~~petitioners ~~is~~are required to accept the terms and conditions of the same in its entirety in writing. This condition may be met by signing this Conditional Use Permit.
  - 1.2 PLAN APPROVALS. Based on Village Code Section 111-313(a)(2)-235-54(G), the Petitioner and petitioner ~~future~~subsequent owner and operator of the Subject Property, shall submit specific plans of operation for approval by the Plan Commission prior to the issuance of any new Village permits (other than the Conditional Use Permit).
  - 1.3 NUMBER OF BUILDINGS. This Conditional Use pPermit allows for a maximum of four detached structures on the Subject pProperty as follows:
    - 1.3.1 Residence of 1,569 square foot maximum area,
    - 1.3.2 Detached garage of 1,050 square foot maximum area,
    - 1.3.3 Kennel and indoor exercise area, and runs of 5,000 square foot maximum -area, and

- 1.3.4 Proposed Training school facility of 7,500 square foot maximum area (currently not built).
- 1.4 PARKING AND ACCESS. The Ppetitioner shall submit an access and parking plan to the Plan Commission if such plan is being revised for purposes of this Conditional Use Permit. This plan shall designate areas for ingress and egress, and the location and number of parking stalls available for employees and patrons. The plan shall be subject to the approval of the Plan Commission, and upon approval the Ppetitioner shall comply with the same at all times.
- 1.5 EMERGENCY CONTACT. The operator-Owner shall file an emergency contact phone number with the Chief of Police of the Village of Summit, and post the same number on the entrance to the buildings.
- 1.6 EMPLOYEES. The number of employees for the business shall not exceed seven (7) full-time equivalent (FTE).
- 1.7 HOURS OF OPERATION. While the dogs and cats may be on site during the complete 24-hour day, drop-off and pick-up by owners kenneling their dogs shall occur only during specific times as outlined in the original Plan of Operations (#1.2 above). Said drop-off and pick-up hours shall not exceed three hours per day. School training classes shall not exceed four hours per day. Dog conditioning activities, as outlined in the October, 2004, revision to the Plan of Operations, shall not exceed 8 hours per day total. Drop-off and pick-up for school training classes and dog conditioning activities shall be reasonably scheduled as to minimize traffic flow. Private classes involving one household's pet(s) may occur periodically.
- 1.8 SIGNAGE. All signs shall meet the requirements of the Village of Summit Village Code.
- 1.9 RETAIL SALES AREA. Retail sales of dog and cat-care merchandise shall be limited to an area of 100 square feet within the kennel building and 100 square feet in the future training building. No outdoor signage relating to retail merchandise shall be permitted. Hours of operation shall be outlined and approved as part of the approved Plan of Operations.
- 1.10 OUTDOOR USES. Outdoor exercise areas and training areas shall be set back a minimum of twenty (20) feet from any adjacent property line.
- 1.11 OUTDOOR STORAGE. No outdoor storage shall be permitted related to the Conditional Use Permit.
- 1.12 PROFESSIONAL FEES. Any professional fees incurred by the Village of Summit to enact this Conditional Use Permit or enforce any of the

conditions or requirements of this Conditional Use Permit shall be paid by the ~~P~~petitioner as determined due and owing to the Village of Summit by the Village Clerk.

2. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of the use, the question shall be submitted to the Plan Commission for the Village of Summit for determination.
3. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Summit, the County of Waukesha, the State of Wisconsin, the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of the premises above described in any specific respects described herein. This ~~Conditional Use Permit order~~ shall not be deemed to constitute a building permit, nor shall this ~~Conditional Use Permit order~~ constitute any other license or permit required by the Village Code or other law. This Conditional Use Permit hereby authorized shall be confined to the premises described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Plan Commission of the Village of Summit as being in compliance with all pertinent ordinances.
4. Should the permitted Conditional Use or any aspect of the same be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the ~~p~~Petitioner be delinquent in payment of any monies due and owing to the Village of Summit, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area, or for similar cause based upon considerations of public health, safety or welfare, the Conditional Use or any aspect of the same may be terminated by action of the Village Board of the Village of Summit following referral to the Plan Commission for the Village of Summit for recommendation and a public hearing thereon.

~~Notwithstanding the foregoing or paragraph 9 below, the Conditional Use or any aspect of same shall not be terminated prior to the completion of its term as outlined below unless petitioner is given notice of the factual basis for the proposed termination with right to cure and petitioner fails to take reasonable steps to remedy the condition or situation within 60 days of petitioner's receipt of said notice or such other time period as may then be agreed upon in writing by the parties hereto.~~

5. Any change, addition, modification, alteration and/or amendment of any aspect of this Conditional Use, including but not limited to an addition, modification,

alteration, and/or amendment to the use, premises, structures, lands, operators or owners, other than a specifically authorized herein or as otherwise permitted by right in the A-1 Agricultural District, shall require a new Conditional Use Permit and all procedures in place at the time must be followed.

6. Unless this Conditional Use Permit expressly states otherwise, plans that are specifically required by this Conditional Use Permit may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the Conditional Use Permit. Any change in any plan that the Plan Commission feels, in its sole discretion, to be substantial shall require a new Permit, and all procedures in place at the time must be followed.
7. Should any paragraph or phrase of this Conditional Use Permit be determined by a court to be unlawful, illegal or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the Conditional Use and the remainder shall continue in full force and effect.
8. This Conditional Use Permit shall be effective upon execution, following satisfaction of any conditions precedent, and for a continued term through and including January 31, ~~2026~~2031. Upon completion of said term, said Conditional Use Permit may be renewed for an additional five--year term provided the Conditional Use has not been previously terminated for cause as set forth in paragraph 4 above.

The Conditional Use Permit may be renewed thereafter for such additional terms as the Plan Commission for the Village of Summit deems appropriate. Application for renewal shall be filed by the petitioner not less than sixty (60) days prior to the expiration of this initial term or any renewal term. In the event that the use of the Subject Property is compatible with the surrounding areas and that application is in substantial compliance with all terms of this Conditional Use Permit, then, in that event, the Plan Commission shall continue to renew this Conditional Use Permit for additional periods of time. The Petitioner shall have the responsibility to apply for renewal as provided herein.

9. Where the changing character of the surrounding area causes the original Conditional Use or subsequent approved amendments thereto to no longer be compatible with the surrounding areas, or for similar cause, based upon consideration for the public welfare, the Conditional Use Permit and any subsequent approved amendments or changes may be terminated by action of the Village Board following a referral to the Plan Commission for recommendation and a public hearing thereon by the Village Board. Such use shall thereafter be classified as a legal nonconforming use as it existed on the day it was terminated, except that where the action is due to failure to comply with the conditions of the

Conditional Use Permit, the Village Board may require complete termination of such use.

10. If any aspect of this Conditional Use or any aspect of any plan contemplated and approved under this Conditional Use is in conflict with any other aspect of the Conditional Use, the more restrictive provision shall be controlling as determined by the Village of Summit Plan Commission.

11. Upon acceptance by ~~p~~Petitioner of this ~~e~~Conditional ~~u~~Use ~~Permit~~order, all prior conditional use orders for the Subject Property are hereby terminated.

12. This Conditional Use Permit may be reviewed annually by the Plan Commission of the Village of Summit. Additionally, this Conditional Use Permit may be reviewed by the Plan Commission for the Village of Summit at any time upon complaint or upon Plan Commission initiative.

13. If any aspect of this conditional use or any aspect of any plan contemplated and approved under this Conditional Use Permit is in conflict with any other aspect of the Conditional Use Permit or any aspect of any plan of the conditional use, the more restrictive provision shall be controlling as determined by the Plan Commission of the Village of Summit.

14. Any unpaid bills owed to the Village of Summit by the Owner, or subsequent owner, or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village; shall be placed upon the tax roll for the Subject Property if not paid within thirty (30) days of billing by the Village, pursuant to section 66.0627, Wisconsin Statutes. Such unpaid bills also constitute a breach of the requirements of this conditional approval, that is subject to all remedies available to the Village, including possible cause for termination of this Conditional Use Permit.

~~11.~~15. All conditions of approval imposed by duly adopted motion of the Plan Commission in its consideration of the Petitioner's application, as noted in the minutes of the Plan Commission meeting at which approval was granted, are specifically incorporated herein by reference.

Let copies of this order be filed in the permanent records of the Plan Commission and Village Board of the Village of Summit, and let copies be sent to the proper Village authorities and the petitioner.

Approved this 18<sup>th</sup>-26<sup>th</sup> day of \_\_\_\_\_, 2021-2026.

BY THE PLAN COMMISSION  
FOR THE VILLAGE OF SUMMIT

\_\_\_\_\_  
JAMES SIEPMANN

Plan Commission Chairman

\_\_\_\_\_  
DEBRA J. MICHAEL, ~~Village Clerk~~

~~Village Administrator – Clerk/Treasurer~~

ACCEPTANCE

I hereby accept the terms of this Conditional Use in its entirety.

Date this \_\_\_\_\_ day of \_\_\_\_\_, ~~2021~~2026.

Owner and Operator:

\_\_\_\_\_  
Mary Helinski

~~Canine Campus Pet Resort, LLC~~ MJ Real Estate Acquisitions LLC

Petitioner:

\_\_\_\_\_  
(INSERT NAME)

Canine Campus Pet Resort, LLC

This Conditional Use was updated  
by ~~Henry Elling~~ Amy Barrows, Village Planner

VILLAGE OF SUMMIT ORDER  
RENEWING A CONDITIONAL USE AND  
PRESCRIBING CONDITIONS TO OPERATE  
A DOG KENNEL AND DOG TRAINING FACILITY  
AT 38322 DELAFIELD ROAD  
IN THE VILLAGE OF SUMMIT

WHEREAS, a Conditional Use Permit was issued in 1999 on behalf of Marge Wappler and Marianne Giuffre, Owners and Canine Campus, Inc. Operator; and

WHEREAS, the Conditional Use Permit was reviewed and renewed in 2004, 2010 and October, 2015; and

WHEREAS, the property and business were sold in 2016 and the new owner received approval on March 24, 2016 to renew the existing conditions and operations in an application filed on February 29, 2016; and

WHEREAS, the March 24, 2016 renewal was granted for a period of five years and the owner has now requested an additional renewal; and

WHEREAS, the request identifies continued use as a dog kennel and dog training facility pursuant to the Zoning Code of the Village of Summit for premises known as 38322 Delafield Road in the Village of Summit, said premises consisting of approximately 6.0 acres, as shown on the attached drawing, (hereinafter "SUBJECT PROPERTY"), legally described as follows:

(See Exhibit "A" attached)

WHEREAS, the subject property was zoned A, Agricultural District in 1999 when the petition was originally filed, and is currently zoned R-1, Estate Residential District; and

WHEREAS, in the 1999 Town Zoning Code, Section 5.10(1)(C3) listed "Animal hospitals, kennels and laboratories using animals or animal products" as an authorized conditional use on the subject property; and

WHEREAS, in 1999 the Town Plan Commission found that the petitioner's proposed use was an authorized conditional use on the subject property per Section 3.09(1)(A) of the Town of Summit Zoning Code; and

WHEREAS, the Town of Summit incorporated into the Village of Summit on July 29, 2010, with all of the Conditional Use Permits continuing under the new Village of Summit Ordinances; and

- 1.3 NUMBER OF BUILDINGS. This permit allows for a maximum of four detached structures on the property as follows:
- 1.3.1 Residence of 1,569 square foot maximum area,
  - 1.3.2 Detached garage of 1,050 square foot maximum area,
  - 1.3.3 Kennel and runs of 5,000 square foot maximum area, and
  - 1.3.4 Training school of 7,500 square foot maximum area.
- 1.4 PARKING AND ACCESS. The petitioner shall submit an access and parking plan to the Plan Commission if such plan is being revised for purposes of this Conditional Use Permit. This plan shall designate areas for ingress and egress, and the location and number of parking stalls available for employees and patrons. The plan shall be subject to the approval of the Plan Commission, and upon approval the petitioner shall comply with the same at all times.
- 1.5 EMERGENCY CONTACT. The operator shall file an emergency contact phone number with the Chief of Police of the Village of Summit, and post the same number on the entrance to the buildings.
- 1.6 EMPLOYEES. The number of employees for the business shall not exceed seven (7) full-time equivalent (FTE).
- 1.7 HOURS OF OPERATION. While the dogs may be on site during the complete 24-hour day, drop-off and pick-up by owners kenneling their dogs shall occur only during specific times as outlined in the original Plan of Operations (#1.2 above). Said drop-off and pick-up hours shall not exceed three hours per day. School training classes shall not exceed four hours per day. Dog conditioning activities, as outlined in the October, 2004, revision to the Plan of Operations, shall not exceed 8 hours per day total. Drop-off and pick-up for school training classes and dog conditioning activities shall be reasonably scheduled as to minimize traffic flow. Private classes involving one household's pet(s) may occur periodically.
- 1.8 SIGNAGE. All signs shall meet the requirements of the Village of Summit Village Code.
- 1.9 RETAIL SALES AREA. Retail sales of dog-care merchandise shall be limited to an area of 100 square feet within the kennel building and 100 square feet in the training building. No outdoor signage relating to retail merchandise shall be permitted. Hours of operation shall be outlined and approved as part of the approved Plan of Operations.
- 1.10 OUTDOOR USES. Outdoor exercise areas and training areas shall be set back a minimum of twenty (20) feet from any adjacent property line.
- 1.11 OUTDOOR STORAGE. No outdoor storage shall be permitted related to the Conditional Use Permit.

- 1.12 PROFESSIONAL FEES. Any professional fees incurred by the Village of Summit to enact this Conditional Use Permit or enforce any of the conditions or requirements of this Conditional Use Permit shall be paid by the petitioner as determined due and owing to the Village of Summit by the Village Clerk.
2. Any use not specifically listed as permitted shall be considered to be prohibited except as may be otherwise specifically provided herein. In case of a question as to the classification of the use, the question shall be submitted to the Plan Commission for the Village of Summit for determination.
  3. No use is hereby authorized unless the use is conducted in a lawful, orderly and peaceful manner. Nothing in this order shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption or exception to any law, ordinance, order or rule of either the Village of Summit, the County of Waukesha, the State of Wisconsin, the United States of America or other duly constituted authority, except only to the extent that it authorizes the use of the premises above described in any specific respects described herein. This order shall not be deemed to constitute a building permit, nor shall this order constitute any other license or permit required by the Village Code or other law. This Conditional Use hereby authorized shall be confined to the premises described, without extension or expansion other than as noted herein, and shall not vary from the purposes herein mentioned unless expressly authorized in writing by the Plan Commission of the Village of Summit as being in compliance with all pertinent ordinances.
  4. Should the permitted Conditional Use or any aspect of the same be abandoned in any manner, or discontinued in use for twelve (12) months, or continued other than in strict conformity with the conditions of the original approval, or should the petitioner be delinquent in payment of any monies due and owing to the Village of Summit, or should a change in the character of the surrounding area or the use itself cause it to be no longer compatible with the surrounding area, or for similar cause based upon considerations of public health, safety or welfare, the Conditional Use or any aspect of the same may be terminated by action of the Village Board of the Village of Summit following referral to the Plan Commission for the Village of Summit for recommendation and a public hearing thereon.

Notwithstanding the foregoing or paragraph 9 below, the Conditional Use or any aspect of same shall not be terminated prior to the completion of its term as outlined below unless petitioner is given notice of the factual basis for the proposed termination with right to cure and petitioner fails to take reasonable steps to remedy the condition or situation within 60 days of petitioner's receipt of said notice or such other time period as may then be agreed upon in writing by the parties hereto.

5. Any change, addition, modification, alteration and/or amendment of any aspect of this Conditional Use, including but not limited to an addition, modification, alteration, and/or amendment to the use, premises, structures, lands, operators or owners, other than a specifically authorized herein, shall require a new permit and all procedures in place at the time must be followed.
6. Unless this Conditional Use Permit expressly states otherwise, plans that are specifically required by this Conditional Use Permit may be amended upon the prior approval of the Plan Commission if the Plan Commission finds the plan amendment to be minor and consistent with the Conditional Use Permit. Any change in any plan that the Plan Commission feels, in its sole discretion, to be substantial shall require a new Permit, and all procedures in place at the time must be followed.
7. Should any paragraph or phrase of this Conditional Use Permit be determined by a court to be unlawful, illegal or unconstitutional, said determination as to the particular phrase or paragraph shall not void the rest of the Conditional Use and the remainder shall continue in full force and effect.
8. This Conditional Use Permit shall be effective upon execution, following satisfaction of any conditions precedent, and for a continued term through and including January 31, 2026. Upon completion of said term, said permit may be renewed for an additional five year term provided the Conditional Use has not been previously terminated for cause as set forth in paragraph 4 above.

It may be renewed thereafter for such additional terms as the Plan Commission for the Village of Summit deems appropriate. Application for renewal shall be filed by the petitioner not less than sixty (60) days prior to the expiration of this initial term or any renewal term. In the event that the use of the property is compatible with the surrounding areas and that application is in substantial compliance with all terms of this Conditional Use Permit, then, in that event, the Plan Commission shall continue to renew this Conditional Use Permit for additional periods of time. The petitioner shall have the responsibility to apply for renewal as provided herein.


9. Where the changing character of the surrounding area causes the original Conditional Use or subsequent approved amendments thereto to no longer be compatible with the surrounding areas, or for similar cause, based upon consideration for the public welfare, the Conditional Use Permit and any subsequent approved amendments or changes may be terminated by action of the Village Board following a referral to the Plan Commission for recommendation and a public hearing thereon by the Village Board. Such use shall thereafter be classified as a legal nonconforming use as it existed on the day it was terminated, except that where the action is due to failure to comply with the conditions of the Conditional Use Permit, the Village Board may require complete termination of such use.

10. If any aspect of this Conditional Use or any aspect of any plan contemplated and approved under this Conditional Use is in conflict with any other aspect of the Conditional Use, the more restrictive provision shall be controlling as determined by the Village of Summit Plan Commission.
11. Upon acceptance by petitioner of this conditional use order, all prior conditional use orders for the property are hereby terminated.

Let copies of this order be filed in the permanent records of the Plan Commission and Village Board of the Village of Summit, and let copies be sent to the proper Village authorities and the petitioner.

Approved this 18<sup>th</sup> day of February, 2021.

BY THE PLAN COMMISSION  
FOR THE VILLAGE OF SUMMIT

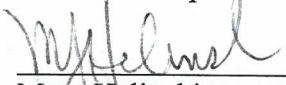
  
\_\_\_\_\_  
JAMES SIEPMANN  
Plan Commission Chairman

  
\_\_\_\_\_  
DEBRA J. MICHAEL, Village Clerk

ACCEPTANCE

I hereby accept the terms of this Conditional Use in its entirety.  
Date this 24 day of Feb, 2021.

Owner and Operator:

  
\_\_\_\_\_  
Mary Helinski  
Canine Campus Pet Resort, LLC

This Conditional Use was updated  
by Henry Elling, Village Planner

# Exhibit A

Certified Survey Map No. 4559 recorded as Document No. 1284427 on pages 247 and 248 of Volume 38 of Certified Survey Maps in the Office of the Register of Deeds for Waukesha County, being part of the Southeast 1/4 of Section 17 and the Northeast 1/4 of Section 20, Town 7 North, Range 17 East, Town of Summit, Waukesha County, Wisconsin.

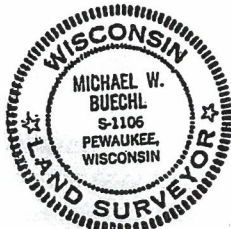
N 85°56'00" W

SH-5878-W  
JULY 25, 1999

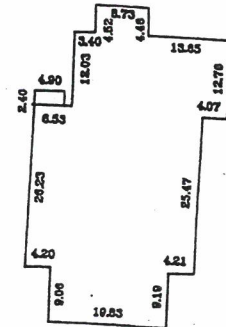
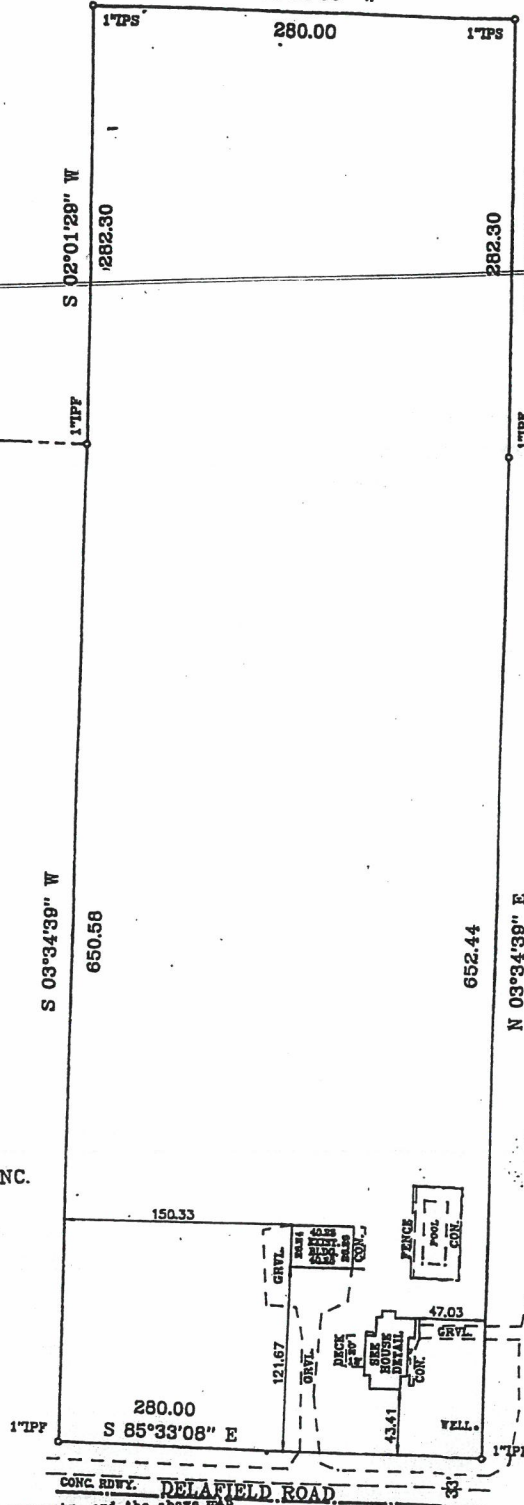
SCALE 1"=80'

SECTION LINE

SURVEYED FOR:  
YVONNE MYSZKA



SURVEYED BY:  
MICHAEL W. BUECHL, INC.  
233 OAKTON AVE.  
PEWAUKEE, WI 53072  
414-691-4444



HOUSE  
DETAIL

I have surveyed the above described property, and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements, roadways and visible encroachments. This survey is made for the exclusive use of the present owners of the property; also those who purchase, mortgage or guarantee the title thereto, within one year from date hereof, and to them I warrant the accuracy of said survey and map.

*Michael W. Buechl*  
REGISTERED LAND SURVEYOR NO. S-1106  
STATE OF WISCONSIN



MSI GENERAL CORPORATION  
 P.O. BOX. 7  
 OCONOMOWOC, WI 53066  
 PHONE: 262-367-3661

WWW.MSIGENERAL.COM  
 SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:

Proposal:	07/07/2021
Bid:	08/16/2021
Contract:	xx/xx/xxxx
State Submittal / Permit:	xx/xx/xxxx
As-Built:	xx/xx/xxxx

REVISIONS:

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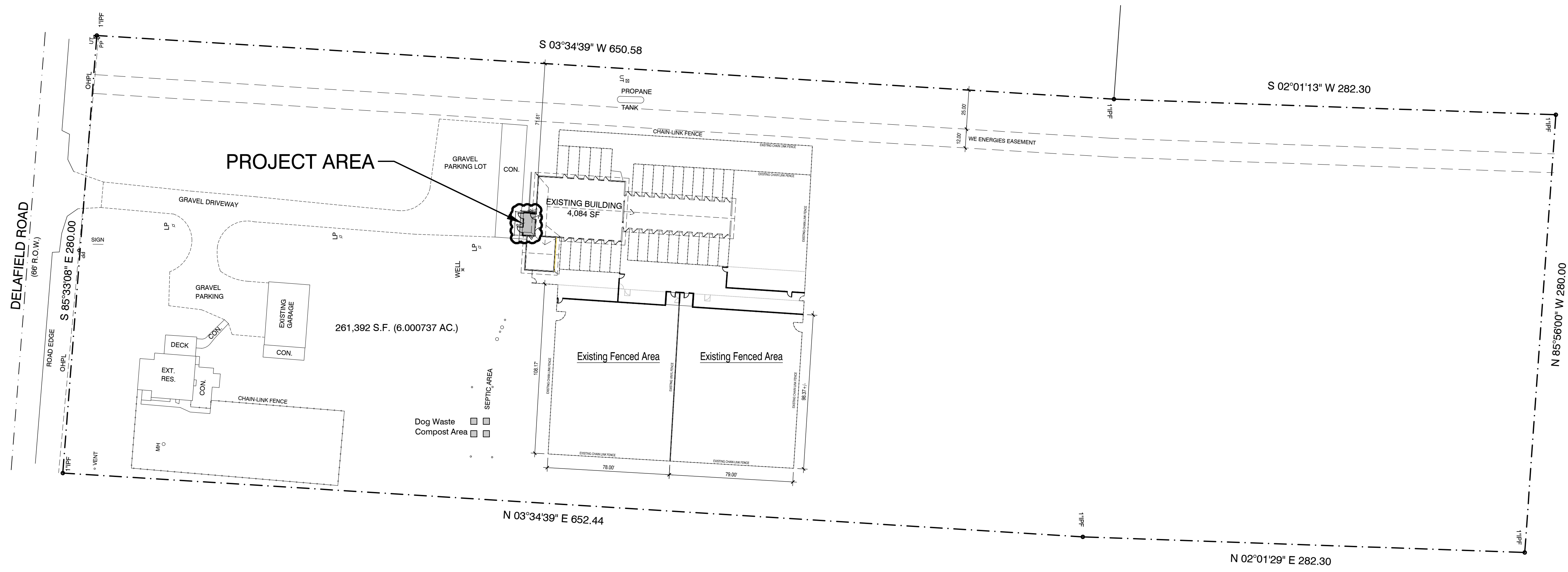
PROJECT ADDRESS:

PROJECT NAME  
 Canine Campus  
 STREET ADDRESS  
 38322 Delafield Road  
 CITY / STATE / ZIP  
 Oconomowoc, WI 53066

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect: KJN    Engineer: AGR    Reviewed By: JLM

Sheet Title:  
**SITE PLAN**  
 Sheet Number:  
**C-101**  
 Project Number: P13141



SITE PLAN 1" = 40'-0"

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



## VILLAGE OF SUMMIT PLAN COMMISSION ZONING REPORT

TO: Village of Summit Plan Commission

FROM: Amy Barrows, Village Planner  
*Planning & Zoning LLC*

MEETING DATE: February 26, 2026

RE: **William Loepfe CSM**

- 34311 Valley Road (SUMT0624999001), owned by William & Megahn Loepfe
- Unidentified address (SUMT0625991), owned by Carola Kappus Loepfe Trust C-U The Elizabeth J Bostrom Living Trust
- Unidentified address (SUMT0624999003), owned by Carola Kappus Loepfe Trust C-U The Elizabeth J Bostrom Living Trust

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The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet.

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**Possible Motion: Motion to recommend that Village Board approve the Certified Survey Map to reconfigure three lots into two lots, subject to the following conditions:**

- A. APPROVALS FROM ALL OBJECTING AND APPROVING BODIES:** *Petitioner shall satisfy all comments, conditions and concerns of Waukesha County Department of Public Works, and the Village Engineer, Surveyor, and Planner prior to approval of the final Certified Survey Map.*
- B. SUBJECT TO REIMBURSEMENT OF EXPENSES.** *As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.*
- C. UTILITY CONNECTION FEES.** *As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all utility connection fees owed to the Village of Summit. Note: **The petitioner is not developing Lot 2. Therefore, this condition does not apply.***
- D. BUSINESS OR COMMERCIAL USE.** *There shall be no commercial or business use on this lot, except as specifically permitted within or pursuant to the applicable Zoning Code.*
- E. ONE YEAR TO SATISFY CONDITIONS.** *Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Village Board granting conditional final approval of the CSM.*

**Property Description:**

**Existing Conditions: 34311 Valley Road (SUMT0624999001), home site property, owned by William & Megahn Loepfe**

**Lot Size:** 2 acres  
**Zoning:** R-2 Country Residential, WC Wetland Conservancy, EC Environmental Corridor Overlay (1.5-acre lots size/2-acre density)  
**Land Use Plan:** SF Residential 1.6-acre density, Wetland, PEC

**Existing Conditions: Unidentified address (SUMT0625991), open space, owned by Carola Kappus Loepfe Trust C-U The Elizabeth J Bostrom Living Trust**

**Lot Size:** 12.6 acres  
**Zoning:** R-2 Country Residential, WC Wetland Conservancy, FO Floodplain, EC Environmental Corridor Overlay (1.5-acre lots size/2-acre density)  
**Land Use Plan:** SF Residential 1.6-acre density, Wetland, PEC

**Existing Conditions: Unidentified address (SUMT0624999003), open space, owned by Carola Kappus Loepfe Trust C-U The Elizabeth J Bostrom Living Trust**

**Lot Size:** 16.5 acres  
**Zoning:** R-2 Country Residential, WC Wetland Conservancy, FO Floodplain, EC Environmental Corridor Overlay (1.5-acre lots size/2-acre density)  
**Land Use Plan:** SF Residential 1.6-acre density, Wetland, PEC

**Proposed Lot 1:**

**Lot Size:** 4 acres, a request has been made for the area of wetland and floodplain so that they can be excluded from the lot size and density calculations  
**Lot Width:** Approximately 570 ft. of lot width

**Proposed Lot 2:**

**Lot Size:** 27.56 acres, a request has been made for the area of wetland and floodplain so that they can be excluded from the lot size and density calculations  
**Lot Width:** More than 1,200 ft. of lot width

**Summary:**

The applicant is proposing to consolidate three lots into two lots to accommodate the construction of a detached garage on Lot 1. Lot 2 would remain as a lot consisting largely of wetland, primary environmental corridor, and floodplain. The applicant is aware that Lot 2 is not buildable in the future. The intent is to create one large conservation area on Lot 2. The consolidation would allow for most of the existing driveway to be located on the property it serves. The applicant has an existing easement for access to Valley Road from the adjacent property to the southeast.

**Considerations:**

**Access and Frontage:** Lot 1 has frontage and access on Valley Road. Access is currently provided via an easement from the adjacent property to the east, but access could be provided directly to the lot if necessary. Lot 2 has

frontage on Valley Road and N. Cedar Ridge Road. Access from Cedar Ridge Road is not practical due to the wetland, floodplain, and environmental corridor. The applicant would need to request access from Valley Road from the Waukesha County Department of Public Works.

Lot Area: Lots 1 and 2 will comply with the minimum lot size and width standards of the R-2 Country Residential and E-C Environmental Corridor Overlay District requirements. The applicant is not proposing to increase density. In fact, the applicant is requesting a reconfiguration of three lots to two lots.

The R-2 District requires that the lot size be a minimum of 1.5 acres, the density not exceed 1 unit per 2 acres, and the width be at least 180 ft. The E-C District does not have a minimum lot size or width, but requires that the density of parcels or dwelling units not exceed one unit per five acres of corridor area. When consideration is only given to upland acreage, there is only enough acreage for one dwelling unit in the environmental corridor.

The Village's Future Land Use Map designates the properties as SF Residential 1.6-acre density, Wetland, and PEC. Again, the applicant is not proposing to increase the density as part of this land division.

Sanitary Sewer System: The properties are in the Utility District #2. Lot 1 is currently served by sanitary sewer.

Water System: Lot 1 is currently served by a private well.

Natural Resources: There are mapped floodplain, wetland, and PEC on both properties. Lot 2 has frontage on Upper Nemahbin Lake. Construction will be required to comply with wetland setbacks and PEC disturbance requirements.

Waukesha County Department of Public Works Comments: Waukesha County Department of Public Works does not have any comments related to the CSM.

Engineer/Surveyor Comments: The Engineer/Surveyor review letter is dated February 9, 2026 and is enclosed in the meeting packet. *The comments are based on the Certified Survey Map prepared on 6/27/2025.*

Planner Comments (based on the Certified Survey Map revised on 2/17/2026):

- A note shall be added on the face of Lot 2 of the CSM and in the notes that states that Lot 2 is not buildable. The note shall state "Lot 2 is not buildable per Village of Summit density requirements for PEC, which limits density/building sites to one unit per five acres of upland acreage."
- The word "and" shall be removed between "map" and "shall" in the title of restrictions on sheet 3.
- If there is a mortgage, a mortgagee certificate is required.



Building a Better World  
for All of Us®

February 9, 2026

RE: Village of Summit  
25134 North CSM Review  
SEH No. 176551 Task 72

Ms. Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Dear Ms. Barrows:

We have reviewed the Certified Survey Map for Carola Kappus Loepke Trust, The Elizabeth J Bostrom Living Trust (William Loepfe) and prepared by Matthew O'Rourke of LandTech Surveying. The reviewed CSM is dated June 27, 2025. We have also included the CSM mark-ups to aid in the revisions. We offer the following comments:

1. In the CSM header on all pages, and in the description, the wrong range is called out. It should be Range 17 East instead of Range 18 East.
2. There needs to be a 3"x3" square reserved in the upper right corner of the first page for the Register of Deeds recording information.
3. There are a few cases of symbols and text overlapping on the map.
4. When the OHWM is listed as approximate it should contain the label "APPROXIMATE ORDINARY HIGH WATER MARK IS SHOWN FOR REFERENCE ONLY".
5. In the easement detail on Sheet 2 the sub distances do not add up to the total distance.
6. In the curve data table, there are several instances of the tangents not matching the data in the line table. We are not sure if these curves are all not tangent or if they need to be recalculated.
7. The delta angle for curve C6 does not compute with the tangent data given.
8. At the end of the legal descriptions, under the surveyor's certificate, there appears to be several discrepancies from data shown on the map. We are not sure which set of data is correct, the surveyor needs to check and verify.
9. The total area shown in the description does not match the areas shown on the face of the map when added up.

Please do not hesitate to contact me with any questions or comments at 715.720.6308 or [jcance@sehinc.com](mailto:jcance@sehinc.com).

Sincerely,

A handwritten signature in black ink that reads "Jason Cance".

