



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

## AGENDA

### Village of Summit Plan Commission Thursday, November 20, 2025, 5:30 p.m. At the Summit Village Hall, 37100 Delafield Road

1. CALL TO ORDER
2. ROLL CALL AND CONFIRM POSTING
3. PLEDGE OF ALLEGIANCE
4. MINUTES
  - October 16, 2025
5. Next meeting date – proposed for Thursday, December 18, 2025, at 5:30 p.m.
6. **PUBLIC HEARINGS:**
  - A. Receive comments and discuss a proposed request by Bryant and Emma Nelson, property owners, for a Special Exception in accordance with Section 111-96(b)(6) of the Village of Summit Zoning and Shoreland Protection Ordinance to vertically expand the existing single-family residence that is located within the side yard setback on the west side of the property. The property is located at 34845 Elm Street (SUMT0670049).
  - B. Receive comments and discuss a proposed request by Matthew and Maggie Katz, property owners, for the after-the-fact construction of a retaining wall within five feet of the south lot line in accordance with Section 111-73(c)(1)b. on property located at 1707 N. Waterville Road (SUMT0672001).
7. **REGULAR BUSINESS:**
  - A. Discussion and action on request by Bryant and Emma Nelson, property owners, for a Special Exception in accordance with Section 111-96(b)(6) of the Village of Summit Zoning and Shoreland Protection Ordinance to vertically expand the existing single-family residence that is located within the side yard setback on the west side of the property. The property is located at 34845 Elm Street (SUMT0670049).
  - B. Discussion and action on request by Matthew and Maggie Katz, property owners, for the after-the-fact construction of a retaining wall within five feet of the south lot line in accordance with Section 111-73(c)(1)b. on property located at 1707 N. Waterville Road (SUMT0672001).
  - C. Discussion and action on request of Ryan Buck, on behalf of White Stone Community Church, for Site Development Plan approval to expand the parking lot located at 2517 N. Dousman Road (SUMT0637999008).
  - D. Discussion and action on request of Lola and Bob Loepfe for a Certified Survey Map to create three lots from two lots on lands including SUMT0625990 and SUMT0625996. The southern property has an address of 2937 N. Mill Road.

8. **UPDATE** regarding Village Board action on Plan Commission matters

9. **ADJOURN** Plan Commission meeting

Respectfully submitted,

Amy Barrows, Village Planner

**Next meeting date: December 18, 2025**

**Posted: November 14, 2025**

\*\*\*\*\* Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service contact the Village Hall at 567-2757.

\*\*\*\*\* It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any other governmental body except by the Village of Summit Plan Commission noticed above.



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**PUBLIC HEARING NOTICES**  
**VILLAGE OF SUMMIT, WISCONSIN**

*Thursday, November 20, 2025*

Please be advised that the Village of Summit Plan Commission will hold a public hearing on **Thursday, November 20, 2025, at 5:30 p.m.**, at the Summit Village Hall located at 37100 Delafield Road, Summit, Wisconsin. The purpose of the hearing is to receive comments and discuss a proposed request by Bryant and Emma Nelson, property owners, for a Special Exception in accordance with Section 111-96(b)(6) of the Village of Summit Zoning and Shoreland Protection Ordinance to vertically expand the existing single-family residence that is located within the side yard setback on the west side of the property. The property is located at 34845 Elm Street (SUMT0670049).

Immediately following the above noticed public hearing, another public hearing will be held by the Village of Summit Plan Commission at the Summit Village Hall located at 37100 Delafield Road, Summit, Wisconsin, at which time the Plan Commission will receive comments and discuss a proposed request by Matthew and Maggie Katz, property owners, for the after-the-fact construction of a retaining wall within five feet of the south lot line in accordance with Section 111-73(c)(1)b. on property located at 1707 N. Waterville Road (SUMT0672001).

Information regarding these applications is available for review at the Village of Summit Village Hall, 37100 Delafield Road, during regular business hours. Citizens with written comments regarding these public hearings may email those comments to the Village Deputy Clerk at [deputyclerk@villageofsummitwi.gov](mailto:deputyclerk@villageofsummitwi.gov) or by using this link: <https://villageofsummit.wi.gov/contact-comment/> and those comments will be included in the meeting packet. The deadline to receive written comments is noon on Thursday, November 13, 2025. Verbal comments may be provided at the meeting. For more information regarding this public hearing, please contact Amy Barrows, Village Planner, at the Summit Village Hall (262) 567-2757.

All interested parties will be heard.

VILLAGE OF SUMMIT

Amy Barrows, Village Planner

Published: November 6 and November 13, 2025  
Posted: November 4, 2025

**Bryant & Emma Nelson – Special Exception  
Vertical Addition to Residence within Offset  
34845 Elm Street (SUMT0670049)  
11/20/2025 Plan Commission Meeting**

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Staff Report

Village of Summit, Wisconsin

Property Owner:	Bryant & Emma Nelson
Applicant:	Same
Zoning:	R-4 Cottage Residential 26,000 sq. ft. density/20,000 sq. ft. lot size with Environmental Corridor Overlay
Land Use Plan:	SF Residential 0.8-acre density

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**Possible Motion:**

*Motion to approve a special exception for a vertical addition to an existing residence provided the addition is no closer to the offset than the existing structure and provided the addition is constructed in accordance with the plans presented to Plan Commission on November 20, 2025.*

*Prior to commencing any construction activities for the addition, the applicant shall obtain all necessary permits for the after-the-fact construction of a retaining wall.*

**Summary:**

The property is 13,865.4 sq. ft. in size and located on the northwest shore of Lower Nemahbin Lake. The subject property has an existing residence, detached garage, and shed. The residence is nonconforming to the side yard setback. The residence is located 9 ft. from the west lot line, whereas 10 ft. is required. The shed is nonconforming to the shore setback and side yard setback. The detached garage is nonconforming to the road setback and side yard setback.

The applicant is proposing to raze the existing 2<sup>nd</sup> story of the residence that consists of approximately half of the existing footprint and construct a larger 2<sup>nd</sup> story addition to the residence. The 1<sup>st</sup> floor of the residence is 900 sq. ft. This will remain unchanged. The 2<sup>nd</sup> story of the residence is currently 326 sq. ft. An additional 171 sq. ft. is proposed. The 2<sup>nd</sup> story will have an overall square footage of 497 sq. ft. The residence currently doesn't comply with the minimum square footage standards of 1,000 sq. ft. on the 1<sup>st</sup> floor and 1,400 sq. ft. overall. With the addition, the residence will be increased in size to 1,397 sq. ft. The addition will extend to the west wall of the residence, which is 9 ft. from the lot line, but will not extend any closer to the lot line than the existing structure. The residence on the adjacent property to the west is located as close as 3 ft. from the adjoining lot line. The required side yard setback is 10 ft. As part of making improvements to the property, the applicant has started the construction of creating an exposed lower level facing the lake, which also includes the construction of retaining walls. The applicant intends on constructing a patio. The applicant has not requested approvals for the retaining wall construction. The proposed patio complies with the zoning ordinance requirements and has been included on the zoning permit application.

Section 111-96(b)(6) states: "In the case of an extension or addition of a structure into the minimum offset distance, and where such extension would not extend closer to the lot line than the existing structure to which it is attached, the Plan Commission may approve a special

*Nelson – Special Exception*

exception to allow such an extension or addition as long as said extension or addition does not encroach closer to the site lot line than an existing structure to which it is attached.” All special exceptions require a public hearing posted as a Class 2 Notice.

A special exception is a request for a minor adjustment to the requirements of the zoning ordinance only where authorized by the ordinance and owing to special conditions of the property. The special exception must be necessary and desirable and must not adversely affect adjacent property owners. The plan commission must consider whether the approval would be hazardous, harmful, noxious, offensive, or a nuisance to the surrounding neighborhood by reason of physical, social, or economic effects and may impose such restrictions or conditions they deem necessary for the protection of adjacent properties and the public interest and welfare.

The vertical addition to the existing residence is minor in nature. The structure is 9 ft. from the west lot line, whereas a setback of 10 ft. is required. The tallest point of the existing residence will not change. The residence, including the addition, is reasonable in size and still nonconforming to the minimum size requirements.

# PLAN REVIEW & BIDDING DOCUMENTS FOR: NELSON RESIDENCE

## INTERIOR & EXTERIOR ALTERATIONS

34845 ELM STREET,  
SUMMIT, WI 53066

### ABBREVIATIONS

<b>A</b> AFC air condition A/E Architect/Engineer ACT acoustical ceiling tile ADD additional addendum AFC above finished counter AFF above finished floor AFG above finished grade AFS above finished slab ALT alternate ALUM aluminum APPD approved APT apartment AP acoustic panel ASC above suspended ceiling	<b>C</b> (continued) CL centerline CLG ceiling CLR clear CM construction management CMU concrete masonry unit CO cleanout COL column CONC concrete CORR corridor CONT continuous CPT carpet CSWK casework CT ceramic tile CTB ceramic tile base	<b>D</b> DEMO demolition DEPT department DF drinking fountain DFS door and frame schedule DIA diameter DP decorative panel DR door DR FR door frame DTL detail DS downspout DW dishwasher DWG drawing	<b>E</b> (continued) F filler FA fire alarm FA fluid applied FAB fabric FC file cabinet FD floor drain FE back mtd fire extinguisher FEC fire extinguisher cabinet FHC fire hose cabinet FLR floor FM factory mutual FO finished opening FP fire protection FPL fireplace FT feet, foot FTG footing	<b>G</b> GA gauge GALV galvanized GB grab bar GC general contractor GL glass GLU LAM glue laminated wood GR grade, grading GT grout GYP BD gypsum board	<b>H</b> HB hose bibb HC hollow core HCP handicapped HM hollow metal HORIZ horizontal HSKP housekeeping HGT height HVAC heating, ventilating & air conditioning HW hot water HWY highway	<b>I</b> ID inside diameter INSUL insulation INT interior J JA janitor sink	<b>L</b> LAM laminate LAV lavatory LL live load LVT luxury vinyl tile	<b>M</b> MAX maximum MC modular carpet tile MECH mechanical MFR manufacturer MICRO microwave oven MIN minimum MIN minute MISC miscellaneous MO masonry opening MS mop sink MTD mounted MTL metal	<b>N</b> N north NA not applicable NIC not in contract NO number NM nominal NTS not to scale	<b>O</b> OC on center OD outside diameter OF/CI owner furnished, contractor installed OF/OI owner furnished, owner installed OF/VI owner furnished, vendor installed OH DR overhead (ceiling) door OPH opposite hand OPNG opening	<b>P</b> (continued) PSI pounds per square inch PT paint, painted PTN partition	<b>Q</b> QT quarry tile QTB quarry tile base	<b>R</b> RB rubber base REF reflected RCP ceiling plan RC roof conductor RD roof drain REBAR reinforcing steel bars REC recess REF reference REF refrigerator RF resilient flooring REV revision RFS room finish schedule RO rough opening	<b>S</b> S south SAN sanitary SC sealed concrete SC solid core SF square foot SIM similar SP spandrel SS solid surface SST stainless steel ST stain ST stair STN stone STNB stone base STRUCT structure	<b>T</b> (continued) TKBD tackboard TO top of TOB top of beam TOC top of concrete TOJ top of joist TOPO topography TOS top of slab TOS top of steel TP toilet partition TV television TYP typical	<b>U</b> UNO unless noted otherwise	<b>V</b> VCT vinyl composition tile VEND vending machine VERT vertical VFCI vendor furnished, contractor installed VF/OI vendor furnished, owner installed VF/VI vendor furnished, vendor installed VNR veneer VIF verify in field VWC vinyl wall covering	<b>W</b> W west W with W/O without WC water closet WC wall covering WD wood WDB wood base WDV wood veneer WH water heater WM walk-off mat WP wall protection WP workpoint WT window treatment	<b>X</b> XPS extruded polystyrene board (insulated)
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SHEET INDEX	
00 GENERAL	
TS100	COVER/INDEX
01 SURVEY	
S-1	EXISTING SITE SURVEY
06 ARCHITECTURAL	
A100	FIRST LEVEL FLOOR PLAN
A101	SECOND LEVEL FLOOR PLAN
A200.1	PROPOSED BUILDING ELEVATIONS
A200.1-D	EXISTING BUILDING ELEVATIONS - DEMO
A201.1	PROPOSED EXTERIOR PERSPECTIVE VIEWS
A202	EXISTING BUILDING IMAGES FOR REF.
A230	PROPOSED INTERIOR PERSPECTIVE VIEWS
A600	DOOR & FRAME SCHEDULE, TYPES AND DETAILS

### ISSUANCES

PLAN REVIEW AND BIDDING DOCUMENTS  
UPDATED PLAN REVIEW

24 SEPTEMBER 2025  
7 NOVEMBER 2025



N16 W23217 STONE RIDGE DRIVE, SUITE 300  
WAUKESHA, WI 53188 | www.jaknetter.com  
office 262 513 9800 | fax 262 513 9815

### PROJECT INFORMATION:

NELSON HOUSE

34845 ELM STREET,  
SUMMIT, WI 53066

### DRAWING ISSUANCE:

### PLAN REVIEW

### REVISIONS

#	DATE	DESCRIPTION
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7 NOVEMBER 2025

PROJECT NUMBER PROJECT MANAGER  
JK

### COVER/INDEX

# TS100



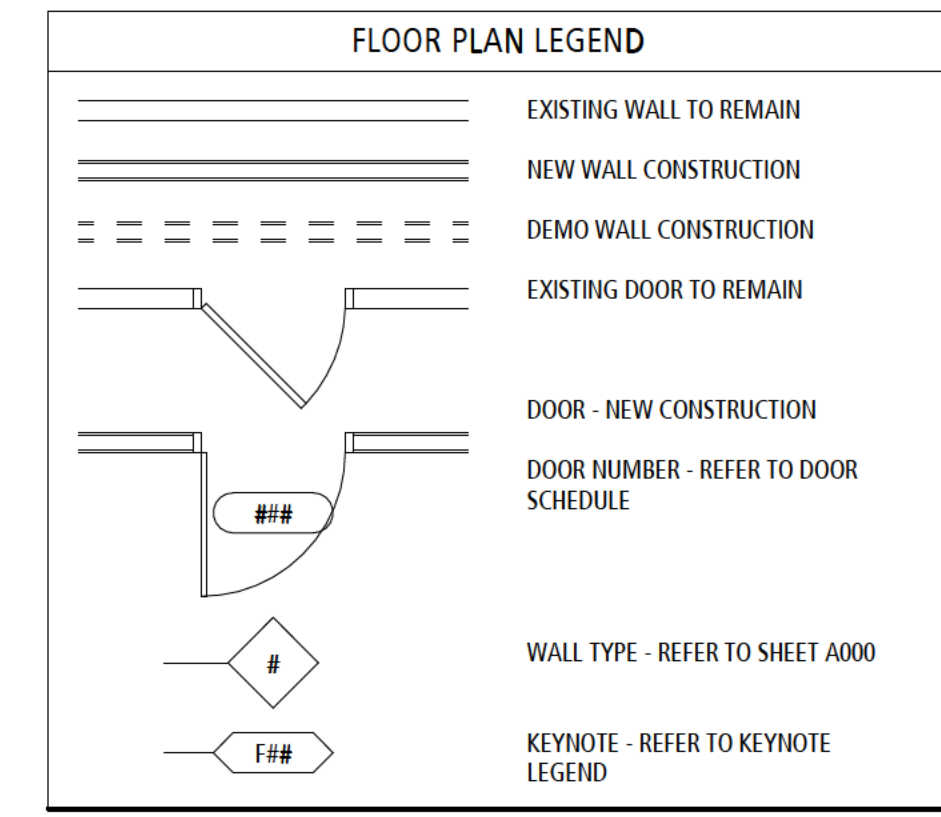
1 EXISTING 1ST FLOOR PHOTO - 1  
3/8" = 1'-0"



2 EXISTING 1ST FLOOR PHOTO - 2  
3/8" = 1'-0"



3 EXISTING 1ST FLOOR PHOTO - 3  
3/8" = 1'-0"



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DRAWING ISSUANCE:

PLAN REVIEW

REVISIONS

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7 NOVEMBER 2025

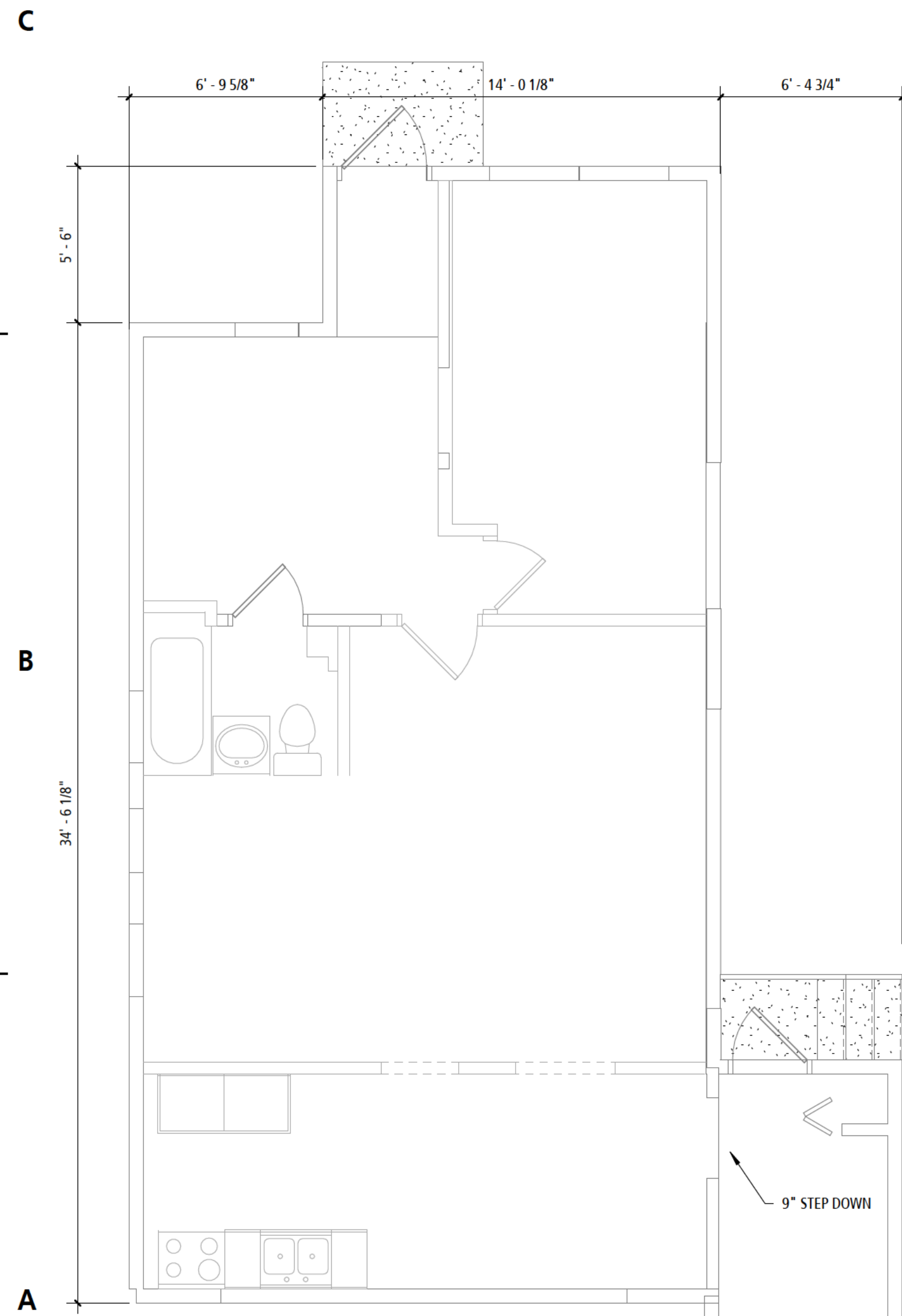
PROJECT NUMBER PROJECT MANAGER

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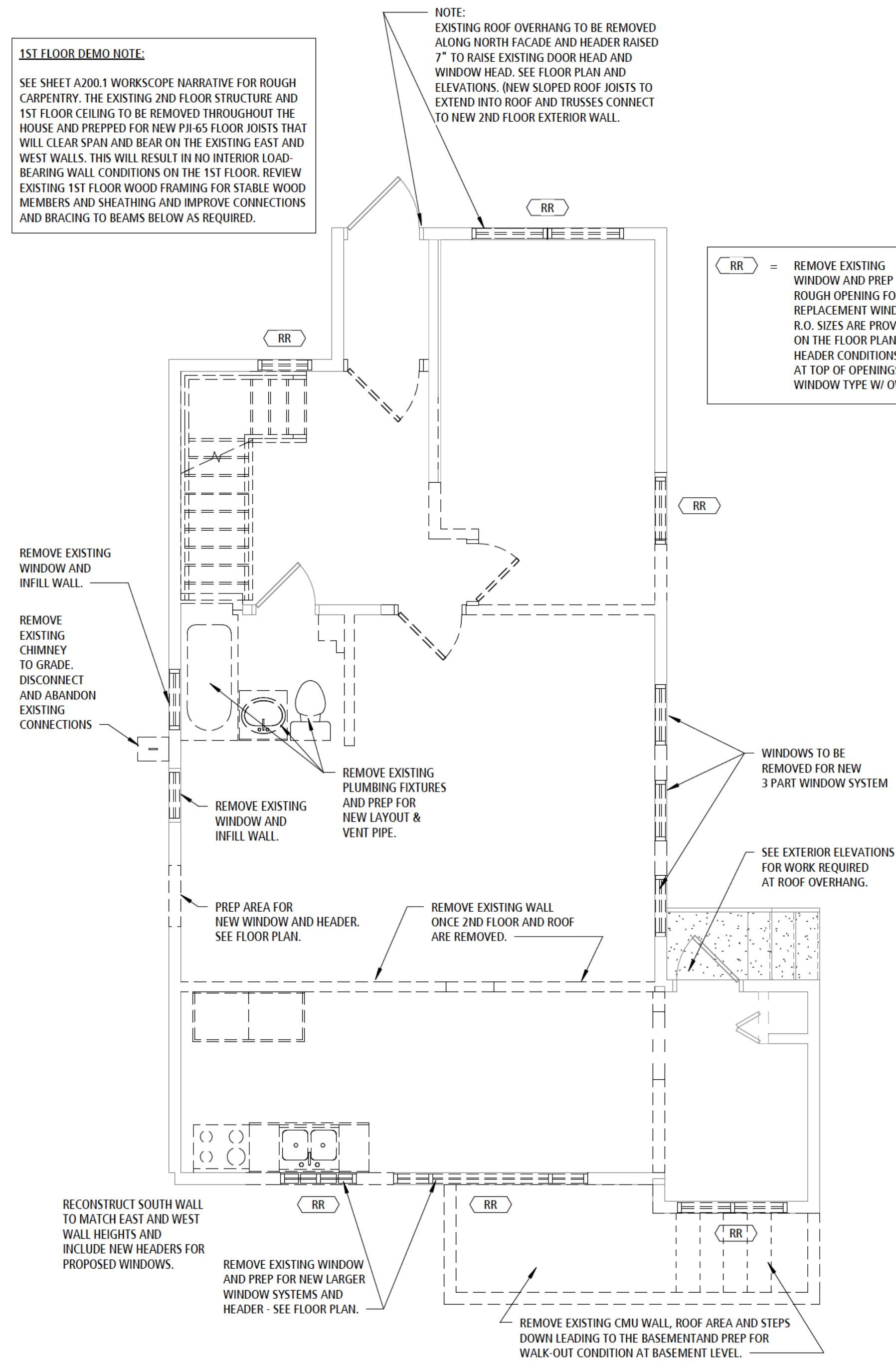
FIRST LEVEL FLOOR  
PLAN

A100

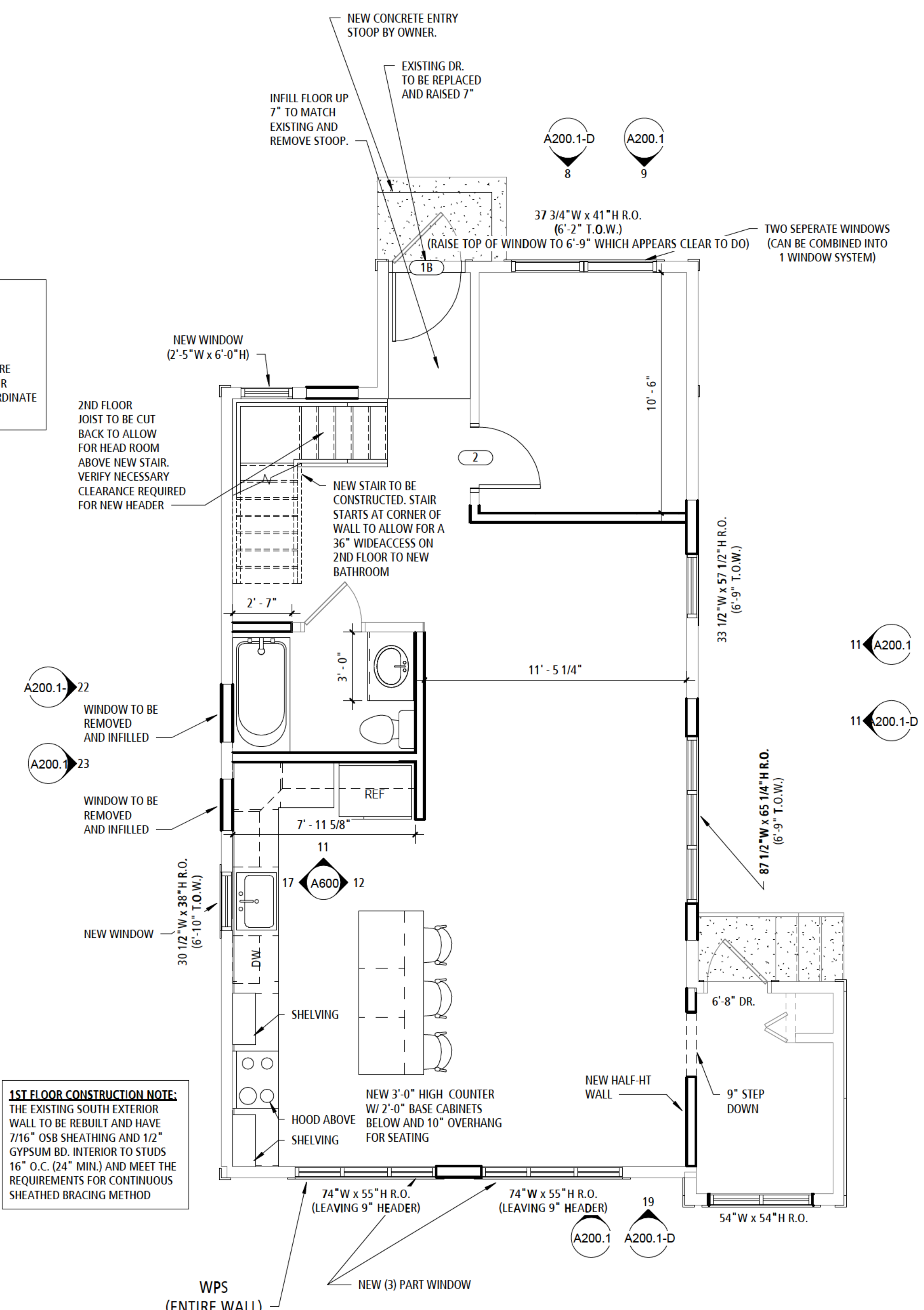
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19 EXISTING FIRST LEVEL FLOOR PLAN FOR REFERENCE  
1/4" = 1'-0" 7/1 A200



21 FIRST LEVEL DEMOLITION FLOOR PLAN  
1/4" = 1'-0" 7/1 A200



23 PROPOSED FIRST LEVEL FLOOR PLAN  
1/4" = 1'-0" 7/1 A200



1 EXISTING 2ND FLOOR PHOTO - 1  
3/8" = 1'-0"



2 EXISTING 2ND FLOOR PHOTO - 2  
3/8" = 1'-0"



3 EXISTING 2ND FLOOR PHOTO - 3  
3/8" = 1'-0"

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	DEMO WALL CONSTRUCTION
	EXISTING DOOR TO REMAIN
	DOOR - NEW CONSTRUCTION
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WALL TYPE - REFER TO SHEET A000
	KEYNOTE - REFER TO KEYNOTE LEGEND

PROJECT INFORMATION:

NELSON HOUSE

34845 ELM STREET,  
SUMMIT, WI 53066

DRAWING ISSUANCE:

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7 NOVEMBER 2025

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SECOND LEVEL FLOOR PLAN

A101

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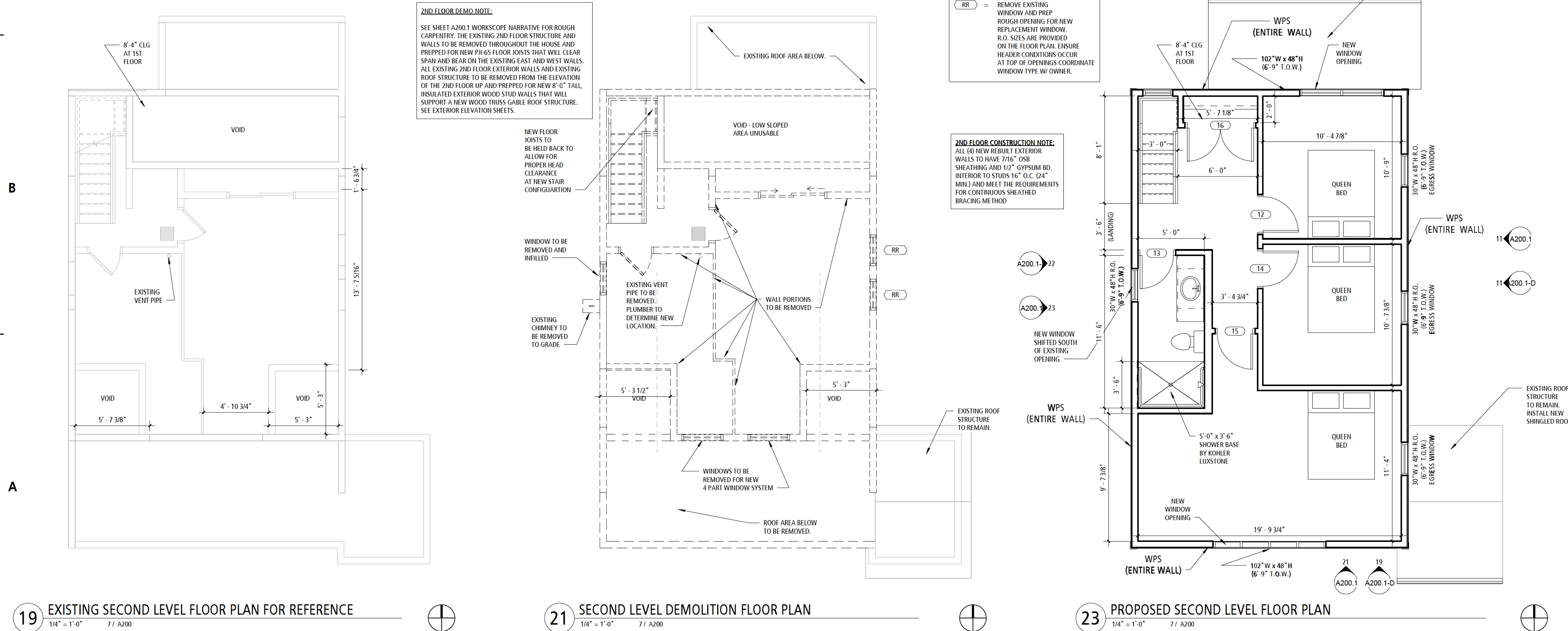
Method	Material Min. Thickness or Size	Max Wall Height	Min. Braced Wall Panel Width or Brace Angle	Minimum Fasteners	Maximum Spacing
<b>Intermittent Bracing Methods</b>					
LBP (L-Plate Bracing)	1/4 wood or approved metal	10'	45° angle and max 16" o.c. stud spacing	2-8d common nails or 3-8d box nails (3 3/8" long x 0.132" diameter)	Per stud and top and bottom plates*
DWB (Diagonal Wood Bracing)	1/2" (1" nominal) for maximum 24" o.c. stud spacing	10'	48°	2-8d box nails (3 3/8" long x 0.132" diameter) or 2 - 1 3/4" long 16-gauge staples	Per stud and top and bottom plates*
WSP (Wood Structural Panel)	3/8" for max 16" o.c. stud spacing 7/8" for maximum 24" o.c. stud spacing	10'	48°	6d common nail or 8d box nail (3 3/8" long x 0.132" diameter) or 2x2" or 1/2" crown 16-gauge staples, 1 1/4" long	6" edges, 12" field (nails) 3" edges, 6" field (staples)
SFB (Structural Fiberboard)	1/2" for maximum 24" o.c. stud spacing	10'	48°	galvanized roofing nails or 1" crown 16-gauge staples, 1 1/4" long	3" edges, 6" field
GB (Gypsum board installed on both sides of wall)	1/2" for maximum 24" o.c. stud spacing	10'	90°	5d cooler nails or #6 screws	7" edges, 7" field (including top and bottom plates)

Method	Material Min. Thickness or Size	Max Wall Height	Min. Braced Wall Panel Width or Brace Angle	Minimum Fasteners	Maximum Spacing
<b>Continuous Sheathed Bracing Methods</b>					
CS-WSP* (Continuous Sheathed Wall Panel)	3/8" for max 16" o.c. stud spacing 7/8" for maximum 24" o.c. stud spacing	12'	Refer to Table 321.25-H	Same as WSP	Same as WSP
CS-SFB* (Continuous Sheathed Wall Panel)	1/2" for maximum 16" o.c. stud spacing	12'	Refer to Table 321.25-H	Same as SFB	Same as SFB
PF (Portal Frame)	7/16"	12'	Refer to Figure 321.25-A	Refer to Figure 321.25-A	Refer to Figure 321.25-A

**NEW AND REBUILT EXTERIOR WALL BRACING COMPLIANCE:**

THE EXISTING 1ST FLOOR EXTERIOR WALL ON THE SOUTH FAÇADE WILL BE REMOVED AND REBUILT TO AN 8'-0" HT. WITH 2X4 STUDS AT 16" O.C. THE 2ND FLOOR WILL HAVE (4) NEW EXTERIOR WALLS SET ON A NEW PJI-65 WOOD JOIST FLOOR SYSTEM - THESE NEW WALLS ARE REPLACING THE EXISTING WALLS ON ALL (4) SIDES OF THE HOUSE. THE NEWLY PROPOSED EXTERIOR WALLS ON THE 1ST AND SECOND FLOOR WILL ADHERE TO THE "UDC WALL BRACING PROVISIONS AND REQUIREMENTS" FOR CONSTRUCTION. ALL NEW EXTERIOR WALLS WILL UTILIZE 1/2" GYPSUM BOARD ATTACHED TO THE INTERIOR FACE OF THE STUD AND HAVE FULL HT 7/16" OSB (WSP - WOOD STRUCTURAL PANEL) ATTACHED TO THE EXTERIOR FACE OF THE STUD IN ORDER TO ACHIEVE A "CONTINUOUS SHEATHED BRACING METHOD." SEE FLOOR PLAN SHEETS FOR DELINEATION IDENTIFYING THE WPS LOCATIONS OF WALLS BEING BUILT / REBUILT ON THE 1ST AND 2ND FLOORS.