Jason Cance, PLS  
(Lic. WI)

btp

x:\p\sl\summ\176551\task 72 - 25134 north csm review\corr\review letters\25134 north csm review letter\_village of summit\_2026-02-09.docx

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351

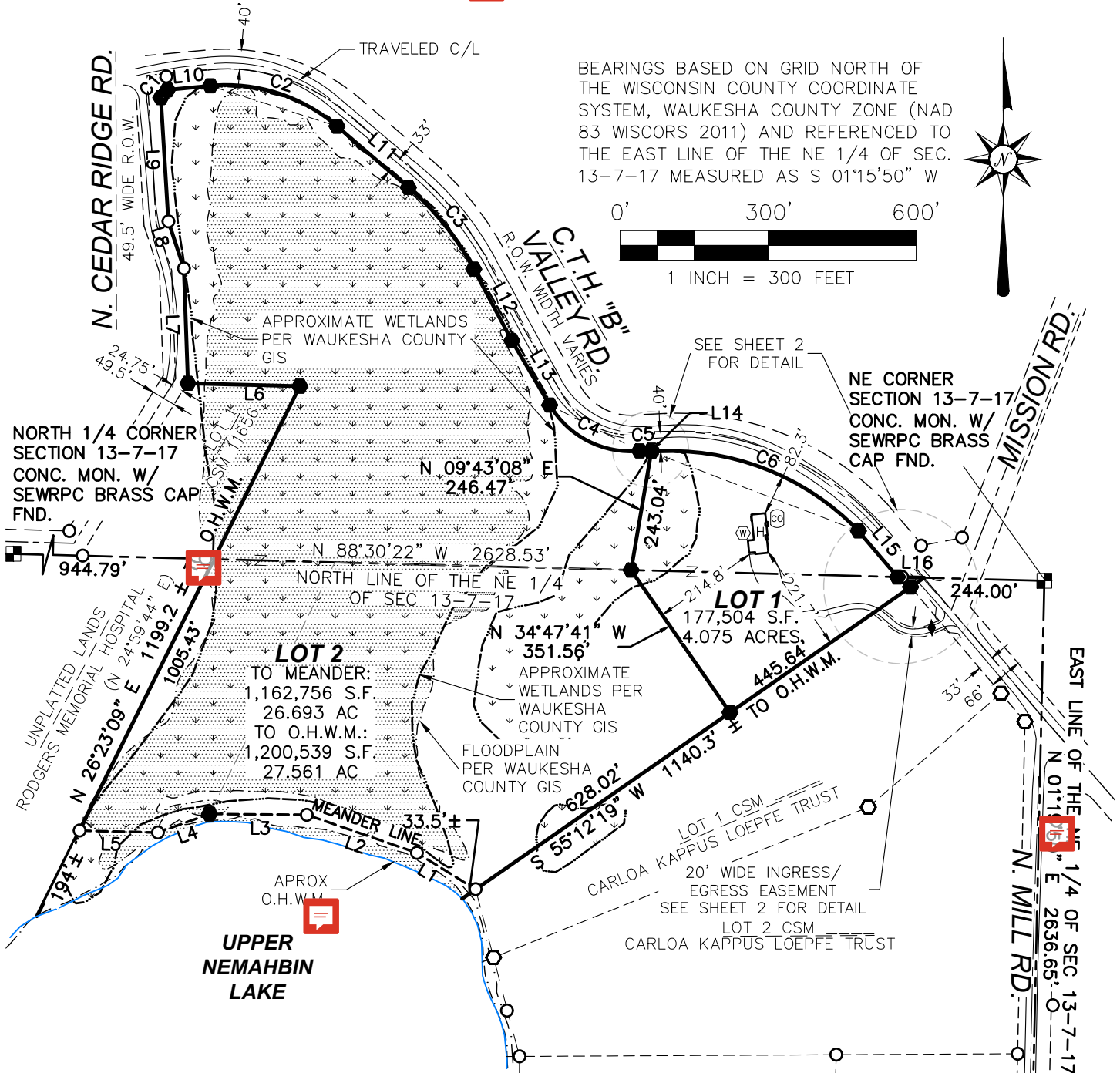
262.646.6855 | 888.908.8166 fax | [sehinc.com](http://sehinc.com)

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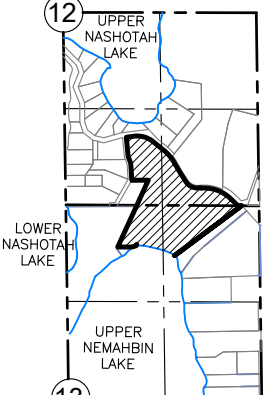
**PRELIMINARY**

**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999407, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SE 1/4 & SW 1/4 OF THE SE 1/4 OF SECTION 12 & PART OF THE NE 1/4 & NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE \_\_\_\_\_ EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN



**VICINITY MAP**



**LEGEND**

- SECTION CORNER MONUMENT
- FOUND 3/4 REBAR" OR NOTED
- FOUND 1" IRON PIPE OR NOTED
- SET 0.75" O.D. X 18" REBAR
- WEIGHING 1.502 LBS/FT.
- SEPTIC CLEANOUT
- WELL
- HOUSE
- DRIVEWAY LOCATION
- FLOODPLAIN
- WETLANDS
- RECORD DIMENSION

EAST 1/4 CORNER SECTION 13-7-17 CONC. MON. W/ SEWRPC BRASS CAP FND.



PREPARED FOR:  
CAROLA KAPPUS LOEPFE TRUST C-U  
THE ELIZABETH J BOSTROM LIVING TRUST  
(WILLIAM LOEPFE)  
2937 N MILL RD.  
OCONOMOWOC, WI 53066

LAND SURVEYING • LAND PLANNING  
955 LEXINGTON DRIVE  
OCONOMOWOC, WI 53066  
WWW.LANDTECHWI.COM  
(262) 367-7599

DATED 06/27/2025  
JOB# 25134  
SHEET 1 OF 5

THIS INSTRUMENT WAS DRAFTED BY MATTHEW T. O'ROURKE, S-2771



**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SE 1/4 & SW 1/4 OF THE SE 1/4 OF SECTION 12 & PART OF THE NE 1/4 & NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE \_\_\_\_\_ EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 58°12'53" W	140.07'
L2	N 70°53'45" W	236.18'
L3	N 89°32'48" W	197.29'
L4	S 70°16'21" W	111.15'
L5	N 88°37'18" W	159.17'
L6	N 88°30'35" W	226.76'
L7	N 02°02'46" W	233.08'
L8	N 18°18'45" W	100.36'
L9	N 03°28'38" W	251.23'
L10	N 84°43'34" E	87.28'
L11	S 49°21'21" E	190.75'
L12	S 28°04'51" E	164.31'
L13	S 30°24'34" E	151.48'
L14	S 09°43'08" W	3.43'
L15	S 40°22'17" E	125.15'
L16	S 88°30'22" E	53.71'

**RECORD LINE TABLE**

LINE	BEARING	DISTANCE
(L4)	(S 69°01'45" W)	(104.56)
(L5)	(N 89°47'12" W)	
(L6)	(N 89°42'43" W)	
(L7)	(N 03°08'55" W)	(232.87')
(L8)	(N 19°47'50" W)	
(L9)	(N 04°57'43" W)	(250.77')
(L10)	(N 83°14'29" E)	(101.82')
(L11)	(S 50°50'26" E)	
(L12)	(S 29°33'56" E)	
(L13)	(S 31°53'39" E)	
(L14)	(S 08°30'47" W)	
(L15)	(S 44°22'10" E)	(121.24')

**CURVE TABLE**

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TANGENT IN	TANGENT OUT
C1	15.00'	88°12'12"	23.09'	20.88'	S 40°37'28" W	S 84°43'34" W	S 03°28'38" E
C2	345.00'	45°56'36"	276.64'	269.29'	N 72°19'39" W	N 49°21'21" W	S 8°03" W
C3	574.00'	21°16'32"	213.14'	211.92'	N 38°43'06" W	N 28°04'50" W	N 4°22" W
C4	190.00'	65°08'43"	216.03'	204.58'	S 62°58'55" E	S 30°33" W	N 84°26'44" E
C5	537.00'	2°35'51"	24.34'	24.34'	S 86°27'20" W	S 87°33" W	S 85°09'24" W
C6	530.00'	50°09"	463.92'	449.25'	N 69°06'41" W	N 44°02'33" W	S 85°48'44" W

**RECORD CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
(C1)		(24.08')	(21.58')	(N 39°02'45" E)	(91°59'04")
(C2)				(S 73°48'44" E)	
(C3)				(S 40°12'11" E)	(21°16'30")
(C4)				(S 64°28'00" E)	(65°08'42")
(C5)		(22.57')	(22.57')	(N 84°52'34" E)	(02°24'29")
(C6)		(459.34')	(445.09)	(N 69°11'52" W)	(24°49'42")

**WETLAND/ ENVIRONMENTAL CORRIDOR/ FLOODPLAIN RESTRICTIONS**

THOSE AREAS OF LAND IDENTIFIED AS WETLANDS, ENVIRONMENTAL CORRIDOR AND/OR FLOODPLAIN ON THIS CERTIFIED SURVEY MAP AND SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

1. GRADING AND FILLING ARE PROHIBITED.
2. THE REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS IS PROHIBITED.
3. THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT DEAD, DISEASED, OR DYING VEGETATION MAY BE REMOVED AT THE DISCRETION OF THE LANDOWNER AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT. SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT, SHALL ALSO BE PERMITTED.
4. GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., SHALL BE DISCOURAGED TO THE GREATEST EXTENT POSSIBLE.
5. THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT OF THE WETLAND AND/OR ENVIRONMENTAL CORRIDOR IS PROHIBITED.
6. PONDS MAY BE PERMITTED SUBJECT TO THE APPROVAL OF THE VILLAGE OF SUMMIT AND, IF APPLICABLE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
7. THE CONSTRUCTION OF BUILDINGS WITHIN THE WETLAND IS PROHIBITED.

**NOTES:**

- FLOODPLAIN IS PER FEMA FIRM MAP NO. 55133C0158H, MAP REVISED NOVEMBER 5, 2014. ELEV: 872.7
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- THE ENTIRE PARCEL IS WITHIN THE VILLAGE OF SUMMIT SHORELAND JURISDICTION.
- ENTIRE LOT LIES WITHIN ENVIRONMENTAL CORRIDOR PER WAUKESHA COUNTY GIS. THE VILLAGE OF SUMMIT MAY REQUIRE A DELINEATION OF THE ENVIRONMENTAL CORRIDOR FOR BUILDING PERMIT PURPOSES.

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SE 1/4 & SW 1/4 OF THE SE 1/4 OF SECTION 12 & PART OF THE NE 1/4 & NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN



**SURVEYOR'S CERTIFICATE:**

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SOUTHEAST 1/4 & SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12 & PART OF THE NORTHEAST 1/4 & NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:



COMMENCING AT THE NORTHEAST CORNER OF SECTION 13, TOWN 7 NORTH, RANGE 17 EAST; THENCE N 88°30'22" W, ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 13, 244.00 FEET TO THE POINT OF BEGINNING; THENCE S 55°12'19" W, 1,106.81 FEET TO THE BEGINNING OF A MEANDER LINE OF UPPER NEMAHBIN LAKE, SAID POINT LYING S 55°12'19" W, 33.4 FEET MORE OR LESS FROM THE ORDINARY HIGH WATER MARK OF UPPER NEMAHBIN LAKE; THENCE ALONG THE MEANDER LINE OF UPPER NEMAHBIN LAKE FOR THE FOLLOWING 5 COURSES: 1.: THENCE N 58°12'53" W, 140.07 FEET; 2.: THENCE N 70°53'45" W, 236.18 FEET; 3.: THENCE N 89°32'48" W, 197.29 FEET; 4.: S 70°16'21" W, 111.15 FEET; 5.: THENCE N 88°37'18" W, 159.17 FEET TO THE WEST LINE OF LOT 2 OF CSM 11656 AND END OF THE MEANDER LINE, SAID POINT LYING N 26°23'09" E, 194 FEET MORE OR LESS FROM THE APPROXIMATE ORDINARY HIGHWATER MARK OF UPPER NEMAHBIN LAKE; THENCE ALONG THE WEST LINE OF LOT 2 OF CSM 11656 FOR THE FOLLOWING 2 COURSES: 1.: THENCE N 26°23'09" E, 1,005.43 FEET; 2.: THENCE N 88°30'35" W, 226.76 FEET TO THE EAST RIGHT-OF-WAY OF NORTH CEDAR RIDGE ROAD; THENCE ALONG THE EAST RIGHT-OF-WAY OF NORTH CEDAR RIDGE ROAD AND WEST LINE OF LOT 2 OF CSM 11656 FOR THE FOLLOWING 4 COURSES: 1.: THENCE N 02°02'46" W, 233.08 FEET; 2.: THENCE N 18°18'45" W, 100.36 FEET; 3.: THENCE N 03°28'38" W, 251.23 FEET; 4.: THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 23.09 FEET, WITH A RADIUS OF 15.00 FEET, WITH A CHORD BEARING OF N 40°37'28" E, WITH A CHORD LENGTH OF 20.88 FEET TO THE SOUTH RIGHT OF WAY OF C.T.H. "B" ALSO KNOWN AS VALLEY ROAD; THENCE ALONG THE SOUTH RIGHT OF WAY OF C.T.H. "B" ALSO KNOWN AS VALLEY ROAD FOR THE FOLLOWING 11 COURSES: 1.: THENCE N 84°43'34" E, 87.28 FEET; 2.: THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 276.64 FEET, WITH A RADIUS OF 345.00 FEET, WITH A CHORD BEARING OF S 72°19'39" E, WITH A CHORD LENGTH OF 269.29 FEET; 3.: THENCE S 49°21'21" E, 190.75 FEET; 4.: THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 213.14 FEET, WITH A RADIUS OF 574.00 FEET, WITH A CHORD BEARING OF S 38°43'06" E, WITH A CHORD LENGTH OF 211.92 FEET; 5.: THENCE S 28°04'51" E, 164.31 FEET; 6.: THENCE S 30°24'34" E, 151.48 FEET; 7.: THENCE WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 216.03 FEET, WITH A RADIUS OF 190.00 FEET, WITH A CHORD BEARING OF S 62°58'55" E, WITH A CHORD LENGTH OF 204.58 FEET; 8.: THENCE WITH A REVERSE CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 24.34 FEET, WITH A RADIUS OF 537.00 FEET, WITH A CHORD BEARING OF N 86°27'20" E, WITH A CHORD LENGTH OF 24.34 FEET; 9.: THENCE S 09°43'08" W, 3.43 FEET; 10.: THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 462.67 FEET, WITH A RADIUS OF 530.00 FEET, WITH A CHORD BEARING OF S 69°10'45" E, WITH A CHORD LENGTH OF 448.12 FEET; 11.: THENCE S 40°22'17" E, 123.85 FEET TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 13; THENCE S 88°30'22" E, 53.71 FEET ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 13, 53.71 FEET TO THE POINT OF BEGINNING



DESCRIBED LANDS HAVING AN AREA OF 1,300.43 SQUARE FEET OR 31.636 ACRES MORE OR LESS INCLUDING THE LANDS LYING BETWEEN THE MEANDER LINE AND THE ORDINARY HIGH WATER MARK OF UPPER NEMAHBIN LAKE.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF THE CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF VILLAGE OF SUMMIT IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
MATTHEW T. O'ROURKE, S-2771

**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SE 1/4 & SW 1/4 OF THE SE 1/4 OF SECTION 12 & PART OF THE NE 1/4 & NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 18 \_\_\_\_\_ ST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN



**OWNER'S CERTIFICATE:**

AS OWNERS WE THE CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED, DIVIDED, DEDICATED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT.

WITNESS THE HAND AND SEAL OF SAID OWNERS: THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
WILLIAM LOEPFE – MEMBER

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE NAMED CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST, TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY SIGNATURE \_\_\_\_\_

PRINT NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**VILLAGE OF SUMMIT BOARD APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT BOARD, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JACK RILEY, VILLAGE PRESIDENT

\_\_\_\_\_  
DEBRA MICHAEL, ADMINISTRATOR-CLERK/TREASURER

**VILLAGE OF SUMMIT PLAN COMMISSION APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT PLAN COMMISSION, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JIM SIEPMANN, CHAIRPERSON

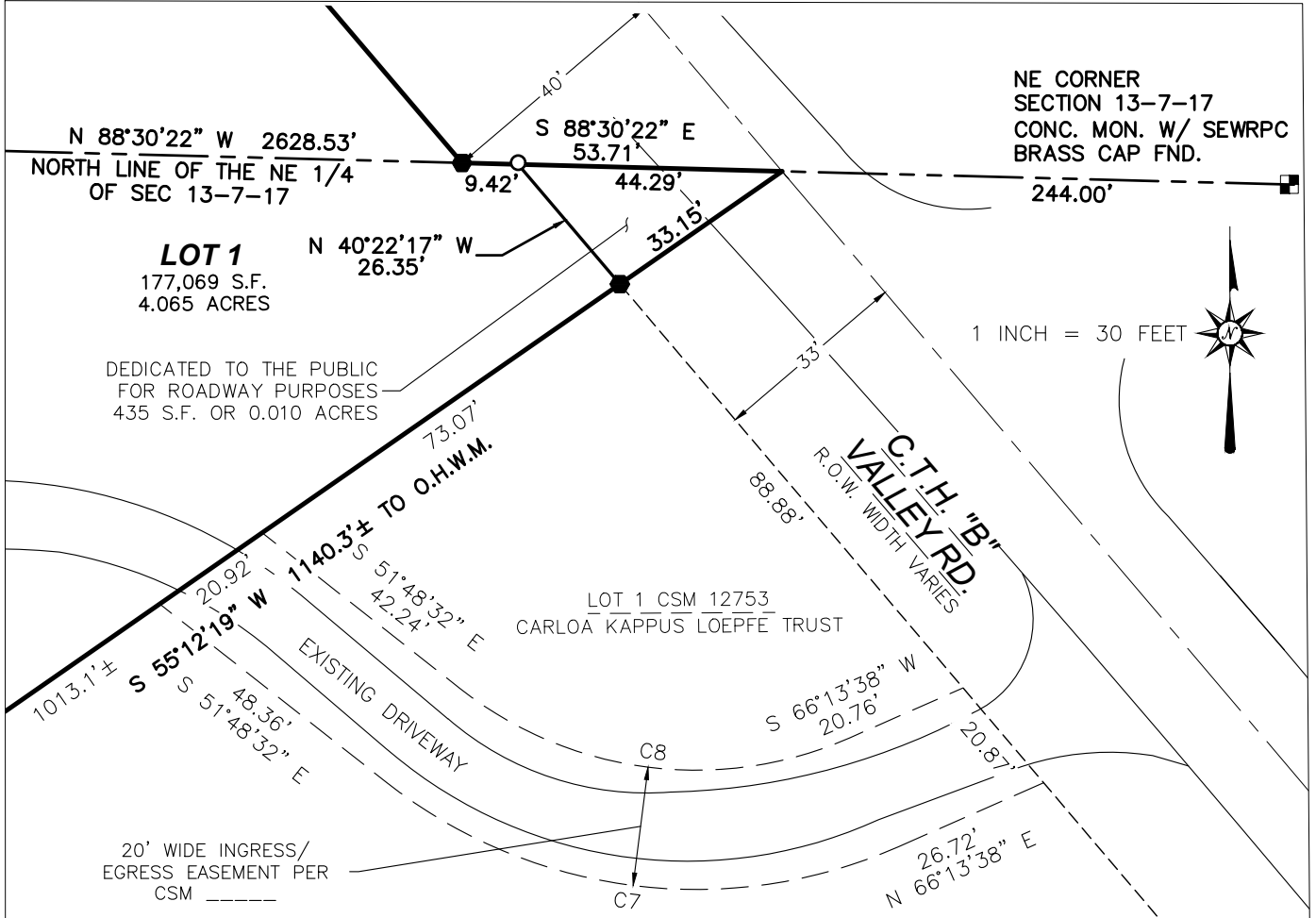
\_\_\_\_\_  
DEBRA MICHAEL, ADMINIATRATOR-CLERK/TREASURER



# WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SE 1/4 & SW 1/4 OF THE SE 1/4 OF SECTION 12 & PART OF THE NE 1/4 & NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN

## EASEMENT DETAIL



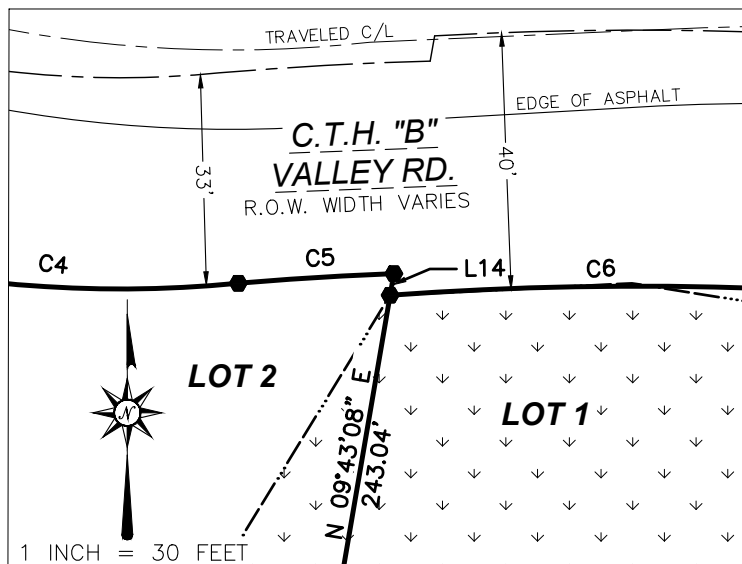
### EASEMENT CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C7	84.00'	90.84'	86.48'	N 82°47'27" W	61°57'50"
C8	64.00'	69.21'	65.89'	S 82°47'27" E	61°57'50"

### NOTES:

- FLOODPLAIN IS PER FEMA FIRM MAP NO. 55133C0158H, MAP REVISED NOVEMBER 5, 2014. ELEV: 872.7
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- THE ENTIRE PARCEL IS WITHIN THE VILLAGE OF SUMMIT SHORELAND JURISDICTION.
- ENTIRE LOT LIES WITHIN ENVIRONMENTAL CORRIDOR PER WAUKESHA COUNTY GIS.
- A WETLAND DELINEATION MAY BE REQUIRED FOR BUILDING PERMIT PURPOSES.

### LEGEND



- SECTION CORNER MONUMENT
- FOUND 3/4 REBAR" OR NOTED
- FOUND 1" IRON PIPE OR NOTED
- SET 0.75" O.D. X 18" REBAR
- WEIGHING 1.502 LBS/FT.
- SEPTIC CLEANOUT
- WELL
- HOUSE
- ◇ DRIVEWAY LOCATION
- - - FLOODPLAIN
- - - WETLANDS
- - - (R) RECORD DIMENSION

REVISED 02/17/2026  
DATED 06/27/2025  
JOB# 25134  
SHEET 2 OF 6

**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SE 1/4 & SW 1/4 OF THE SE 1/4 OF SECTION 12 & PART OF THE NE 1/4 & NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 58°12'53" W	140.07'
L2	N 70°53'45" W	236.18'
L3	N 89°32'48" W	197.29'
L4	S 70°16'21" W	111.15'
L5	N 88°37'18" W	159.17'
L6	N 88°30'35" W	226.76'
L7	N 02°02'46" W	233.08'
L8	N 18°18'45" W	100.36'
L9	N 03°28'38" W	251.23'
L10	N 84°43'34" E	87.28'
L11	S 49°21'21" E	190.75'
L12	S 28°04'51" E	164.31'
L13	S 30°24'34" E	151.48'
L14	S 09°43'08" W	3.43'
L15	S 40°22'17" E	123.85'
L16	S 88°30'22" E	53.71'

**RECORD LINE TABLE**

LINE	BEARING	DISTANCE
(L4)	(S 69°01'45" W)	(104.56)
(L5)	(N 89°47'12" W)	
(L6)	(N 89°42'43" W)	
(L7)	(N 03°08'55" W)	(232.87')
(L8)	(N 19°47'50" W)	
(L9)	(N 04°57'43" W)	(250.77')
(L10)	(N 83°14'29" E)	(86.82')
(L11)	(S 50°50'26" E)	
(L12)	(S 29°33'56" E)	
(L13)	(S 31°53'39" E)	
(L14)	(S 08°30'47" W)	
(L15)	(S 44°22'10" E)	(121.24')

**CURVE TABLE**

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TANGENT IN	TANGENT OUT
C1	15.00'	88°12'12"	23.09'	20.88'	N 40°37'28" E	S 84°43'34" W	S 03°28'38" E
C2	345.00'	45°56'36"	276.64'	269.29'	S 72°19'39" E	S 49°21'21" E	S 84°42'03" W
C3	574.00'	21°16'32"	213.14'	211.92'	S 38°43'06" E	S 28°04'50" E	S 49°21'22" E
C4	190.00'	65°08'43"	216.03'	204.58'	N 62°58'55" W	N 30°24'33" W	N 84°26'44" E
C5	537.00'	2°35'51"	24.34'	24.34'	N 86°27'20" E	N 87°45'15" E	N 85°09'24" E
C6	530.00'	50°01'00"	462.67'	448.12'	S 69°10'45" E	N 44°10'15" W	S 85°48'44" W

**RECORD CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
(C1)		(24.08')	(21.58')	(N 39°02'45" E)	(91°59'04")
(C2)				(S 73°48'44" E)	
(C3)				(S 40°12'11" E)	(21°16'30")
(C4)				(S 64°28'00" E)	(65°08'42")
(C5)		(22.57')	(22.57')	(N 84°52'34" E)	(02°24'29")
(C6)		(459.34')	(445.09)	(N 69°11'52" W)	(24°49'42")

**WETLAND/ ENVIRONMENTAL CORRIDOR/ FLOODPLAIN RESTRICTIONS**

THOSE AREAS OF LAND IDENTIFIED AS WETLANDS, ENVIRONMENTAL CORRIDOR AND/OR FLOODPLAIN ON THIS CERTIFIED SURVEY MAP AND SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

1. GRADING, FILLING AND THE REMOVAL OF TOPSOIL OF OTHER EARTHEN MATERIALS IS PROHIBITED UNLESS APPROVED BY THE VILLAGE OF SUMMIT IN ACCORDANCE WITH ALL VILLAGE ORDINANCES AND AS APPROVED IN RESTRICTION 6.
2. THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT DEAD, DISEASED, OR DYING VEGETATION MAY BE REMOVED AT THE DISCRETION OF THE LANDOWNER AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT. SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT, SHALL ALSO BE PERMITTED. DISTURBANCE ALLOWED AS PART OF RESTRICTION 6 SHALL ALSO BE PERMITTED.
3. GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., SHALL BE DISCOURAGED TO THE GREATEST EXTENT POSSIBLE.
4. THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT IS PROHIBITED UNLESS THE MATERIAL IS LOCATED WITHIN THE DISTURBANCE PROVIDED IN RESTRICTION 6
5. PONDS MAY BE PERMITTED SUBJECT TO THE APPROVAL OF THE VILLAGE OF SUMMIT AND, IF APPLICABLE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
6. THE CONSTRUCTION OF BUILDINGS WITHIN THE WETLAND IS PROHIBITED. THE DISTURBANCE IN THE ENVIRONMENTAL CORRIDOR FOR ALL LAND ALTERING ACTIVITIES AND VEGETATIVE REMOVAL, INCLUDING BUILDING SITES, MANICURED YARDS AND DRIVE AREAS, SHALL BE NO MORE THAN 32,670 SQ. FT. OF 15% OF THE LOT AREA, WHICHEVER IS GREATER.

**NOTES:**

- FLOODPLAIN IS PER FEMA FIRM MAP NO. 55133C0158H, MAP REVISED NOVEMBER 5, 2014. ELEV: 872.7
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- THE ENTIRE PARCEL IS WITHIN THE VILLAGE OF SUMMIT SHORELAND JURISDICTION.
- ENTIRE LOT LIES WITHIN ENVIRONMENTAL CORRIDOR PER WAUKESHA COUNTY GIS.
- A WETLAND DELINEATION MAY BE REQUIRED FOR BUILDING PERMIT PURPOSES.

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SE 1/4 & SW 1/4 OF THE SE 1/4 OF SECTION 12 & PART OF THE NE 1/4 & NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN

**SURVEYOR'S CERTIFICATE:**

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SOUTHEAST 1/4 & SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12 & PART OF THE NORTHEAST 1/4 & NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION 13, TOWN 7 NORTH, RANGE 17 EAST; THENCE N 88°30'22" W, ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 13, 244.00 FEET TO THE POINT OF BEGINNING; THENCE S 55°12'19" W, 1,106.81 FEET TO THE BEGINNING OF A MEANDER LINE OF UPPER NEMAHBIN LAKE, SAID POINT LYING N 55°12'19" E, 33.5 FEET MORE OR LESS FROM THE ORDINARY HIGH WATER MARK OF UPPER NEMAHBIN LAKE; THENCE ALONG THE MEANDER LINE OF UPPER NEMAHBIN LAKE FOR THE FOLLOWING 5 COURSES: 1.: THENCE N 58°12'53" W, 140.07 FEET; 2.: THENCE N 70°53'45" W, 236.18 FEET; 3.: THENCE N 89°32'48" W, 197.29 FEET; 4.: S 70°16'21" W, 111.15 FEET; 5.: THENCE N 88°37'18" W, 159.17 FEET TO THE WEST LINE OF LOT 2 OF CSM 11656 AND END OF THE MEANDER LINE, SAID POINT LYING N 26°23'09" E, 193.8 FEET MORE OF LESS FROM THE APPROXIMATE ORDINARY HIGHWATER MARK OF UPPER NEMAHBIN LAKE; THENCE ALONG THE WEST LINE OF LOT 2 OF CSM 11656 FOR THE FOLLOWING 2 COURSES: 1.: THENCE N 26°23'09" E, 1,005.43 FEET; 2.: THENCE N 88°30'35" W, 226.76 FEET TO THE EAST RIGHT-OF-WAY OF NORTH CEDAR RIDGE ROAD; THENCE ALONG THE EAST RIGHT-OF-WAY OF NORTH CEDAR RIDGE ROAD AND WEST LINE OF LOT 2 OF CSM 11656 FOR THE FOLLOWING 4 COURSES: 1.: THENCE N 02°02'46" W, 233.08 FEET; 2.: THENCE N 18°18'45" W, 100.36 FEET; 3.: THENCE N 03°28'38" W, 251.23 FEET; 4.: THENCE WITH A TANGENT CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 23.09 FEET, WITH A RADIUS OF 15.00 FEET, WITH A DELTA ANGLE OF 88°12'12", WITH A CHORD BEARING OF N 40°37'28" E, WITH A CHORD LENGTH OF 20.88 FEET TO THE SOUTH RIGHT OF WAY OF C.T.H. "B" ALSO KNOWN AS VALLEY ROAD; THENCE ALONG THE SOUTH RIGHT OF WAY OF C.T.H. "B" ALSO KNOWN AS VALLEY ROAD FOR THE FOLLOWING 11 COURSES: 1.: THENCE N 84°43'34" E, 87.28 FEET; 2.: THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 276.64 FEET, WITH A RADIUS OF 345.00 FEET, WITH A DELTA ANGLE OF 45°56'36", WITH A CHORD BEARING OF S 72°19'39" E, WITH A CHORD LENGTH OF 269.29 FEET; 3.: THENCE S 49°21'21" E, 190.75 FEET; 4.: THENCE WITH A TANGENT CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 213.14 FEET, WITH A RADIUS OF 574.00 FEET, WITH A DELTA ANGLE OF 21°16'32", WITH A CHORD BEARING OF S 38°43'06" E, WITH A CHORD LENGTH OF 211.92 FEET; 5.: THENCE S 28°04'51" E, 164.31 FEET; 6.: THENCE S 30°24'34" E, 151.48 FEET; 7.: THENCE WITH A TANGENT CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 216.03 FEET, WITH A RADIUS OF 190.00 FEET, WITH A DELTA ANGLE OF 65°08'43", WITH A CHORD BEARING OF S 62°58'55" E, WITH A CHORD LENGTH OF 204.58 FEET; 8.: THENCE WITH A NON TANGENT REVERSE CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 24.34 FEET, WITH A RADIUS OF 537.00 FEET, WITH A DELTA ANGLE OF 02°35'51", WITH A CHORD BEARING OF N 86°27'20" E, WITH A CHORD LENGTH OF 24.34 FEET; 9.: THENCE S 09°43'08" W, 3.43 FEET; 10.: THENCE WITH A NON TANGENT CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 462.67', WITH A RADIUS OF 530.00', WITH A DELTA ANGLE OF 50°01'00", WITH A CHORD BEARING OF S 69°10'45" E, WITH A CHORD LENGTH OF 448.12'; 11.: THENCE S 40°22'17" E, 123.85 FEET TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 13; THENCE S 88°30'22" E ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 13, 53.71 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 1,378,042 SQUARE FEET OR 31.363 ACRES MORE OR LESS INCLUDING THE LANDS LYING BETWEEN THE MEANDER LINE AND THE ORDINARY HIGH WATER MARK OF UPPER NEMAHBIN LAKE.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF THE CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST AND WILLIAM P & MEGHAN R LOEPFE OWNERS OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF VILLAGE OF SUMMIT IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
MATTHEW T. O'ROURKE, S-2771

**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SE 1/4 & SW 1/4 OF THE SE 1/4 OF SECTION 12 & PART OF THE NE 1/4 & NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN

**OWNER'S CERTIFICATE:**

AS OWNERS WE THE CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED, DIVIDED, AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT.

WITNESS THE HAND AND SEAL OF SAID OWNERS: THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
CAROLA KAPPUS LOEPFE – TRUSTEE

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE NAMED CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST, TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY SIGNATURE \_\_\_\_\_

PRINT NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**OWNER'S CERTIFICATE:**

AS OWNERS WE THE WILLIAM P AND MEGHAN R LOEPFE HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED, DIVIDED, DEDICATED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT.

WITNESS THE HAND AND SEAL OF SAID OWNERS: THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
WILLIAM P. LOEPFE

\_\_\_\_\_  
MEGHAN R. LOEPFE

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE NAMED WILLIAM P. AND MEGHAN R. LOEPFE, TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY SIGNATURE \_\_\_\_\_

PRINT NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 1 OF CSM 2961, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 999437, LOT 2 OF CSM 11656, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 4321576 AND UNPLATTED LANDS BEING A PART OF THE SE 1/4 & SW 1/4 OF THE SE 1/4 OF SECTION 12 & PART OF THE NE 1/4 & NW 1/4 OF THE NE 1/4 OF SECTION 13, TOWNSHIP 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN

**VILLAGE OF SUMMIT BOARD APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT BOARD, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JACK RILEY, VILLAGE PRESIDENT

\_\_\_\_\_  
DEBRA MICHAEL, ADMINISTRATOR-CLERK/TREASURER

**VILLAGE OF SUMMIT PLAN COMMISSION APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT PLAN COMMISSION, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JIM SIEPMANN, CHAIRPERSON

\_\_\_\_\_  
DEBRA MICHAEL, ADMINISTRATOR-CLERK/TREASURER



## VILLAGE OF SUMMIT PLAN COMMISSION ZONING REPORT

TO: Village of Summit Plan Commission

FROM: Amy Barrows, Village Planner  
*Planning & Zoning LLC*

MEETING DATE: February 26, 2026

RE: **William Loepfe Detached Garage**

- 34311 Valley Road (SUMT0624999001), owned by William & Megahn Loepfe
- Part of Unidentified address (SUMT0625991), owned by Carola Kappus Loepfe Trust C-U The Elizabeth J Bostrom Living Trust

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The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet.