INSTALL NEW SLOPING MONO TRUSS ROOF STRUCTURE BEARING ON TOP OF THE EXISTING NORTH WALL AND CONNECTING TO THE NEW 8'-0" EXTERIOR WALL ABOVE. THIS WILL REQUIRE REMOVAL OF EXISTING SHEATHING AND KNEE WALL BRACING SHOULD OCCUR BELOW CONNECTION POINT. (SEE EXTERIOR CONNECTIONS.)



19 EXISTING SECOND LEVEL FLOOR PLAN FOR REFERENCE  
1/4" = 1'-0" 7/1 A200

21 SECOND LEVEL DEMOLITION FLOOR PLAN  
1/4" = 1'-0" 7/1 A200

23 PROPOSED SECOND LEVEL FLOOR PLAN  
1/4" = 1'-0" 7/1 A200

PROJECT INFORMATION:

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 SUMMIT, WI 53066

DRAWING ISSUANCE:

**PLAN REVIEW**

REVISIONS

#	DATE	DESCRIPTION

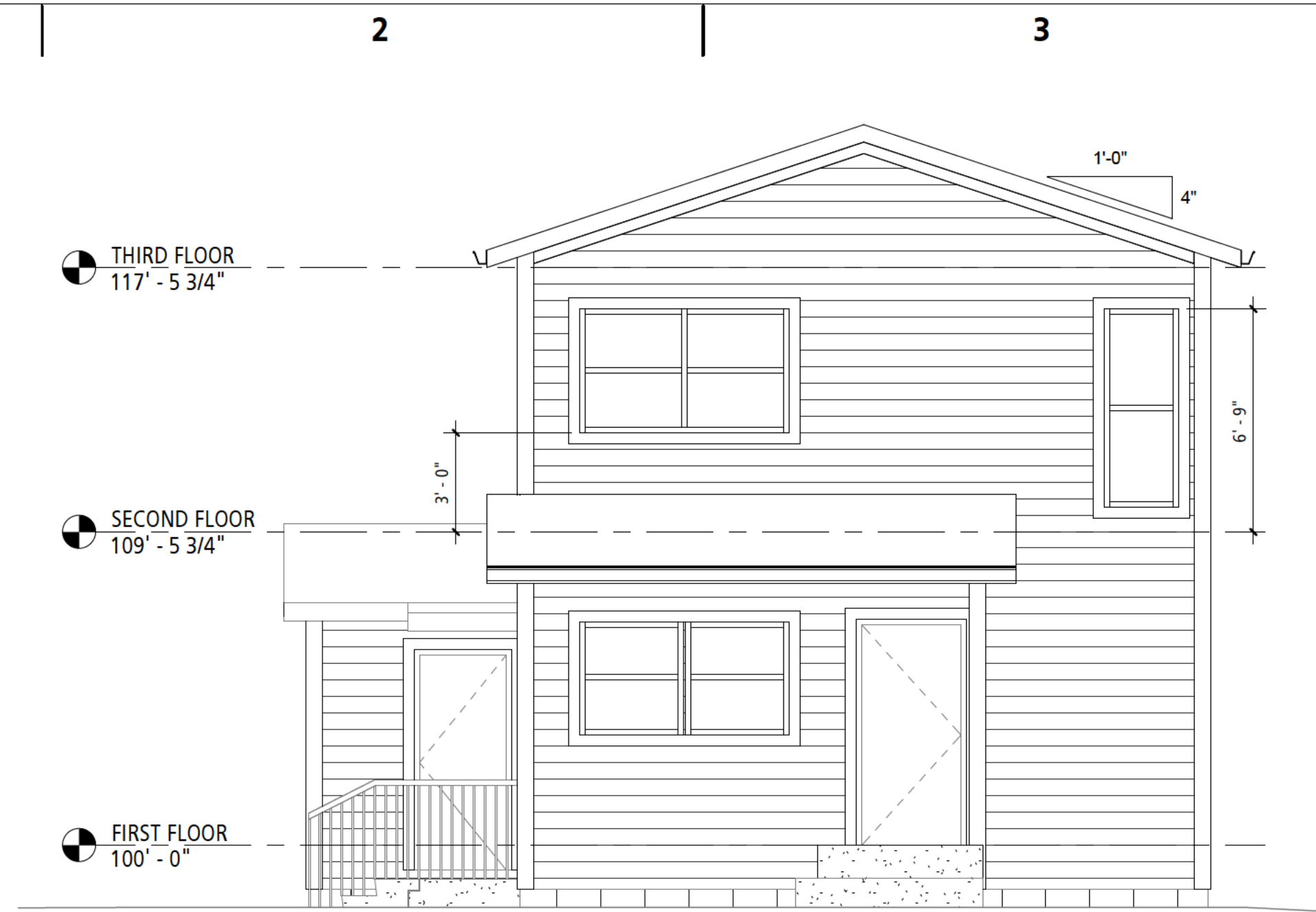
**7 NOVEMBER 2025**

PROJECT NUMBER PROJECT MANAGER

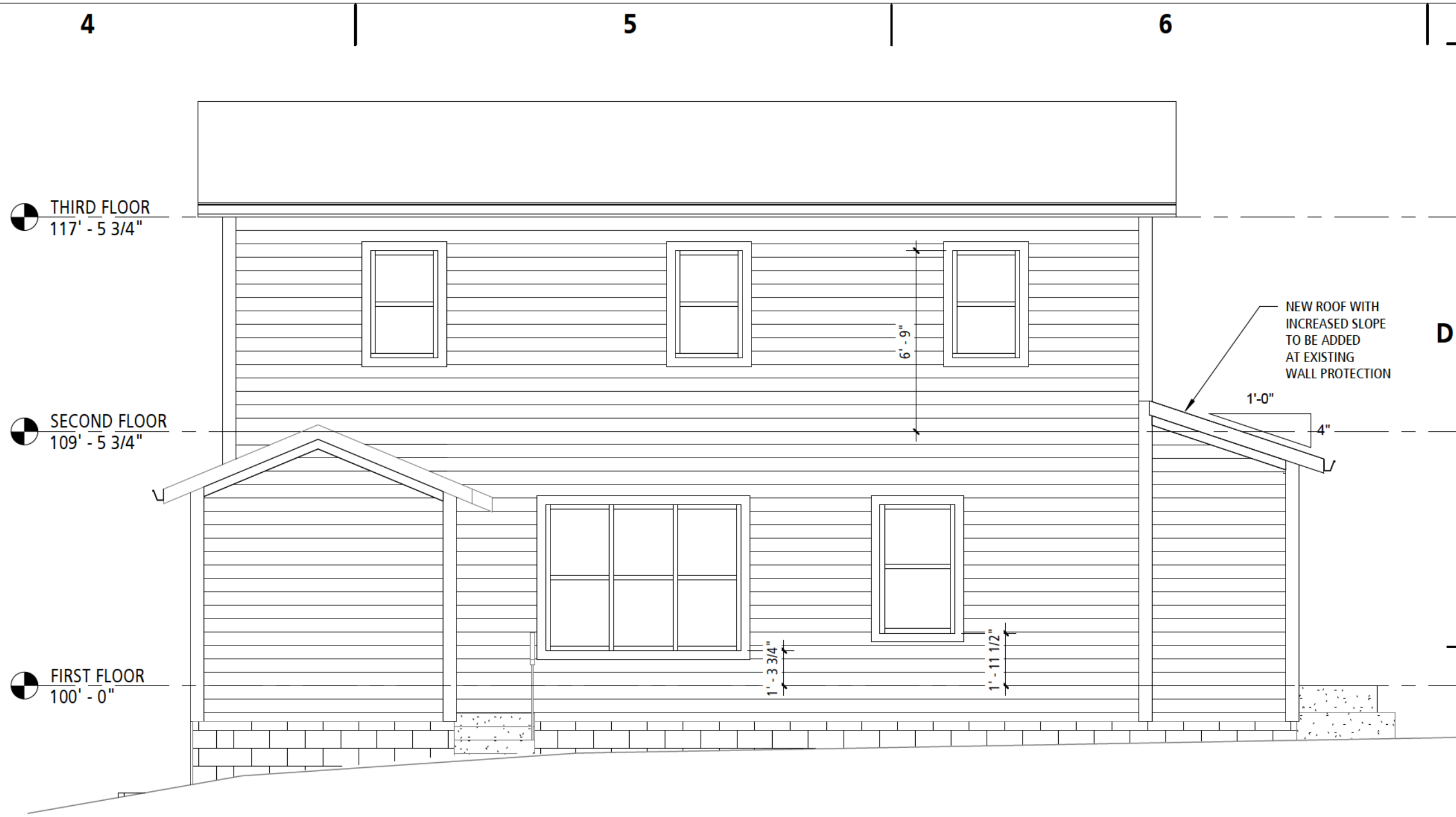
**JK**

**PROPOSED BUILDING  
 ELEVATIONS**

**A200.1**



**9 OVERALL PROPOSED NORTH BUILDING ELEVATION**  
 1/4" = 1'-0" 23 / A100



**11 OVERALL PROPOSED EAST BUILDING ELEVATION**  
 1/4" = 1'-0" 23 / A100

**STRUCTURAL WORKSCOPE DEFINITION FOR EXISTING HOUSE ALTERATION:**

**2ND FLOOR ROUGH CARPENTRY AND ROOF DESIGN:**

THE EXISTING 2ND FLOOR STRUCTURE IS INADEQUATELY DESIGNED AND SIZED WITH 2X6 MEMBERS. THE EXISTING ROOF THAT INCLUDES A DORMER ON THE SOUTH SIDE IS SAGGING AND INADEQUATELY DESIGNED WITH LACK OF PROPER HEADERS AND DEFICIENT STICK-FRAMED 2X4 ROOF JOISTS. AS A RESULT, THE EXISTING 2ND FLOOR JOISTS AND ROOF WILL BE REMOVED AND PREPPED FOR A NEW 2ND FLOOR STRUCTURE WITH NEW 8'-0" HIGH, 2X4 WOOD STUD WALLS CONSTRUCTED AT 16" O.C., BEARING OVER THE EXISTING (4) EXTERIOR BEARING WALLS AND BASEMENT FOUNDATION WALLS. NEW 4:12 PITCHED GABLE ROOF TRUSSES WILL BE ADDED ON TOP OF THE NEW SECOND FLOOR WALLS - SEE DESCRIPTION BELOW:

ALL NEW WORK TO ADHERE TO CURRENT INDUSTRY CONSTRUCTION STANDARDS FOR RESIDENTIAL MEANS AND METHODS CONSTRUCTION. DEMO/REMOVE ENTIRE SECOND STORY, INCLUDING THE 2ND FLOOR, 1ST FLOOR CEILING, EXISTING ROOF STRUCTURE AND EXISTING EXTERIOR SIDEWALLS ABOVE THE 2ND FLOOR ELEVATION. INSTALL A NEW DOUBLE TOP PLATE AROUND THE PERIMETER OF THE HOUSE FOR NEW 2ND FLOOR BEARING PURPOSES AND RAISE UP/RECONSTRUCT THE EXISTING SOUTH WALL TO MATCH THE SAME HEIGHT AS THE REST OF THE HOUSE. INSTALL NEW P11 6S FLOOR JOISTS (11 7/8" DEEP) AT 16" O.C., CLEAR SPANNING EAST/WEST +/- 19'-10" WITH I-JOIST RIM BOARDS AROUND THE PERIMETER. (SEE JOIST SPEC SHEET INFORMATION PROVIDED ON SHEET A600). INSTALL 3/4" T&G OSB SHEATHING, GLUED AND SCREWED TO THE NEW FLOOR JOISTS. FRAME NEW EXTERIOR WALLS WITH 2X4 WOOD STUDS, 16" O.C. AND FRAME OUT WINDOW OPENINGS WITH NEW HEADERS PER PLAN. INSTALL NEW 4:12 PITCH RAFTER TRUSSES WITH 12" OVERHANGS 16" O.C. AND FASTEN WITH TIES TO WALL. INSTALL 1/2" OSB SHEATHING OVER TRUSSES WITH HURRICANE CLIPS.

PROVIDE WRITTEN SUMMARY FOR TYPICAL FELT, ICE & WATER SHIELD AND NEW SHINGLE INSTALLATION WITH WARRANTY. INSTALL GRACE ICE AND WATER SHIELD 6'-0" FROM EAVES AND AROUND ANY PENETRATIONS AND VALLEYS. INSTALL SYNTHETIC 30# FELT ON THE REST OF THE ROOF AREA. INSTALL WHITE ALUMINUM DRIP EDGE ON RAKES AND EAVES. INSTALL GAF TIMBERLINE SHINGLES WITH LIFETIME WARRANTY (COLOR SELECTED BY OWNER). INSTALL SHINGLE OVER STYLE RIDGEVENT. INSTALL STEP FLASHING AND HEADWALL FLASHING WHERE ROOF MEETS SIDING ON NORTH SIDE OF HOUSE. INSTALL 6" WHITE ALUMINUM FASCIA AND WHITE ALUMINUM VENTED SOFFITS. INSTALL 5" ALUMINUM GUTTERS WITH OVERSIZED 3"x4" DOWNSPOUTS. CONTRACTOR TO VERIFY DOWNSPOUT LOCATIONS WITH OWNER.

A TYPICAL BATT INSULATION SYSTEM TO BE INSTALLED IN ALL 2X4 EXTERIOR WALLS WITH VAPOR BARRIER ON THE INTERIOR FACE OF STUD. ROOF TRUSSES TO RECEIVE R-40 BLOWN-IN CELLULOSE INSULATION IN THE BOTTOM OF THE TRUSS AREA WITH A VAPOR BARRIER AND 1/2" DRYWALL ATTACHED TO THE UNDERSIDE OF THE TRUSS. THE NEW ROOF AREA TO HAVE ALUMINUM SOFFITS WITH VENTS TO PROVIDE PROPER AIR FLOW THRU THE NEW RIDGE VENT.

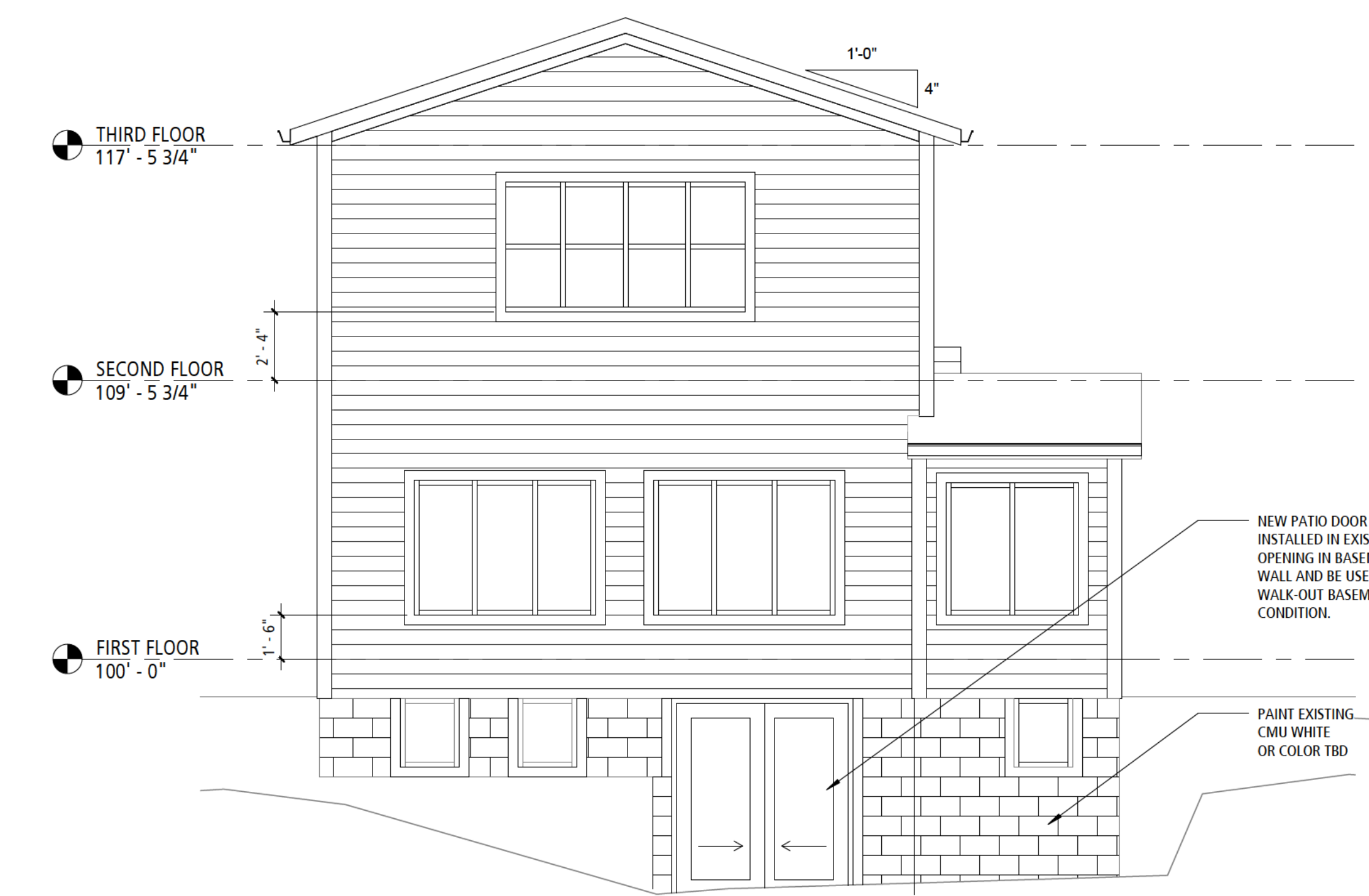
**EXTERIOR FACADE AND WINDOW WORKSCOPE:**

THE EXISTING ALUMINUM SIDING WILL BE REMOVED AND DISCARDED. ALL EXISTING WALL SHEATHING TO BE INSPECTED AND REPLACED AS REQUIRED WITH NEW SHEATHING THAT MATCHES THE EXISTING SHEATHING THICKNESS AND PREPPED FOR NEW LP SMARTSIDE INSTALLATION AND NEW WINDOWS.

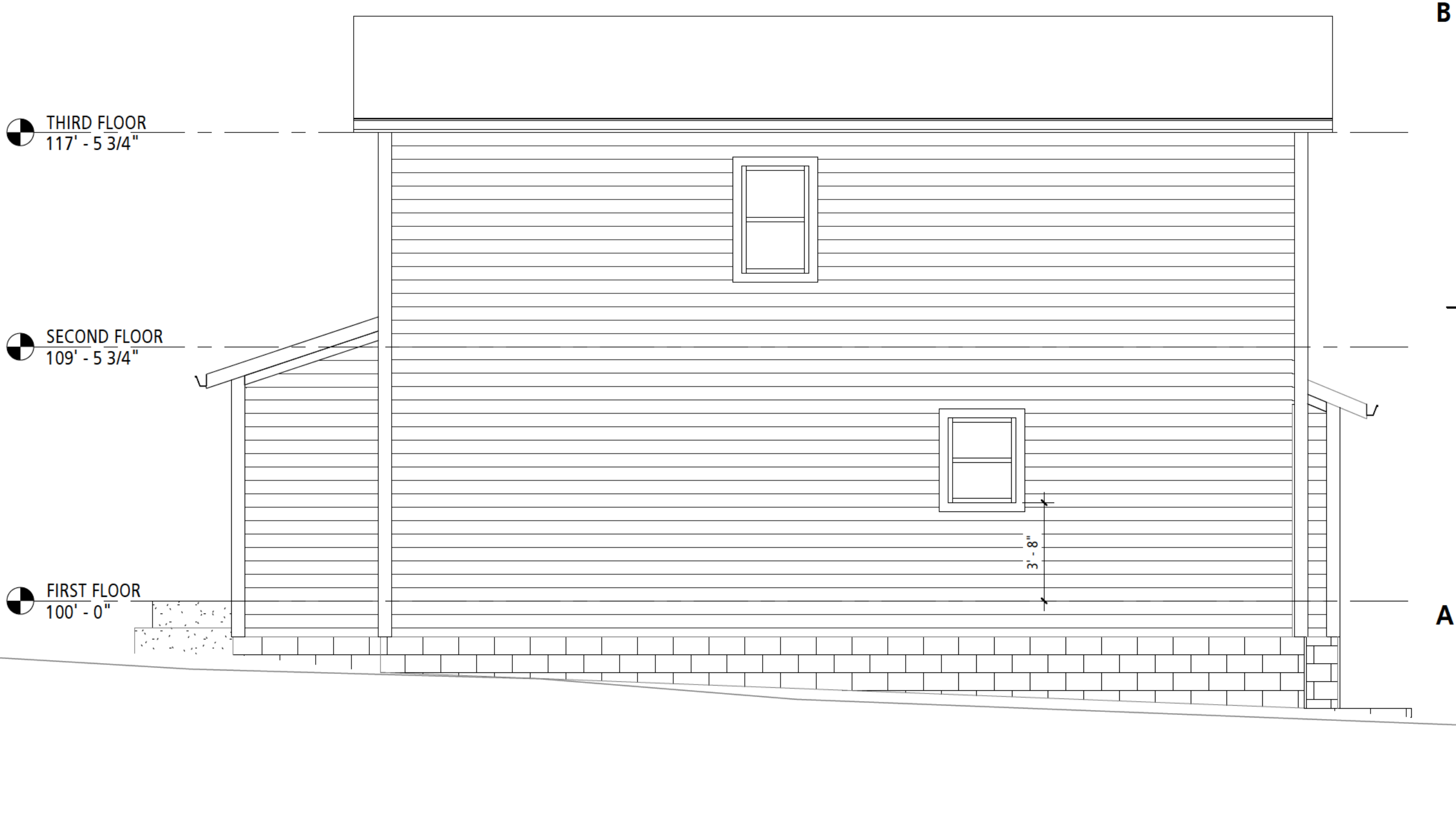
ALL EXISTING WINDOWS TO BE REMOVED AND DISCARDED AND ROUGH OPENINGS PREPPED FOR NEW WINDOWS. (OWNER TO APPROVE PROPOSED WINDOW SYSTEM BY CONTRACTOR). ALL ROUGH OPENING SIZES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO ORDERING. FLOOR PLANS IDENTIFY NEW WINDOW LOCATIONS AND ANTICIPATED ROUGH OPENING SIZES FOR BIDDING PURPOSES. A NEW AIR & MOISTURE BARRIER BY TYVEK (COMMERCIAL GRADE PREFERRED OR EQUAL) SHALL BE ATTACHED TO THE EXTERIOR FACE OF THE SHEATHING WITH TAPED CONDITIONS AT THE OPENINGS AND JOINTS PER MANUFACTURERS RECOMMENDATIONS. PREP AND INSTALL WINDOWS PER MANUFACTURER RECOMMENDATIONS WITH WARRANTY. INSTALL ALLIANCE BELMONT DOUBLE HUNG WINDOWS AS SHOWN PER PLAN. THERE WILL BE (2) 3-LITE (O-F-O) BELMONT CASEMENT WINDOW SYSTEMS INSTALLED IN THE SOUTH FACADE ON THE 1ST FLOOR WITH ALL OTHER WINDOWS BEING DOUBLE HUNG. INSTALL PREFINISHED LP SMARTSIDE SIDING WITH TRIM MATERIALS AND COLORS AS APPROVED BY THE OWNER. INSTALL 6" LP SMART SIDING ON ALL 1ST AND 2ND LEVEL EXTERIOR WALLS OF THE HOUSE TO THE UNDERSIDE OF THE ROOF SOFFIT. CAULK AND PAINT LP SMART SIDE AS REQUIRED AND INSTALL 4" SMART TRIM AROUND ALL NEW WINDOWS AND DOORS, ROOF SOFFIT TRANSITIONS AND CORNERS TO HAVE 6" SMART TRIM BOARD TRIM.

**EXTERIOR MATERIAL FINISH SCHEDULE**

<b>EXTERIOR WINDOW SYSTEM:</b> ALLIANCE BELMONT VINYL WINDOWS, EXT. COLOR: WHITE / INT. COLOR: WHITE WINDOWS TO BE DOUBLE HUNG AND EASEMENT PER ELEVATIONS.	
<b>EXTERIOR SIDING AND TRIM MATERIAL:</b> FACTORY PAINTED LP SMART SIDE 6" LAP SIDING WITH 4" WIDE SMARTSIDE TRIM AROUND WINDOWS AND 6" WIDE SMARTSIDE TRIM AT ALL VERTICAL BUILDING CORNERS AND ROOF EAVE INTERSECTION. COLOR TO BE AS FOLLOWS (ALL SIDING SHD TRIM): WHITE	WHITE
<b>PREFINISHED ALUMINUM FASCIA AND SOFFITS:</b> PREFINISHED ALUMINUM WITH VENTED SOFFIT PANEL, COLOR: WHITE	
<b>ASPHALT ROOF SHINGLES:</b> CERTAINTED DIMENSIONAL SHINGLES, COLOR: DRIFTWOOD	



**21 OVERALL PROPOSED SOUTH BUILDING ELEVATION**  
 1/4" = 1'-0" 23 / A100



**23 OVERALL PROPOSED WEST BUILDING ELEVATION**  
 1/4" = 1'-0" 23 / A100



**1** EXISTING EXTERIOR DOOR TO BASEMENT  
3" = 1'-0"



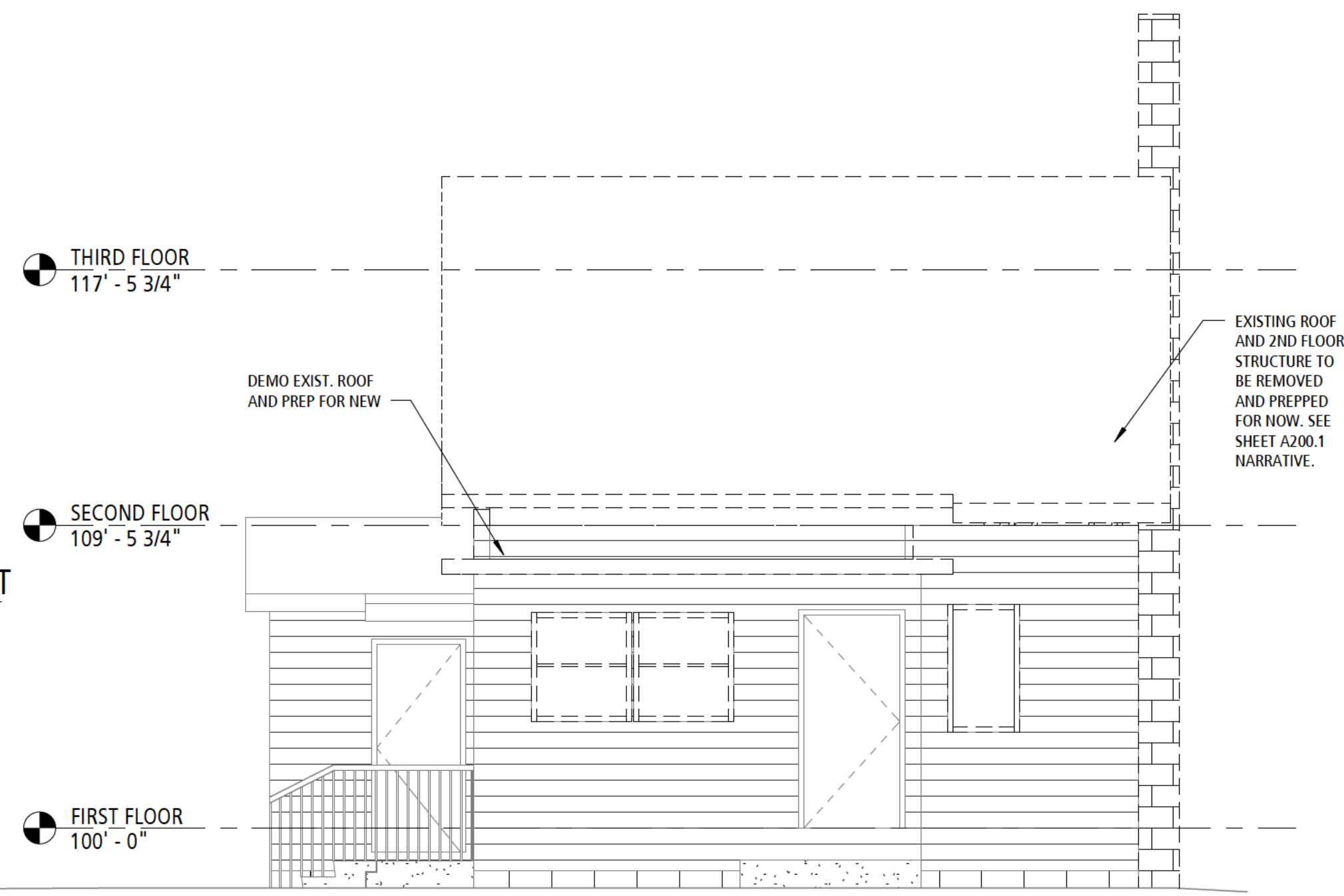
**7** CURRENT CUT PATIO GRADE  
3" = 1'-0"



**13** EXISTING BASEMENT OPENING FOR PATIO DOOR  
3" = 1'-0"



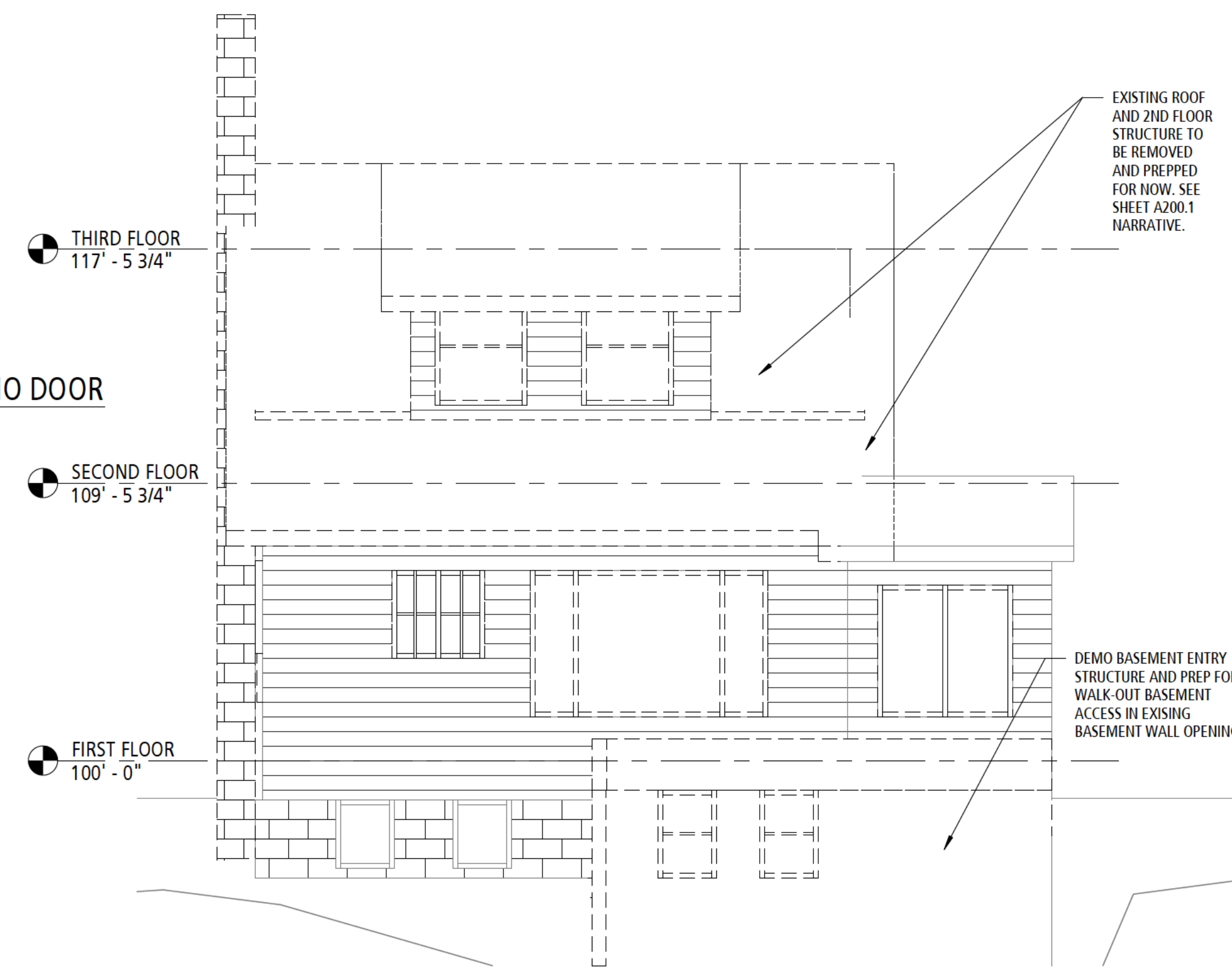
**18** CURRENT CUT-GRADE SOUTH ELEVATION  
3" = 1'-0"