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**Possible Motion:** *Motion to approve the detached garage, subject to the following conditions:*

- 1. SIZE AND LOCATION:** *The detached garage shall not exceed 44 ft. x 60 ft., 2,640 sq. ft., excluding the 6 ft. x 16 ft., 96 sq. ft. unenclosed overhang. The garage shall be constructed in the location shown on the site plan prepared by LandTech revised on 02/17/2026.*
- 2. DISTURBANCE LIMITATION:** *Prior to the issuance of any permits, petitioner shall submit an updated survey that illustrates and calculates the square footage of overall area of disturbance on Lot 1, including the driveway, existing and proposed structures, and manicured yard. The disturbed area shall not exceed 32,670 sq. ft.*
- 3. ARCHITECTURAL DESIGN:** *The detached garage shall be constructed according to the building plan prepared by Patrick Robers, Design Time, dated 2/6/2026, including materials and design.*
- 4. DECLARATION OF RESTRICTIONS:** *Petitioner shall file a declaration of restrictions, drafted by Village Staff, with the Waukesha County Register of Deeds Office, limiting the use of the detached garage to personal storage and private indoor recreational purposes. If a use other than personal storage is proposed, the intended use shall be reviewed by the Village of Summit following all procedures at time of proposal, and shall only be allowed if specifically permitted pursuant to the applicable Zoning Code.*
- 5. CERTIFIED SURVEY MAP:** *The Certified Survey Map that combines acreage to accommodate the detached garage shall be recorded with the Waukesha County Register of Deeds Office prior to any Zoning or Building Permits being issued.*
- 6. SUBJECT TO REIMBURSEMENT OF EXPENSES.** *As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of*

## Loepfe Detached Garage

*Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.*

- 7. ONE YEAR TO SATISFY CONDITIONS.** *Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Plan Commission granting conditional approval of the detached garage.*
- 8. ZONING AND BUILDING PERMITS.** *Petitioner shall obtain Zoning and Building Permits for the detached garage prior to commencing any construction activities.*

### **Property Description:**

The applicant is proposing to reconfigure three lots into two lots as part of a Certified Survey Map that is being reviewed separately. The new acreage of the subject property will be 4 acres and will contain a single-family residence and attached garage. The lot is served by public sewer as part of Utility District #2 and a private well. The entire property is in the Primary Environmental Corridor and there is some wetland on the west side of the property. The wetland is located over 200 ft. away from the proposed garage.

**Lot Size:** 4 acres

**Zoning:** R-2 Country Residential, WC Wetland Conservancy, EC Environmental Corridor Overlay (1.5-acre lots size/2-acre density)

**Land Use Plan:** SF Residential 1.6-acre density, Wetland, PEC

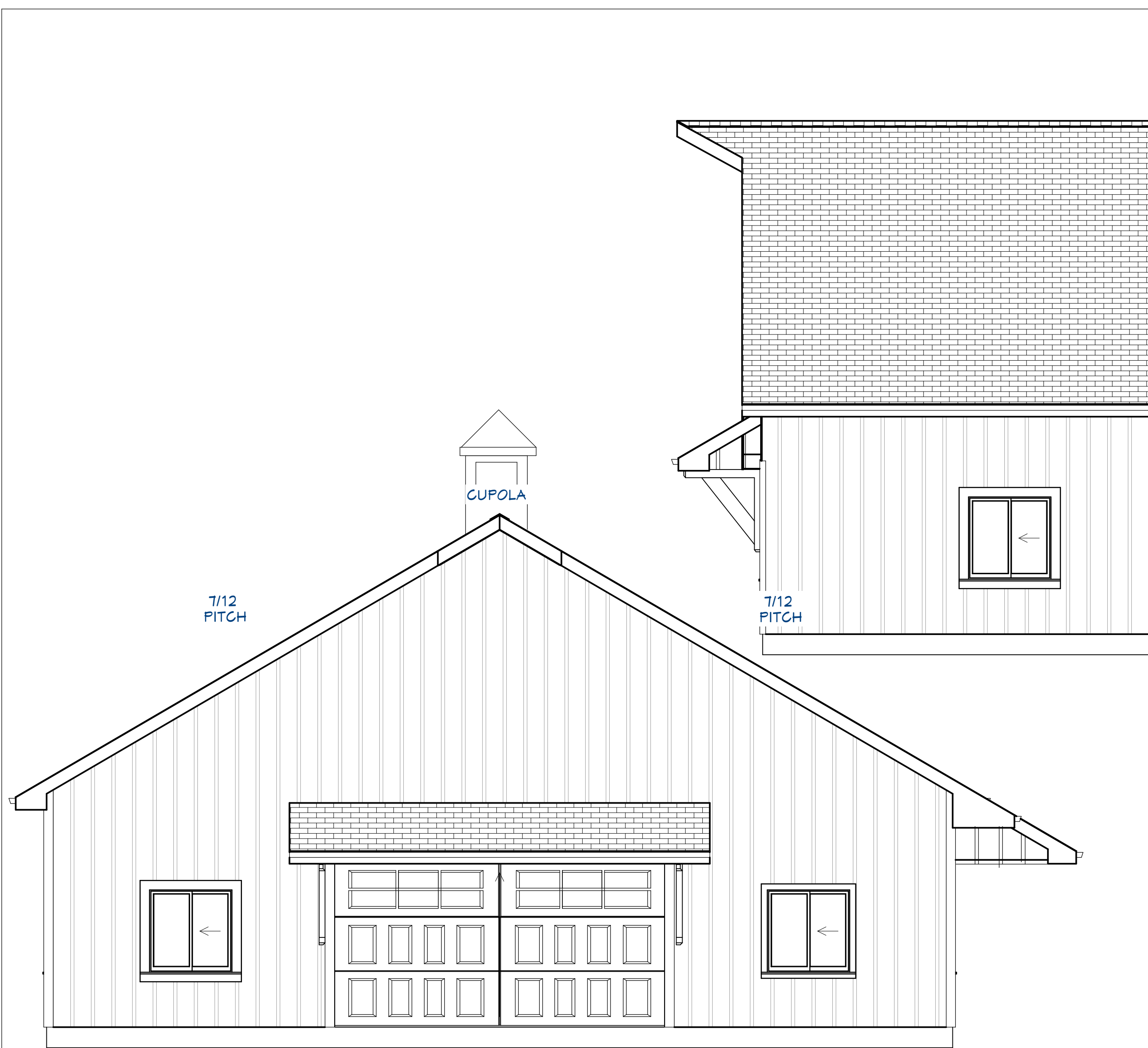
### **Summary:**

The applicant is proposing to construct a 44 ft. x 60 ft., 2,640 sq. ft., detached garage/outbuilding, with a 6 ft. x 16 ft., 96 sq. ft. unenclosed overhang. The garage will be used for personal storage and private indoor recreational purposes. The proposed detached garage/outbuilding complies with all setbacks and offsets if the proposed Certified Survey Map is approved.

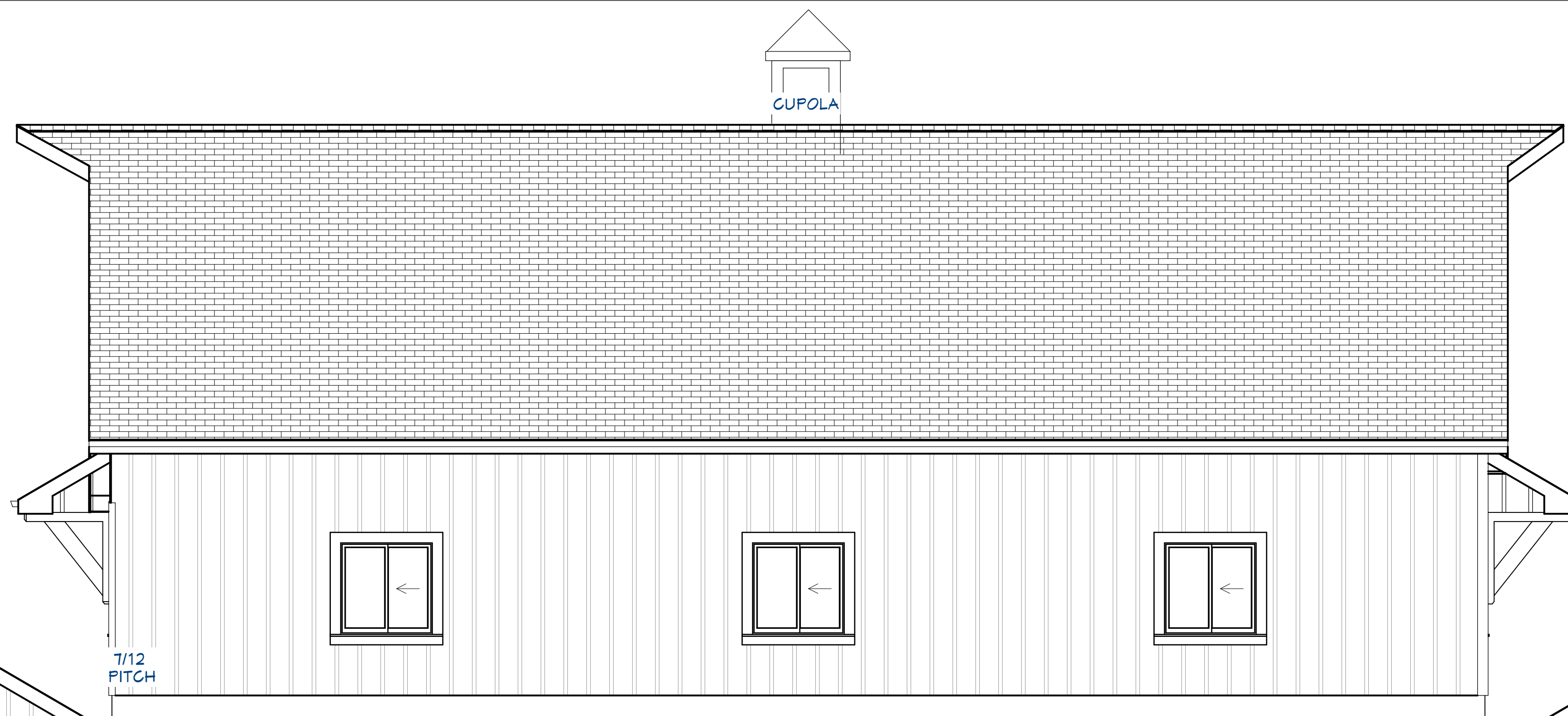
Section 111-100(b)(3)b. of the Zoning Ordinance limits the size of each accessory structure on a property to 60% of the finished floor area of the residence unless approval is granted by Plan Commission. The existing 2-story residence is 2,652 sq. ft., with 1,432 sq. ft. on the first floor. The proposed garage makes up nearly 100% of the floor area of the home. Plan Commission shall review the request and determine whether there are any adverse effects resulting to surrounding properties. Plan Commission may place conditions such as architectural treatments, screening by landscape or architectural means, regulation of lighting, deed restrictions, or other measures, as it deems necessary. Plan Commission may require a public hearing.

The garage will not have any plumbing. The siding will consist of dark gray LP Smartsiding, the roof will consist of dark gray dimensional shingles, the door overhang will be dark gray or black metal, the doors will be dark and the windows will be black. The applicant is proposing gooseneck security lighting. The existing house is a dark gray color, but the applicant intends on painting the home next year. A picture of the house is included in the packet. The existing home and proposed garage have limited visibility to the road and neighbors. The closest adjacent property is owned by the family trust.





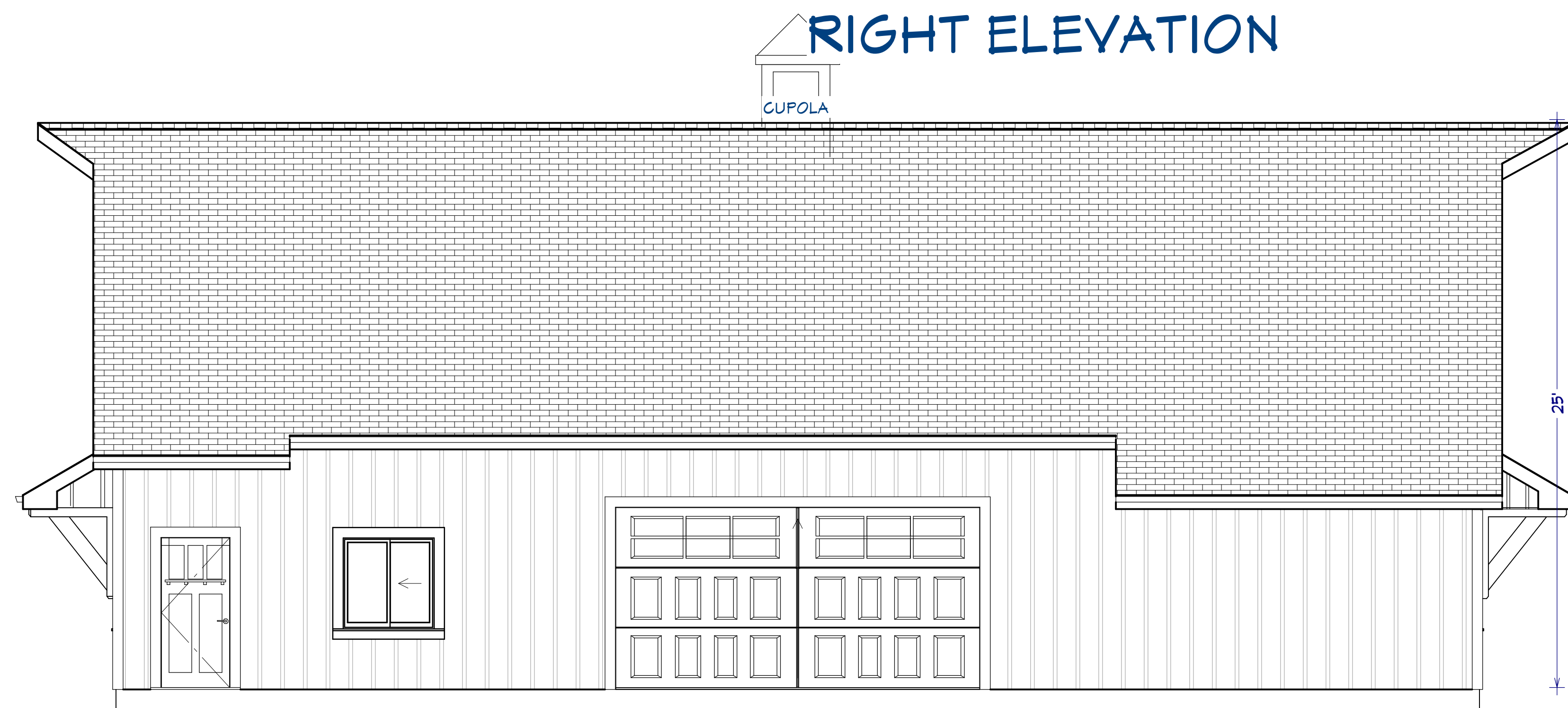
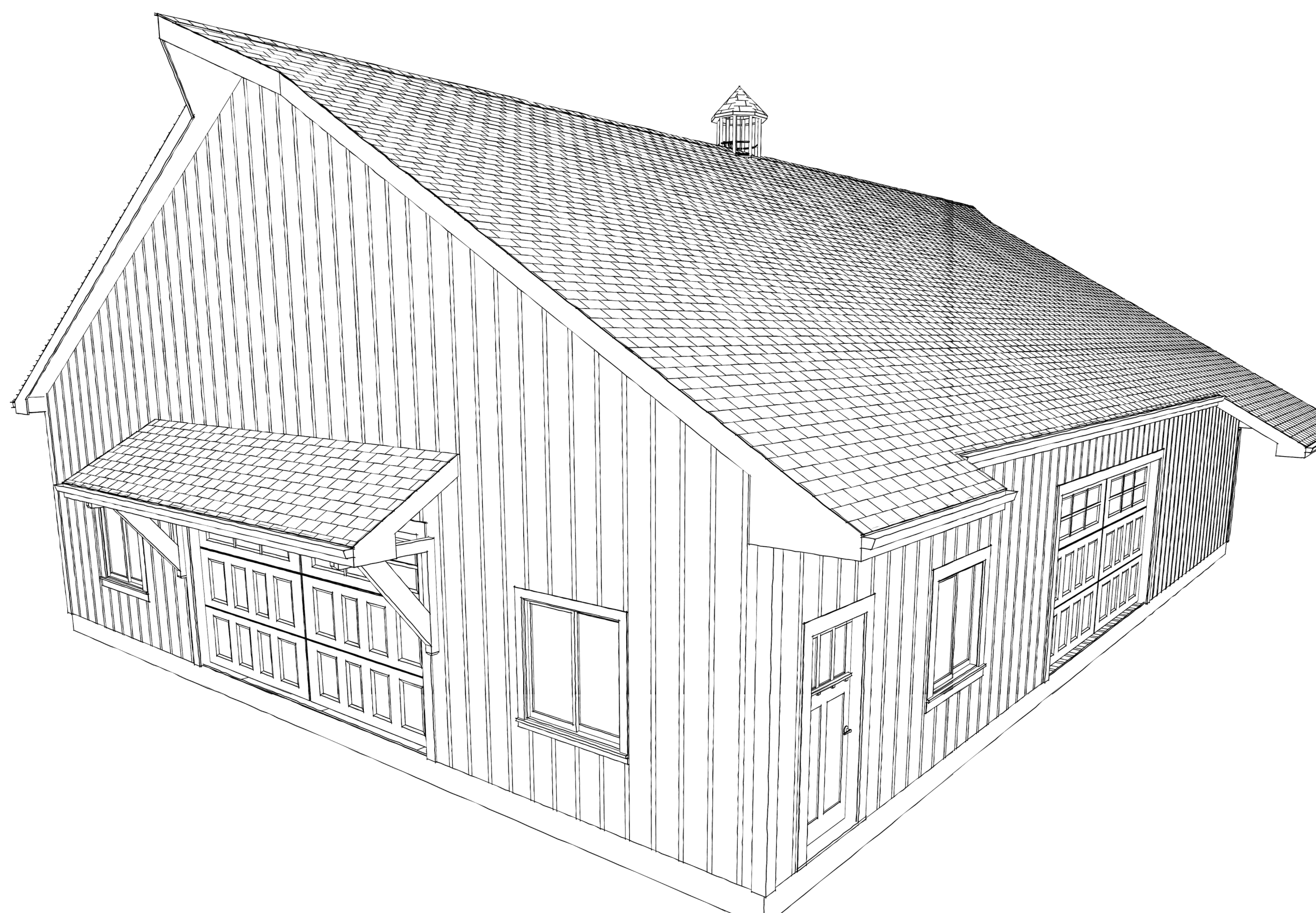
LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

DT

TO BE BUILT BY:  
WILLIAM LOEPFE  
(414) 559-2132

PROJECT DESCRIPTION:  
LOEPFE OUTBUILDING

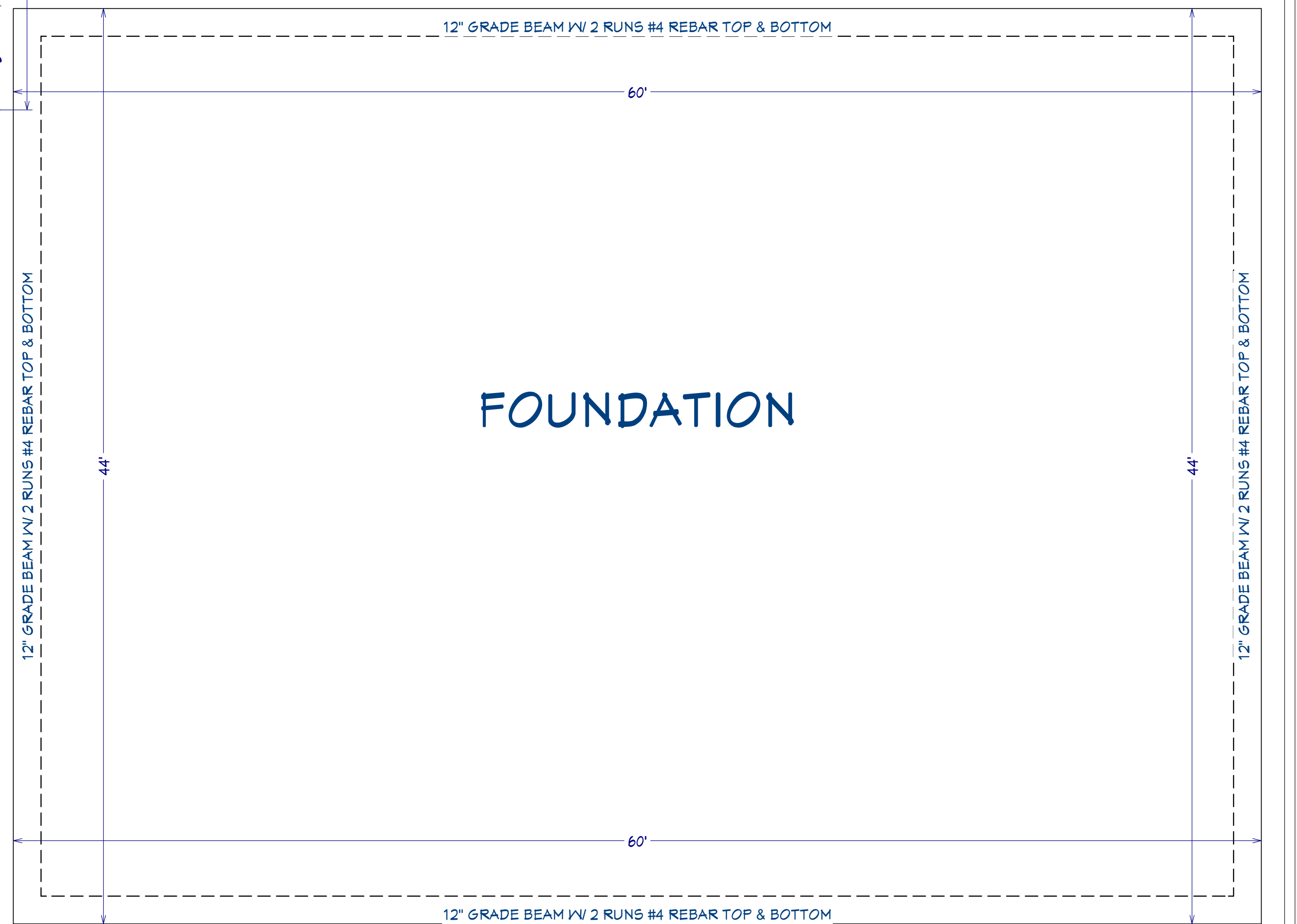
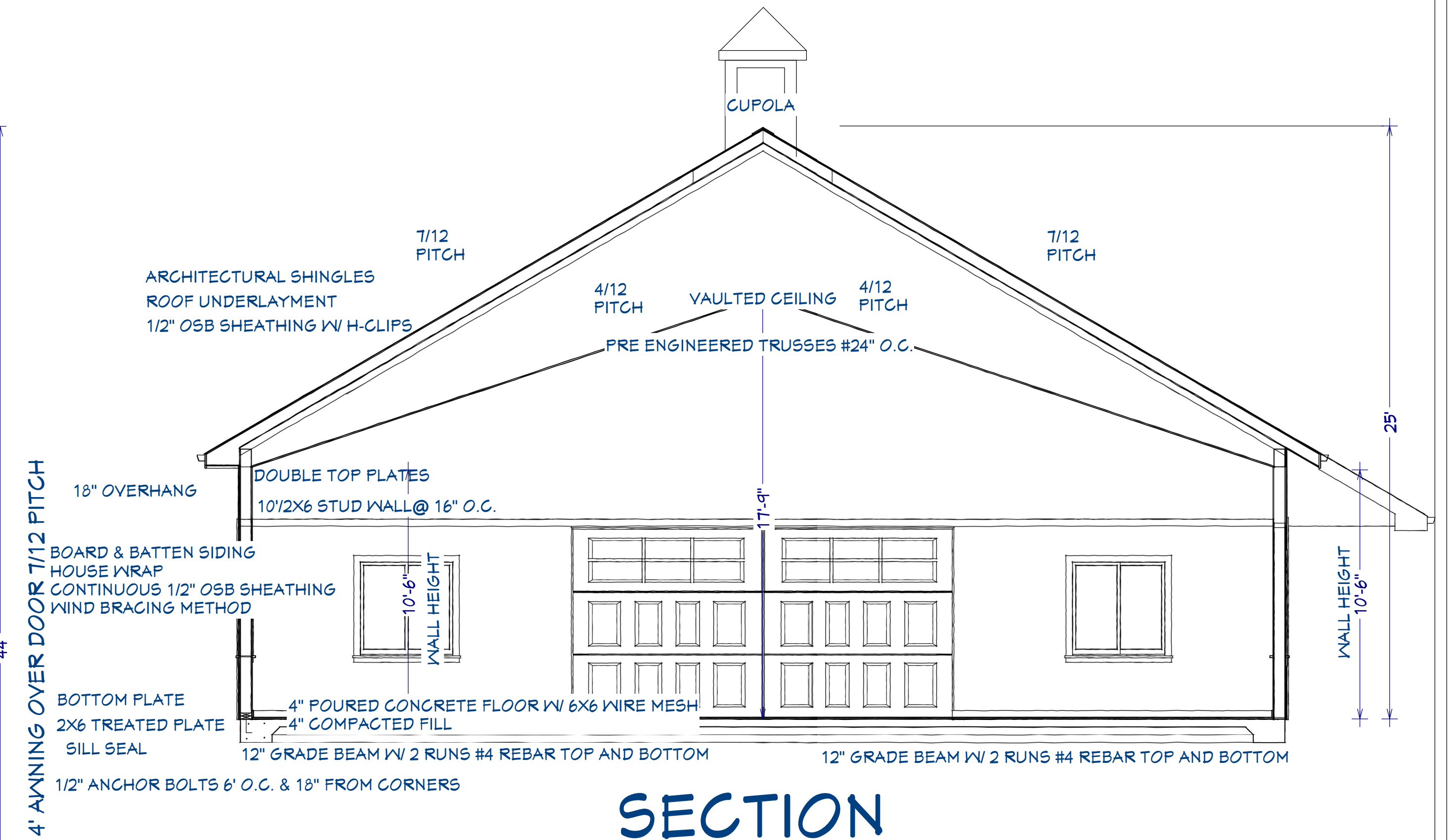
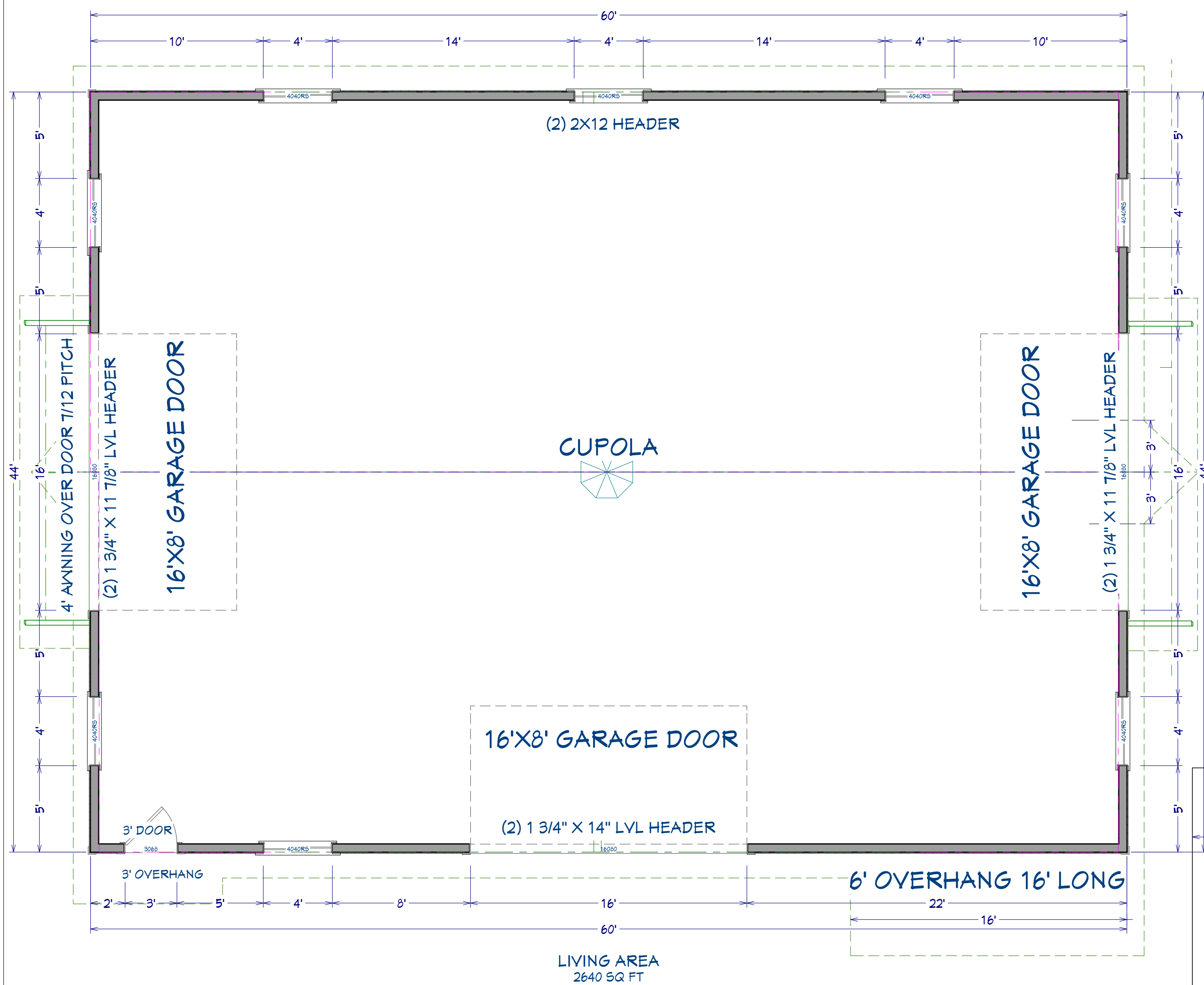
DRAWINGS CREATED BY:  
DESIGN TIME  
PATRICK E. ROBERS  
(779) 238-2801

DATE:  
2/6/2026

SCALE:

SHEET:

P-1







## VILLAGE OF SUMMIT PLAN COMMISSION ZONING REPORT

TO: Village of Summit Plan Commission

FROM: Amy Barrows, Village Planner  
*Planning & Zoning LLC*

MEETING DATE: February 26, 2026

RE: **Panga Parking Lot, Dumpster Enclosure, and Access Improvements**  
34422 Delafield Road (SUMT0669017)

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The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet.

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**Property Owner:** Nemahbin Lake Holdings LLC  
**Applicant:** Andy Fieber  
**Zoning:** NC Neighborhood Commercial, Floodplain Overlay  
**Land Use Plan:** Mixed Use Commercial

**Possible Motion:** *Motion to approve the parking lot, dumpster enclosure and access improvements, subject to the following conditions:*

- 1. All comments of the Engineering Staff's Review Letter dated February 18, 2026 shall be complied with prior to commencing any construction activities.*
- 2. The parking lot and other improvements shall be constructed according to the plans prepared by Sigma Group, dated February 12, 2026, unless modifications are made in response to Condition No. 1 and reviewed and approved by Village Staff.*
- 3. Prior to commencing any construction activities, the applicant shall obtain a Floodplain Development Permit from the Village of Summit. The water equipment racks proposed adjacent to Upper Nemahbin Lake shall be properly anchored to meet the Village's floodplain requirements. The property is limited to two equipment racks, each holding eight units of recreational equipment, per the existing Business Plan of Operation.*
- 4. The existing outbuilding shall be removed prior to commencing any parking lot improvement activities.*
- 5. Written documentation shall be submitted to Village Staff from Waukesha County Department of Public Works that all necessary approvals and permits have been issued for improvements within the road right-of-way of CTH DR prior to commencing any parking lot improvement activities.*

## *Panga Site Improvements*

6. *Prior to commencing any parking lot improvement activities, the Fire Department shall review the final plan set to ensure the fire department has adequate access and maneuverability.*
7. *An updated Business Plan of Operation Approval document shall be prepared by staff for the property record.*

### **Summary:**

The applicant is proposing improvements to the parking lot, dumpster enclosure, and access to the Panga site and building. The parking lot is located in the floodplain, which includes floodway and floodfringe. The applicant will remove the gravel and paved surface of the existing parking lot, reuse the gravel as the base, and install a new paved surface throughout the entire parking lot. There will be two defined access points to the site, whereas the existing parking lot is accessible along a majority of the road frontage. The existing 965 sq. ft. retail/storage building and adjacent light pole will be removed. The main building would remain as-is at this time. The applicant may propose building improvements at a later date.

There are currently twenty-eight (28) marked gravel parking stalls on the property. The applicant is proposing twenty-nine parking stalls (29); two (2) of which will be ADA compliant. Wheel stops will be placed at the end of each stall, except for the ADA compliant stall adjacent to the dumpster enclosure. An additional parking stall is provided because the retail/storage building is being taken down.

As part of a previous submittal in 2025, the applicant was proposing to fill 30.26 cubic yards in the floodfringe. The applicant was required to compensate for all lost storage. The applicant proposed 39.29 cubic yards of floodplain compensatory storage in the 20 ft. strip of land owned by the Upper Nemahbin Lake Management District located on the east side of the property. The applicant has revised the plans so that there is no fill in the floodway or floodfringe, negating the need for compensatory storage. DNR floodplain management staff reviewed the proposed plans and did not have any issues with the proposed plan from a floodplain perspective.

### **Landscaping/Dumpster Enclosure/Fencing:**

The applicant is reducing the area of impervious surface from 68.5% to 61.9%. There is still limited space on the property for landscaping. A majority of the disturbed area, outside of the parking lot, will be planted with a turfgrass seed mix. A combination of gro-low fragrant Sumac, Sea Green Juniper, and Autumn Fire Sedum are proposed along the east side of the main building. Some of these plants will extend into the road right-of-way of CTH DR.

There will be a narrow strip of land between the parking lot and adjacent property to the east that will be restored with gravel. A fence-like barrier will be installed on the lot line in an effort to prevent traffic from extending over the lot line. The applicant is proposing wood posts and rope, similar to the existing barrier used. The applicant included an image in the packet.

The applicant currently stores garbage between the building and road. The applicant is proposing to install a dumpster enclosure between the building and parking lot. The dumpster enclosure will be 6 ft. tall and consist of painted dog ear wood posts with galvanized steel tubes. The applicant is proposing to install a man door on the side of the enclosure for employees to use so that the gates can remain closed during normal business hours. The dumpster enclosure gate will open in front of one of the ADA accessible stalls and the ADA accessible sign will be posted on the gate.

**Engineering/Waukesha County DPW/DNR Review:**

The Engineering Department reviewed revised plans and provided a review letter dated February 18, 2026. The letter is included in the meeting packet.

DNR staff and the Village Engineer have reviewed the proposed improvements and determined that the improvements should not cause an impact on the floodplain and that a floodplain study is not required. No fill is proposed within the floodway or floodfringe.

The applicant is proposing to restore the area of the boat launch above the ordinary high water mark with pavement. The applicant has indicated that there will not be any improvements made to the launch that extends below the ordinary high water mark of the lake. Therefore, DNR has determined that a waterway permit is not required.

The Waukesha County Public Works Department has approved the two access points and vegetation within the road right-of-way. A permit is required prior to commencing any construction in the right-of-way of CTH DR.

**Business Plan of Operation:**

The Business Plan of Operation will need to be amended to reflect the removal of the accessory building and related uses, removal of a light pole, revised parking and use of the boat launch. The applicant has provided a red-lined version of the existing Business Plan of Operation for consideration. The business is open from 11:00 am to 2:00 am, except on Fridays and Saturdays the business closes at 2:30 am. There are 25 employees, mostly part-time.



Building a Better World  
for All of Us®

February 18, 2026

RE: Village of Summit  
Panga Bar Civil Plan Review  
SEH No. 176551 Task 22

Ms. Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Dear Ms. Barrows:

We recently received updated civil plans for the proposed Panga Bar improvements located in the Village of Summit. The plans were prepared by The Sigma Group and dated February 12, 2026. A response letter to our previous review was also provided, along with an updated landscaping plan and site plan overlay.