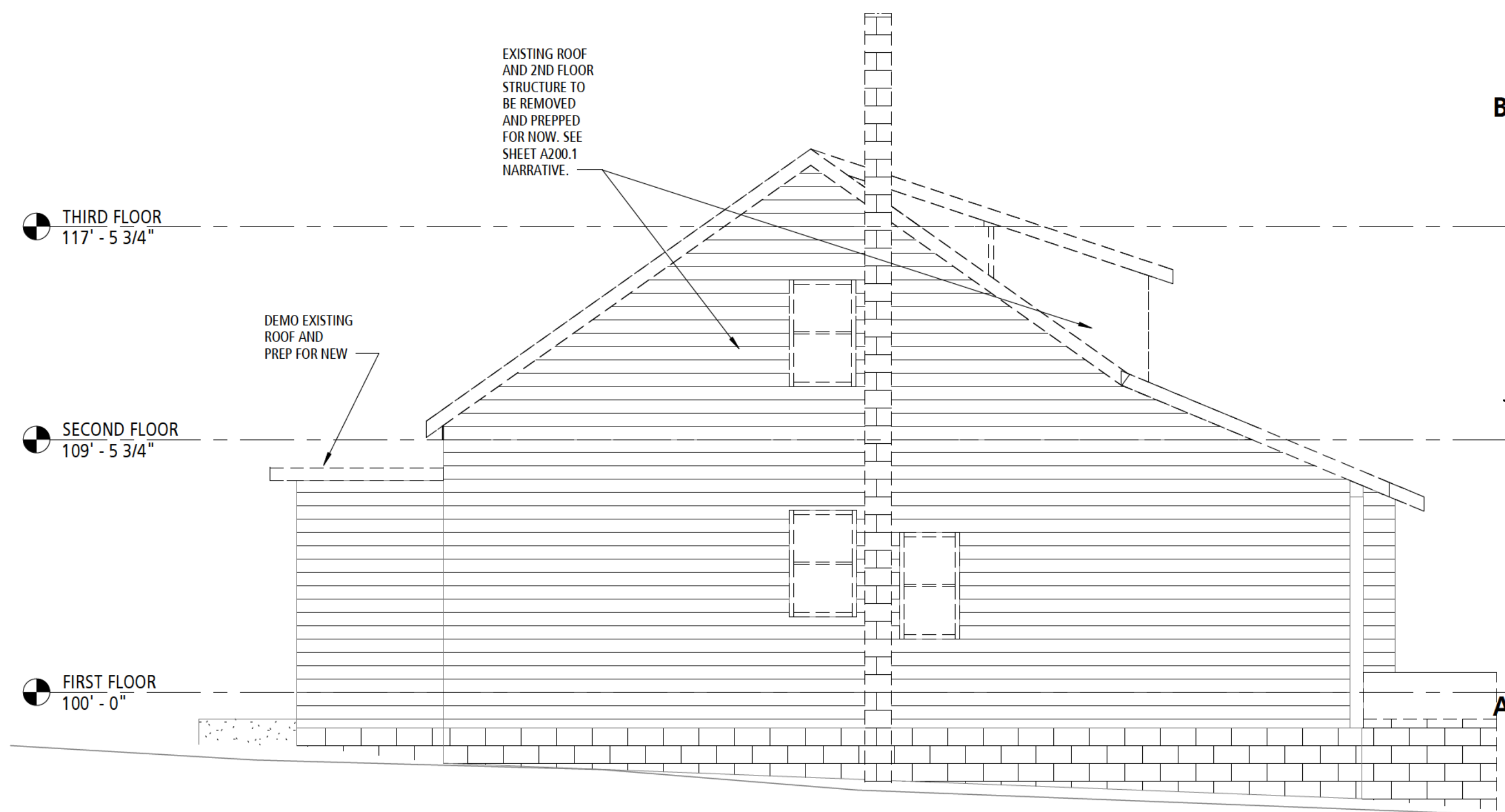
**8** OVERALL NORTH BUILDING ELEVATION - DEMO  
1/4" = 1'-0" 23 / A100



**11** OVERALL EAST BUILDING ELEVATION - DEMO  
1/4" = 1'-0" 23 / A100



**19** OVERALL SOUTH BUILDING ELEVATION - DEMO  
1/4" = 1'-0" 23 / A100



**22** OVERALL WEST BUILDING ELEVATION - DEMO  
1/4" = 1'-0" 23 / A100

REVISIONS

#	DATE	DESCRIPTION

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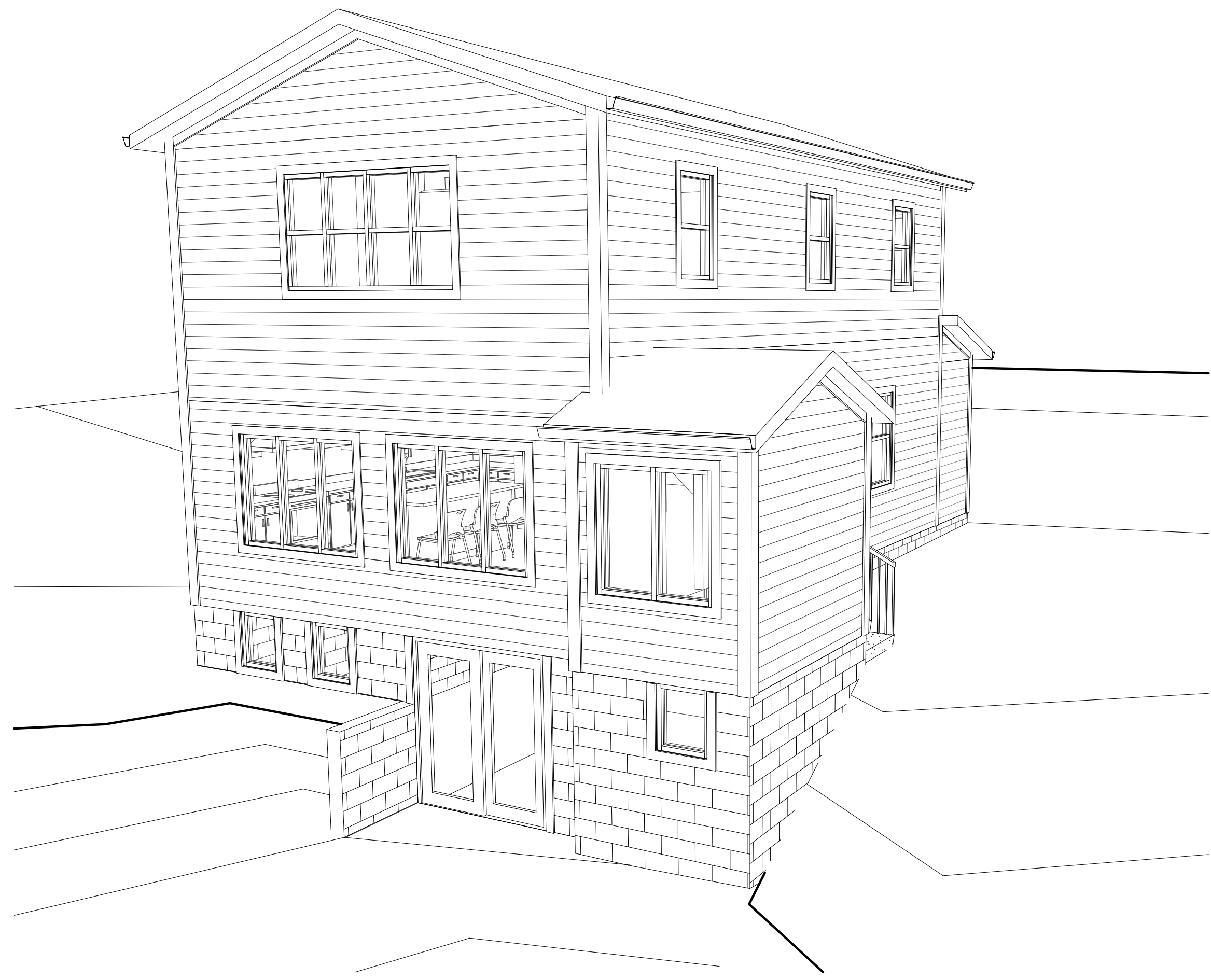
PROJECT NUMBER	PROJECT MANAGER
	JK

EXISTING BUILDING  
ELEVATIONS - DEMO

**A200.1-D**

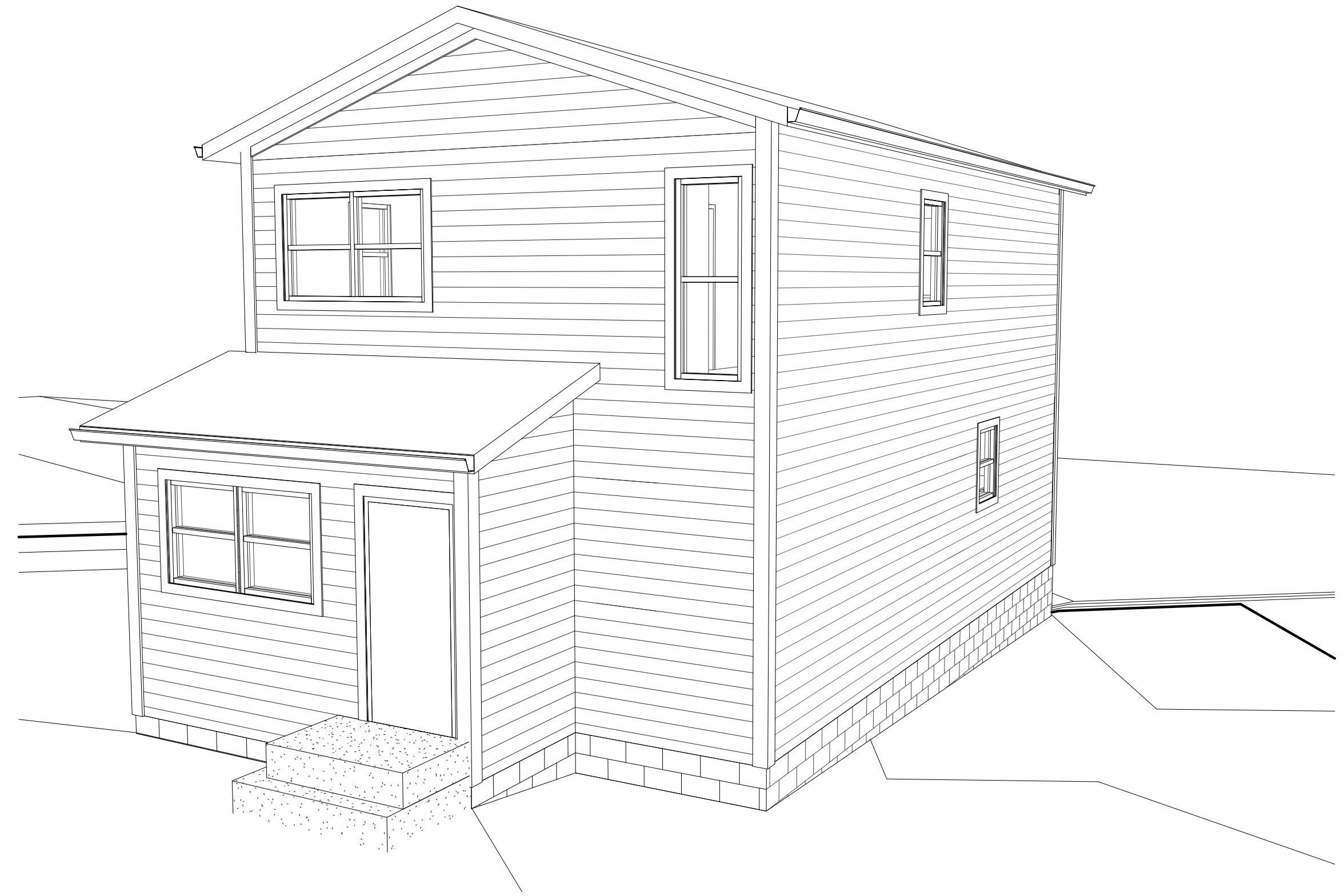
1 2 3 4 5 6

D



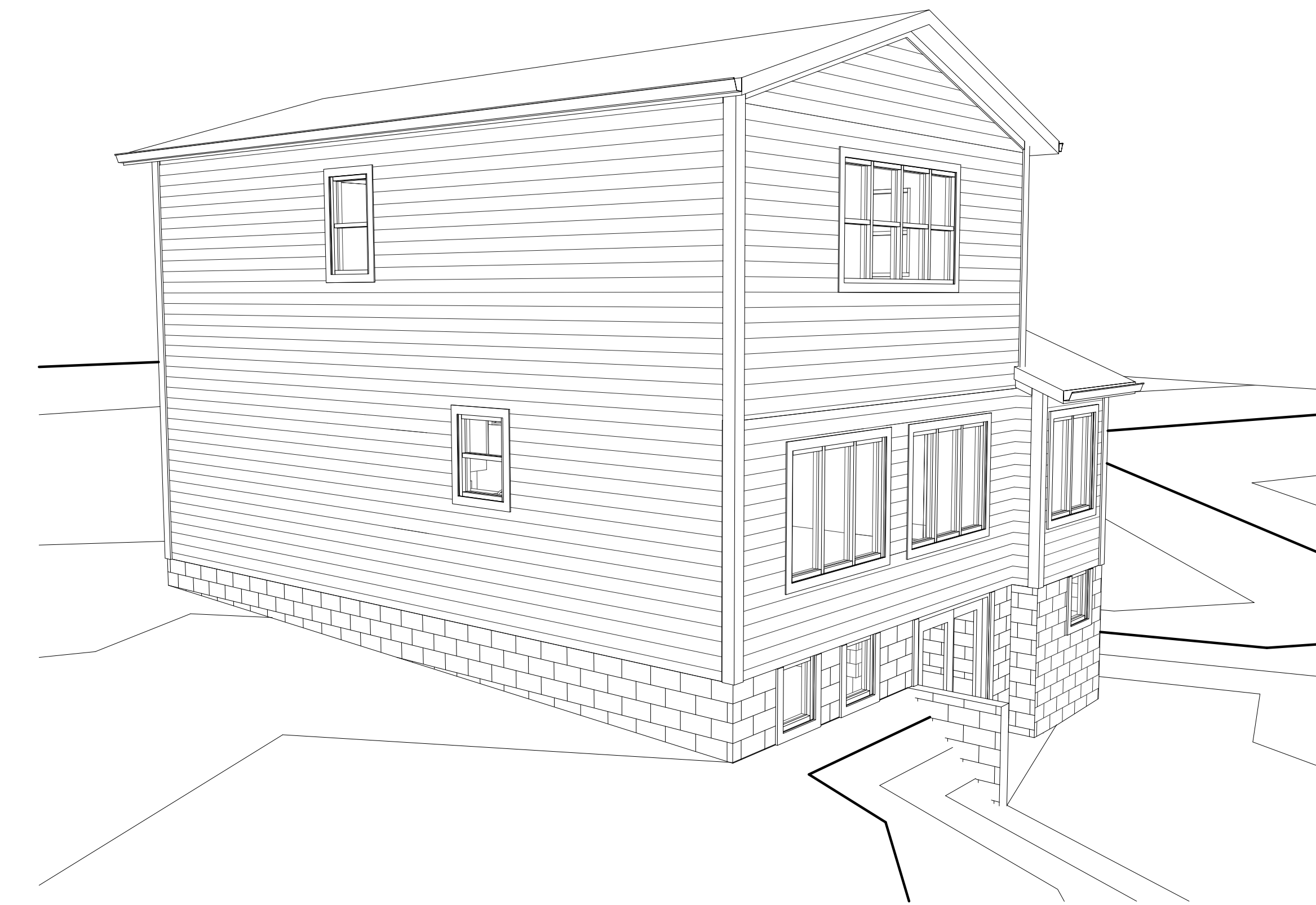
C

7 EXTERIOR PERSPECTIVE VIEW 1 - PROPOSED



10 EXTERIOR PERSPECTIVE VIEW 3 - PROPOSED

B



A

19 EXTERIOR PERSPECTIVE VIEW 2 - PROPOSED



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WAUKESHA, WI 53188 | www.jaknetter.com  
office 262 513 9800 | fax 262 513 9815

PROJECT INFORMATION:

NELSON HOUSE

34845 ELM STREET,  
SUMMIT, WI 53066

DRAWING ISSUANCE:

PLAN REVIEW

REVISIONS		
#	DATE	DESCRIPTION

B

7 NOVEMBER 2025

PROJECT NUMBER	PROJECT MANAGER
	JK

A

PROPOSED EXTERIOR  
PERSPECTIVE VIEWS

A201.1

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1 2 3 4 5 6



D

1 EXISTING EXTERIOR PHOTO - 1  
3/8" = 1'-0"



3 EXISTING EXTERIOR PHOTO - 2  
3/8" = 1'-0"



5 EXISTING EXTERIOR PHOTO - 3  
3/8" = 1'-0"



C

13 EXISTING EXTERIOR PHOTO - 4  
3/8" = 1'-0"



15 EXISTING EXTERIOR PHOTO - 5  
3/8" = 1'-0"



17 EXISTING EXTERIOR PHOTO - 6  
3/8" = 1'-0"



A

19 EXISTING EXTERIOR PHOTO - 7  
3/8" = 1'-0"



21 EXISTING EXTERIOR PHOTO - 8  
3/8" = 1'-0"



23 EXISTING EXTERIOR PHOTO - 9  
3/8" = 1'-0"



D

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office 262 513 9800 | fax 262 513 9815

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NELSON HOUSE

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SUMMIT, WI 53066

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A

EXISTING BUILDING  
IMAGES FOR REF.