Based on the guidance contained within a legal review letter dated February 16, 2026 from the Village Attorney John Macy, the Village does not have any legal basis to require Panga to provide access to or any form of easement to the District property and therefore we are no longer making that recommendation.

It appears that the Owner and their team have been in contact with the County regarding the work being proposed within the right-of-way, including driveway improvements, a portion of the handicap accessible path to the building and landscaping. A copy of the County's approval should be provided to the Village and be a condition of Village approval.

We provide the following comments regarding the updated improvement plans submittals.

**Civil Plan**

**COO0 Title Sheet**

- 1) The final plan set needs to be stamped, signed and dated by a professional engineer licensed in WI.

**C002 Site Preparation and Erosion Control Plan**

- 2) The note regarding the stabilized path on this sheet is no longer applicable and should be removed.

**C200 Grading Plan**

- 3) A foot of separation between the edge of pavement and the east property line is shown, with a gravel shoulder filling the one-foot space. The response letter contains a note pertaining to avoidance of disturbance and encroachments on the neighboring property. A similar note should be added to the plans.

Engineers | Architects | Planners | Scientists

**Short Elliott Hendrickson Inc.**, 501 Maple Avenue, Delafield, WI 53018-9351

262.646.6855 | 888.908.8166 fax | [sehinc.com](http://sehinc.com)

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General Comments

- 4) A Village EC permit will be required.
- 5) A pre-construction meeting needs to be scheduled prior to any land disturbing activities beginning. The meeting should include the Village Engineer, Public Works Director, Owner and pertinent members of the development team including the primary contractor. Other Village staff will also be invited but attendance is not mandatory.
- 6) Since the improvements proposed are primarily private, and the public work is within the County's ROW, no Village financial guarantee is likely needed, but the Village should verify.

Please do not hesitate to contact me with any questions or comments at 414.949.8950 or [bpehl@sehinc.com](mailto:bpehl@sehinc.com).

Sincerely,



Brian Pehl, PE  
(Lic. WI)

CC: Kamron Nash, Village Public Works Director  
Andy Fieber, Aldo Partners  
John Macy, Village Attorney

btp

# Municipal LAW

& L I T I G A T I O N G R O U P

DALE W. ARENZ (1935-2022)  
DONALD S. MOLTER, JR. (Retired)  
JOHN P. MACY  
H. STANLEY RIFFLE (Court Commissioner)  
ERIC J. LARSON  
REMZY D. BITAR

730 N. GRAND AVENUE  
WAUKESHA, WISCONSIN 53186  
Telephone (262) 548-1340  
Facsimile (262) 548-9211  
Email: [jmacy@ammr.net](mailto:jmacy@ammr.net)

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SAVANNA M. GAIN  
JAIME L. STAFFARONI  
HAILEY R. LIPINSKI  
SAVANNAH H. ZUZICK  
-----  
STEPHEN J. CENTINARIO, JR.

February 16, 2026

Amy Barrows, Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

**Re: Panga's Parking Lot  
Legal Review**

Dear Ms. Barrows:

I received your request that provide a short response that can be used by Village staff and the Village Board answering why the Village of Summit should not be involved in the issues between Panga's and the Upper Nemabin Lake Management District ("District") dealing with access to the District property and access to the lake through the Panga Property.

Based upon my review, I have the following comments, questions, concerns and recommendations in this regard.

1. Response. The Village of Summit does not have any legal basis to require Panga's to provide lake access or any form of easement to the District across the Panga property to the District property. The issues of lake access via Panga's property and access across Panga's property to the District are private matters.

Although reasonable conditions can be placed on a conditional approval, I do not see how either of these issues could be considered reasonable conditions. Although both issues are problems for the District, neither of them really has anything to do with the parking lot review.

2. Concern for Village Involvement. I am concerned that if the Village were to place conditions on the approval of the parking lot plan requiring Panga's to provide launch access or access easements across the property to the District, such conditions would not be reasonable and may expose the Village to challenge by Panga's.

My concerns come, in part, from the *Fassett v. City of Brookfield* Wisconsin Court of Appeals case. In that case, the Court of Appeals ruled in favor of a property owner challenging municipal exactions, plans and conditions of approval as unconstitutional takings. The court held that the City's requirement that Bridget Fassett dedicate land

**MUNICIPAL LAW & LITIGATION GROUP, S.C.**

Amy Barrows  
February 16, 2026  
Page 2

and construct a through street as a condition for approving her property subdivision violated the Takings Clauses of both the U.S. and Wisconsin Constitutions. The City failed to demonstrate both essential nexus and rough proportionality between the exaction and impacts caused by the proposed development, as the required street dedication addressed pre-existing dead-end streets rather than problems created by Fassett's subdivision proposal.

I cannot see how the Village could establish an essential nexus or the rough proportionality requirement by imposing such conditions on the proposed development of Panga's property.

If you should have any questions or concerns regarding these matters, please do not hesitate to contact me.

Yours very truly,  
MUNICIPAL LAW & LITIGATION GROUP, S.C.

*John P. Macy*

John P. Macy

JPM/LCL/ko

Cc: Debbi Michael, Village Administrator  
Brian Pehl, Village Engineer

Panga Bar & Grill and Panga Rentals  
Business Plan of Operation Amendment Request  
February 19<sup>th</sup>, 2026

Nemahbin Lake Partners, LLC requests an amendment to our Business Plan of Operation. As part of our parking lot restoration, we are planning on removing the accessory building located on the east side of the property. We will also have WE Energies remove the light pole on the NW corner of the accessory building. We will remove the 7UP pole sign. Without the accessory building, we request that the following be removed from our business plan as they are associated with the accessory building: retail shop, live bait, snack and sundries, changing room, lockers and tech/repair support. We kindly request that business plan be expanded to include utilizing our property as a commercial marine launch. We would charge for launching of commercial and residential marine vessels. With our parking lot renovation, we have previously submitted a request to increase the number of parking spaces from 28 to 29, which includes 2 ADA parking spaces.

**Review of Panga Bar & Grill Business Plan of Operation requested changes:**

**Remove:**

Accessory building and all associated activities.

WE Energies light pole and 7UP sign at NW corner of accessory building.

**ADD:**

Change our launch to a negotiated use-based launch for Upper Nemahbin Lake Management District Members and/or authorized representatives.

With our parking lot renovation, increase the number of parking spaces to 29, which includes 2 ADA spaces.

# **Panga Bar & Grill and Panga Rentals**

## **Business Plan of Operation Approval**

**34422 Delafield Road, SUMT0669017**

---

Property Owner:	Four Fathoms LLC (former), Applicant has purchased property since the Plan Commission meeting
Applicant:	Daniel Della, Nemahbin Lake Partners LLC
Current Zoning:	NC Neighborhood Commercial, Floodplain Overlay
Land Use Plan:	Mixed Use Commercial

---

### **Plan Commission Approval**

At their meeting on March 21, 2024, Plan Commission approved a request for a Business Plan of Operation as presented, as further specified in the application materials, and as detailed in the March 21, 2024 Plan Commission staff report. Changes to the 2016 Business Plan of Operation are limited to the changes referenced in the Planner's report and the pick-up window was acknowledged. The applicant explained that self-service was defined as ordering menu items online and picking them up at the window.

The illegal covered shelter on the north side of the property has been removed.

**The Business Operation is limited to the uses and buildings as listed in the March 21, 2024 Staff Report attached to this approval and as described below.**

### **Buildings/Uses:**

- Restaurant/tavern serving food and beverages, including alcohol. There is a self-service and pickup window that have not previously been addressed by the Plan Commission.
  - 1,930 sq. ft. 1-story building
- ~~Retail/storage building, including the sale of snacks and bait, and lockers and changing rooms~~
  - ~~965 sq. ft. 1-story building~~
- Outdoor space used for outdoor seating, dining, and the rental of recreational equipment.
- The applicant has obtained a liquor license subject to approval of the business plan of operation and compliance with the building inspector and fire inspection reports.

**Site Plan:** Approved plan is in the property file with a date of March 18, 2016. The site plan includes parking counts, pier locations, parking layout, building locations, floodplain boundary, and outdoor spaces. *It should be noted that the floodplain was revised as part of a Letter of Map Revision in 2022. The site plan will need to be updated to reflect the revised floodplain prior to any site improvements being proposed.*

**Number of Employees:** Up to 25 employees with a mix of full-time and part-time employees

**Hours of Operation:** Monday-Thursday 11 am – 2:30 am, Friday-Saturday 11 am – 2:30 am, Sunday 11 am – 2:30 am. Retail in outbuilding and equipment rental has limited hours of 6 am – 9 pm.

**Signage:** There is one existing free-standing illuminated pole sign located in the southeast corner of the building advertising the name of the operation. ~~There is another existing free-standing illuminated pole sign adjacent to the accessory building advertising 7 Up.~~ There is also an existing small sign attached to the utility pole adjacent to the road that will be removed. There are no wall-mounted signs. No changes are proposed.

**Parking Spaces:** ~~28 useable stalls~~ **29 usable stalls**. ~~There are a total of 104 seats~~ **There are a total of 116 seats**, including indoor and outdoor seating. Below are the ordinance requirements for parking:

- Restaurant/bar: One space for each four seats or one space for each 150 sq. ft. of floor area, whichever is greater. On the subject property, ~~26~~ **29** spaces are required based on the seating criteria. It would be difficult to determine the number of parking spaces required based on floor area since the outdoor dining is not all on a hard surfaced area. However, parking requirements would be more restrictive using the number of seats.
- ~~Retail: One space for each 150 sq. ft. of floor area is required. Since the retail area makes up 300 sq. ft., two additional spaces are required.~~
- **A total of 28 29 parking spaces are required.**

**Music:** The applicant is proposing live music during special events only. Music that is piped through speakers will be limited to inside the building and to the outside speakers that currently exist. There are two speakers on the north side of the building and one speaker on the south side of the building. According to the applicant, the speakers have ample volume control.

**Special Events:** Maximum of 3 special events a year.

**Water Access/Piers:** There is a boat launch that has been used by the lake management district in the past. *The current owner will modify the permitted lake access on an as negotiated basis with the Upper Nemahbin Lake Management District and/or authorized representatives.* ~~The current owner limits trailer parking to 5 trailers.~~ There are 4 piers that extend to a water depth of 3 ft. per WDNR requirements.

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**List of uses and conditions that must be followed in accordance with the 2016 Business Plan of Operation approval. Requirements added as part of this proposal are in bold:**

1. Maximum of ~~28~~ **29** off-street parking spaces as shown on the site plan
2. Maximum seating at the restaurant of ~~104~~ **116** seats, including indoor and outdoor seating
3. ~~Maximum retail space in the second building of 300 square feet~~
4. **Maximum number of special events that must be approved by the Village Board: 3 special events annually.**
5. **No changes to signage is permitted.**

**Panga Bar and Grill**

- |   |  |
|---|--|
| 1. Full-service restaurant and bar.<br>25 employees | Permitted Use under Section 111-354 (b)(4)   |
| 2. Indoor and outdoor dining.                       | Permitted Use under Section 111-354 (b)(4)<br>limited seating based on parking available<br>limited seating location outside floodplain  |
| 3. Special events                                   | Require special events permit from Village Board,<br><b>maximum 3 events annually.</b>   |
| 4. Seasonal outdoor bar                             | Accessory to permitted use<br>limited seating based on parking available<br>limited location outside floodplain  |
| 5. Seasonal outdoor grill area                      | Accessory to permitted use<br>limited seating based on parking available<br>limited location outside floodplain  |
| 6. Firepit  | Accessory to permitted use   |
| 7. Parking  | Minimum and maximum of <del>twenty-eight</del> <i>twenty-</i><br><i>nine</i> off-street parking spaces   |
| <b>8. Music</b>                                     | <b>All outdoor speakers shall be turned off by 9 pm<br/>Sunday-Thursday and 10 pm Friday and<br/>Saturday. No indoor or outdoor live music is<br/>proposed at this time, except during special<br/>events.</b> |

**Nomad Boardsports, now Panga Rentals**

- |  |  |
|--|--|
| 1. Rentals of kayaks, canoes, Pontoon and SUP boards | Permitted use under Section 111-354(b)(8), Maximum of 3 pontoon boats, 2 changing rooms, lockers, 10 rental bikes, 2 outdoor racks that hold 8 units of recreational equipment each<br>Hours of operation limited to 6 am – 9 pm |
| 2. Launching   | Accessory use, limited use not open to the public. The lake management district has been given permission to use it at no cost, maximum of 5 trailers parked on-site.  |
| 3. Lessons   | Accessory use  |
| <del>4. Retail shop</del>                            | <del>Permitted use, 300 square feet of retail with limited hours of operation from 6 am – 9 pm</del>   |
| <del>5. Live bait</del>                              | <del>Permitted use within the existing accessory building</del>  |
| <del>6. Snack and sundries</del>                     | <del>Accessory use within the existing accessory building</del>  |
| <del>7. Changing room</del>                          | <del>Accessory use within the existing accessory building</del>  |
| <del>8. Lockers</del>                                | <del>Accessory use within the existing accessory building</del>  |
| <del>9. Tech/repair support</del>                    | <del>Accessory use within the existing accessory building</del>  |
| 10. Bicycle rentals                                  | Permitted use under Section 111-354(b)(8)<br>Maximum of 10 bikes   |

February 12, 2026

Project Reference #22772

Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Re: *Village of Summit* Panga Bar Preliminary Civil Plan Review SEH No. 176551 Task 22

Dear Ms. Barrows,

Sigma responses in Blue.

## Civil Plan

### Civil Plan

### COOO Title Sheet

- 1) The final plan set needs to be stamped, signed and dated by a professional engineer licensed in WI.
  - Final plans will be stamped when all comments are approved by the village.

### C002 Site Preparation and Erosion Control Plan

- 2) Silt fence should be added along the south edge of the walk/path being constructed along the south side of the building. It is assumed that some grading and preparation will be required to install the path.
  - The area south of the building is all pavement. Silt fence does not make sense in this case. Silt sock will be added instead.

### C100 Site Plan

- 3) A paved path has been added to the plan, along the south side of the building, to address the previous comments regarding HC accessible routing. The path width should be dimensioned. We also note that a portion of the path is located within the ROW, the Village should verify that this is allowable and doesn't require any County approval. The previous comments regarding this issue, which previously showed the path on the east and north side of the building, are no longer applicable.

- The paved path striping is 5' wide. We reached out to Jason Mayer at the County. He stated in his email that this layout that was sent to him looks feasible and provided two permits needed to perform the work (see email for reference).
  - Landtech Surveying, is activity working to collect information needed to submit County Permit.
- 4) We continue to recommend that an access easement be granted to the UNLMD through the easternmost entrance, to allow access to the 20-foot wide UNLMD right-of-way/property.
- Village to modify/remove this comment.

### C200 Grading Plan

- 5) A foot of separation has been added between the edge of pavement and the east property line, which it shares with the UNLMD, no additional details are provided to demonstrate how this will be achieved without encroaching. The Village should determine if this is sufficient and allowable, but we recommend a temporary easement be obtained prior to beginning land disturbing activities.
- A gravel shoulder detail was added to the details. The proposed parking lot improvements have been designed to terminate one (1) foot inside the subject property line and will be constructed entirely from within the boundaries of the property under our control. No access to, encroachment upon, or use of the adjacent property is anticipated or required to complete the work. In the event any incidental disturbance to neighboring property occurs, such disturbance will be promptly restored to a condition equal to or better than its pre-construction state.
  - Attached is inspiration picture of temporary fence at ROW property line.
- 6) Spot grades should be provided along the added handicapped accessible path/walk to show how it should be built to meet requirements.
- Spot grades are added to the ADA path

### C401 Site Details

- 7) A stabilized path detail is shown, it appears that this feature has been removed from the site plan and should be removed from the details to avoid confusion. If it's still being used, be sure to show it clearly on the site plan.
- Detail was removed from the plans
- 8) The site plan indicates that a handicap space sign will be placed on the dumpster enclosure gate; this should be included in the related detail. The Village should determine if this should be allowed but if permissible, should be shown as such on detail.
- Detail was updated to show a ADA sign on the door. In addition, a person door has been added to the enclosure to allow access while vehicles are parked.
- 9) An accessible asphalt path/walk is now proposed; would the same pavement section be used for the path as the parking lot? The designer should confirm or add the appropriate detail.
- Same asphalt section will be used for south of the building.

## Landscape Plan

- 10) **The junipers proposed on the southwest side of the parking lot, and added walk/path, encroach into the ROW.**
  - **Discussions were had with the Village that junipers will remain for screening purposes.**

## General Comments

- 11) **A Village SW & EC permit will be required.**
  - **Understood.**
- 12) **A financial guarantee should be considered for improvements within the ROW.**
  - **Per meeting discussions with Amy Barrows and Brian Pehl, it is understood that the Village does not typically enforce financial guarantees.**
- 13) **A street opening permit will be required. Any County requirements should be verified for proposed work in Delafield Road's (CTH DR) ROW.**
  - **Understood contractor will pull street opening permit.**

Please call us if you have any questions or need additional information.

Respectfully submitted,

**THE SIGMA GROUP, INC.**



Colin Trautschold, E.I.T.  
Project Engineer



---

**RE: [EXT] RE: PANGA Bar Parking Lot Project - ROW**

---

**From** Jason Mayer <JMayer@waukeshacounty.gov>

**Date** Fri 1/30/2026 2:38 PM

**To** Colin Trautschold, E.I.T. <ctraultschold@thesigmagroup.com>

**Cc** Andy Fieber <andyf@aldopartners.com>; Christopher Carr, P.E. <ccarr@thesigmagroup.com>

Send to me for now. We are working with Oxcart on a permit system, but we are not quite there yet.

Thanks.



**Jason Mayer, PLS**

Senior Engineering Technician

Dept. of Public Works, Engineering

515 W. Moreland Blvd. AC220

Waukesha, WI 53188

Phone: 262.548.7749

[www.waukeshacounty.gov](http://www.waukeshacounty.gov)

---

**From:** Colin Trautschold, E.I.T. <ctraultschold@thesigmagroup.com>

**Sent:** Friday, January 30, 2026 1:06 PM

**To:** Jason Mayer <JMayer@waukeshacounty.gov>

**Cc:** Andy Fieber <andyf@aldopartners.com>; Christopher Carr, P.E. <ccarr@thesigmagroup.com>

**Subject:** Re: [EXT] RE: PANGA Bar Parking Lot Project - ROW

 **SECURITY REMINDER:** External Source: This message is from an external source. Verify its legitimacy, and report suspicious messages using the Phish Alert button.

**Why Risk it? Don't Click it!**

Jason,

Appreciate the input and turnaround on this. Would these permits then be sent back to you for review/approval or is there a portal that we need to submit to?

Thanks,

**Colin Trautschold**

Staff Engineer, E.I.T

The Sigma Group, Inc.

414-643-4117 (direct)

414-640-5670 (mobile)

Milwaukee – Madison – Racine

1300 W. Canal Street, Milwaukee, WI 53233

www.thesigmagroup.com | ctraultschold@thesigmagroup.com

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---

**From:** Jason Mayer <JMayer@waukeshacounty.gov>

**Sent:** Friday, January 30, 2026 12:49 PM

**To:** Colin Trautschold, E.I.T. <ctraultschold@thesigmagroup.com>

**Cc:** Andy Fieber <andyf@aldopartners.com>; Christopher Carr, P.E. <ccarr@thesigmagroup.com>

**Subject:** [EXT] RE: PANGA Bar Parking Lot Project - ROW

Colin,

The county has reviewed your plans, and this looks feasible to do.

However, we will be requiring two permits for this request.

1. Submit a revocable occupancy permit application for the ADA walkway. We will need a legal description of the area of the walkway within the public right of way; an exhibit is also helpful but not required.
2. Submit a miscellaneous right of way application for the reconfiguration of the driveway.

Both applications are attached. Any further questions please feel free to contact me.

Thank you.



**Jason Mayer, PLS**

Senior Engineering Technician  
Dept. of Public Works, Engineering  
515 W. Moreland Blvd. AC220  
Waukesha, WI 53188  
Phone: 262.548.7749  
[www.waukeshacounty.gov](http://www.waukeshacounty.gov)

---


**From:** Colin Trautschold, E.I.T. <ctraultschold@thesigmagroup.com>

**Sent:** Friday, January 23, 2026 12:56 PM

**To:** Jason Mayer <JMayer@waukeshacounty.gov>

**Cc:** Andy Fieber <andyf@aldopartners.com>; Christopher Carr, P.E. <ccarr@thesigmagroup.com>

**Subject:** PANGA Bar Parking Lot Project - ROW

 **SECURITY REMINDER:** External Source: This message is from an external source. Verify its legitimacy, and report suspicious messages using the Phish Alert button.

**Why Risk it? Don't Click it!**

Jason,

Good afternoon. We were asked to reach out to you by Amy Barrows at the Village of Summit. We are currently redoing the parking lot for the Panga Bar at 34422 Delafield Rd, Summit, WI 53066. Attached are the plans that have been submitted to the Village. One of the requirements is to provide updated ADA access to the building. The project is proposing that the ADA access run south and west along the building to the southern building entrance. Due to some light poles and other utilities in the area we cannot keep the whole ADA path of travel totally on our property. We are showing some striping to be placed in the ROW. The area is currently paved and enclosed between a retaining wall for the road and the existing building. We are asking that you review this and let us know if this is feasible and if so, what are the steps to get this approved via Waukesha County. I'd be happy

to hop on a call if you feel it would be helpful for our project. 2026-01-22 - 22772 - Panga - Village Submittal - Civil.pdf

Thanks,

**Colin Trautschold**

Staff Engineer, E.I.T

The Sigma Group, Inc.

414-643-4117 (direct)

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Milwaukee – Madison – Racine

1300 W. Canal Street, Milwaukee, WI 53233

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[Redacted signature area]

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# PANGA - PARKING LOT IMPROVEMENTS

## 34422 DELAFIELD ROAD, SUMMIT, WI

### CIVIL ENGINEERING PLANS

**PREPARED BY:**

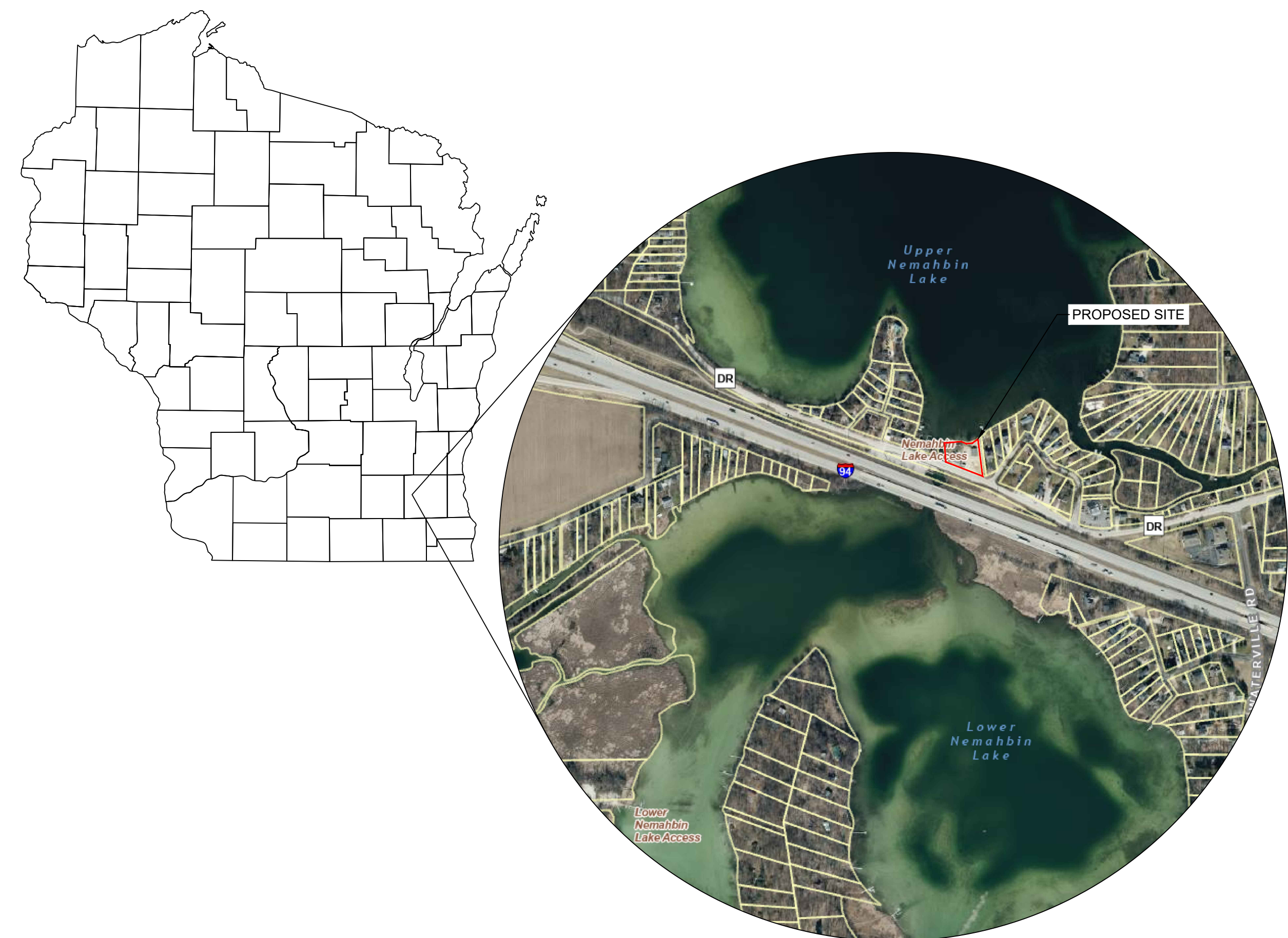
**THE SIGMA GROUP**  
 Single Source. Sound Solutions.  
 www.thesigmagroup.com  
 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210

**PREPARED FOR:**

**ALDO PARTNERS**  
 https://aldopartners.com  
 507 Bruce Street, Ste 103  
 Verona, WI 53593  
 Phone: 608-209-2183

**SITE LOCATION MAP:**

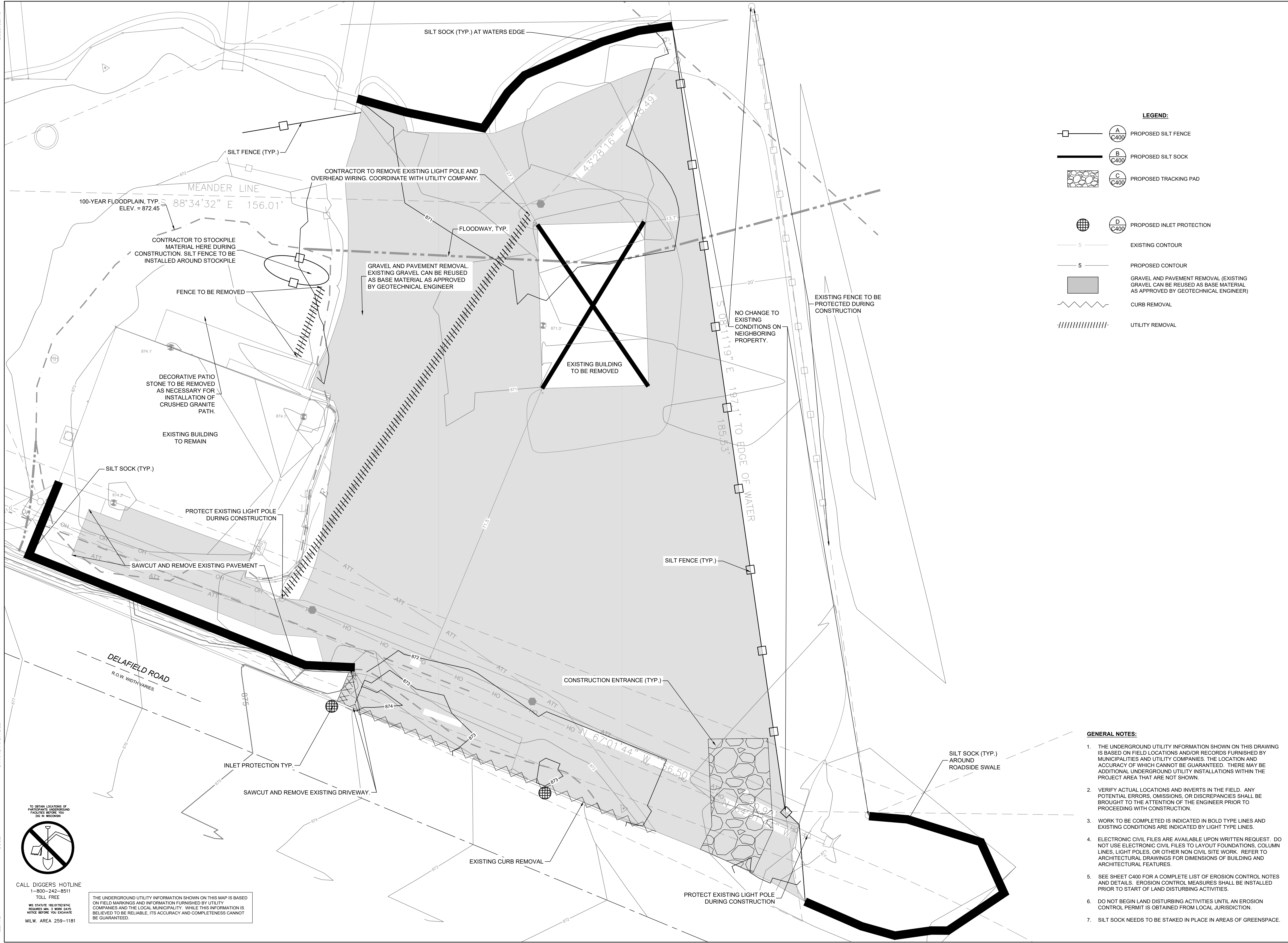
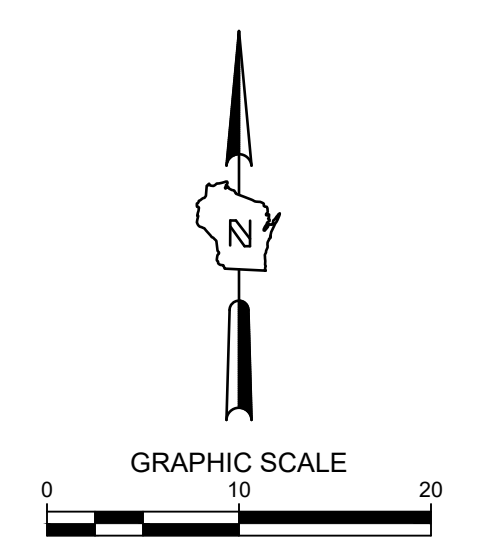
NOT TO SCALE



**Sheet List Table**

REF #	DETAIL
C000	TITLE SHEET
C002	SITE PREPARATION AND EROSION CONTROL PLAN
C100	SITE PLAN
C200	GRADING PLAN
C400	EROSION CONTROL DETAILS
C401	SITE DETAILS
C500	SPECIFICATIONS
EX	EARTHWORK EXHIBIT
EX	SITE PLAN OVERLAY
L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS
L300	LANDSCAPE SPECIFICATIONS

Village Submittal: 02/12/2026



- LEGEND:**
- PROPOSED SILT FENCE
  - PROPOSED SILT SOCK
  - PROPOSED TRACKING PAD
  - PROPOSED INLET PROTECTION
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - GRAVEL AND PAVEMENT REMOVAL (EXISTING GRAVEL CAN BE REUSED AS BASE MATERIAL AS APPROVED BY GEOTECHNICAL ENGINEER)
  - CURB REMOVAL
  - UTILITY REMOVAL

**PANGA  
 34422 DELAFIELD ROAD  
 SUMMIT, WI  
 SITE PREPARATION AND EROSION CONTROL PLAN**

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

ISSUANCE	DATE
PRELIMINARY	2025-01-22
VILLAGE SUBMITTAL	2025-03-12
VILLAGE SUBMITTAL	2025-08-08
VILLAGE SUBMITTAL	2025-10-23
VILLAGE SUBMITTAL	2025-11-20
VILLAGE SUBMITTAL	2026-01-22
VILLAGE SUBMITTAL	2026-02-12

NO. REVISION	DATE

PROJECT NO:	22772
DESIGN DATE:	---
PLOT DATE:	2026.02.13
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	C002

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
  - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
  - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
  - SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
  - DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.
  - SILT SOCK NEEDS TO BE STAKED IN PLACE IN AREAS OF GREENSPACE.

TO OBTAIN LOCATIONS OF ADJACENT LANDSCAPING FACILITIES BEFORE YOU DO ANY WORKING

CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE

MS STATUTE 182.07(2)(97A)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

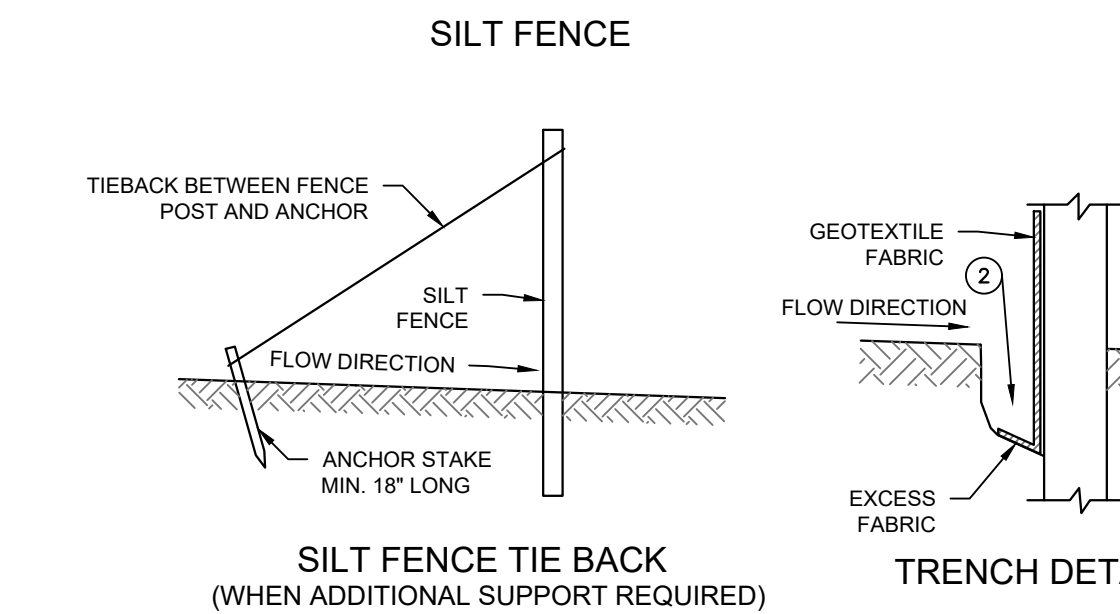
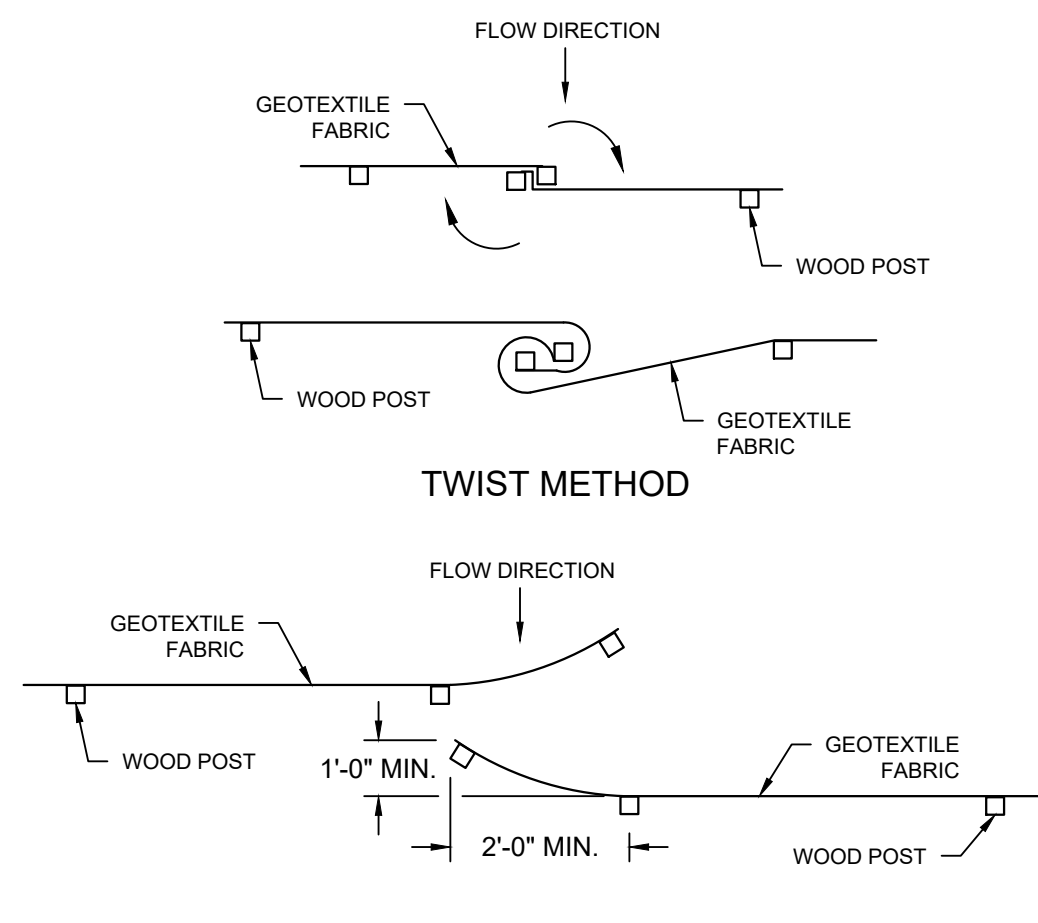
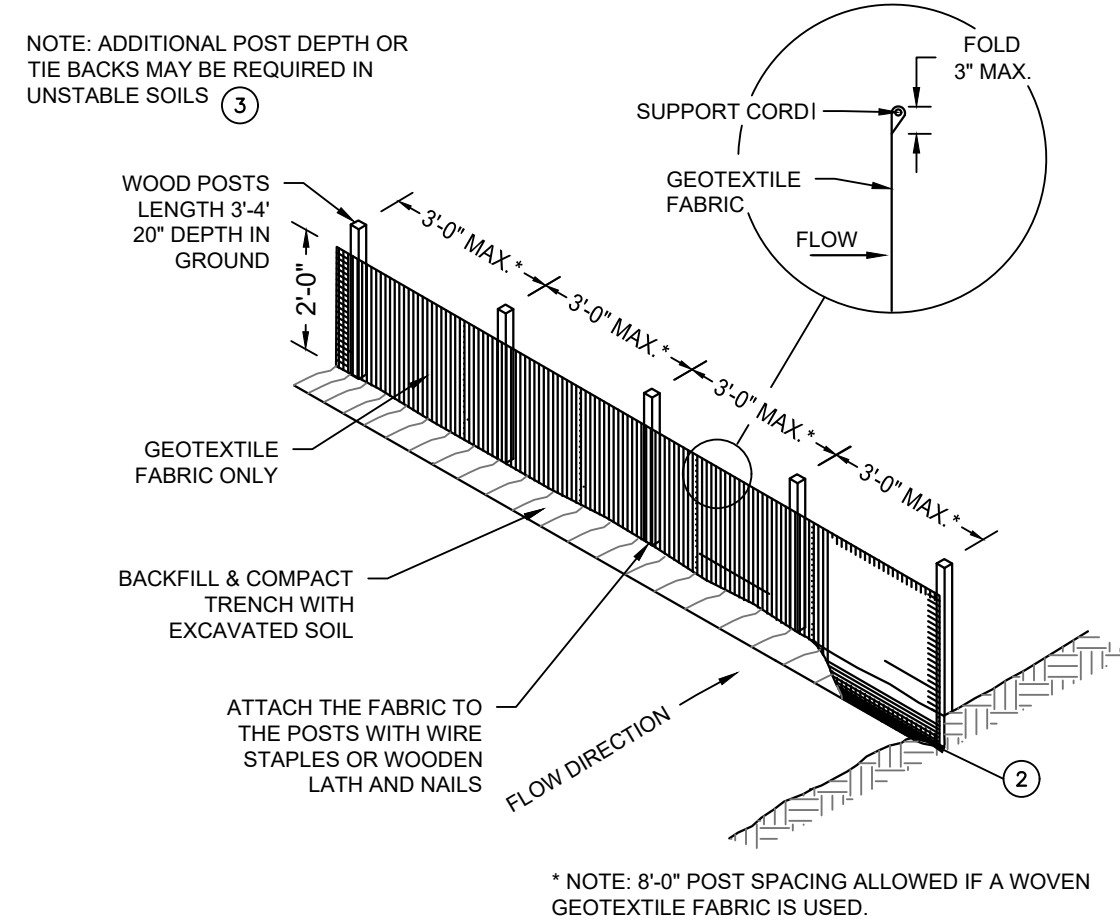
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.





EROSION CONTROL NOTES:

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE **VILLAGE OF SUMMIT**. BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY **VILLAGE OF SUMMIT** OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
- NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
- WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
- CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
- IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY

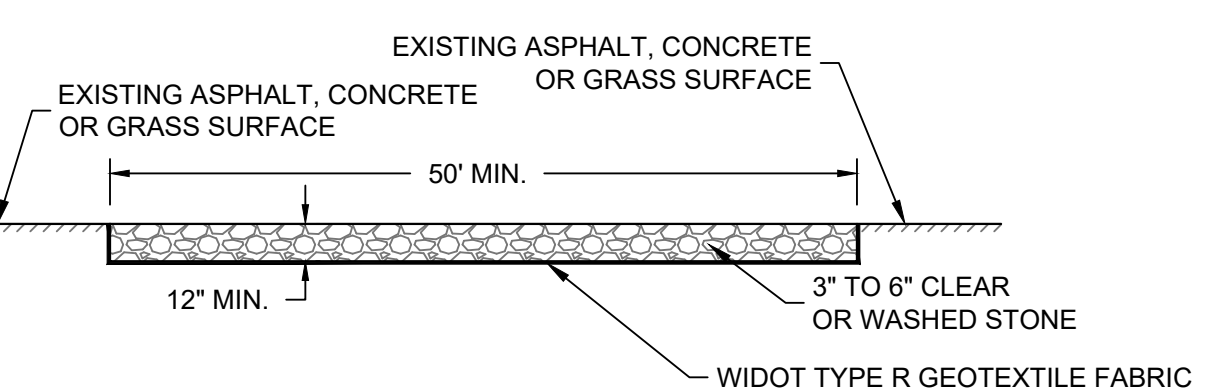
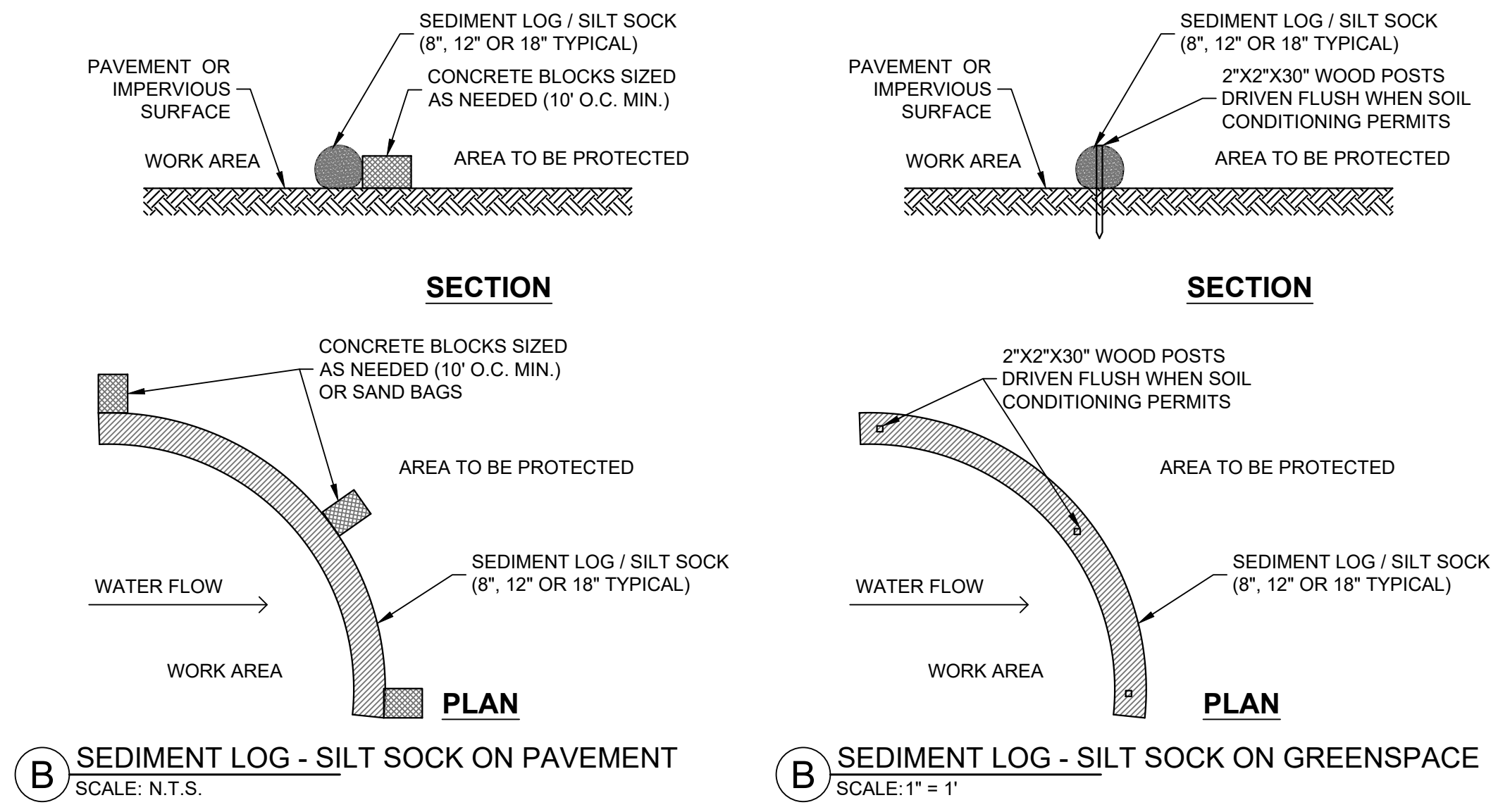


- JOINING TWO LENGTHS OF SILT FENCE**
- GENERAL NOTES
- HORIZONTAL BRACE REQUIRED WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
  - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
  - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/32" X 1-1/32" OF OAK OR HICKORY.
  - WHERE SILT FENCE CROSSES A CULVERT, SILT FENCE SHALL BE DIVERTED OVER THE CULVERT OVER THE CULVERT TO NOT RESTRICT FLOW.
  - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ON THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTHS.
  - SILT FENCE SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1056
  - THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6

**A SILT FENCE - WDNR TS-1056**  
SCALE: N.T.S.

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCING AND INLET PROTECTION.
- INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
- CONSTRUCT DIVERSION SWALES. INSTALL ASSOCIATED DITCH CHECKS.
- STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
- PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059, AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
- INSTALL PAVEMENTS.
- STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
- REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

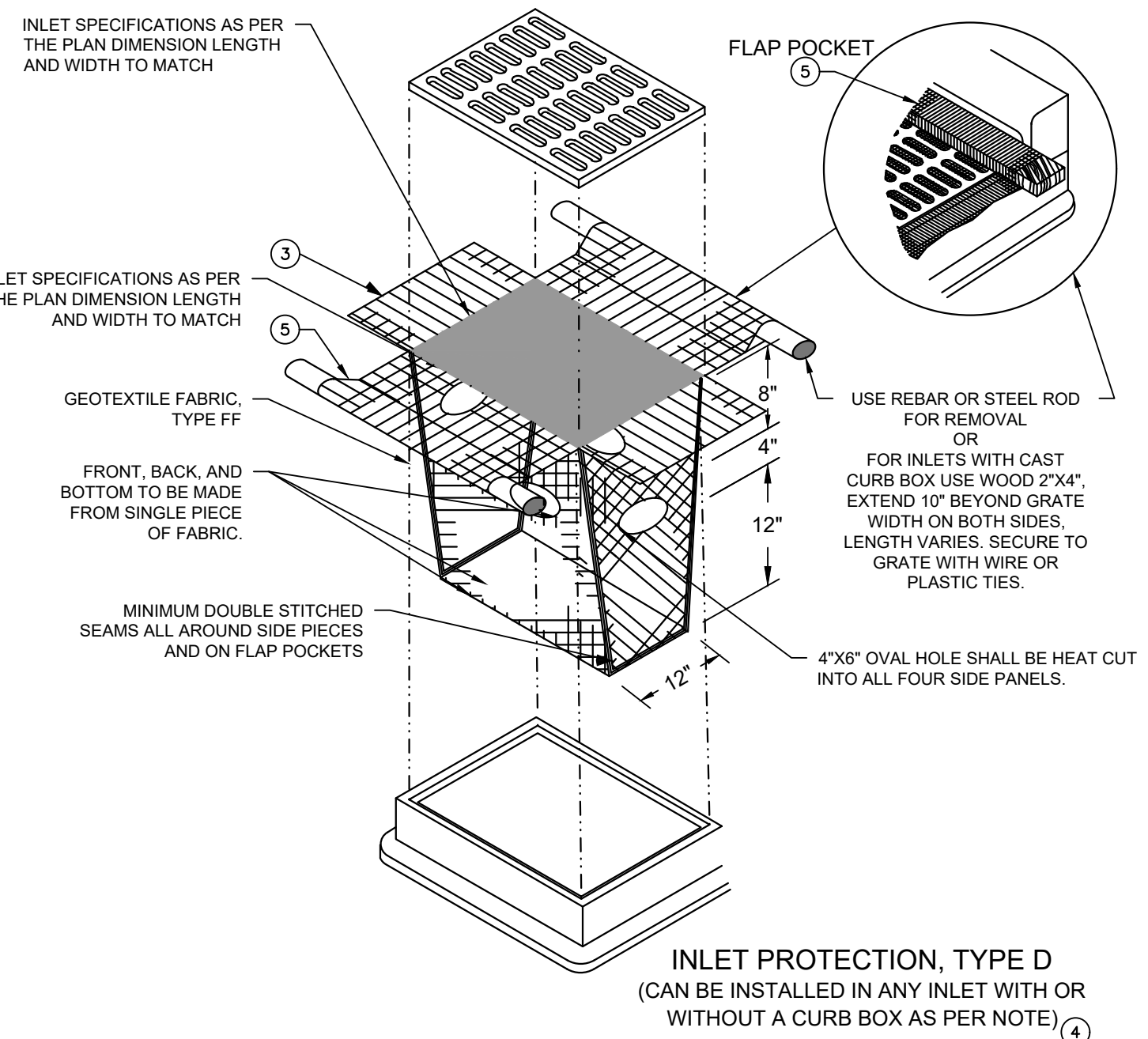


- GENERAL NOTE:
- STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
  - AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

**C CONSTRUCTION ENTRANCE - WDNR TS-1057**  
SCALE: N.T.S.

- GENERAL NOTES:
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
  - WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
  - FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL
  - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
  - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4
  - INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060
  - THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2

**D INLET PROTECTION - WDNR TS-1060**  
SCALE: 1" = 1'



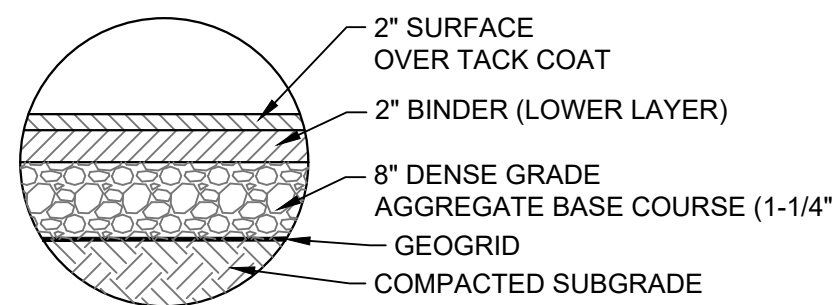
- INSTALLATION NOTES:
- TYPE B & C  
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D  
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

**PRELIMINARY NOT FOR CONSTRUCTION**

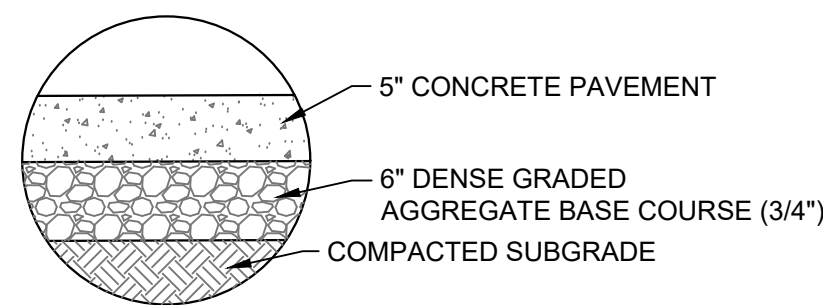
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VILLAGE SUBMITTAL	2025-10-23
VILLAGE SUBMITTAL	2025-11-20
VILLAGE SUBMITTAL	2026-01-22
VILLAGE SUBMITTAL	2026-02-12

NO. REVISION	DATE
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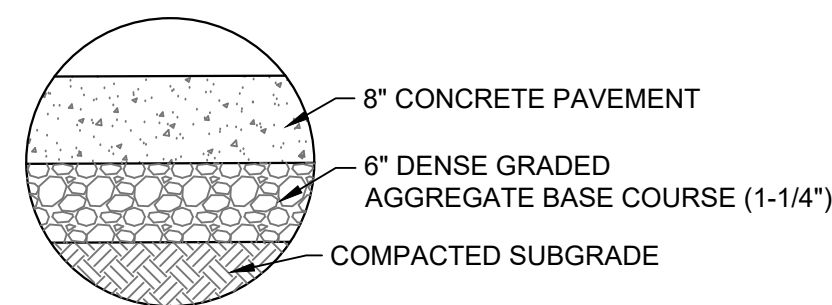
PROJECT NO:	22772
DESIGN DATE:	----
PLOT DATE:	2026.02.13
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	<b>C400</b>



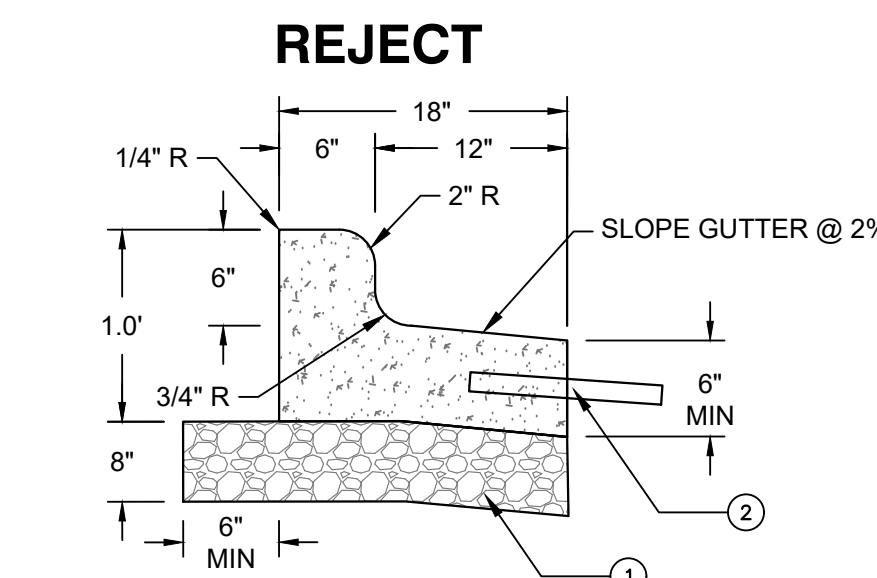
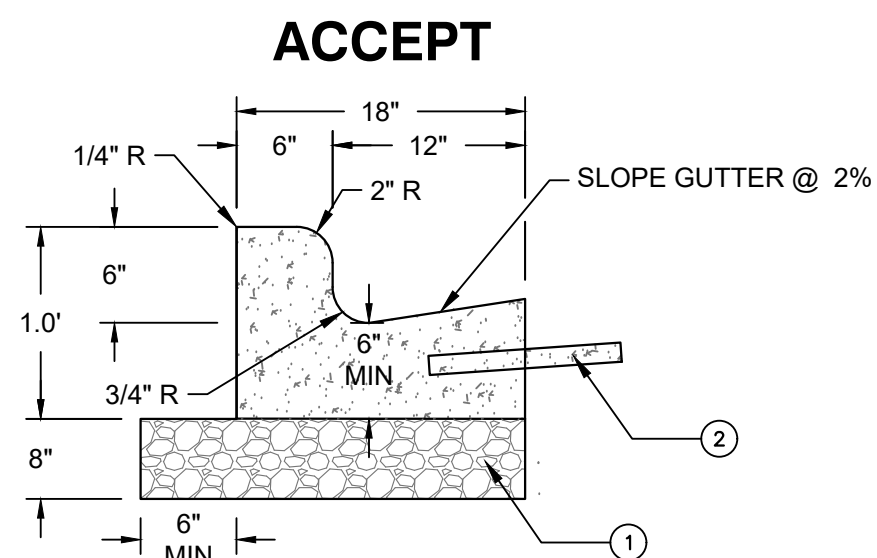
**A ASPHALT PAVEMENT SECTION**  
SCALE: 1" = 1'



**B CONCRETE SIDEWALK SECTION**  
SCALE: 1" = 1'

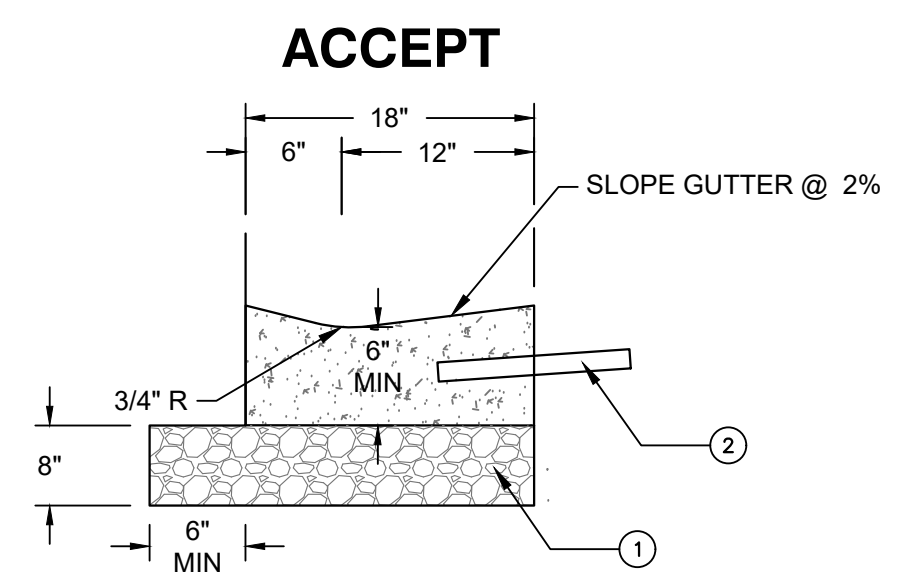


**C CONCRETE PAVEMENT SECTION**  
SCALE: 1" = 1'



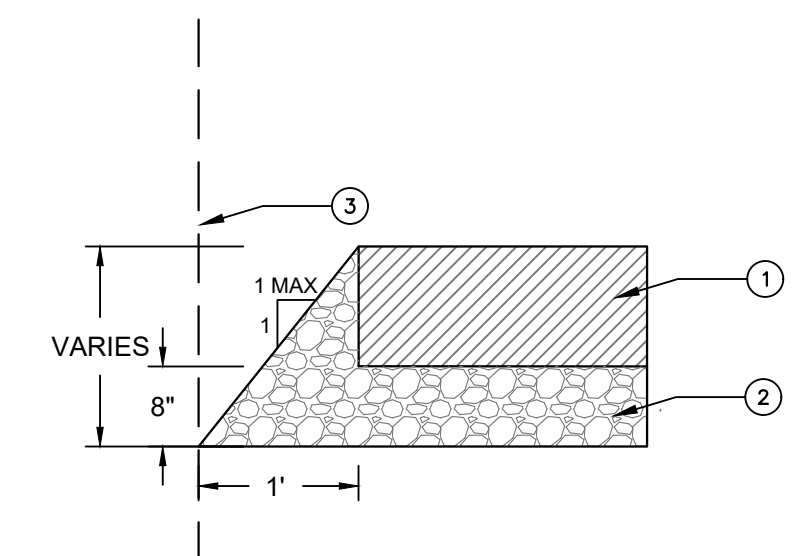
- NOTES:
- 1-1/4" DENSE GRADED AGGREGATE BASE COURSE.
  - TIE-BAR IF ADJACENT TO CONCRETE (NO. 4 X 2'-0" DEFORMED TIE BARS SPACED AT 3'-0" C-C).
  - THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.

**D 18 INCH CONCRETE CURB AND GUTTER**  
SCALE: 1" = 1'



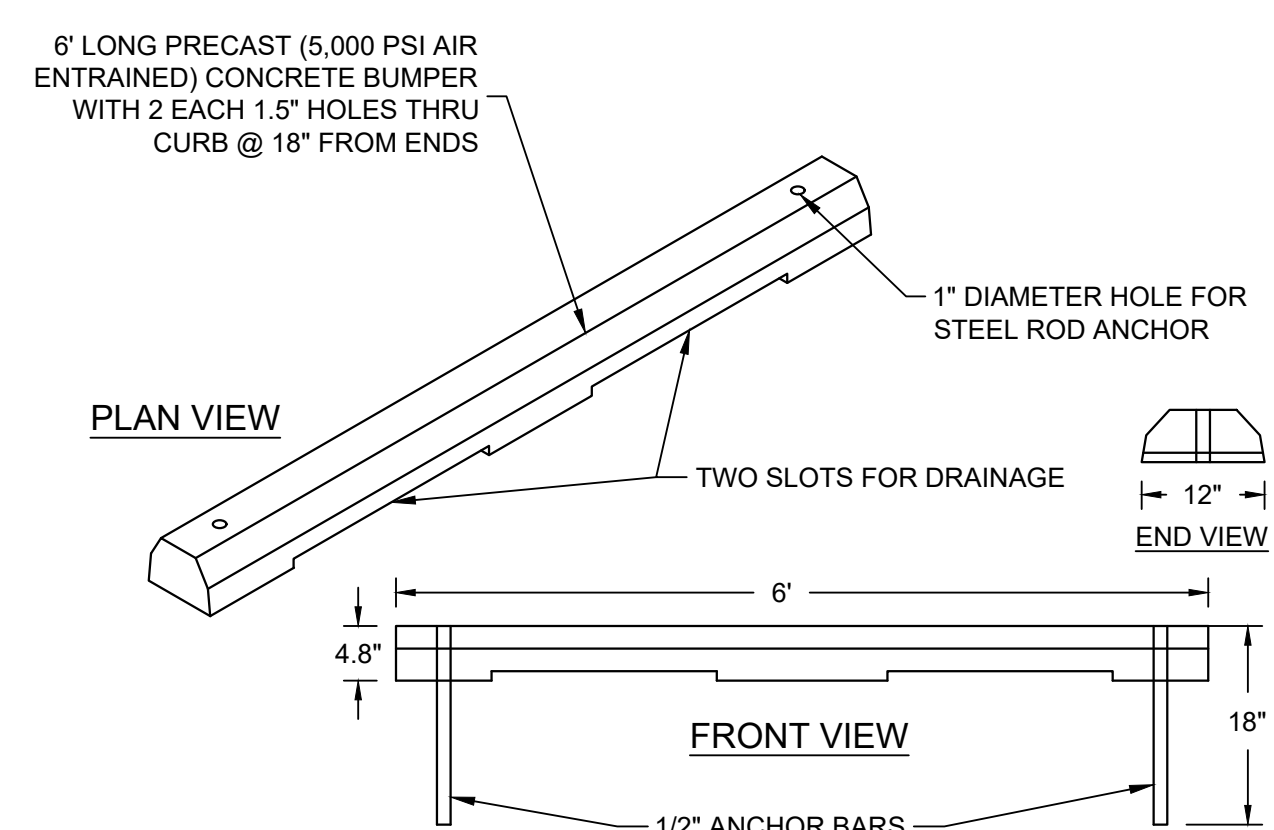
- NOTES:
- 1-1/4" DENSE GRADED AGGREGATE BASE COURSE.
  - TIE-BAR IF ADJACENT TO CONCRETE (NO. 4 X 2'-0" DEFORMED TIE BARS SPACED AT 3'-0" C-C).
  - THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MINIMUM GUTTER THICKNESS IS MAINTAINED.