A202

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1

2

3

4

5

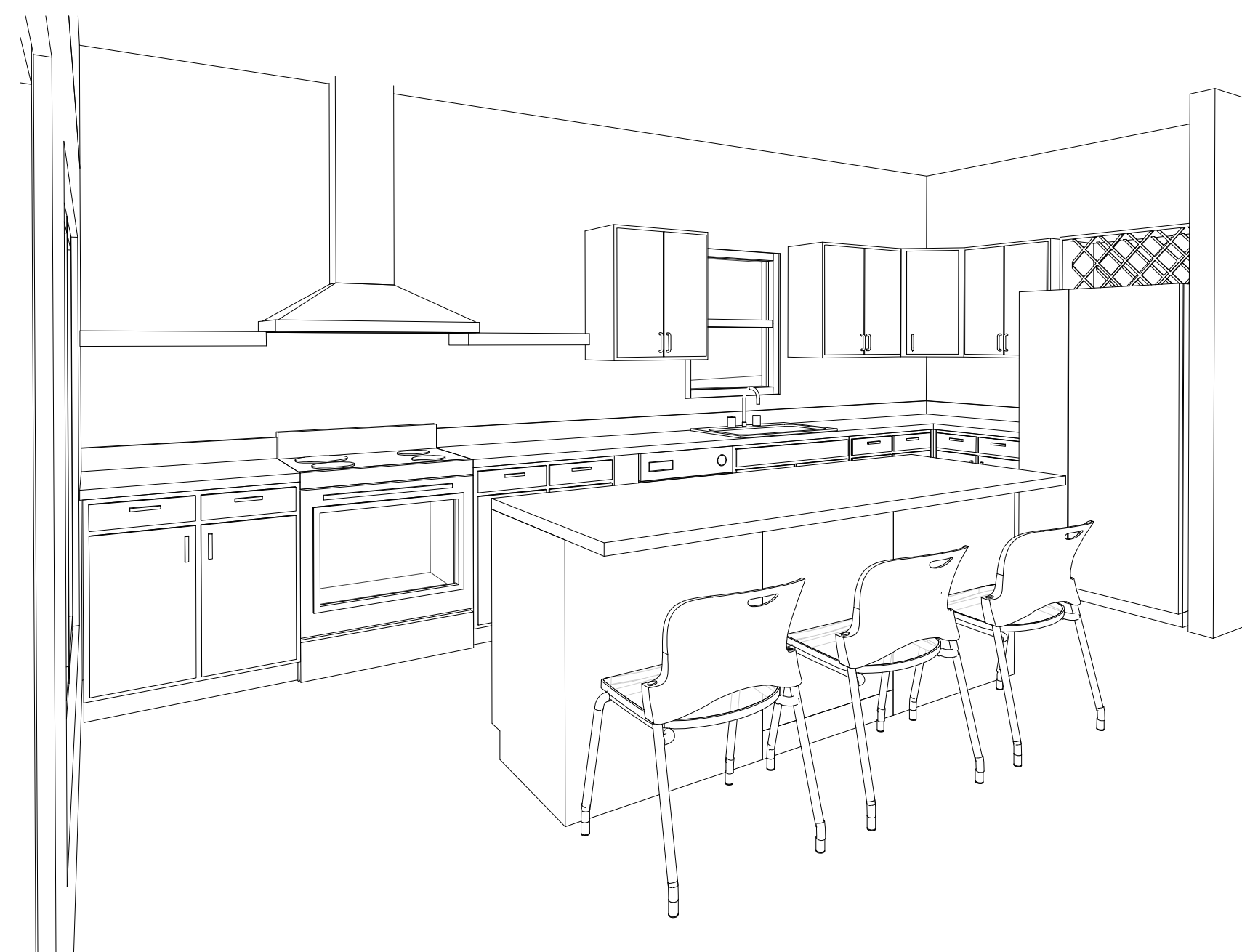
6

D

C

B

A



14 KITCHEN PERSPECTIVE VIEW 1



20 KITCHEN PERSPECTIVE VIEW 3

1

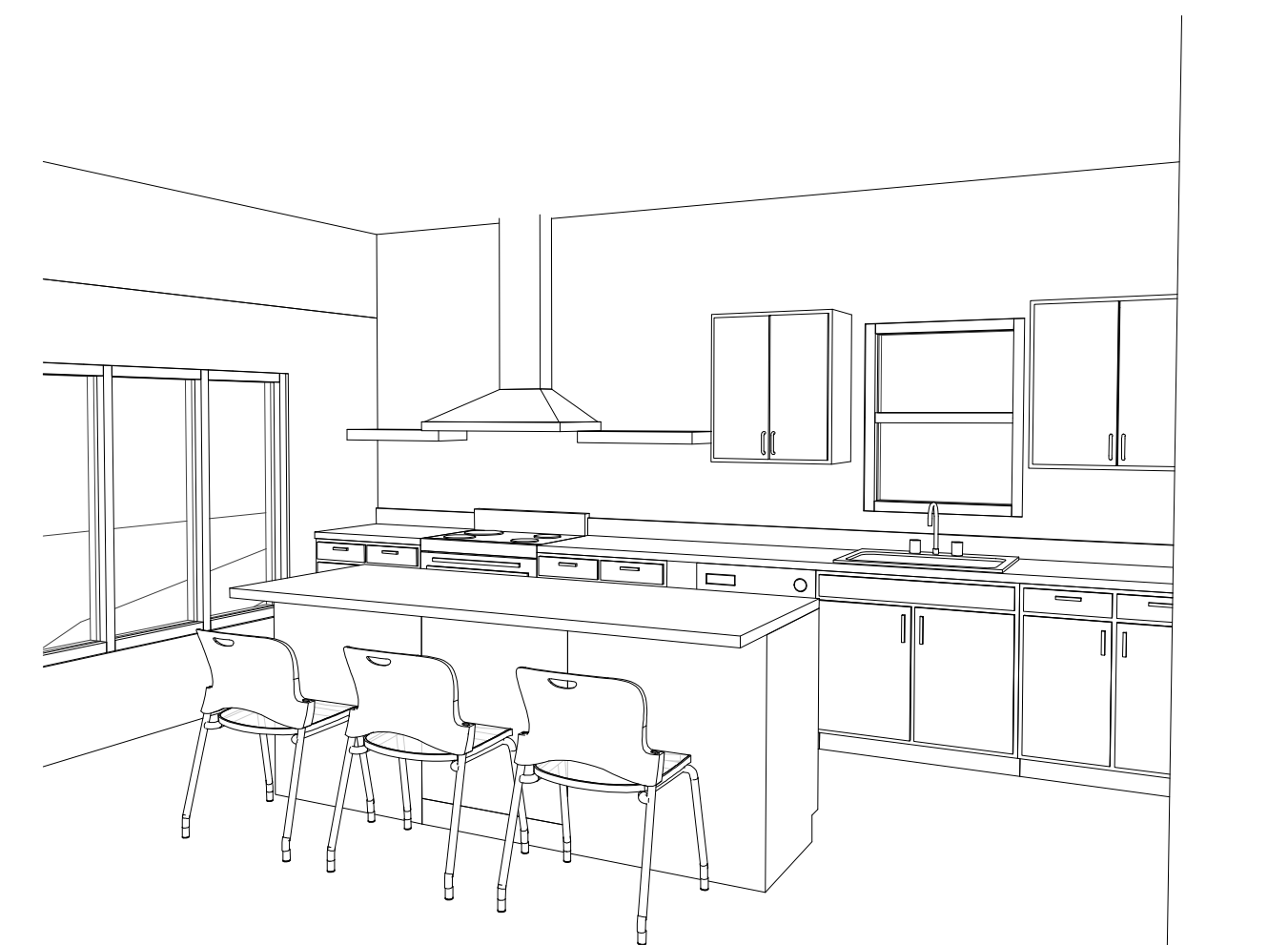
2

3

4

5

6



12 KITCHEN PERSPECTIVE VIEW 2



23 KITCHEN PERSPECTIVE VIEW 4

1

2

3



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 office 262 513 9800 | fax 262 513 9815

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34845 ELM STREET,  
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PROPOSED INTERIOR PERSPECTIVE VIEWS

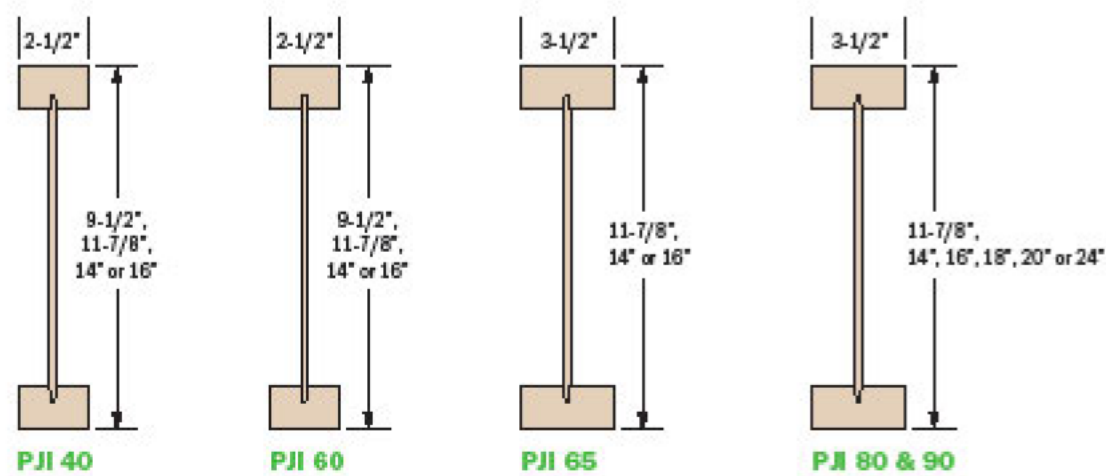
A230

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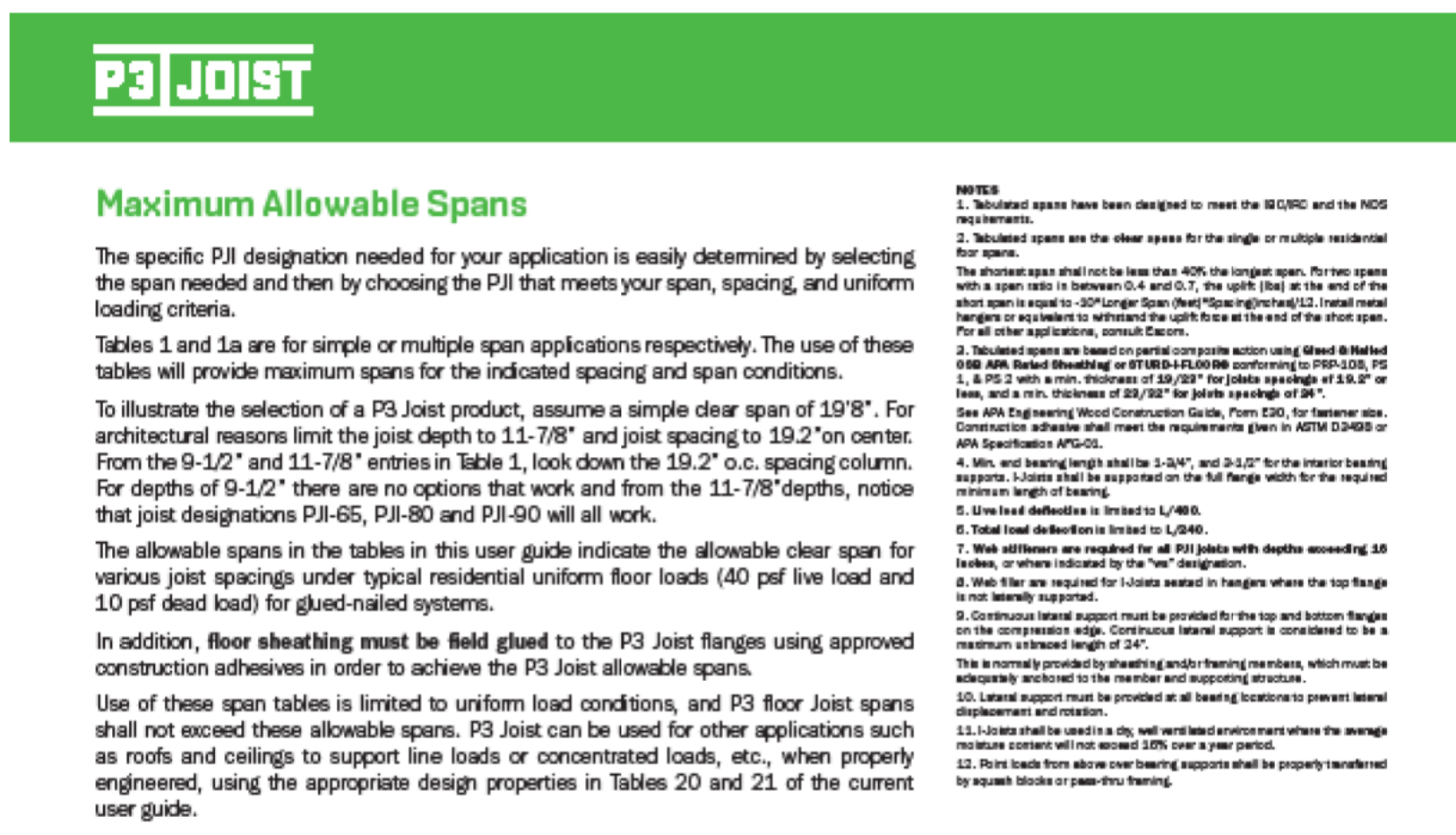
## P3 JOIST RESIDENTIAL PRODUCT LINE

### Product Description



- Flanges are MSR 2x3's and 2x4's.
- Webs are OSB, and all are classified as Exposure 1 or Exterior and are 3/8" in thickness or greater.
- All P3 Joist are assembled using exterior-type adhesives that meet ASTM D 2559 and ASTM D 7247.
- P3 Joist are available in seven depths: 9-1/2", 11-7/8", 14", 16", 18", 20", and 24" Deep Depth not shown for clarity.
- P3 Joist of the same depth are manufactured with various flange widths; flange width is an important design consideration when specifying hangers.
- P3 Joist are manufactured up to 64' in length. These lengths are cut to commonly used lengths such as 16' to 36' in 2' increments for jobsite delivery. Check local supplier for availability.

\*For other type floor assemblies, please contact EACOM at [www.eacom.ca](http://www.eacom.ca). See our complete install or User Guide at [www.eacom.ca](http://www.eacom.ca) for detail and information not shown.



### Maximum Allowable Spans

The specific PJI designation needed for your application is easily determined by selecting the span needed and then by choosing the PJI that meets your span, spacing, and uniform loading criteria.

Tables 1 and 1a are for simple or multiple span applications respectively. The use of these tables will provide maximum spans for the indicated spacing and span conditions.

To illustrate the selection of a P3 Joist product, assume a simple clear span of 19'8". For architectural reasons limit the joist depth to 11-7/8" and joist spacing to 19.2" on center. For depths of 9-1/2" and 11-7/8" there are no options that work and from the 11-7/8" depths, notice that joist designations PJI-65, PJI-80 and PJI-90 will all work.

The allowable spans in the tables in this user guide indicate the allowable clear span for various joist spacings under typical residential uniform floor loads (40 psf live load and 10 psf dead load) for glued-nailed systems.

In addition, floor sheathing must be field glued to the P3 Joist flanges using approved construction adhesives in order to achieve the P3 Joist allowable spans.

Use of these span tables is limited to uniform load conditions, and P3 Joist spans shall not exceed these allowable spans. P3 Joist can be used for other applications such as roofs and ceilings to support line loads or concentrated loads, etc., when properly engineered, using the appropriate design properties in Tables 20 and 21 of the current user guide.

TABLE 1 - LDF - 1.0

Allowable Single Spans for P3 Floor Joist

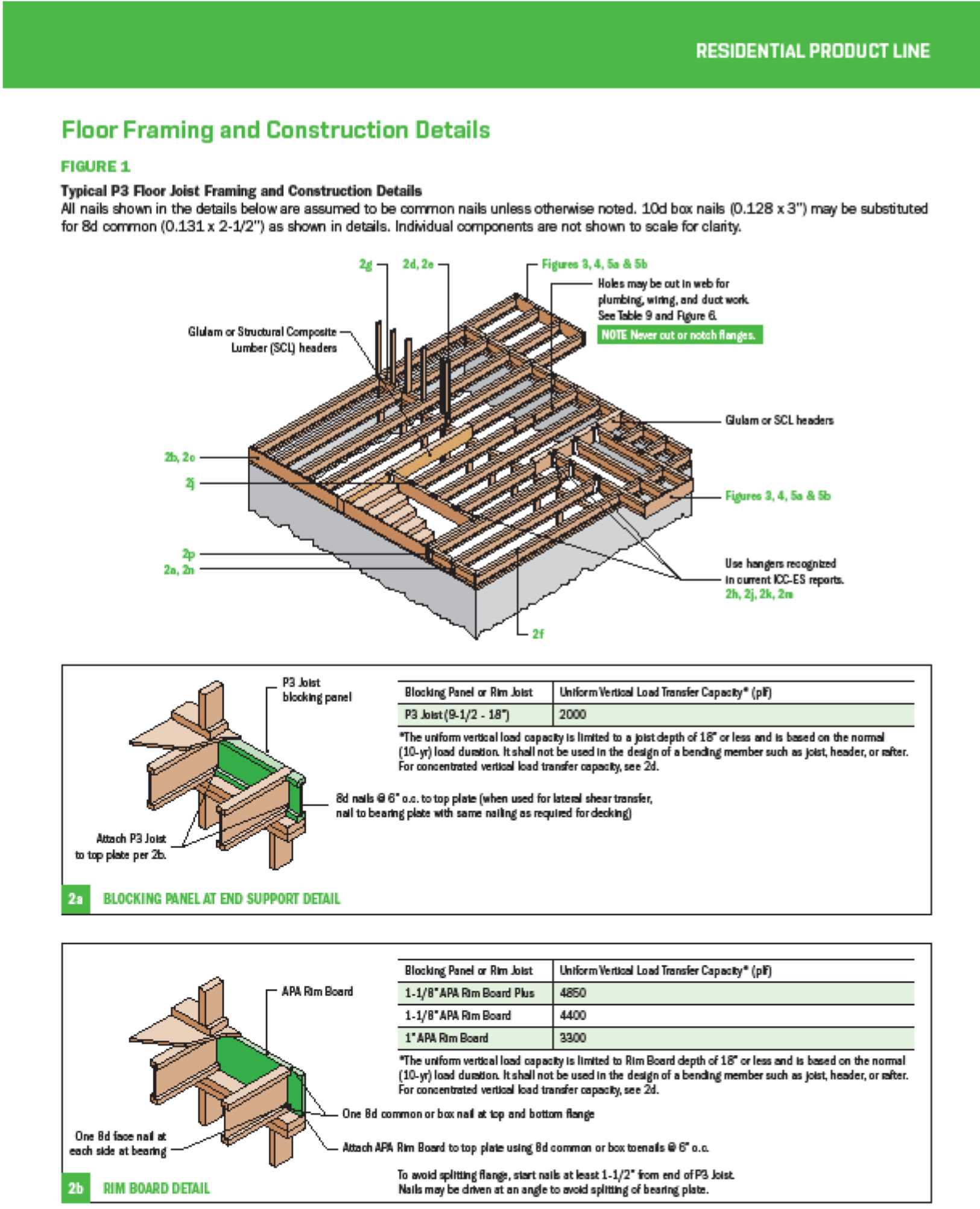
Uniform Load (psf)	Series	Depth (in)	Span (ft)			
			12	16	19.2	24
40	PJI-40	9.5	18'-0"	16'-5"	15'-7"	14'-6"
		11.875	21'-5"	19'-7"	18'-6"	16'-8"
		14	24'-1"	22'-2"	20'-8"	18'-4"
		16	26'-11"	24'-2"	22'-1"	19'-9"
		18	28'-4"	25'-11"	24'-4"	21'-3"
		20	29'-6"	26'-10"	25'-4"	22'-9"
	PJI-60	9.5	18'-11"	17'-3"	16'-3"	15'-2"
		11.875	22'-7"	20'-7"	19'-5"	18'-1"
		14	25'-8"	23'-5"	22'-1"	20'-7"
		16	28'-6"	25'-11"	24'-6"	22'-9"
		18	29'-6"	26'-10"	25'-4"	23'-6"
		20	30'-10"	28'-6"	27'-8"	25'-1"
PJI-65	9.5	18'-11"	17'-3"	16'-3"	15'-2"	
	11.875	22'-7"	20'-7"	19'-5"	18'-1"	
	14	25'-8"	23'-5"	22'-1"	20'-7"	
	16	28'-6"	25'-11"	24'-6"	22'-9"	
	18	29'-6"	26'-10"	25'-4"	23'-6"	
	20	30'-10"	28'-6"	27'-8"	25'-1"	
PJI-80 & 90	9.5	18'-11"	17'-3"	16'-3"	15'-2"	
	11.875	22'-7"	20'-7"	19'-5"	18'-1"	
	14	25'-8"	23'-5"	22'-1"	20'-7"	
	16	28'-6"	25'-11"	24'-6"	22'-9"	
	18	29'-6"	26'-10"	25'-4"	23'-6"	
	20	30'-10"	28'-6"	27'-8"	25'-1"	
PJI-80ws*	9.5	22'-2"	20'-2"	19'-2"	17'-11"	
	11.875	25'-6"	23'-2"	21'-9"	20'-3"	
	14	28'-11"	26'-3"	24'-9"	22'-11"	
	16	31'-2"	28'-4"	26'-8"	24'-10"	
	18	32'-2"	28'-4"	26'-8"	24'-10"	
	20	34'-11"	31'-9"	29'-10"	27'-9"	
PJI-90ws*	9.5	22'-2"	20'-2"	19'-2"	17'-11"	
	11.875	25'-6"	23'-2"	21'-9"	20'-3"	
	14	28'-11"	26'-3"	24'-9"	22'-11"	
	16	31'-2"	28'-4"	26'-8"	24'-10"	
	18	32'-2"	28'-4"	26'-8"	24'-10"	
	20	34'-11"	31'-9"	29'-10"	27'-9"	

\*ws = with stiffeners  
For other type floor assemblies, please contact EACOM at [www.eacom.ca](http://www.eacom.ca).  
S1 = 1x6 @ 24" o.c., S2 = 2x4 @ 16" o.c., S3 = 2x6 @ 16" o.c., S4 = 2x8 @ 16" o.c.

TABLE 1A - LDF - 1.0

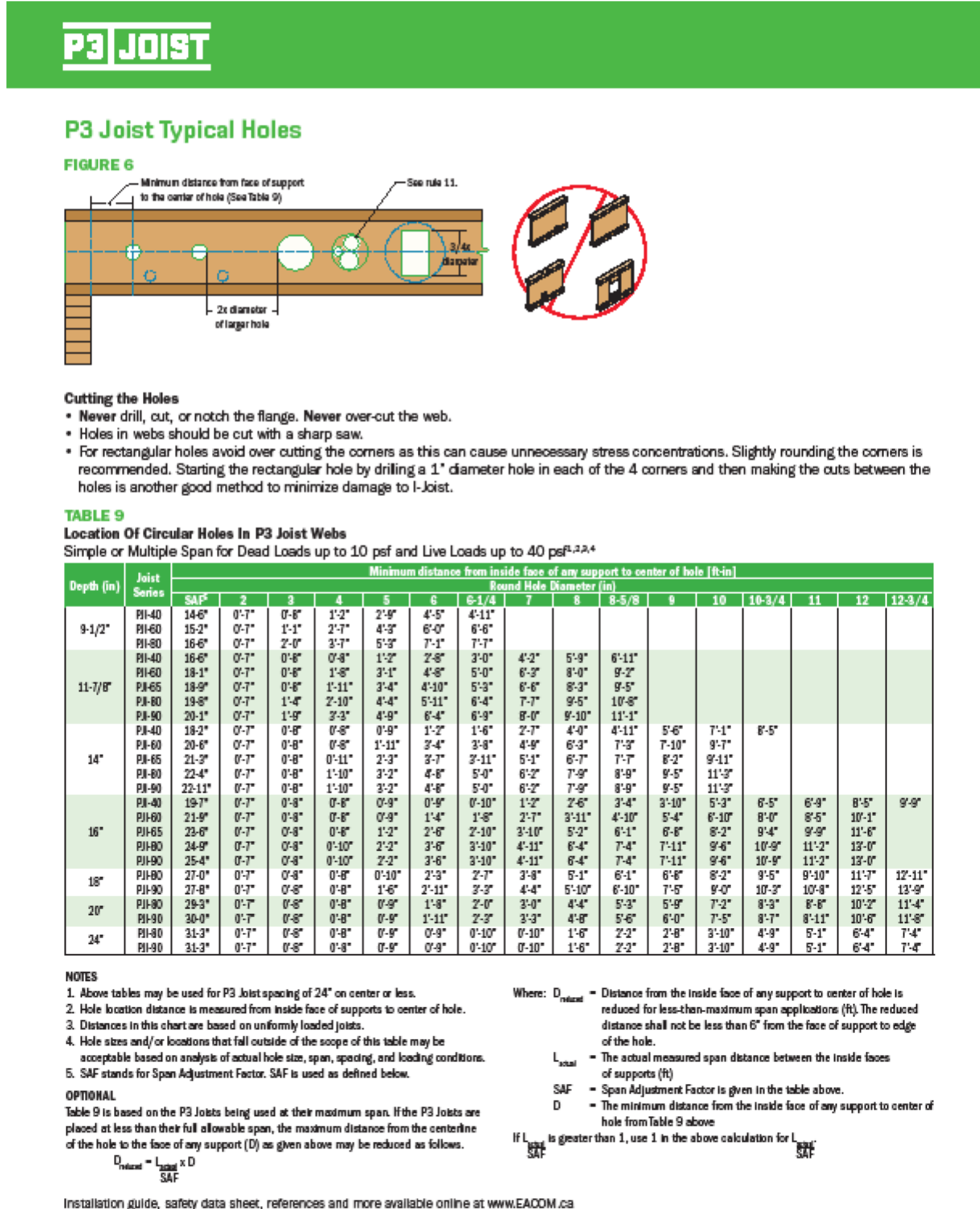
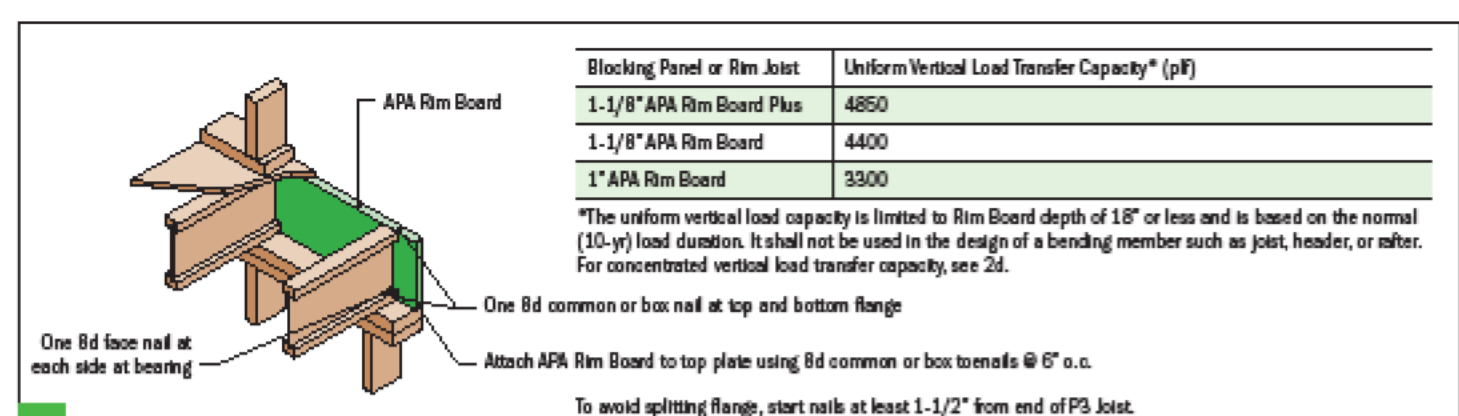
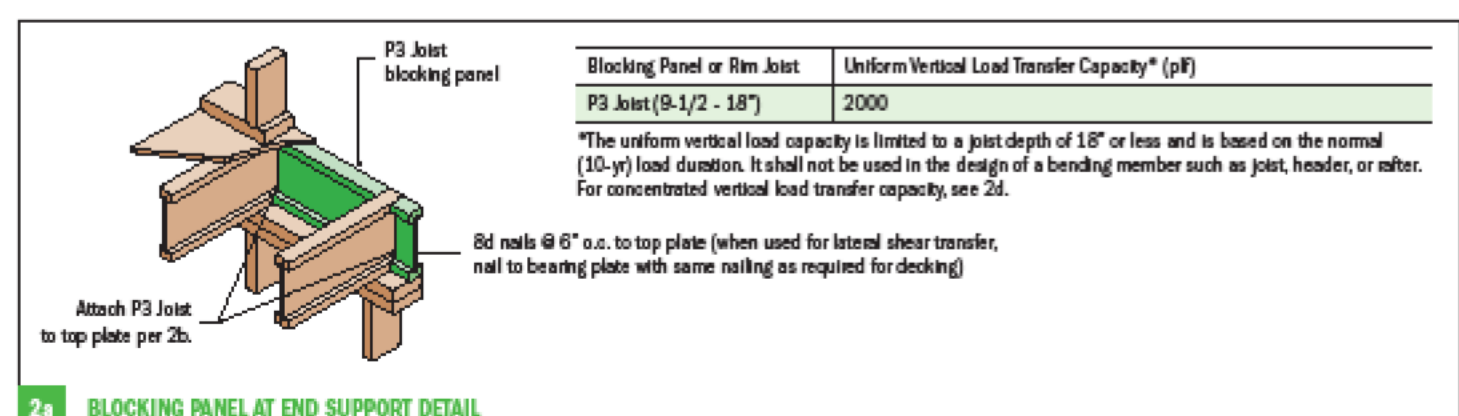
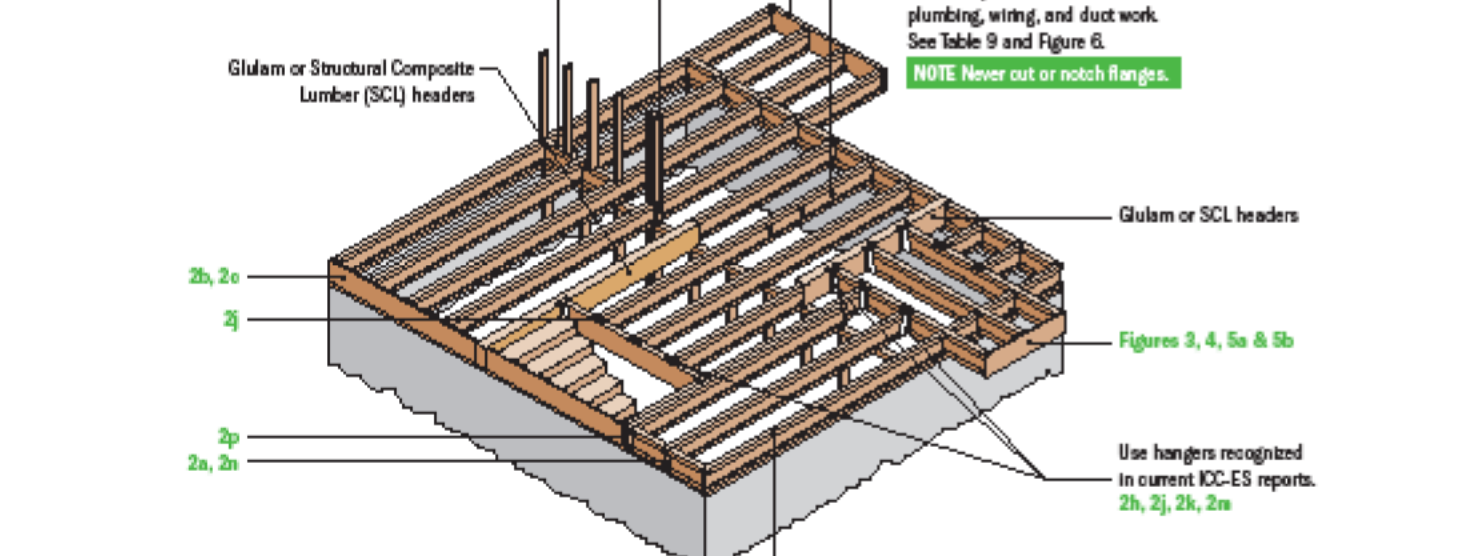
Allowable Multiple Spans for P3 Floor Joist