**E 18" FLOW THROUGH CURB**  
SCALE: 1" = 1'

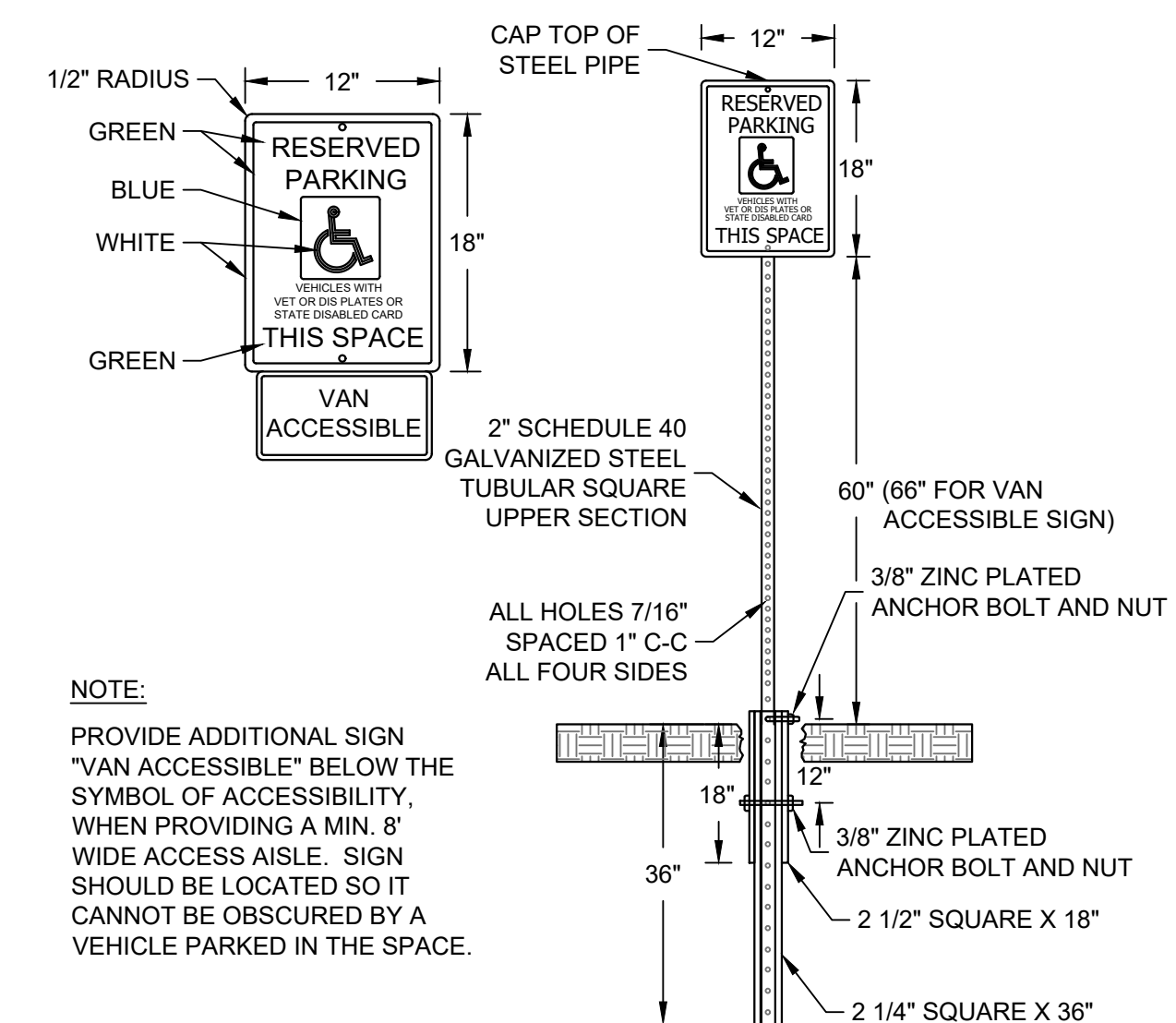


- NOTES:
- PROPOSED PAVEMENT (SEE DETAIL)
  - 1-1/4" DENSE GRADED AGGREGATE BASE COURSE.
  - PROPERTY LINE

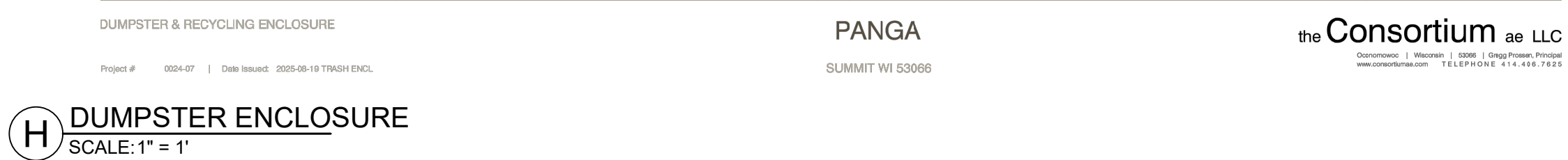
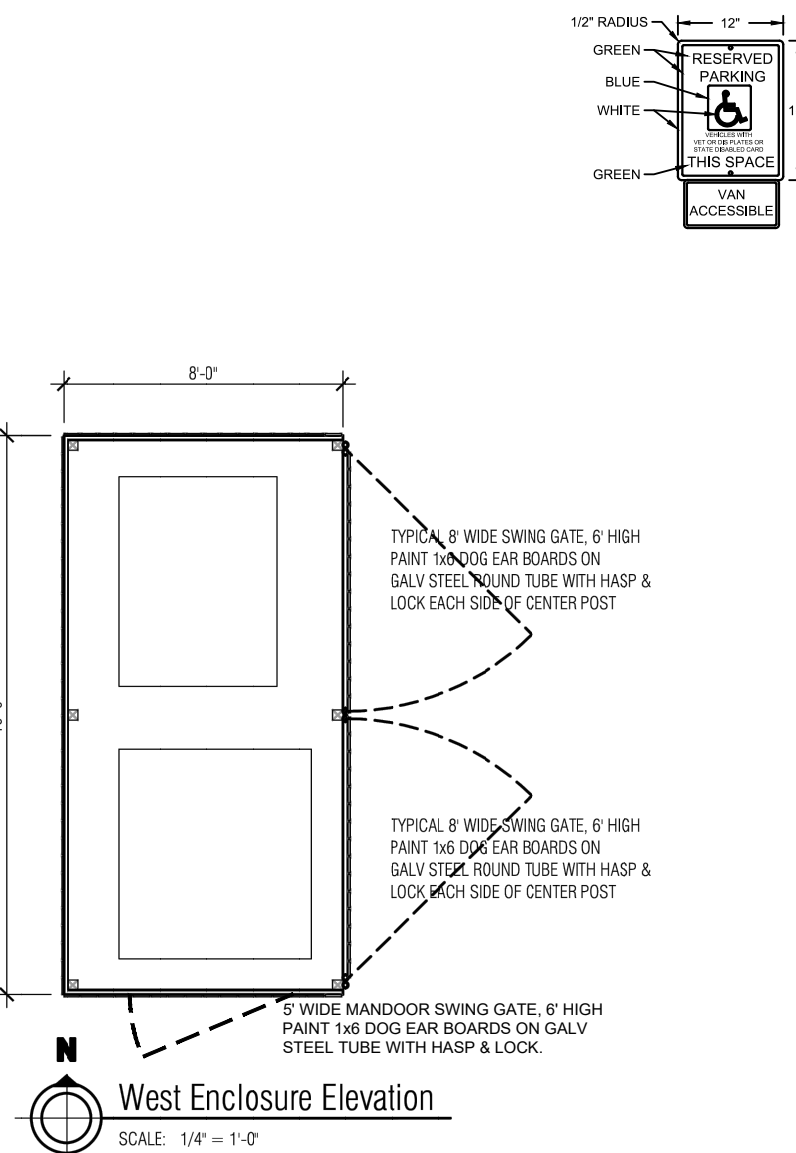
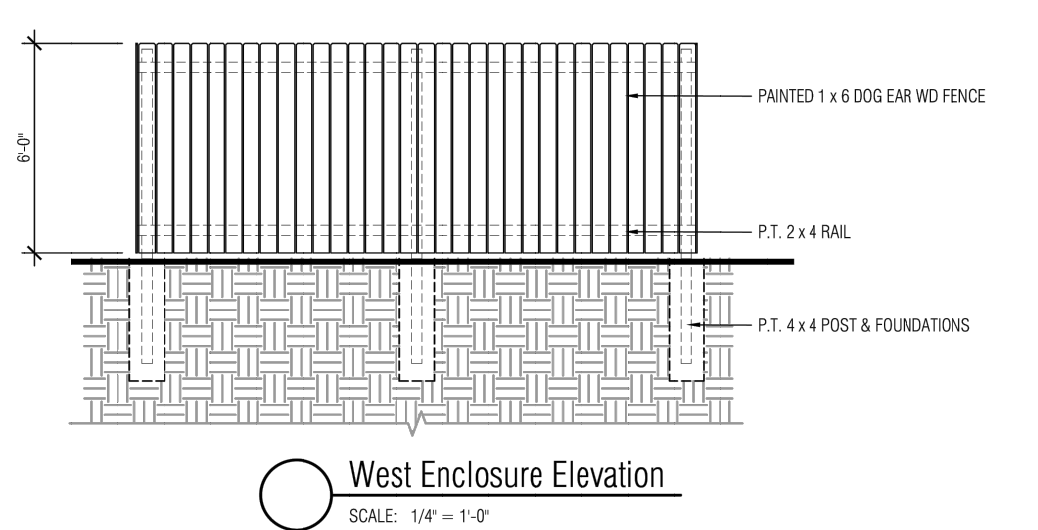
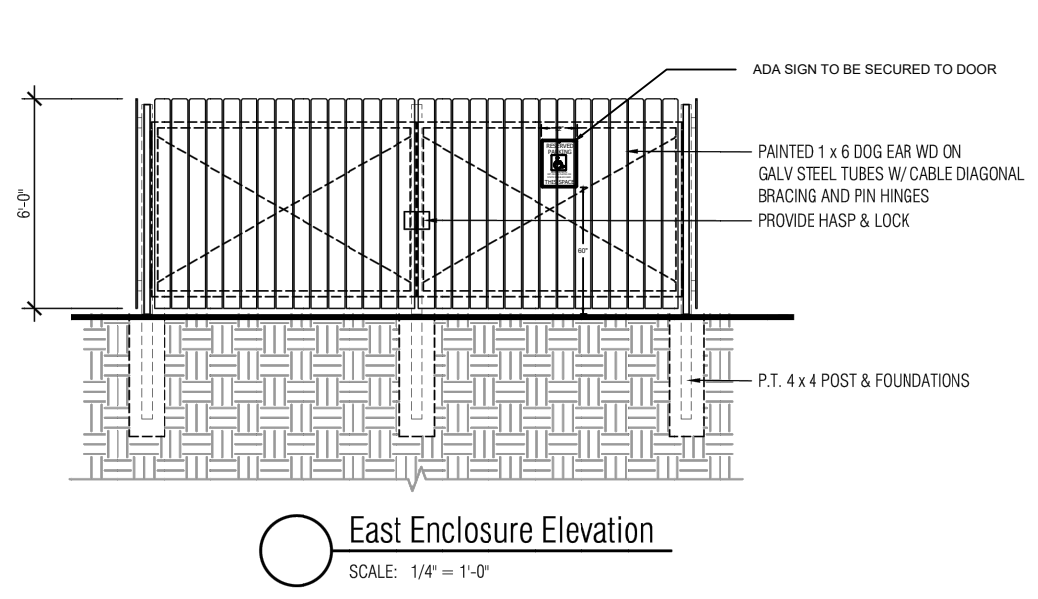
**I GRAVEL SHOULDER**  
SCALE: 1" = 1'



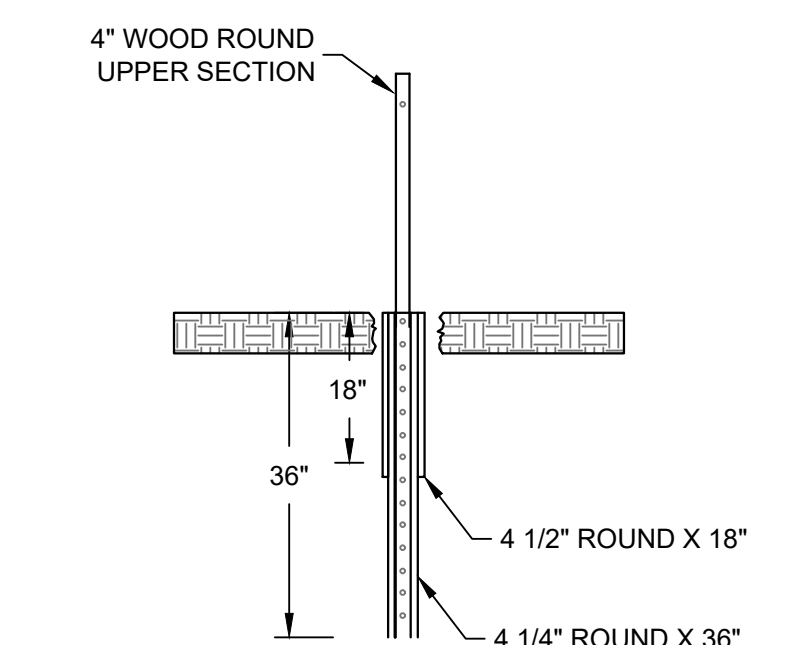
**F PRECAST CONCRETE WHEEL STOP**  
SCALE: 1" = 1'



**G ADA SIGN AND POST**  
SCALE: 1" = 1'



**H DUMPSTER ENCLOSURE**  
SCALE: 1" = 1'



**J REMOVABLE FENCE POST**  
SCALE: 1" = 1'

PANGA  
34422 DELAFIELD ROAD  
SUMMIT, WI  
SITE DETAILS

PRELIMINARY  
NOT FOR  
CONSTRUCTION

ISSUANCE	DATE
PRELIMINARY	2025-01-22
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NO. REVISION	DATE

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DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---

SHEET NO: **C401**

**GENERAL:**

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
- CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL HAVE SITE MARKED BY DIGGER'S HOTLINE AND SHALL HAVE PRIVATE UTILITIES MARKED BY A PRIVATE UTILITY LOCATOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL UTILITY CROSSINGS AND PROPOSED CONNECTIONS FOR CONFLICTS/DISCREPANCIES PRIOR TO INITIATING CONSTRUCTION. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

**SITE CLEARING:**

- EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.
- MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
- SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.
- UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.
- DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE.
- PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
- LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.
- PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.
- LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.
- EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES.
- FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
- REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.
- STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
- STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
- REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
- SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES.
- REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

**CONCRETE PAVING:**

- THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
- MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
- CONCRETE GRADE: GRADE A, CONFORMING TO SECTION 501.3.2.2.1 OF THE WISDOT STANDARD SPECIFICATIONS
- AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE.
- WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
- EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
- MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
- SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
- CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
- JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
- CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
- ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
- CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING ADJACENT CONCRETE PAVEMENT.
- EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.
- CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
- SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
- MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
- FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
- FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH).
- FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS (ARTIFICIAL TURF DRAG FINISH).
- PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
- REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
- PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
- MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

**ASPHALTIC PAVING:**

- THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
- CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
- MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH PROJECT IS LOCATED.
- ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET: APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES FAHRENHEIT AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION; PLACE ASPHALTIC CONCRETE SURFACE COURSE WHEN TEMPERATURE IS ABOVE 40 DEGREES FAHRENHEIT; BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES FAHRENHEIT AND RISING. PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. DO NOT APPLY BELOW THE MINIMUM PAVEMENT TEMPERATURE AS RECOMMENDED BY THE MANUFACTURER.
- AGGREGATES SHALL BE IN ACCORDANCE WITH SECTION 460.2.2 OF THE WISDOT STANDARD SPECIFICATIONS.
- ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS.
- PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON PLANS.
- HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE LT FOR REGULAR DUTY PAVEMENT AND LT FOR HEAVY DUTY PAVEMENT COMPLYING WITH THE WISDOT STANDARD SPECIFICATIONS. ASPHALTIC BINDER SHALL BE 58-28 S UNLESS NOTED.
- AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS.
- PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE WISDOT STANDARD SPECIFICATIONS.
- PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN EARTH MOVING SPECIFICATIONS PRIOR TO PLACEMENT OF ASPHALT PAVEMENTS.
- SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT. DO NOT DISLODGE OR DISTURB AGGREGATE EMBEDDED IN COMPACTED SURFACE OF BASE COURSE.
- SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS. PAVEMENT THICKNESSES SHALL BE AS INDICATED ON THE PLANS.
- PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEHIND PAVER. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND TOOLS TO SMOOTH SURFACE.
- COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.
- THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/8 INCH FOR BINDER COURSE AND PLUS 1/4 INCH FOR SURFACE COURSE, NO MINUS.
- SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS: BINDER COURSE: 1/8 INCH; SURFACE COURSE: 1/8 INCH. REMOVE AND REPLACE ALL HUMPS OR DEPRESSIONS EXCEEDING THE SPECIFIED TOLERANCES.
- DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER.
- APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST. REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT MAY PREVENT BONDING TO THE PAVEMENT.
- APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS. OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES AT A MINIMUM RATE OF 17.6 GALLONS/MILE FOR A CONTINUOUS 4" LINE.
- TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

**EARTH MOVING:**

- ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
- CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.
- CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.
- OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS. THE RESULTING EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL.
- FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE WITHIN PROPOSED PARKING AND GREENSPACE AREAS. BASEMENT SLABS LOCATED BELOW 2 FEET FROM PLANNED SUBGRADE ELEVATION MAY BE LEFT IN PLACE BUT SHALL BE BROKEN INTO MAXIMUM 6 INCH PIECES TO FACILITATE DRAINAGE.
- SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER OR ANY SOIL GROUP OR COMBINATION OF GROUPS APPROVED OF BY THE PROJECT GEOTECHNICAL ENGINEER.
- UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487 OR A COMBINATION OF THESE GROUPS UNLESS DEEMED SATISFACTORY BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS ALSO INCLUDE SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM SOIL MOISTURE CONTENT AT THE TIME OF COMPACTION.
- AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION.
- ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 SIEVE OR ANY SOIL DEEMED ACCEPTABLE FOR ENGINEERED FILL BY THE PROJECT GEOTECHNICAL ENGINEER. ENGINEERED FILL SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES. CLAY FILLS SHALL HAVE A LIQUID LIMIT OF LESS THAN 49 AND PLASTICITY INDEX BETWEEN 11 AND 25.
- BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND CONFORMING TO THE REQUIREMENTS OF SECTION 8.43.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
- PIPE COVER MATERIAL: CONFORM TO SECTION 8.43.3 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.
- SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN, BANKS, ADJACENT PAVING, STRUCTURES, AND UTILITIES TO MEET OSHA REQUIREMENTS. DESIGN OF TEMPORARY SUPPORT OF EXCAVATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS. NO CHANGES IN THE CONTRACT SUM OR THE CONTRACT TIME WILL BE AUTHORIZED FOR ROCK EXCAVATION OR REMOVAL OF OBSTRUCTIONS.
- PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEM AXLE DUMP TRUCK OR RUBBER TIRED VEHICLE OF SIMILAR SIZE AND WEIGHT, TYPICALLY 9 TONS/AXLE, WHERE COHESIVE SOILS ARE ENCOUNTERED OR WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PRESENT. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES AND PROOFROLL IN DRY WEATHER. PROOF ROLL IN PRESENCE OF PROJECT GEOTECHNICAL ENGINEER OR TECHNICIAN. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD (TYPICALLY >1") SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL. IN PAVEMENT AREAS WHERE UNDERCUTS ARE PERFORMED, THE EDGES OF THE OVEREXCAVATIONS SHALL BE FEATHERED INTO THE SURROUNDING SUITABLE SOIL SO THAT EDGE FAILURE OF THE OVEREXCAVATED AREA DOES NOT OCCUR.
- DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS, THE BOTTOM OF THE OVEREXCAVATION SHALL BE SLOPED TO A DRAINTILE THAT IS IN KIND SLOPED TOWARD THE NEAREST STORM SEWER. MINIMUM SLOPES OF SUCH DRAINTILES SHALL BE 0.5%.
- CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING. ALLOT FOR PROPER DRYING TIME IN PROJECT SCHEDULE.
- ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL AND COMPACTED WITHIN 3% OF OPTIMUM SOIL MOISTURE CONTENT VALUE AND A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D1557. EACH LIFT OF COMPACTED ENGINEERED FILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- EXISTING OLD FILL MATERIAL SHALL BE REMOVED BELOW FOOTINGS OR FOUNDATION SUPPORTING FILL. ENGINEERED FILL BELOW FOOTINGS SHOULD HAVE AN IN-PLACE DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. ENGINEERED FILL BELOW FOOTINGS SHALL BE EVALUATED BY IN-FIELD DENSITY TESTS DURING CONSTRUCTION.
- WHERE UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN A FOOTING EXCAVATION, THE EXCAVATION SHALL BE DEEPENED TO COMPETENT BEARING SOIL AND THE FOOTING LOWERED OR AN OVEREXCAVATION AND BACKFILL PROCEDURE PERFORMED. OVEREXCAVATION AND BACKFILL TREATMENT REQUIRES WIDENING THE DEEPENED EXCAVATION IN ALL DIRECTIONS AT LEAST 6 INCHES BEYOND THE EDGE OF THE FOOTING FOR EACH 12 INCHES OF OVEREXCAVATION DEPTH. THE OVEREXCAVATION SHALL BE BACKFILLED UP TO FOOTING BASE ELEVATION IN MAXIMUM 8 INCH LOOSE LIFTS WITH SUITABLE GRANULAR FILL MATERIAL AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. SOILS AT FOUNDATION BEARING ELEVATION IN THE FOOTING EXCAVATIONS SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- A MINIMUM OF FOUR INCHES OF DRAINAGE COURSE MAT SHALL BE PLACED BELOW BUILDING FLOOR SLABS. DRAINAGE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)
- UTILITY TRENCHES FOR SEWER AND WATER SHALL CONFORM TO CLASS B COMPACTED TRENCH SECTION IN ACCORDANCE WITH FILE NO. 4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- BACKFILL UTILITY TRENCHES IN 4 TO 6 INCH LOOSE LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. BACKFILL SHALL BE MOISTURE CONDITIONED TO BE WITH 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557.
- UTILITY BEDDING PLACEMENT: CONFORM TO SECTION 3.2.6 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. BEDDING MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557).
- COMPACTION TESTING OF UTILITY TRENCHES SHALL BE PERFORMED ONE FOR EVERY 200 CUBIC YARDS OF BACKFILL PLACED OR ONE FOR TEST PER 200 LINEAR FEET OF TRENCH FOR EACH LIFT, WHICHEVER IS LESS.
- AGGREGATE BASE COURSE BENEATH PAVEMENTS SHALL BE PLACED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. AGGREGATE BASE SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- GRADING GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.
- TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.
- FOOTING SUBGRADE TESTING: EACH ISOLATED FOOTING SHALL INCLUDE AT LEAST ONE TEST PROBE. TEST PROBES SHALL BE PERFORMED EVERY 20 LINEAR FEET IN CONTINUOUS FOOTINGS.
- BUILDING SLAB AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EVERY 2500 SQ. FT. OR LESS OF BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS.
- PAVEMENT AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST ONE TEST FOR EVERY LIFT FOR EVERY 2,500 SQUARE FEET OF PAVEMENT AREA, BUT IN NO CASES FEWER THAN 3 TESTS.
- FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EACH 50 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 2 TESTS.
- WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.



**PANGA**  
**34422 DELAFIELD ROAD**  
**SUMMIT, WI**  
**SPECIFICATIONS**

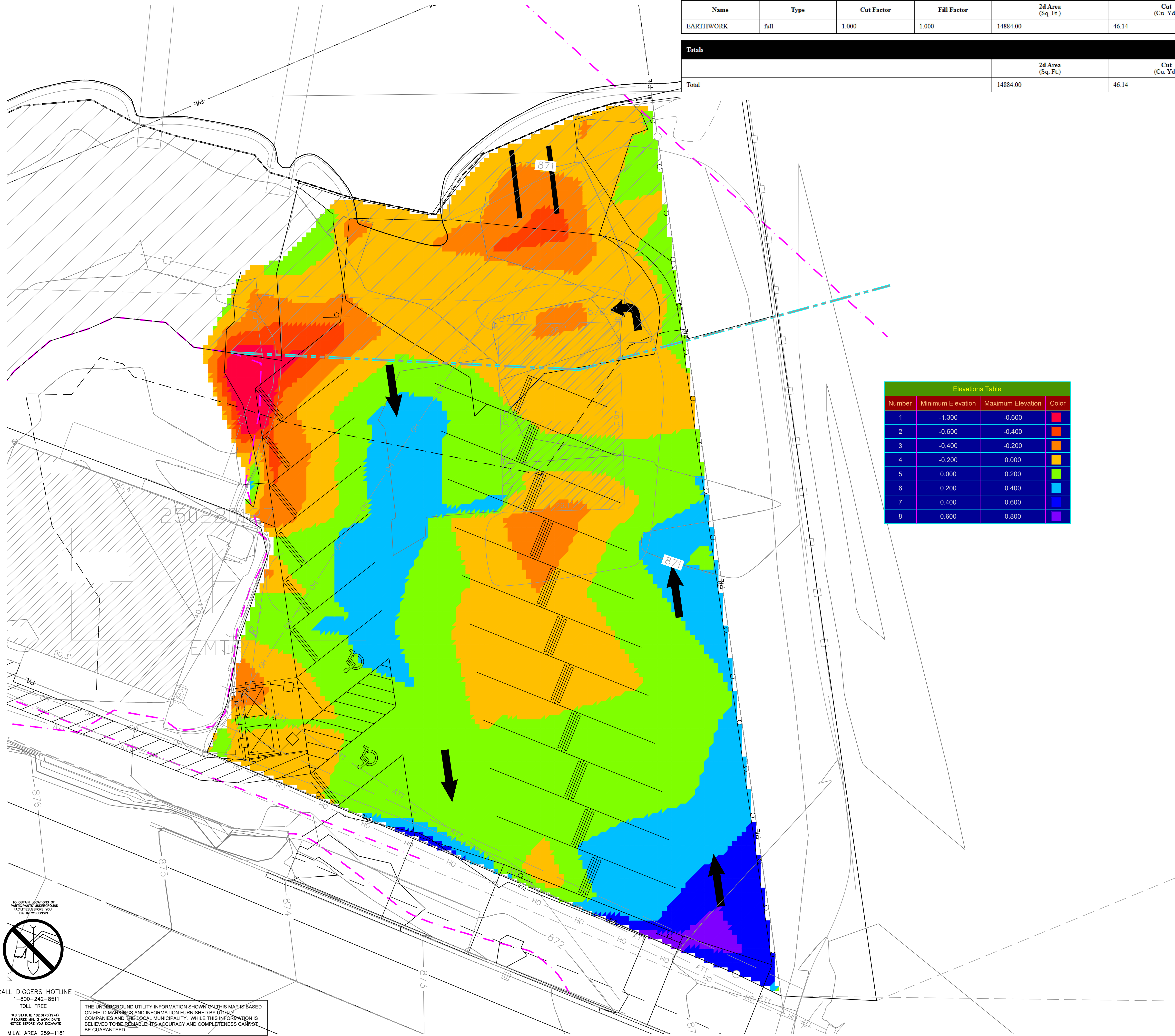
**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

ISSUANCE	DATE
PRELIMINARY	2025-01-22
VILLAGE SUBMITTAL	2025-03-12
VILLAGE SUBMITTAL	2025-08-08
VILLAGE SUBMITTAL	2025-10-23
VILLAGE SUBMITTAL	2025-11-20
VILLAGE SUBMITTAL	2026-01-22
VILLAGE SUBMITTAL	2026-02-12
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NO. REVISION	DATE
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PROJECT NO:	22772
DESIGN DATE:	----
PLOT DATE:	2026.02.13
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	

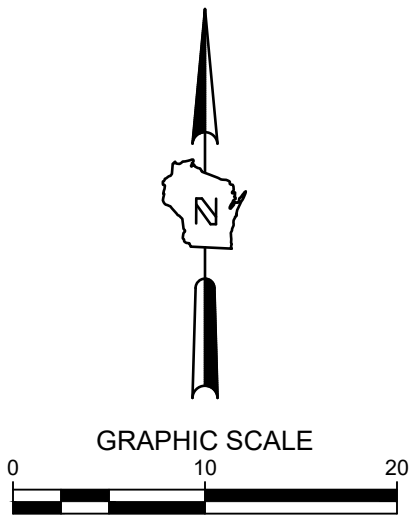
C500



Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
EARTHWORK	fill	1.000	1.000	14884.00	46.14	43.26	2.88<Cut>
Totals							
Total				14884.00	46.14	43.26	2.88<Cut>

\* Value adjusted by cut or fill factor other than 1.0

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 Fax: 414-643-4210



PANGA  
 34422 DELAFIELD ROAD  
 SUMMIT, WI  
 EARTHWORK EXHIBIT

Elevations Table			
Number	Minimum Elevation	Maximum Elevation	Color
1	-1.300	-0.600	Red
2	-0.600	-0.400	Orange
3	-0.400	-0.200	Yellow
4	-0.200	0.000	Light Green
5	0.000	0.200	Green
6	0.200	0.400	Light Blue
7	0.400	0.600	Blue
8	0.600	0.800	Dark Blue

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

ISSUANCE	DATE
PRELIMINARY	2025-01-22
VILLAGE SUBMITTAL	2025-03-12
VILLAGE SUBMITTAL	2025-08-08
VILLAGE SUBMITTAL	2025-10-23
VILLAGE SUBMITTAL	2025-11-20
VILLAGE SUBMITTAL	2026-01-22
VILLAGE SUBMITTAL	2026-02-12

NO. REVISION	DATE

PROJECT NO:	22772
DESIGN DATE:	---
PLOT DATE:	2026.02.13
DRAWN BY:	---
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	<b>EX</b>

TO OBTAIN LOCATIONS OF  
 PARTISAN'S UNDERGROUND  
 FACILITIES, BEFORE YOU  
 DIG BY RECORDING

CALL DIGGERS' HOTLINE  
 1-800-242-8511  
 TOLL FREE

MS STATUTE 182.07(2)(F)A  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED  
 ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY  
 COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS  
 BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT  
 BE GUARANTEED.





**LEGEND:**

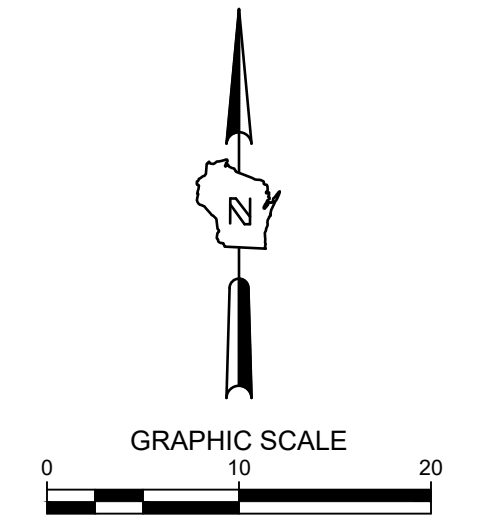
- TURFGRASS SEED
- HARDWOOD BARK MULCH PLANT BED
- GRAVEL (SEE CIVIL PLANS)
- P/L PROPERTY LINE
- SHOVEL CUT PLANT EDGING
- ASPHALT SURFACE
- 5" THICK CONCRETE WALK
- CONCRETE PAVEMENT
- CURB & GUTTER / FLOW THROUGH CURB (ACCEPT)
- CURB & GUTTER / FLOW THROUGH CURB (ACCEPT)
- PROPOSED SIGN
- PROPOSED FENCE (SEE ARCHITECTURAL PLANS)
- REMOVABLE FENCE POST (REFER TO OWNER FOR WOOD POST AND FENCE DETAIL)

**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>DECIDUOUS SHRUBS</b>					
	RA	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.	Cont.	16
<b>EVERGREEN SHRUBS</b>					
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal.	Cont.	6
<b>PERENNIALS</b>					
	SA	Sedum x 'Autumn Fire' / Autumn Fire Sedum	1 gal.	Cont.	9

- LANDSCAPE GENERAL NOTES:**
- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
  - INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
  - COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
  - RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
  - CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
  - PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

**THE SIGMA GROUP**  
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 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210



PANGA  
 34422 DELAFIELD ROAD  
 SUMMIT, WI  
 LANDSCAPE PLAN

**PRELIMINARY NOT FOR CONSTRUCTION**

ISSUANCE	DATE
PRELIMINARY	2025-01-22
VILLAGE SUBMITTAL	2025-03-12
VILLAGE SUBMITTAL	2025-08-08
VILLAGE SUBMITTAL	2025-10-23
VILLAGE SUBMITTAL	2025-11-20
VILLAGE SUBMITTAL	2026-01-22
VILLAGE SUBMITTAL	2026-02-12
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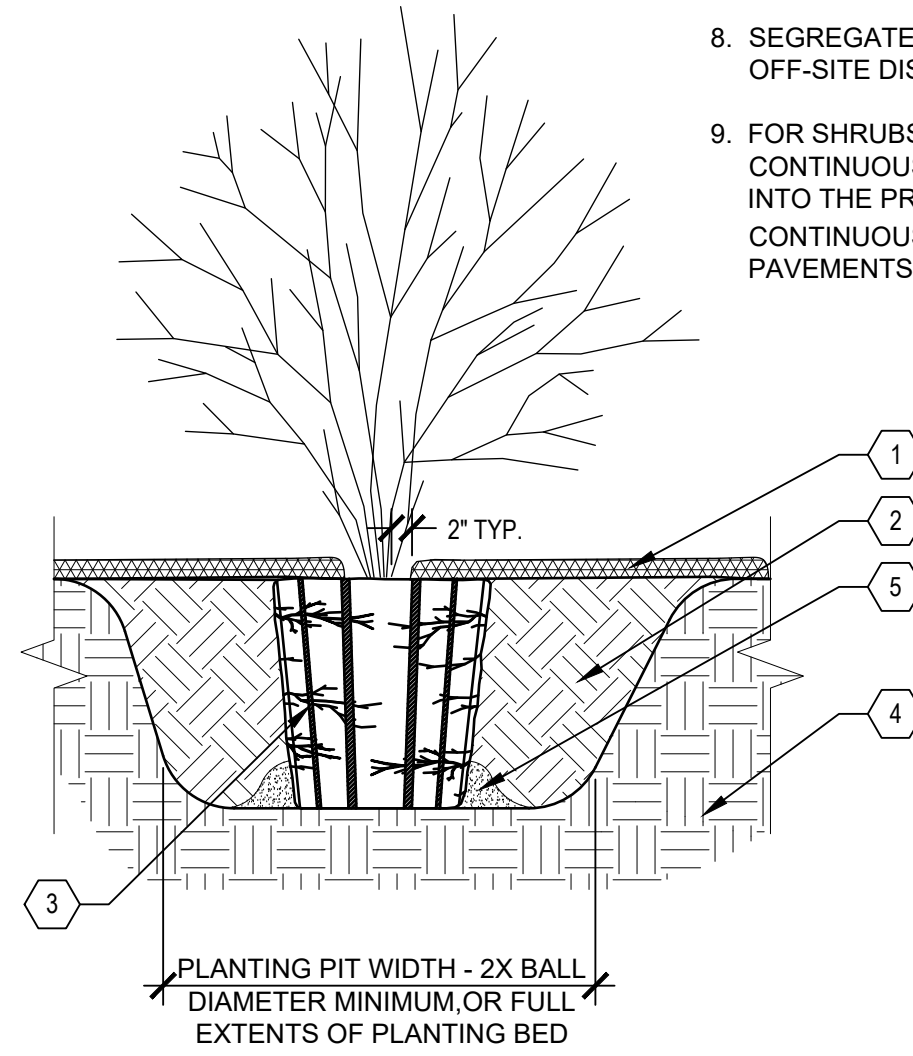
PROJECT NO:	22772
DESIGN DATE:	---
PLOT DATE:	2026.02.13
DRAWN BY:	AJR
CHECKED BY:	---
APPROVED BY:	---
SHEET NO:	<b>L100</b>

TO OBTAIN LOCATIONS OF FACILITIES, UTILITIES AND PIPES, CONTACT THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WIS. STATUTE 182.07(2)(b)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

NOTES:

1. MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING TO LOOSEN POT-BOUND ROOTS.
2. PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.
8. SEGREGATE ANY SOIL FROM BELOW WARNING LAYER EXCAVATED DURING PLANTING FOR OFF-SITE DISPOSAL. COORDINATE DISPOSAL WITH ENVIRONMENTAL CONSULTANT.
9. FOR SHRUBS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD 1/2" MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.

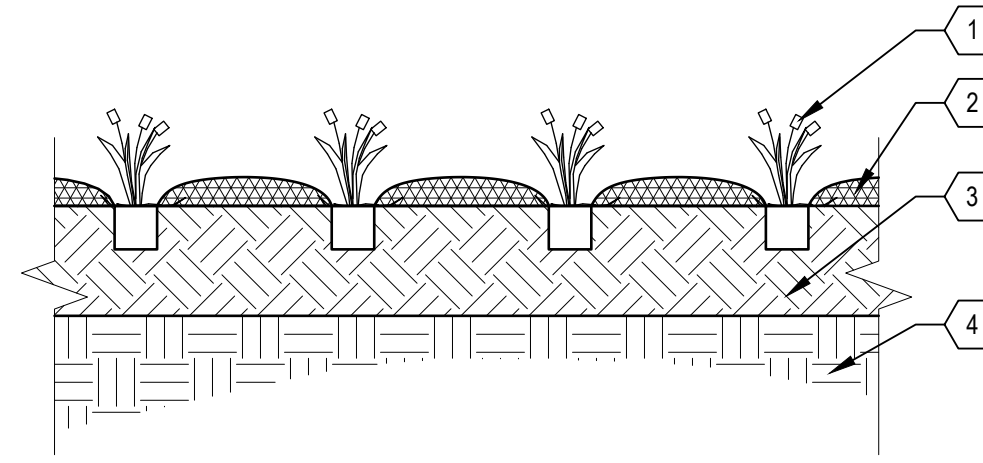


KEYED LEGEND

- 1 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 2" CLEAR OF STEMS
- 2 PLANTING SOIL AS SPECIFIED, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 3 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND PERIMETER
- 4 PREPARED SUBGRADE
- 5 TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT

NOTES:

1. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
4. WATER ALL PLANTS THOROUGHLY WITHIN 2 HOURS OF INSTALLATION.
5. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY OR DEAD PLANT PARTS. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.
6. FOR PLANTS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD 1/2" MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.



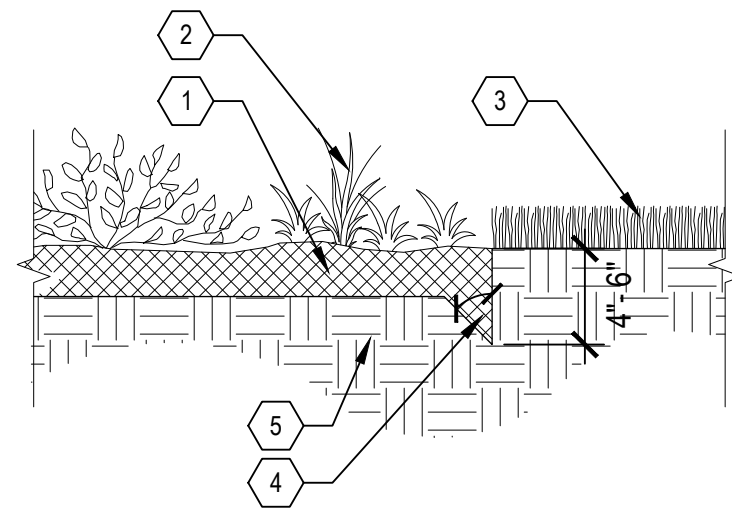
KEYED LEGEND

- 1 PERENNIAL, ORNAMENTAL GRASS, OR GROUND COVER PLUG. SEE LANDSCAPE PLAN SHEETS L100-L103
- 2 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED, KEEP 3" CLEAR OF STEMS
- 3 PLANTING SOIL, PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 4 PREPARED SUBGRADE

**A** TYPICAL SHRUB PLANTING  
SCALE: N.T.S.

**B** TYPICAL PERENNIAL PLANTING  
SCALE: N.T.S.

KEYED LEGEND



- 1 3" DEPTH OF MULCH LAYER
- 2 SHRUB PLANTING BED
- 3 LAWN ADJACENT TO PLANTING BED
- 4 45 DEGREE ANGLE SHOVEL CUT EDGE TOWARD PLANTING BED
- 5 COMPACTED SUBGRADE

**C** SHOVEL CUT PLANT EDGE  
SCALE: N.T.S.

PANGA  
34422 DELAFIELD ROAD  
SUMMIT, WI  
LANDSCAPE DETAILS

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SHEET NO:  
**L200**

**PLANTING QUALITY ASSURANCE**

- PLANTS ARE TO BE INSPECTED UPON DELIVERY TO PROJECT SITE AND THE LANDSCAPE ARCHITECT OR OWNER'S PROJECT REPRESENTATIVE MAY REJECT ANY SPECIMENS NO LONGER MEETING THE SPECIFIED STANDARDS OR THAT HAVE BEEN DAMAGED IN TRANSIT.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY/HYBRID/CULTIVAR SPECIFIED, AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE SITE LOCATION. SPECIMENS NURSERY-DUG TO BE REPLANTED SHALL HAVE BEEN FRESHLY DUG AND PROPERLY PREPARED FOR PLANTING.
- TREES:
  - SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED OTHERWISE, AND SHRUBS WITH DAMAGED OR CUT MAINSTEM(S), WILL BE REJECTED.
  - WITH A DAMAGED, CUT OR CROOKED LEADER, ABRASION OF BARK, SUNSCALD, FROST CRACK, DISFIGURING KNOTS, INSECTS (INCLUDING EGGS AND LARVAE) OR INSECT DAMAGE, CANKERS/CANKEROUS LESIONS OR FUNGAL MATS, MOLD, PREMATURELY-OPENED BUDS, OR CUTS OF LIMBS OVER 1/4" DIAMETER THAT ARE NOT COMPLETELY CALLOSED WILL BE REJECTED.
  - SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, AND BE FREE FROM PHYSICAL DAMAGE OR OTHER HINDRANCES TO HEALTHY GROWTH.
  - BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY THE AMERICAN STANDARDS FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE BOTH FIBROUS AND FEEDING ROOTS. BALLS SHALL BE SECURELY WRAPPED WITH BURLAP, AND TIGHTLY BOUND WITH ROPE OR TWINE. NO PLANTS SHALL BE BOUND WITH ROPE OR WIRE IN SUCH A MANNER AS TO DAMAGE BARK OR BREAK BRANCHES. THE ROOT FLARE SHOULD BE WITHIN THE TOP 2" OF THE SOIL BALL. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED, OR BROKEN BEFORE OR DURING PLANTING.
- PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED WITHIN THE PLANT SCHEDULE.

**PLANTING PROJECT CONDITIONS:**

- VERIFY SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
- INTERRUPTION OF EXISTING SERVICES OR UTILITIES; DO NOT INTERRUPT SERVICES OR UTILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES OR UTILITIES ACCORDING TO REQUIREMENTS INDICATED:
  - NOTIFY OWNER'S PROJECT REPRESENTATIVE NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF EACH SERVICE OR UTILITY.
  - DO NOT PROCEED WITH INTERRUPTION OF SERVICES OR UTILITIES WITHOUT REPRESENTATIVE'S WRITTEN PERMISSION.
- PLANTING RESTRICTIONS: PLANTING SHALL OCCUR DURING THE FOLLOWING ACCEPTABLE INSTALLATION PERIODS:
  - DECIDUOUS TREES AND SHRUBS - APRIL 15 TO OCTOBER 15.
  - NATIVE SEEDING AND TURFGRASS: APRIL 15 - OCTOBER 15
- WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND/OR NEWLY INSTALLED PLANTS, LAWNS, AND GRASS AREAS FROM DAMAGE AT ALL TIMES. DAMAGED PLANTS, LAWNS OR GRASS AREAS SHALL BE REPLACED OR TREATED AS REQUIRED TO CONFORM TO SPECIFICATIONS HEREIN FOR FRESH STOCK. WORK AREA SHALL BE KEPT CLEAN AND ORDERLY DURING THE INSTALLATION PERIOD. UNDER NO CONDITION SHALL DEBRIS FROM PLANTING ACTIVITIES RESULT IN A SAFETY HAZARD ON-SITE OR ADJACENT OFF-SITE PROPERTY. DAMAGE TO SITE IMPROVEMENTS OR ADJACENT LANDSCAPES INCURRED AS A RESULT OF PLANTING OR REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR THAT CAUSES THE DAMAGE AT NO COST TO THE OWNER.
- EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
  - VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR TANKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN PLANTING AREAS.
  - DO NOT MIX OR PLACE SOILS IN FROZEN, WET, OR MUDDY CONDITIONS.

**PLANTING DELIVERY, STORAGE, & HANDLING:**

- BULK MATERIALS:
  - DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
- HANDLE PLANTING STOCK BY ROOT BALL.
- DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN SHADED LOCATION, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
  - SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.
  - WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY WET CONDITION.

**EXCAVATION FOR TREES & SHRUBS**

- EXCAVATE CIRCULAR PLANTING PITS AS INDICATED IN DRAWINGS. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF PLANTING PIT SMEARED OR SMOOTHED DURING EXCAVATION.
  - REMOVE ANY AGGREGATE BASE PRESENT TO A DEPTH OF AT LEAST 12" AND BACKFILL WITH TOPSOIL.
    - EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED STOCK.
    - DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL, MEASURED FROM THE ROOT FLARE TO THE BOTTOM OF THE ROOT BALL.
    - IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP, ADD SOIL TO RAISE IT TO CORRECT LEVEL AND THOROUGHLY TAMP THE ADDED SOIL TO PREVENT SETTLING.
    - MAINTAIN REQUIRED ANGLES OF REPOSE OF ADJACENT MATERIALS AS SHOWN IN DRAWINGS. DO NOT EXCAVATE SUBGRADES OF ADJACENT PAVING, STRUCTURES, HARDSCAPES, OR OTHER NEW OR EXISTING IMPROVEMENTS.
    - MAINTAIN SUPERVISION OF EXCAVATIONS DURING WORKING HOURS.
    - KEEP EXCAVATIONS COVERED OR OTHERWISE PROTECTED WHEN UNATTENDED BY INSTALLER'S PERSONNEL.
- SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL IF THEY CONFORM TO THE REQUIREMENTS LISTED IN THESE SPECIFICATIONS.
- NOTIFY OWNER'S PROJECT REPRESENTATIVE IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.
- NOTIFY OWNER'S PROJECT REPRESENTATIVE IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

**TREE & SHRUB PLANTING**

- BEFORE PLANTING VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS. PLANT MATERIAL WITHOUT ROOT FLARE VISIBLE OR PLANTED TOO LOW WILL BE RE-PLANTED AT THE REQUEST OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS FOUND TO HAVE STEM GIRDLING ROOTS AND/OR KINKED ROOTS AT THE TIME OF PLANTING WILL BE REJECTED AND REPLACEMENTS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE ALL TWINE, STRING, WIRE, AND ALL OTHER NON-BIODEGRADABLE MATERIAL ENTIRELY FROM ROOT BALL AREA.
- REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. DO CUT TREE LEADERS.
- SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES.
  - USE SOIL MATERIALS FROM EXCAVATION FOR BACKFILL.
  - CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM THE ENTIRE ROOT BALL. REMOVE PALLETS, IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
  - BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PLANTING PIT IS APPROXIMATELY ONE-HALF FILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED.
  - CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.
  - CROWN PLANTING BED FROM PAVEMENT EDGES TO ACCOMMODATE FOR SETTLING.

**TREE & SHRUB MATERIAL:**

- GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN AND DRAWINGS; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
  - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 3/4" IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
  - COLLECTED STOCK; DO NOT USE PLANTS HARVESTED FROM THE WILD, FROM NATIVE STANDS, FROM AN ESTABLISHED LANDSCAPE PLANTING, OR NOT GROWN IN A STATE CERTIFIED NURSERY.
  - PLANT MATERIAL SHALL BE PROVIDED IN THE CONTAINER TYPE INDICATED IN THE DRAWINGS (B&B, CONTAINER, BARE ROOT, ETC.), UNLESS THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT THAT SUBSTITUTION OF CONTAINER TYPE IS ACCEPTABLE.
- FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

**PLANTING SOIL:**

- PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE WIDTH OF LANDSCAPE AREAS, AND A MINIMUM OF 3X THE DIAMETER OF THE ROOT BALL LENGTHWISE
- INSTALL PLANTING SOIL FOR PLANT BEDS IN 6" LIFTS, MINIMUM 8" DEPTH.
  - DO NOT APPLY PLANTING SOIL TO SATURATED OR FROZEN SUBGRADES.
  - PLANTING SOIL SHALL BE A MIX OF 6-PARTS TOPSOIL, 1-PART COMPOST (APPROVED FOR USE ON THE PROJECT), THOROUGHLY BLEND PLANTING SOIL OFF-SITE BEFORE SPREADING.
    - THE PROJECT WILL ACCEPT ONLY CLEAN, SALVAGED OR IMPORTED TOPSOIL CAPABLE OF PASSING THE 1" SIEVE, FREE OF ROCKS, DEBRIS, AND OF NOXIOUS WEEDS.
    - STRIPPED, SALVAGED, OR MINED TOPSOIL MUST BE TAKEN FROM THE TOP 6-INCHES OF THE A-HORIZON, HAVING A DARK BROWN TO BLACK COLOR WITH A GRANULAR STRUCTURE AND CLAY CONTENT OF LESS THAN 25%, VERIFIED WITH A RIBBON TEST THAT YIELDS NO MORE THAN 1-INCH.

**BARK MULCH MATERIAL & INSTALLATION**

- TWICE-SHREDDED HARDWOOD BARK MULCH TO BE PROVIDED AS TOP-DRESSING FOR ALL AT-GRADE PLANTING BEDS IN LOCATIONS INDICATED ON PLANTING PLANS.
  - SIZE RANGE: MAXIMUM 2.5" TO 3"
  - COLOR: NATURAL, UN-DYED
  - PROVIDE 3" DEPTH MULCH FOR ALL PLANTING BEDS INDICATED AS BARK MULCH PLANTING BED.
- KEEP BARK MULCH 2" CLEAR OF ALL STEMS OF PLANT MATERIAL.

**TURF SEEDING:**

- DELIVERY:
  - DELIVER PACKAGED SEED MATERIALS IN ORIGINAL, UNOPENED CONTAINERS LABELED AS TO NAME AND ADDRESS OF SUPPLIER, SPECIFIC BLEND OF SEED, AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS, AS APPLICABLE.
- PROJECT CONDITIONS:
  - SEED DURING ONE OF THE FOLLOWING PERIODS.
    - SPRING SEEDING SEASON: APRIL 1 TO JUNE 15.
    - FALL SEEDING SEASON: AUGUST 15 TO OCTOBER 1.
  - PRODUCTS
    - PROVIDE THE FOLLOWING FOR TURFGRASS SEED BASIS OF DESIGN: REINDEERS DELUXE 50 SEED MIX OR APPROVED EQUAL
    - TURFGRASS SEED MIX TO BE FERTILIZED WITH 'SCOTT'S STARTER FERTILIZER' BY THE 'SCOTT'S MIRACLE-GRO COMPANY' OR APPROVED EQUAL.
- PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN MET.
- REMOVE ANY AND ALL UNDESIRABLE VEGETATION THAT HAS GERMINATED IN THE AREAS TO BE SEEDED OR SODDED. CONTRACTOR SHALL EVALUATE THE USE OF A BROAD SPECTRUM, NON-PERSISTENT GLYOPHATE-BASED HERBICIDE BASED ON SITE CONDITIONS.
  - DO NOT APPLY SEED UNTIL FIVE TO SEVEN DAYS AFTER LAST HERBICIDE TREATMENT.
- FINISH GRADING: GRADE AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/4" INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE IMMEDIATELY SEEDED AND STABILIZED WITH EROSION CONTROL MATERIAL.
- MOISTEN PREPARED AREA BEFORE SEEDING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE DRY BEFORE SEEDING OR SODDING. DO NOT CREATE MUDDY SOIL.
- NO SEEDING SHALL OCCUR ON FROZEN GROUND OR AT TEMPERATURES LOWER THAN 32 DEGREES FARENHEIT OR IN THE FOLLOWING 5 DAYS AFTER PLANNED SEEDING OR SODDING.
- SEEDING RATES TO BE PERFORMED IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.

**CLEAN-UP AND PROTECTION**

- DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
- PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
- AFTER INSTALLATION REMOVE ALL NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE, STRING, AND OTHER DEBRIS FROM PLANT MATERIAL, PLANTING AREAS, AND PROJECT SITE.



PANGA  
34422 DELAFIELD ROAD  
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LANDSCAPE SPECIFICATIONS



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**L300**



## VILLAGE OF SUMMIT PLAN COMMISSION ZONING REPORT

TO: Village of Summit Plan Commission

FROM: Amy Barrows, Village Planner  
*Planning & Zoning LLC*

MEETING DATE: February 26, 2026

RE: **Lang Certified Survey Map**

- 830 N. Sawyer Road, SUMT0674031003
- Unassigned, SUMT0674031004

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The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet.

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**Possible Motion: Motion to recommend that Village Board approve the Certified Survey Map that creates an Outlot for open space purposes, subject to the following conditions:**

- A. APPROVALS FROM ALL OBJECTING AND APPROVING BODIES:** *Petitioner shall satisfy all comments, conditions and concerns of Waukesha County Department of Public Works, and the Village Engineer, Surveyor, and Planner prior to approval of the final Certified Survey Map.*
- B. SUBJECT TO REIMBURSEMENT OF EXPENSES.** *As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.*
- C. UTILITY CONNECTION FEES.** *As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all utility connection fees owed to the Village of Summit. Note: **The properties are served by private sewerage systems. Therefore, this condition does not apply.***
- D. BUSINESS OR COMMERCIAL USE.** *There shall be no commercial or business use on this lot, except as specifically permitted within or pursuant to the applicable Zoning Code.*
- E. DECLARATION OF RESTRICTIONS.** *In accordance with Declaration of Restrictions Document # 4823800, a financial guarantee for the cost of the additional Isolated Natural Resource Area site preparation and installation, plus 15%, shall be submitted to the Village of Summit prior to the rezone creating additional Isolated Natural Resource Area being effective and prior to the Certified Survey Map being recorded that creates an Outlot and identifies the newly created EC Environmental Corridor Overlay District.*

**F. ONE YEAR TO SATISFY CONDITIONS.** Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Village Board granting conditional final approval of the CSM.

**Summary:**

**Existing Zoning:** R-2 Country Residential (1.5-acre lot size/density of 1 unit/90,000 sq. ft.) & EC Environmental Corridor Overlay; recently expanded EC Environmental Corridor Overlay to include an additional 3.195 acres.

**Land Use Plan:** SF Residential 1.6-acre density & Isolated Natural Resource Area (INRA)

Adjacent Land Uses		Zoning
N	Residential	R-2
South	Residential	R-2/EC
East	Residential	R-2/EC
West	Vacant (approved CU as part of quarry)	A-1/WL/EC

Mr. Lang created a 4-lot CSM in 2018 (CSM #11759), inclusive of lands that were otherwise required to remain in open space as part of the Shakerville Subdivision approved and recorded in 1987. The Shakerville Subdivision was part of a Planned Unit Development (PUD). One of the conditions of the PUD was that an open space easement be recorded at time of recording the plat that limited the use of the outlot (11.4 acres; now part of Lot 4 CSM # 11759) for recreational purposes, for aesthetic enhancement of the surrounding subdivision, and for growing agricultural crops only. The easement was never recorded. The unrecorded easement is included in the packet.

It has since been determined that the 4-lot CSM recorded in 2018 would result in a density of more than one unit per five acres of environmental corridor (INRA) if all lots within CSM are developed with a residential unit. Lots 1 and 3 of CSM #11759 have already been developed and Lot 4 of CSM #11759 has an available building envelope located outside of the environmental corridor. Lot 2 of CSM #11759 is currently unbuildable due to the density restriction. There are currently two homes in the environmental corridor and 11.8 acres of environmental corridor area, whereas 15 acres of corridor is required for the construction of a third residence.

The applicant is proposing to resolve the matter by increasing the area of environmental corridor by 3.195 acres so that there is at least 15 acres of environmental corridor, accommodating three residential units from the original 4-lot CSM. The property owner of Lot 4 of CSM #11759 agreed to work with Southeastern Wisconsin Regional Planning Commission, the agency that establishes the environmental corridor boundaries, to determine the recommended actions that should be taken to establish additional environmental corridor, in this case INRA. SEWRPC agreed to a proposal to create a natural prairie. The applicant submitted an Environmental Corridor Overlay District Specifications Report, which includes site planning, installation, monitoring and maintenance. The report with related restrictions was reviewed and approved by the Village and SEWRPC and has been recorded with the Waukesha County Register of Deeds (Document # 4823800).

As part of increasing the area of the Environmental Corridor Overlay District (INRA), staff has requested that the applicant create a new CSM that further divides Lot 4 of CSM #11759 to re-create the 11.4-acre outlot that was intended to be preserved for open space purposes as part of the Shakerville Subdivision. The applicant has submitted a preliminary CSM that includes an 11.8-acre outlot. The CSM also indicates the location of the additional environmental corridor (INRA). Resource restriction notes are included. No additional development sites are proposed as part of the CSM, other than the development of the newly proposed Lot 2 (portion of former Lot 4 of CSM #11759). Development of proposed Lot 2 will be required to be located outside of the INRA.

The Plan Commission and Village Board reviewed a similar CSM in 2024. However, Lot 2 of CSM #11759 has been sold and that owner is no longer involved in the proposal. Therefore, the applicant has removed Lot 2 of CSM#11759.

**Utilities:** The area is served by private sewage systems and wells. No new buildable lots are being created as part of this CSM. Each lot was tested for soil suitability prior to the recording of the existing CSM. Prior to the issuance of any building permits to construct a residence, a copy of a Sanitary Permit will be required from the Waukesha County Environmental Health Division.

**Traffic, Access, & Frontage:** All lots have frontage on a public road. The Waukesha County Department of Public Works will need to verify that the access point shown on proposed Lot 2 is acceptable.

**Public Services/Capital Investments:** There will be no changes to public services. There are no requirements for capital investments as a result of this request.

**Environment:** There are environmental corridor resources on all lots and the creation of additional environmental corridor (INRA). Disturbance of these areas is limited. Preservation restrictions are noted on the CSM.

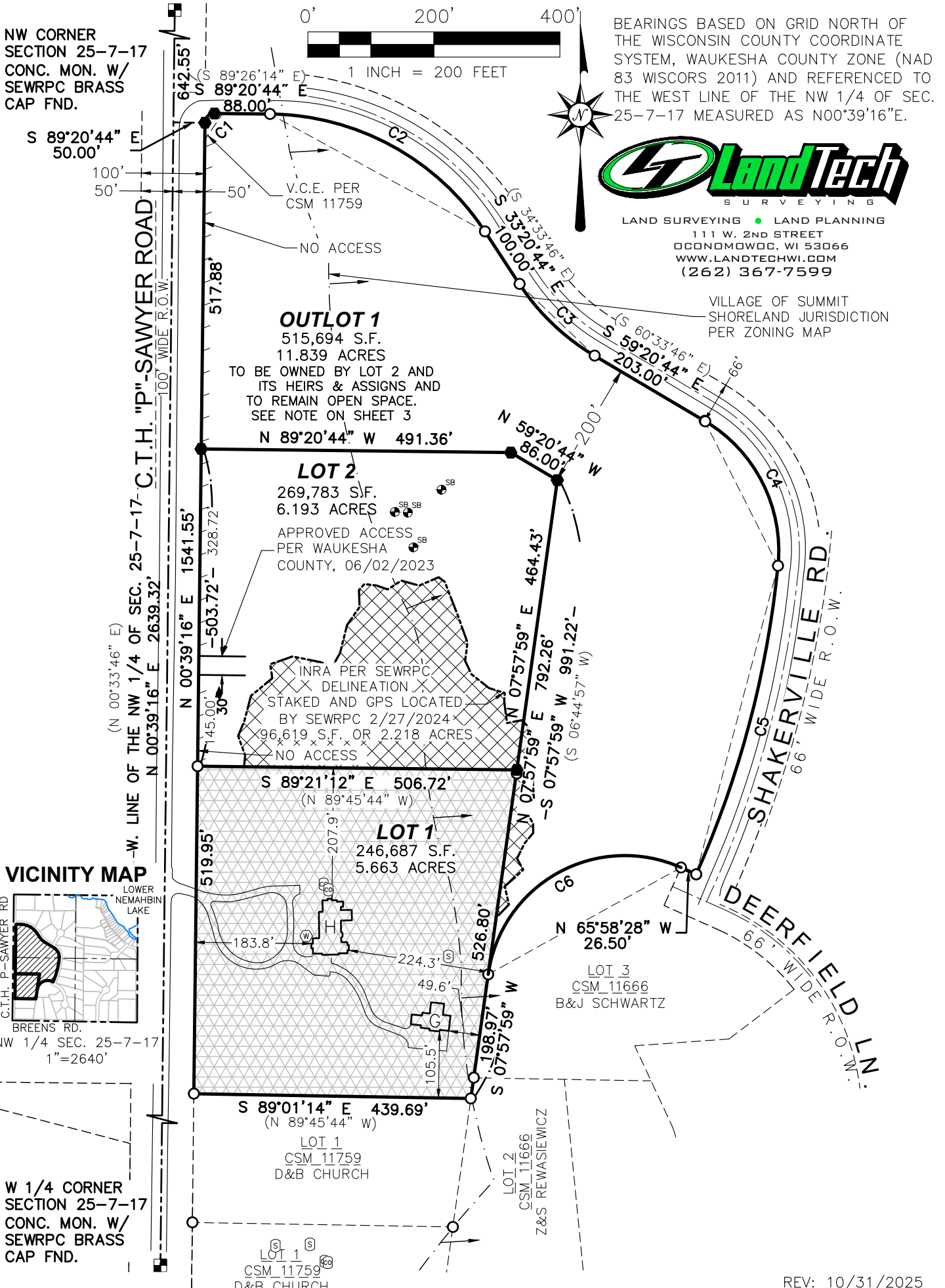
**Planner Comments:**

- The Document # shall be added to restriction #7 on sheet 3 (Document #4823800).
- The Lot below proposed Lot 2 shall read "Lot 2 CSM 11759". The owners of the two adjacent lots to the south shall be verified.
- If there is a mortgage, a signature shall be added to the CSM.
- Village Staff shall review the proposed CSM and determine if any additional measures are required to document that Lot 2 of CSM #11759 is buildable with the creation of additional INRA on Outlot 1.

**Surveyor and Engineering Comments:** Pending.

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 3 AND LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, BEING PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.



BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY ZONE (NAD 83 WISCONS 2011) AND REFERENCED TO THE WEST LINE OF THE NW 1/4 OF SEC. 25-7-17 MEASURED AS N00°39'16"E.

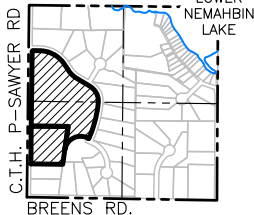


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 OGDONSDWDC, WI 53066  
 WWW.LANDTECHWI.COM  
 (262) 367-7599

VILLAGE OF SUMMIT  
 SHORELAND JURISDICTION  
 PER ZONING MAP

NW CORNER  
 SECTION 25-7-17  
 CONC. MON. W/  
 SEWRPC BRASS  
 CAP FND.

VICINITY MAP



W 1/4 CORNER  
 SECTION 25-7-17  
 CONC. MON. W/  
 SEWRPC BRASS  
 CAP FND.

PREPARED FOR:  
 LANG RESIDENTIAL INVESTMENT LLC  
 AND N SUSAN LANG  
 514 WELLS ST.  
 DELAFIELD, WI 53018

REV: 10/31/2025  
 REV: 01/14/2025  
 REV: 01/03/2025  
 REV: 12/02/2024  
 DATED 11/19/2024  
 JOB# 20144  
 SHEET 1 OF 5

# WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 3 AND LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, BEING PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE:**

I, JOHN D. DOWNING, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING LOT 3 AND LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, BEING A PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN. WISCONSIN DESCRIBED AS FOLLOWS:

LOT 3 AND LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, BEING A PART OF THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWN 7 NORTH, RANGE 17 EAST, IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

DESCRIBED LANDS AS HAVING AN AREA OF XXXXX SQUARE FEET OR XXXXXX ACRES.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF LANG RESIDENTIAL INVESTMENT LLC, AND N SUSANNE LANG, ROBERT A AND SUSANNE LANG OWNERS OF SAID LANDS.














THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF VILLAGE OF SUMMIT IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JOHN D. DOWNING, S-2939

## LEGEND

-  FOUND 3/4 REBAR" OR NOTED
-  FOUND 1" IRON PIPE OR NOTED
-  SET 0.75" O.D. X 18" REBAR WEIGHING 1.502 LBS/FT.
-  WELL
-  SEPTIC VENT
-  SEPTIC CLEANOUT
-  RECORD DIMENSION
-  DRIVEWAY LOCATION
-  SOIL BORE
-  PROPOSED INRA
-  INRA PER WAUKESHA COUNTY GIS
-  INRA PER DELINEATION
-  SHORELAND ZONING

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TANGENT IN	TANGENT OUT
C1	15.00"	88°58'58"	23.56'	21.21'	N 45°39'16" E (N 44°26'14" E)	N 89°21'15" W	N 00°39'47" E
C2	414.00'	55°59'59"	404.63'	388.72'	N 61°20'44" W (N 62°33'46" W)	N 33°20'44" W	N 89°20'43" W
C3	366.00'	25°59'58"	166.08'	164.66'	S 46°20'44" E (S 47°33'46" E)	S 33°20'45" E	S 59°20'43" E
C4	240.00'	64°59'56"	272.27'	257.90'	N 26°50'44" W (N 28°03'46" W)	N 05°39'14" E	N 59°20'42" W
C5	1589.80'	18°20'10"	508.78'	506.61'	N 14°50'24" E (N 13°37'22" E)	N 24°00'29" E	N 05°40'19" E
C6	218.91'	106°03'41"	405.23'	349.80'	S 60°59'46" W (S 59°46'44" W)	N 65°58'23" W	S 07°57'56" W

REV: 10/31/2025  
 REV: 01/14/2025  
 REV: 01/03/2025  
 REV: 12/02/2024  
 DATED 11/19/2024  
 JOB# 20144  
 SHEET 2 OF 5

## WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 3 AND LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, BEING PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

### **NOTES:**

- WITHIN THE AREA OF THE VISION CORNER EASEMENT THE HEIGHT OF ALL PLANTINGS, BERMS, FENCING, SIGNS, OR ANY OTHER STRUCTURE SHALL BE LIMITED TO 24 INCHES ABOVE THE INTERSECTION ELEVATION.
- OUTLOT 1 SHALL BE OWNED IN COMMON WITH LOT 2 AND ITS HEIRS & ASSIGNS AND SHALL NOT BE SOLD SEPARATELY.
- DEVELOPMENT IS PROHIBITED WITHIN THE ISOLATED NATURAL RESOURCE AREA ON LOT 2.
- OUTLOT 1 MAY BE USED FOR PASSIVE RECREATIONAL PURPOSES, AESTHETIC ENHANCEMENT OF THE SURROUNDING SUBDIVISION, AND FOR GROWING AGRICULTURAL CROPS ONLY. NO BUILDINGS OR CONSTRUCTION OF ANY KIND MAY BE CONSTRUCTED IN THE OUTLOT, AND THE USE OF TRAIL BIKES, OR ANY OTHER OFF-STREET OR ON-STREET MOTORIZED VEHICLES OF ANY TYPE ARE PROHIBITED. ALSO SEE INRA RESTRICTION NO. 7.
- ANY FURTHER LAND DIVISION OF ANY LOT OR OUTLOT IS PROHIBITED.

### **ISOLATED NATURAL RESOURCE AREA (INRA) RESTRICTIONS:**

THOSE AREAS IDENTIFIED AS A ISOLATED NATURAL RESOURCE AREA ON PAGE 1 OF 5 OF THIS CERTIFIED SURVEY MAP SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

1. GRADING, FILLING AND REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS ARE PROHIBITED, UNLESS SPECIFICALLY AUTHORIZED BY THE VILLAGE OF SUMMIT AND, IF APPLICABLE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
2. THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT INVASIVE, DEAD, DISEASED, OR DYING VEGETATION MAY BE REMOVED, AT THE DISCRETION OF THE LANDOWNER, AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT. VEGETATION REMOVAL IS PERMITTED IN ACCORDANCE WITH RESTRICTION #6.
3. GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., IS PROHIBITED, UNLESS GRAZING IS CONDUCTED IN ORDER TO MANAGE INVASIVE VEGETATION AND APPROVAL IS OBTAINED BY THE VILLAGE OF SUMMIT.
4. THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT IS PROHIBITED EXCEPT WITHIN A PRE-APPROVED DISTURBANCE AREA APPROVED BY THE VILLAGE OF SUMMIT IN ACCORDANCE WITH RESTRICTION #6.
5. PONDS ARE PROHIBITED UNLESS DESIGNED TO ENHANCE THE NATURAL ENVIRONMENT. PONDS THAT MAY BE PERMITTED ARE SUBJECT TO THE APPROVAL OF VILLAGE OF SUMMIT, IF APPLICABLE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
6. THE CONSTRUCTION OF BUILDINGS REQUIRES VILLAGE OF SUMMIT PRE APPROVAL ON LOT 1 AND LOT 2 WITH DISTURBANCE LIMITED TO 15% OF THE LOT AREA, OR 32,670 SQ. FT., WHICHEVER IS GREATER. THE CONSTRUCTION OF BUILDINGS IS PROHIBITED ON LOT 3 AND OUTLOT 1.

REV: 10/31/2025  
REV: 01/14/2025  
REV: 01/03/2025  
REV: 12/02/2024  
DATED 11/19/2024  
JOB# 20144  
SHEET 3 OF 5

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

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**OWNER'S CERTIFICATE:**

AS OWNERS WE THE LANG RESIDENTIAL INVESTMENT LLC, AND N SUSANNE LANG HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED, DIVIDED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT.

WITNESS THE HAND AND SEAL OF SAID OWNERS:

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
ROBERT A LANG – MEMBER

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE NAMED LANG RESIDENTIAL INVESTMENT LLC, AND N SUSANNE LANG, TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY SIGNATURE \_\_\_\_\_

PRINT NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**OWNER'S CERTIFICATE:**

AS OWNERS WE ROBERT A AND SUSANNE LANG HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED, DIVIDED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT.

WITNESS THE HAND AND SEAL OF SAID OWNERS:

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
ROBERT A LANG

\_\_\_\_\_  
SUSANNE LANG

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE NAMED ROBERT A AND SUSANNE LANG, TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY SIGNATURE \_\_\_\_\_

PRINT NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 3 AND LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, BEING PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

VILLAGE OF SUMMIT PLAN COMMISSION

THIS LAND DIVISION IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF SUMMIT, THIS

\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
JIM SIEPMANN, CHAIRPERSON

\_\_\_\_\_  
DEBRA MICHAEL – ADMINISTRATOR–CLERK/TREASURER

VILLAGE OF SUMMIT BOARD

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT BOARD,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
JACK RILEY–PRESIDENT

\_\_\_\_\_  
DEBRA MICHAEL – ADMINISTRATOR–CLERK/TREASURER

	<b>DECLARATION OF RESTRICTIONS</b>	<b>Electronically Recorded 4823800</b> WAUKESHA COUNTY, WI REGISTER OF DEEDS James R Behrend Recorded On: 06/25/2025 10:19:20 AM Total Fee: \$30.00 Page(s): 12 Transfer Tax: \$0.00  The above recording information verifies that this document has been electronically recorded and returned to the submitter.
<p>WHEREAS, the SUBJECT PROPERTY described below is zoned R-2, Country Residential District with an EC Environmental Corridor Overlay, by the Village of Summit; and</p> <p>WHEREAS, the property owner submitted an application to amend the zoning district for a 3.195-acre portion of the subject property to expand the EC Environmental Corridor Overlay District (Additional INRA), as further described and illustrated in Exhibit A; and</p> <p>WHEREAS, on January 9, 2025, the Village Board, following a recommendation by Plan Commission, adopted an ordinance to expand the EC Environmental Corridor Overlay District subject to several conditions, said ordinance being incorporated as Exhibit B; and</p>		<p>Recording Data</p>
<p>WHEREAS, a condition of approval was the recording of a Declaration of Restrictions that provided the requirements for establishing the EC Environmental Corridor Overlay District, as provided in an Environmental Corridor Overlay District Specifications Plan; and</p> <p>WHEREAS, the property owner submitted an Environmental Corridor Overlay District Specifications Plan, incorporated as Exhibit C, that has been reviewed and approved by Village Staff; and</p>		<p>Name and Return Address</p> <p>Debra Michael, Village Clerk          Village of Summit          37100 Delafield Road          Summit, Wisconsin 53066</p>
<p>WHEREAS, Village Staff received a favorable review of the plan from the Southeastern Wisconsin Regional Planning Commission; and</p> <p>WHEREAS, the undersigned agreed to the conditions imposed by signing and recording this document; and</p> <p>WHEREAS, this Agreement runs with the land and transfers to all heirs and assigns in perpetuity, unless modified by the Village Board.</p>		<p>Parcel Identification Number (PIN)</p> <p>SUMT0674031004</p>

NOW, THEREFORE, the undersigned hereby executes this Declaration of Restrictions imposing the same on the SUBJECT PROPERTY described below.

**SUBJECT PROPERTY DESCRIPTION:**

Lot 4 of CSM 11759, Recorded in the Waukesha County Register of Deeds Office September 12, 2018 in Book 118, Pages 151-155 as Document No. 4360453, previously a combination of CSM 1908, a part of Parcel 1 CSM 2473, Outlot 1 of Shakerville, and other lands, all a part of the NW ¼ and SW ¼ of the NW ¼ of Section 25, T7N, R17E, in the Village of Summit, Waukesha County, Wisconsin.

Also known as Tax Key # SUMT0674031004.

**CONDITIONS IMPOSED:**

1. The Shakerville Road Environmental Corridor Overlay District Specifications Report, incorporated as Exhibit C, shall be implemented, including site preparation, native seed materials and installation, native tree protection and enhancement, vegetation monitoring, and vegetation management.
2. All mature native oak and shagbark hickory trees shall be protected on the current Lot 4 CSM 11759. The remainder of the specifications report components apply to the area described and illustrated in Exhibit A as "Lands to be Rezoned."
3. All of proposed Outlot 1, that is inclusive of a portion of Lot 4 of CSM 11759, shall solely be used for passive recreational purposes, aesthetic enhancement of the surrounding subdivision, and for growing agricultural crops only. No building or construction of any kind may be constructed on the Outlot, and the use of trail bikes, or any other off-street or on-street motorized vehicles of any type are prohibited. The Outlot is further illustrated in Exhibit D.
4. The site preparation and planting installation shall be completed prior to January 1, 2026. A financial guarantee for the cost of site preparation and installation, plus 15%, shall be submitted to the Village of Summit prior to the rezone being effective

and prior to a Certified Survey Map being recorded that creates an Outlot and identifies the newly created EC Environmental Corridor Overlay District.

- 5. An end of year vegetation management and monitoring report shall be provided to the Village of Summit at the completion of each year for five full growing seasons (2026-2030). If it is deemed that site conditions are not in substantial compliance with the specifications report, the Village of Summit has the authority to require additional restoration at the cost of the property owner of Lot 4 CSM 11759.

Signed:

N. Susanne Lang  
 Representative of Lang Residential Investment LLC and N Susanne Lang

STATE OF WISCONSIN )

)ss

WAUKESHA COUNTY )

Personally came before me this 2nd day of June, 2025, the above named persons, Susanne Lang to me known to be the person who executed the foregoing instrument and acknowledged the same.

Jonathan George Sphreris  
 Name: Jonathan George Sphreris

Notary Public, Waukesha County, Wisconsin  
My commission expires 12-26-2027

Prepared by: Amy Barrows, Village Planner



# EXHIBIT A Deed Restriction

## EXHIBIT A

### LEGAL DESCRIPTION

#### LANDS TO BE REZONED INRA

PART OF LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, PREVIOUSLY A COMBINATION OF CSM 1908, A PART OF PARCEL 1 CSM 2473, OUTLOT 1 OF SHAKERVILLE, AND OTHER LANDS ALL A PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

COMMENCING AT THE SOUTHEAST CORNER OF LOT 4 OF CSM 11759 AND POINT OF BEGINNING, THENCE ALONG THE SOUTH LINE OF LOT 4 OF CSM 11759 FOR THE FOLLOWING 3 COURSES:  
1.: THENCE N 65°58'28" W, 26.50 FEET; 2.: THENCE ALONG A TANGENT CURVE TO THE LEFT HAVING AN ARC LENGTH OF 405.23 FEET, A RADIUS OF 218.91 FEET, A DELTA ANGLE OF 106°03'41", AND A CHORD BEARING S 60°59'46" W, 349.80 FEET; 3.: THENCE N 07°57'59" E, 91.01 FEET; THENCE N 44°16'06" E, 29.03 FEET; THENCE N 12°45'40" W, 29.68 FEET; THENCE N 48°10'55" E, 39.28 FEET; THENCE N 28°44'34" W, 20.44 FEET; THENCE N 26°20'47" E, 26.70 FEET; THENCE N 39°35'56" E, 21.55 FEET; THENCE N 00°11'25" E, 15.18 FEET; THENCE N 32°03'14" W, 30.93 FEET; THENCE N 50°35'16" E, 22.87 FEET; THENCE N 04°05'46" W, 31.30 FEET; THENCE N 03°28'21" E, 66.75 FEET; THENCE N 35°53'47" W, 17.90 FEET; THENCE N 45°00'03" W, 11.16 FEET; THENCE N 07°57'59" E, 202.23 FEET; THENCE S 83°07'08" E, 366.65 FEET TO THE WEST RIGHT OF WAY OF SHAKERVILLE ROAD; THENCE ALONG THE WEST RIGHT-OF-WAY OF SHAKERVILLE ROAD ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 416.50 FEET, A RADIUS OF 1589.80 FEET, A DELTA ANGLE OF 15°00'38", AND A CHORD BEARING S 16°30'10" W, 415.31 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 139,173 SQUARE FEET, 3.195 ACRES.

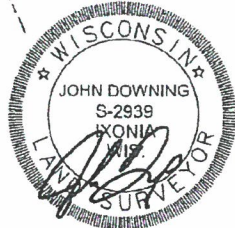
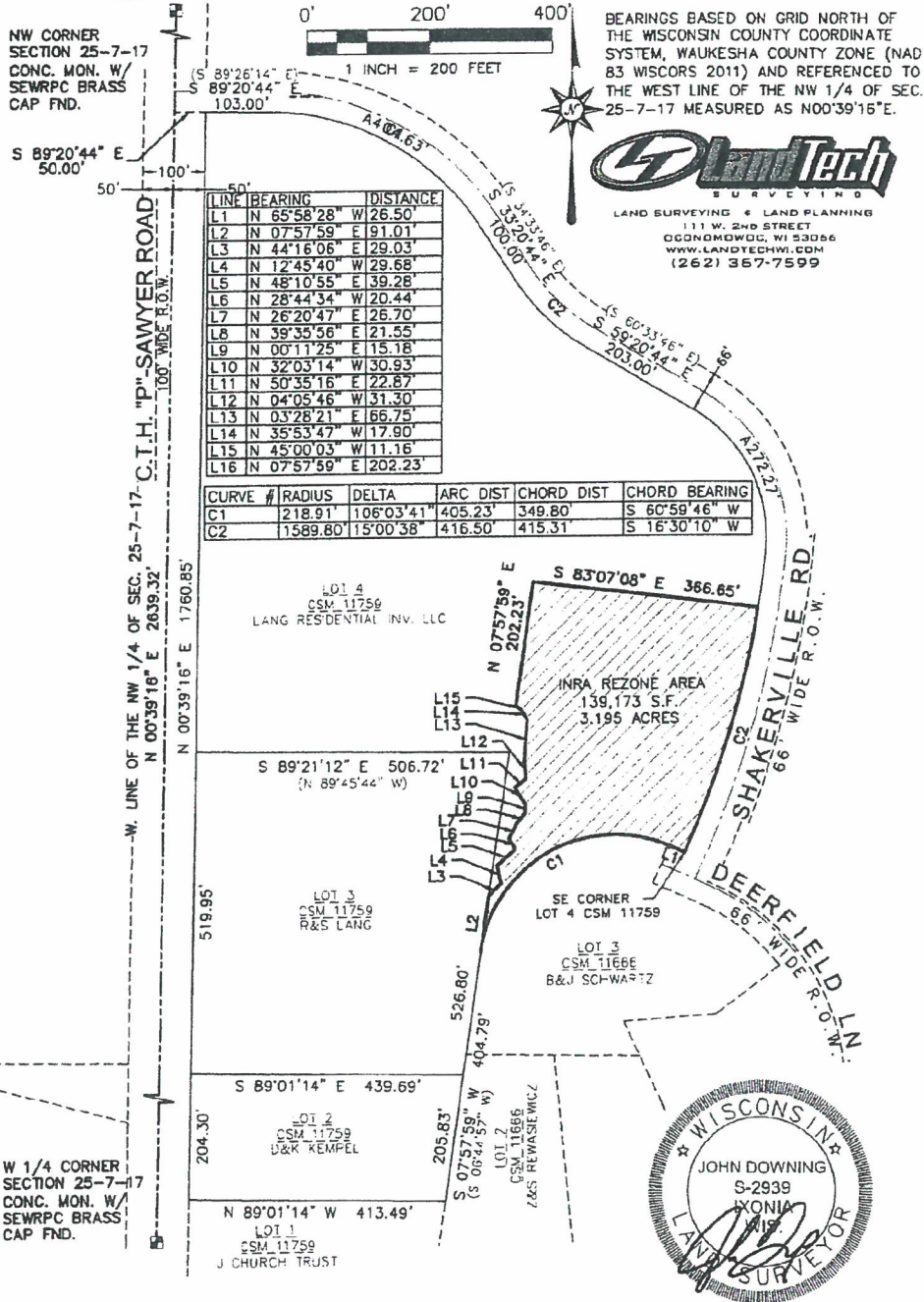
Prepared By:



111 WEST 2<sup>ND</sup> STREET  
OCONOMOWOC, WISCONSIN  
262-367-7599

# Deed Restriction / REZONE EXHIBIT A

LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, PREVIOUSLY A COMBINATION OF CSM 1908, A PART OF PARCEL 1 CSM 2473, OUTLOT 1 OF SHAKERVILLE, AND OTHER LANDS ALL A PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R. 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.



THIS INSTRUMENT WAS DRAFTED BY JOHN D. DOWNING, S-2939 DATED 11/07/2024 JOB# 20144

# DEED RESTRICTION - EXHIBIT B

STATE OF WISCONSIN

VILLAGE OF SUMMIT

WAUKESHA COUNTY

ORDINANCE NO. 139-2025

AN ORDINANCE  
TO CONDITIONALLY REZONE CERTAIN LANDS  
IN THE VILLAGE OF SUMMIT AS PART OF THE ZONING AND SHORELAND  
PROTECTION ORDINANCE TO EXPAND THE EC ENVIRONMENTAL CORRIDOR  
OVERLAY DISTRICT (SECTION 111-362) TO A 3.195-ACRE PORTION OF PROPERTY  
KNOWN AS PART OF LOT 4 OF CSM # 11759 (SUMT0674031004) AND TO  
CONDITIONALLY AMEND THE OFFICIAL ZONING MAP OF THE VILLAGE OF  
SUMMIT.

WHEREAS, pursuant to Section 111-386(b)(1) of the Village Code, a petition has been filed by Jon Spheeris (APPLICANT) on behalf of Lang Residential Investment, LLC and N Susanne Lang (PROPERTY OWNER), as the owner of certain lands in the Village of Summit, to rezone certain lands legally described and illustrated in Exhibit "A", and described as part of Lot 4 of CSM # 11759 (SUMT0674031004), which is incorporated herein by reference (the "Subject Lands"); and

WHEREAS, said rezoning petition was submitted in order to rezone the Subject Lands so as to add the EC Environmental Corridor Overlay (Village Code Section 111-362) to the Subject Lands; and

WHEREAS, the Petitioner has provided the Village Clerk with the petition in triplicate form and the required fee pursuant to Village Code Section 111-386(b)(2) and all required data pursuant to Chapter 111 of the Village Code; and

WHEREAS, upon publication of the required "Notice of Public Hearing" and mailing of said "Notice of Public Hearing" to all parties-in-interest as required by Section 111-387(b)(1)b. of the Village Code, the Village Plan Commission held a public hearing on December 19, 2024, as required by Section 111-386(b)(4) of the Village Code; and

WHEREAS, following the December 19, 2024 public hearing, the commissioners considered all the information presented at the public hearing; and

WHEREAS, the Plan Commission recommended approval of the rezoning petition of the Subject Lands, subject to certain conditions, to the Village Board; and

WHEREAS, the Village Board finds that this change to the Village Zoning and Shoreland Protection Ordinance is not subject to the super majority requirement of Section 66.10015, Wisconsin Statutes, related to down zoning because the Property Owner affected by this down zoning ordinance requested and agreed to this change; and

WHEREAS, having determined that all procedural and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning on the health, safety, and welfare of the community and the immediate neighborhood in which said rezone will be located, and having given due consideration to the municipal problems involved as well as the impact on the community as to noise, dust, smoke, odor, and others, hereby determines that the rezoning will not violate the spirit or intent of Chapter 111 of the Village Code, will not be contrary to the public health, safety, or general welfare of the Village of Summit, will not be hazardous, harmful, noxious, offensive, or a nuisance by reason of noise, dust, smoke, odor, or other similar factors and will not, for any other reason, cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the rezone is conducted pursuant to the following conditions and in strict compliance with the same and is consistent with the recommendations found in the Village of Summit master plan;

WHEREAS, the Village Board has included several conditions of its approval of the rezoning petition as defined and approved on January 9, 2025.

NOW, THEREFORE, the Village Board of the Village of Summit, Waukesha County Wisconsin, DOES ORDAIN AS FOLLOWS:

SECTION 1: The Zoning Map of the Village of Summit is hereby amended to rezone the Subject Lands to expand the EC Environmental Corridor Overlay District (Section 111-362) to a 3.195-acre portion of property currently known as part of Lot 4 of CSM # 11759 (SUMT0674031004), subject to the following conditions being met:

1. This rezone is not effective until a Certified Survey Map is reviewed and approved by the Village of Summit and recorded by Waukesha County Register of Deeds in substantial conformance with the Certified Survey Map revised on December 02, 2024, and presented for consideration at the December 19, 2024 Plan Commission meeting. An illustration of the proposed Certified Survey Map is attached as Exhibit "B".
2. The Certified Survey Map, attached as Exhibit "B", shall designate at least 11.4 acres as an outlot that must be owned in common with proposed Lot 3 of the Certified Survey Map. The outlot must be designated and owned in common in this manner in perpetuity and this condition applies to Property Owner's heirs and assigns.
3. The use of proposed Outlot 1 of the Certified Survey Map, attached as Exhibit "B", is limited for passive recreational purposes, aesthetic enhancement of the surrounding subdivision, and for growing agricultural crops only. No buildings or construction of any kind may be constructed in the outlot, and the use of trail bikes, or any other off-street and on-street motorized vehicles of any type are prohibited. This restriction shall be noted on the Certified Survey Map.

4. The Certified Survey Map, attached as Exhibit "B", shall designate the 3.195-acre area that is being added as part of the EC Environmental Corridor Overlay District.
5. The Certified Survey Map, attached as Exhibit "B", shall be inclusive of Lots 2, 3, and 4 of CSM #11759.
6. The Certified Survey Map, attached as Exhibit "B", shall be subject to no further land division of any lot or outlot. This restriction shall be noted on the Certified Survey Map.
7. This rezone is not effective until such time the Environmental Corridor Overlay District Specifications Report attached as Exhibit "C" is recorded with Waukesha County Register of Deeds as an Exhibit to a Declaration of Restrictions drafted by the Village of Summit. The Declaration of Restrictions shall remain in perpetuity. The Declaration of Restrictions shall also include the specifications for the available uses and ownership of proposed Outlot 1. The site preparation and planting installation specified in the Environmental Corridor Overlay District Specifications Report shall be completed prior to January 1, 2026. A financial guarantee for the cost of site preparation and installation, plus 15%, shall be submitted to the Village of Summit prior to this rezone being effective and prior to the Certified Survey Map being recorded.
8. The Environmental Corridor Overlay District Specifications Report, and recorded Declaration of Restrictions Document Number, shall be referenced on the Certified Survey Map, attached as Exhibit "B".

SECTION 2: The Village Planner is hereby authorized and directed to note this rezoning on the Official Zoning Map of the Village of Summit.

SECTION 3: The Property Owner is hereby put on notice that the Village of Summit may rezone the lands or portions thereof subject to this conditional rezoning ordinance and to remove the EC to the Environmental Corridor Overlay (Village Code Section 111-362) designation if the conditions of this ordinance are not fully complied with.

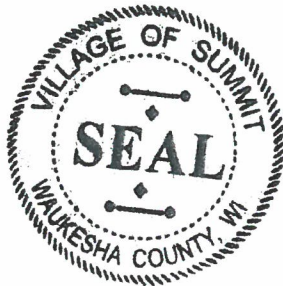
#### SECTION 4: SEVERABILITY.

The several sections and provisions of this Ordinance are declared to be severable. If any section or provision thereof shall be declared by a court of competent jurisdiction to be invalid, unlawful, or unenforceable, such declaration shall apply only to the specific section(s) or portion(s) thereof directly specified in said declaration, and shall not affect the validity of any other provisions, sections, or portions of the Ordinance, which shall remain in full force and effect. Any other Ordinances whose terms are in conflict with the provisions of this Ordinance are hereby repealed as to those terms that conflict.

SECTION 5: EFFECTIVE DATE.

This Ordinance shall be in full force and effect from and after its passage and publication and subject to the conditions stated in Section 1, and this Ordinance is null and void and the current zoning shall be in effect with no further notice if said conditions are not complied with on the terms and conditions stated herein.

This Ordinance passed this 9 day of January, 2025.



VILLAGE OF SUMMIT

By: [Signature]  
Jack Ray, Village President

Attest: [Signature]  
Debra Michael, Village Administrator – Clerk/Treasurer

Published/Posted the 13 day of June 2025

APPROVAL OF SUBJECT PROPERTY OWNER

Dated this 20 day of June, 2025

SUBJECT PROPERTY OWNER

Lang Residential Investment LLC N Susanne Lang

By: [Signature]  
Authorized Signatory

This instrument drafted by  
Amy Barrows, Village Planner

**EXHIBIT A**  
**LEGAL DESCRIPTION**  
**LANDS TO BE REZONED INRA**

PART OF LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, PREVIOUSLY A COMBINATION OF CSM 1908, A PART OF PARCEL 1 CSM 2473, OUTLOT 1 OF SHAKERVILLE, AND OTHER LANDS ALL A PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

COMMENCING AT THE SOUTHEAST CORNER OF LOT 4 OF CSM 11759 AND POINT OF BEGINNING, THENCE ALONG THE SOUTH LINE OF LOT 4 OF CSM 11759 FOR THE FOLLOWING 3 COURSES:  
1.: THENCE N 65°58'28" W, 26.50 FEET; 2.: THENCE ALONG A TANGENT CURVE TO THE LEFT HAVING AN ARC LENGTH OF 405.23 FEET, A RADIUS OF 218.91 FEET, A DELTA ANGLE OF 106°03'41", AND A CHORD BEARING S 60°59'46" W, 349.80 FEET; 3.: THENCE N 07°57'59" E, 91.01 FEET; THENCE N 44°16'06" E, 29.03 FEET; THENCE N 12°45'40" W, 29.68 FEET; THENCE N 48°10'55" E, 39.28 FEET; THENCE N 28°44'34" W, 20.44 FEET; THENCE N 26°20'47" E, 26.70 FEET; THENCE N 39°35'56" E, 21.55 FEET; THENCE N 00°11'25" E, 15.18 FEET; THENCE N 32°03'14" W, 30.93 FEET; THENCE N 50°35'16" E, 22.87 FEET; THENCE N 04°05'46" W, 31.30 FEET; THENCE N 03°28'21" E, 66.75 FEET; THENCE N 35°53'47" W, 17.90 FEET; THENCE N 45°00'03" W, 11.16 FEET; THENCE N 07°57'59" E, 202.23 FEET; THENCE S 83°07'08" E, 366.65 FEET TO THE WEST RIGHT OF WAY OF SHAKERVILLE ROAD; THENCE ALONG THE WEST RIGHT-OF-WAY OF SHAKERVILLE ROAD ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 416.50 FEET, A RADIUS OF 1589.80 FEET, A DELTA ANGLE OF 15°00'38", AND A CHORD BEARING S 16°30'10" W, 415.31 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 139,173 SQUARE FEET, 3.195 ACRES.

Prepared By:



111 WEST 2<sup>ND</sup> STREET  
OCONOMOWOC, WISCONSIN  
262-367-7599

# REZONE EXHIBIT A

LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, PREVIOUSLY A COMBINATION OF CSM 1908, A PART OF PARCEL 1 CSM 2473, OUTLOT 1 OF SHAKERVILLE, AND OTHER LANDS ALL A PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R. 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

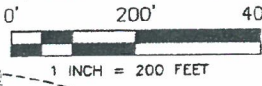
NW CORNER SECTION 25-7-17 CONC. MON. W/ SEWRPC BRASS CAP FND.

S 89°20'44" E 50.00'

100' WIDE F.O.W.  
C.T.H. "P" SAWYER ROAD  
W. LINE OF THE NW 1/4 OF SEC. 25-7-17  
N 00°39'16" E 2039.32'  
N 00°39'16" E 1760.85'

LINE	BEARING	DISTANCE
L1	N 65°58'28" W	26.50'
L2	N 07°57'59" E	91.01'
L3	N 44°16'06" E	29.03'
L4	N 12°45'40" W	29.68'
L5	N 48°10'55" E	39.28'
L6	N 28°44'34" W	20.44'
L7	N 26°20'47" E	26.70'
L8	N 39°35'56" E	21.55'
L9	N 00°11'25" E	15.18'
L10	N 32°03'14" W	30.83'
L11	N 50°35'16" E	22.87'
L12	N 04°05'46" W	31.30'
L13	N 03°28'21" E	66.75'
L14	N 35°53'47" W	17.90'
L15	N 45°00'03" W	11.16'
L16	N 07°57'59" E	202.23'

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING
C1	218.91'	106°03'41"	405.23'	349.80'	S 60°59'46" W
C2	1589.80'	15°00'38"	416.50'	415.31'	S 16°30'10" W

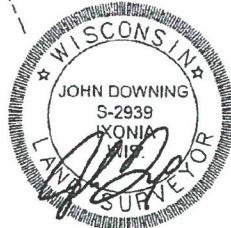
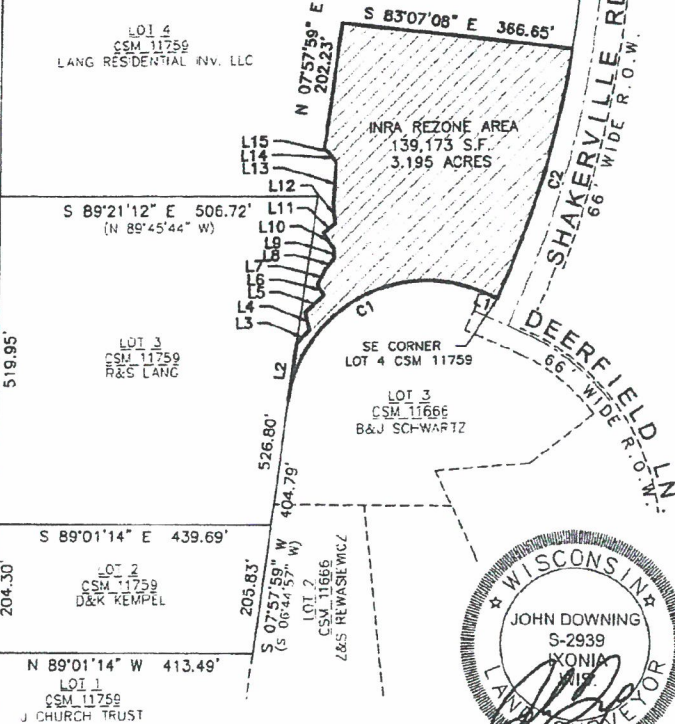


BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY ZONE (NAD 83 WISCONS 2011) AND REFERENCED TO THE WEST LINE OF THE NW 1/4 OF SEC. 25-7-17 MEASURED AS N00°39'16"E.



LAND SURVEYING & LAND PLANNING  
111 W. 2ND STREET  
OCONOMOWOC, WI 53056  
WWW.LANDTECHWI.COM  
(262) 367-7599

W 1/4 CORNER SECTION 25-7-17 CONC. MON. W/ SEWRPC BRASS CAP FND.

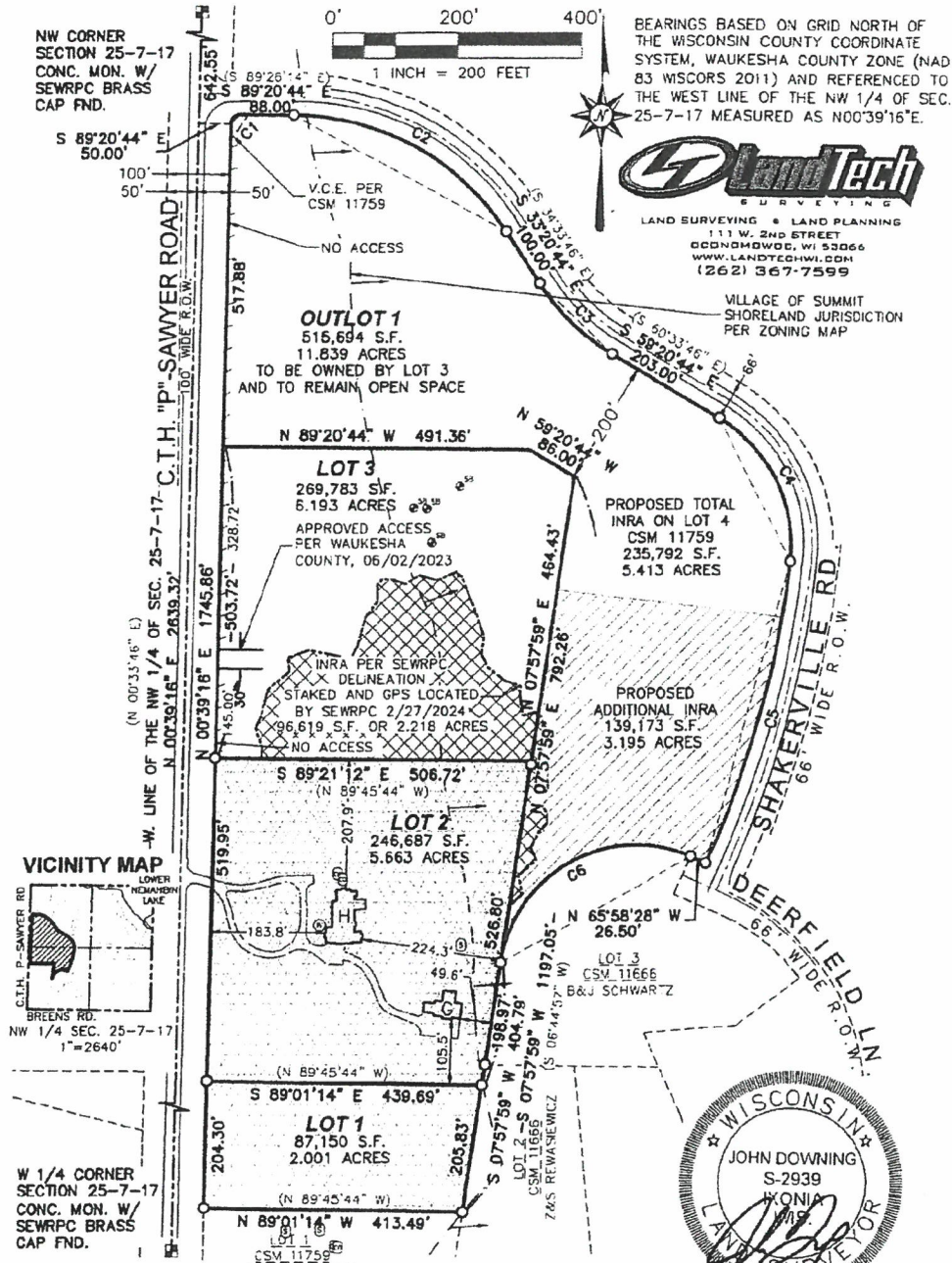


# EXHIBIT B

## PROPOSED - PRELIMINARY

### WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 2, LOT 3 AND LOT 4 OF CSM 11759, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE SEPTEMBER 12, 2018 IN BOOK 118, PAGES 151-155 AS DOCUMENT NO. 4360453, BEING PART OF THE NW 1/4 AND SW 1/4 OF THE NW 1/4 OF SECTION 25, T. 7 N., R. 17 E., IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.



PREPARED FOR:  
 LANG RESIDENTIAL INVESTMENT LLC  
 AND N SUSAN LANG  
 514 WELLS ST.  
 DELAFIELD, WI 53018

THIS INSTRUMENT WAS DRAFTED BY JOHN D. DOWNING, S-2939

REV: 12/02/2024  
 DATED: 11/19/2024  
 JOB#: 20144  
 SHEET 1 OF 5

# EXHIBIT C Deep RESTRICTION + Rezone

## Shakerville Road Environmental Corridor Overlay District Specifications (3.195 total acres)

### Site Preparation

All designated shortgrass prairie restoration areas shall be prepped by means of mowing during the 2025 growing season and then applying non-selective herbicide (glyphosate) in the late fall months of 2025 to eliminate existing cool season grasses. Herbicide application shall be performed no later than December 1, 2025. Upon successful completion of herbicide application, all areas shall be scarified by means of mechanical raking, tilling, or disking. Soil scarification shall be completed by December 15, 2025.

### Native Seed Materials and Installation

All native seed materials shall be of Wisconsin Local Origin not to exceed a 200-mile radius of project site. All grasses and forbs shall be tested for germination and shall be supplied as Pure Live Seed (PLS). All seeding areas shall include the installation of a cover crop of annual rye grass at the rate of 5 lbs. per acre. Native seed materials shall be installed by means of hand or mechanical broadcast methods to assure thorough coverage throughout all designated seeding areas. Since all areas are flat and have low probability of erosion, erosion control fabric would not be necessary. Soils may not need to be worked up since seeding will be performed during the dormant season. Native seed shall be installed no later than December 31, 2024.

<p><b>Shortgrass Prairie Native Seed Mix (3.0 total acres)</b></p> <p>Grasses – total lbs per acre: 7.0 (Minimum of 3 grass species shall be used). (No single grass species shall exceed 15% of total seed mix weight). <i>Bouteloua curtipendula</i> (side oats grama) <i>Elymus canadensis</i> (Canada wild rye) <i>Schizachyrium scoparium</i> (little bluestem)</p> <p>Forbs total lbs per acre: 3.0 (Minimum of 30 forb species shall be used). (No single forb species shall exceed 10% of total seed mix weight.) <i>Allium cernuum</i> (nodding pink onion) <i>Asclepias tuberosa</i> (butterfly milkweed) <i>Aster azureus</i> (sky blue aster) <i>Aster laevis</i> (smooth aster) <i>Aster novae-angliae</i> (new England aster) <i>Astragalus canadensis</i> (Canada milk vetch) <i>Cassia hebecarpa</i> (wild senna) <i>Coreopsis lanceolata</i> (lanced leaf coreopsis) <i>Coreopsis palmata</i> (prairie coreopsis) <i>Coreopsis tripteris</i> (tall coreopsis) <i>Dalea candida</i> (white prairie clover)</p>	<p>Forbs continued...</p> <p><i>Dalea purpurea</i> (purple prairie clover) <i>Desmodium canadense</i> (Canada tick trefoil) <i>Echinacea pallida</i> (pale purple coneflower) <i>Echinacea purpurea</i> (purple coneflower) <i>Eryngium yuccifolium</i> (rattlesnake master) <i>Helianthus occidentalis</i> (western sunflower) <i>Liatris aspera</i> (rough blazing star) <i>Liatris pycnostachya</i> (dense blazing star) <i>Monarda fistulosa</i> (bergamot) <i>Monarda punctata</i> (dotted mint) <i>Parthenium integrifolium</i> (wild quinine) <i>Penstemon digitalis</i> (smooth penstemon) <i>Penstemon grandifloras</i> (beardtongue) <i>Ratibida pinnata</i> (yellow coneflower) <i>Rudbeckia hirta</i> (black-eyed Susan) <i>Rudbeckia subtomentosa</i> (sweet black-eyed Susan) <i>Silphium laciniatum</i> (compass plant) <i>Silphium terebinthinaceum</i> (prairie dock) <i>Solidago rigida</i> (stiff goldenrod) <i>Tradescantia ohioensis</i> (spiderwort) <i>Verbena stricta</i> (hoary vervain) <i>Zizia aurea</i> (golden alexanders)</p>
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### Native Tree Protection and Enhancement

All existing mature native oak and shagbark hickory trees shall be protected. Ten (10) Burr oak and ten (10) white oak seedlings shall also be supplied and installed within project footprint. All installed seedlings shall be protected from herbivory with 4' biodegradable tree tubes. Tree seedlings shall be obtained from within a 200-mile radius of project site.

### Vegetation Monitoring

All seeded and planted areas shall be monitored for 5 full growing seasons (2026-2030). Monitoring shall consist of a minimum of 1 site visit per month during each management growing season to assess project site's vegetative state to determine what, if any, methods of management may be necessary at that time. An end of year vegetation management and monitoring report shall be provided to the Village of Summit at the completion of each contracted year. This report shall document services provided and include site photographs as well as recommendations and / or concerns with future management.

### Vegetation Management

Management would need to be performed for 5 full growing seasons (2026-2030) to assure these areas remain free of unwanted weedy plant species. Management techniques would include selective cutting, mowing and / or spot herbicide applications of undesirable plant species. Invasive plant species may include, but are not limited to; purple loosestrife, reed canary grass, giant reed grass, star thistle, sweet clover, Queen Anne's lace, Canada thistle, bull thistle, burdock, teasel and invasive woody trees and shrubs.

4360453

Book 118 Page 151-155



FORM ARC-101

# CERTIFIED SURVEY MAP NO. 11759

A COMBINATION OF CERTIFIED SURVEY MAP NO. 1908, A PART OF PARCEL 1 CERTIFIED SURVEY MAP NO. 2473, OUTLOT 1 SHAKERVILLE, AND OTHER LANDS, ALL A PART OF THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 7 NORTH, RANGE 17 EAST, IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN

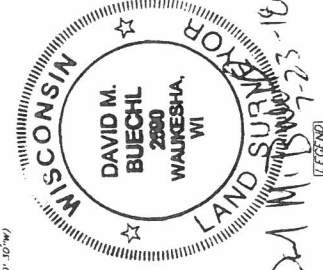




EXHIBIT B

OPEN SPACE EASEMENT

This Indenture made by Robert A. Lang and N. Susanne Lang, his wife, doing business as Lang Homes Ltd (hereinafter called "Owner") do hereby declare, as part of a Planned Development Agreement with the Town of Summit dated \_\_\_\_\_, 1987, that the following restrictions apply to Outlot 1 in Shakerville Subdivision being part of the Northwest One-Quarter of Section 25, T7N, R17E, Town of Summit, Waukesha County, Wisconsin said Outlot being in an undeveloped state and (hereinafter called "Open Space" or "The Restricted Open Space").

W I T N E S S E T H:

WHEREAS, Owner owns all of the land which it proposes to subdivide as the Shakerville Subdivision and subsequent additions

WHEREAS, the Town of Summit by a zoning ordinance permits the subdivision of land into smaller lots than otherwise required on condition that the developer or owner reserve certain of the land in the Subdivision as open space for the recreational use by the lot owners and the esthetic enhancement of the development and for the preservation of the rural environmental character of the area and

WHEREAS, Owner has proposed and the Town has agreed to approve the Shakerville Subdivision together with this open space easement.

NOW THEREFORE:

1. The "owner" and his heirs and assigns, hereby grants to the future lot owners of the "subdivision" and subsequent subdivision additions the rights and privileges hereinafter set forth.

2. The restricted Open Space may be used only for the recreational use by the lot owners and for the esthetic enhancement of the Subdivision and for the growing of agricultural crops. No buildings or construction of any kind may be constructed on the Open Space. The restricted open space shall not include use of the open space to operate trail bikes, dune buggies, or any other off-street motorized vehicles of any type except for snowmobiles.

3. The outlot shall be maintained by Owner or its successors and assigns, as agricultural land consistent with the requirements of this deed restriction. If the outlot is not maintained then the Town of Summit shall notify Owner in writing, and if Owner shall not correct the condition within 50 days, then the Town can take the following action:

The Town can provide such maintenance and charge the cost of the maintenance against the Owner, which shall include an administrative charge of 20% of the actual cost, such administrative cost being established to defray the cost of mailing and collection the charge. Such charge can be included, if necessary, on the tax bill of the Outlot 1 and collected in the manner of taxes if not paid.

4. Assessment and Partition Rights. Notwithstanding any provision of this agreement to the contrary, if real estate taxes levied against Outlot 1 are delinquent for two consecutive tax years the title and ownership of Outlot 1 shall terminate in the Owner and shall vest in the lot owners of the "Subdivision" and subsequent subdivision additions as tenants in common upon a notice of Tax Delinquency and Transfer of Ownership being sent by Waukesha County to the Owner and to the lot owners and a true copy thereof being filed with the Register of Deeds for Waukesha County. The giving and filing of said notice shall act as a complete conveyance of said Outlot 1, fully and in all respects, as set forth herein, without any other act being required on the part of any party. Taxes outstanding against said Outlot 1, shall follow said Outlot, and shall not abate.

4/30/87  
changed  
to Waukesha  
County  
K.S.

5. This agreement shall continue for 99 years. It may be extended for an additional two periods of 99 years by the consent of the Town Planning Commission or successor government and 51% of the owners of the lots of record at the time of extension in the Shakerville Subdivision and subsequent additions. This easement may be amended by the consent of three-quarters of the owners of the lots of record at the time of extension. Owner and the majority of the members elect of the governing body of the Town of Summit after receiving a recommendation from the Planning Commission.

6. This easement does not grant the public the right to enter the restricted open space for any purpose.

IN WITNESS WHEREOF, Robert A. Lang and N. Susanne Lang, his wife, doing business as Lang Homes Ltd. have caused these presents to be signed.

In the presence of

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Robert A. Lang  
Developer and Owner  
at Oconomowoc, Wisconsin this  
\_\_\_\_ day of \_\_\_\_\_, 1987

LANG HOMES LTD.

By: \_\_\_\_\_  
Robert A. Lang

By: \_\_\_\_\_  
N. Susanne Lang

By: \_\_\_\_\_  
Marine Bank

By: \_\_\_\_\_  
M & I Bank