Uniform Load (psf)	Series	Depth (in)	Span (ft)			
			12	16	19.2	24
40	PJI-40	9.5	19'-0"	17'-9"	17'-9"	16'-2"
		11.875	23'-4"	20'-4"	19'-6"	16'-8"
		14	25'-10"	22'-4"	20'-4"	18'-2"
		16	27'-10"	24'-0"	21'-11"	19'-7"
		18	28'-10"	25'-2"	23'-11"	21'-5"
		20	29'-10"	26'-2"	25'-10"	23'-5"
	PJI-60	9.5	20'-0"	18'-8"	17'-8"	16'-5"
		11.875	24'-8"	22'-4"	21'-1"	19'-8"
		14	27'-11"	25'-0"	23'-11"	21'-5"
		16	31'-0"	28'-2"	25'-10"	23'-8"
		18	31'-0"	28'-2"	25'-10"	23'-8"
		20	34'-11"	31'-9"	29'-10"	27'-9"
PJI-65	9.5	20'-0"	18'-8"	17'-8"	16'-5"	
	11.875	24'-8"	22'-4"	21'-1"	19'-8"	
	14	27'-11"	25'-0"	23'-11"	21'-5"	
	16	31'-0"	28'-2"	25'-10"	23'-8"	
	18	31'-0"	28'-2"	25'-10"	23'-8"	
	20	34'-11"	31'-9"	29'-10"	27'-9"	
PJI-80	9.5	22'-2"	20'-2"	19'-2"	17'-11"	
	11.875	25'-6"	23'-2"	21'-9"	20'-3"	
	14	28'-11"	26'-3"	24'-9"	22'-11"	
	16	31'-2"	28'-4"	26'-8"	24'-10"	
	18	32'-2"	28'-4"	26'-8"	24'-10"	
	20	34'-11"	31'-9"	29'-10"	27'-9"	
PJI-80ws*	9.5	22'-2"	20'-2"	19'-2"	17'-11"	
	11.875	25'-6"	23'-2"	21'-9"	20'-3"	
	14	28'-11"	26'-3"	24'-9"	22'-11"	
	16	31'-2"	28'-4"	26'-8"	24'-10"	
	18	32'-2"	28'-4"	26'-8"	24'-10"	
	20	34'-11"	31'-9"	29'-10"	27'-9"	
PJI-90	9.5	22'-2"	20'-2"	19'-2"	17'-11"	
	11.875	25'-6"	23'-2"	21'-9"	20'-3"	
	14	28'-11"	26'-3"	24'-9"	22'-11"	
	16	31'-2"	28'-4"	26'-8"	24'-10"	
	18	32'-2"	28'-4"	26'-8"	24'-10"	
	20	34'-11"	31'-9"	29'-10"	27'-9"	
PJI-90ws*	9.5	22'-2"	20'-2"	19'-2"	17'-11"	
	11.875	25'-6"	23'-2"	21'-9"	20'-3"	
	14	28'-11"	26'-3"	24'-9"	22'-11"	
	16	31'-2"	28'-4"	26'-8"	24'-10"	
	18	32'-2"	28'-4"	26'-8"	24'-10"	
	20	34'-11"	31'-9"	29'-10"	27'-9"	

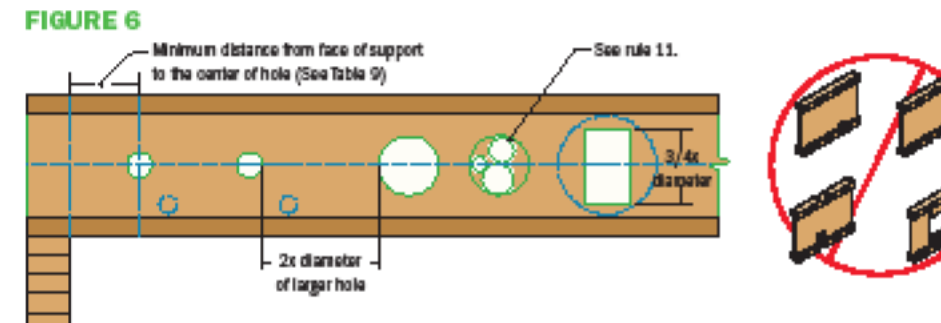


### Floor Framing and Construction Details

Figure 1 shows typical P3 floor joist framing and construction details. All nails shown in the details below are assumed to be common nails unless otherwise noted. 10d box nails (0.128 x 3") may be substituted for 8d common (0.131 x 2-1/2") as shown in details. Individual components are not shown to scale for clarity.



### P3 Joist Typical Holes



- Never drill, cut, or notch the flange. Never over-cut the web.
- Holes in webs should be cut with a sharp saw.
- For rectangular holes avoid over cutting the corners as this can cause unnecessary stress concentrations. Slightly rounding the corners is recommended. Starting the rectangular hole by drilling a 1" diameter hole in each of the 4 corners and then making the cuts between the holes is another good method to minimize damage to I-joist.

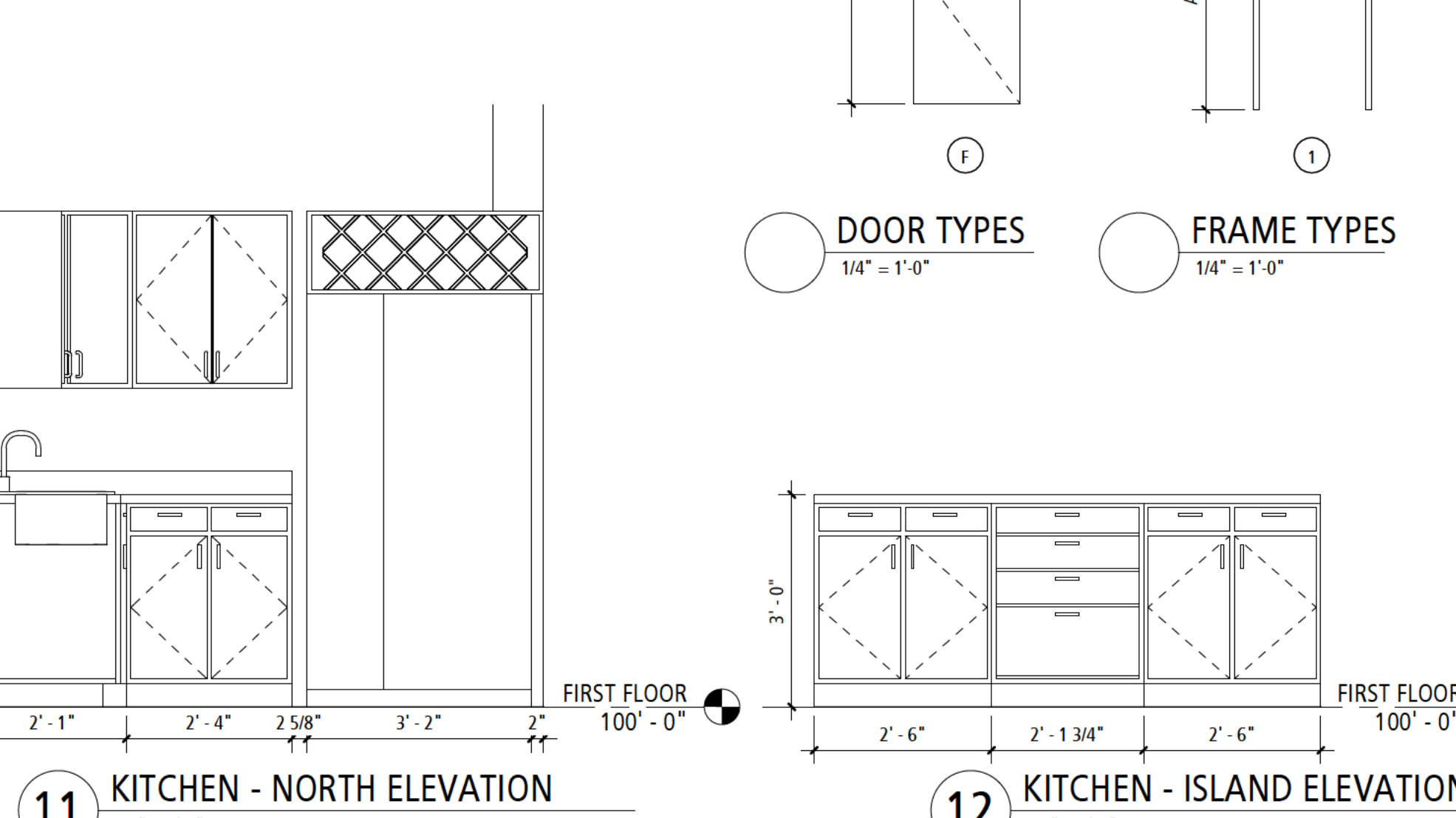
TABLE 9

Location Of Circular Holes In P3 Joist Webs

Depth (in)	Joist Series	Minimum distance from inside face of an support to center of hole (in)												
		1	2	3	4	5	6	7	8	9	10	11	12	
9-1/2"	PJI-40	14'-0"	12'-0"	10'-0"	8'-0"	6'-0"	4'-11"	3'-11"	2'-11"	1'-11"	1'-11"	1'-11"	1'-11"	1'-11"
	PJI-60	15'-2"	13'-2"	11'-2"	9'-2"	7'-2"	5'-11"	4'-11"	3'-11"	2'-11"	1'-11"	1'-11"	1'-11"	1'-11"
	PJI-65	16'-6"	14'-6"	12'-6"	10'-6"	8'-6"	6'-5"	4'-11"	3'-11"	2'-11"	1'-11"	1'-11"	1'-11"	1'-11"
11-7/8"	PJI-40	15'-2"	13'-2"	11'-2"	9'-2"	7'-2"	5'-11"	4'-11"	3'-11"	2'-11"	1'-11"	1'-11"	1'-11"	1'-11"
	PJI-60	16'-6"	14'-6"	12'-6"	10'-6"	8'-6"	6'-5"	4'-11"	3'-11"	2'-11"	1'-11"	1'-11"	1'-11"	1'-11"
	PJI-65	18'-0"	16'-0"	14'-0"	12'-0"	10'-0"	8'-0"	6'-5"	4'-11"	3'-11"	2'-11"	1'-11"	1'-11"	1'-11"
14"	PJI-40	18'-2"	16'-2"	14'-2"	12'-2"	10'-2"	8'-1"	6'-5"	4'-11"	3'-11"	2'-11"	1'-11"	1'-11"	1'-11"
	PJI-60	19'-6"	17'-6"	15'-6"	13'-6"	11'-6"	9'-5"	7'-5"	5'-11"	4'-11"	3'-11"	2'-11"	1'-11"	1'-11"
	PJI-65	21'-0"	19'-0"	17'-0"	15'-0"	13'-0"	11'-0"	9'-5"	7'-5"	5'-11"	4'-11"	3'-11"	2'-11"	1'-11"
16"	PJI-40	21'-0"	19'-0"	17'-0"	15'-0"	13'-0"	11'-0"	9'-5"	7'-5"	5'-11"	4'-11"	3'-11"	2'-11"	1'-11"
	PJI-60	22'-4"	20'-4"	18'-4"	16'-4"	14'-4"	12'-3"	10'-3"	8'-3"	6'-3"	4'-11"	3'-11"	2'-11"	1'-11"
	PJI-65	23'-8"	21'-8"	19'-8"	17'-8"	15'-8"	13'-7"	11'-7"	9'-7"	7'-7"	5'-11"	4'-11"	3'-11"	2'-11"
18"	PJI-40	24'-2"	22'-2"	20'-2"	18'-2"	16'-2"	14'-1"	12'-1"	10'-1"	8'-1"	6'-1"	4'-11"	3'-11"	2'-11"
	PJI-60	25'-6"	23'-6"	21'-6"	19'-6"	17'-6"	15'-5"	13'-5"	11'-5"	9'-5"	7'-5"	5'-11"	4'-11"	3'-11"
	PJI-65	27'-0"	25'-0"	23'-0"	21'-0"	19'-0"	17'-0"	15'-0"	13'-0"	11'-0"	9'-0"	7'-5"	5'-11"	4'-11"
20"	PJI-40	26'-6"	24'-6"	22'-6"	20'-6"	18'-6"	16'-5"	14'-5"	12'-5"	10'-5"	8'-5"	6'-5"	4'-11"	3'-11"
	PJI-60	28'-0"	26'-0"	24'-0"	22'-0"	20'-0"	18'-0"	16'-0"	14'-0"	12'-0"	10'-0"	8'-0"	6'-5"	4'-11"
	PJI-65	29'-4"	27'-4"	25'-4"	23'-4"	21'-4"	19'-3"	17'-3"	15'-3"	13'-3"	11'-3"	9'-3"	7'-5"	5'-11"
24"	PJI-40	30'-0"	28'-0"	26'-0"	24'-0"	22'-0"	20'-0"	18'-0"	16'-0"	14'-0"	12'-0"	10'-0"	8'-0"	6'-5"
	PJI-60	31'-4"	29'-4"	27'-4"	25'-4"	23'-4"	21'-3"	19'-3"	17'-3"	15'-3"	13'-3"	11'-3"	9'-3"	7'-5"
	PJI-65	32'-8"	30'-8"	28'-8"	26'-8"	24'-8"	22'-7"	20'-7"	18'-7"	16'-7"	14'-7"	12'-7"	10'-7"	8'-0"

NOTES:  
1. Above tables may be used for P3 Joist spacing of 24" on center or less.  
2. Hole location distance is measured from inside face of supports to center of hole.  
3. Distances in this chart are based on uniformly loaded joist.  
4. Hole sizes and/or locations that fall outside of the scope of this table may be acceptable based on analysis of actual hole size, span, spacing, and loading conditions.  
5. SAF stands for Span Adjustment Factor. SAF is used as defined below.  
OPTIONAL:  
Table 9 is based on the P3 Joist being used as the maximum span. If the P3 Joist are placed at less than their full allowable span, the maximum distance from the centerline of the hole to the face of any support (D) as given above may be reduced as follows:  
 $D_{max} = \frac{L_{allow}}{SAF} \leq D$

NUMBER	DOOR AND FRAME SCHEDULE												HDWE SET	RATING	REMARKS	
	DOOR						FRAME									
	LEAF QTY	SIZE LEAF WIDTH	HGT	TYPE	MAT	FIN	TYPE	MAT	FIN	HEAD	JAMB	SILL				
1B	1	3'-0"	6'-8"	F	WD	1			00/A000	00/A000	00/A000					
2	1	2'-8"	6'-8"	F	HM	1			00/A000	00/A000	00/A000					
12	1	2'-8"	6'-8"	F	WD	1			00/A000	00/A000	00/A000					
13	1	2'-6"	6'-8"	F	WD	1			00/A000	00/A000	00/A000					
14	1	2'-8"	6'-8"	F	WD	1			00/A000	00/A000	00/A000					
15	1	2'-8"	6'-8"	F	WD	1			00/A000	00/A000	00/A000					
16	2	2'-6"	6'-8"	F	WD	1			00/A000	00/A000	00/A000					



**Matthew & Maggie Katz**  
**Retaining Wall within 5 ft. of Lot Line (A-T-F)**  
**1707 N. Waterville Road (SUMT0672001)**  
11/20/2025 Plan Commission Meeting

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Staff Report

Village of Summit, Wisconsin

Property Owner:	Matthew and Maggie Katz
Applicant:	Same
Zoning:	R-4 Cottage Residential 26,000 sq. ft. density/20,000 sq. ft. lot size with Environmental Corridor Overlay
Land Use Plan:	SF Residential 0.6-acre density

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**Possible Motion:**

*Motion to approve the after-the-fact construction of a retaining wall within five feet of the south lot line, subject to the portion of retaining wall that extends over the lot line being removed prior to December 15, 2026.*

**Summary:**

The property is 37,897 sq. ft. in size and located on the east side of Lower Nemahbin Lake. There is an existing single-family residence, detached garage, gazebo, and decks, patios, and walkways.

The applicant obtained previous permits for the construction of a detached garage and retaining wall. The plans for the permitted retaining wall indicated that it would be 5-6 ft. from the lot line, 5-10 ft. from the west side of the garage, 3-6 ft. in height, and 30-45 ft. in length. Staff was later notified that the applicant constructed a retaining wall that exceeded the plans provided for the permit.

The applicant was notified of the violation and has submitted plans for after-the-fact approval. The wall is approximately 15-20 ft. from the west side of the garage at the widest point, 60 ft. in length, and located over the south lot line by six inches, although only 12 inches in height at that location. The wall varies significantly in height with the highest portion being approximately 6.3 ft. in height.

The adjacent property owner to the south provided written support. The letter is included in the meeting packet.

Section 111-73(c) Preservation of topography states that the zoning administrator may issue a permit for a retaining wall greater than five feet from the property line. The plan commission may otherwise direct the zoning administrator to issue a permit for a retaining wall located five feet or less from a property line, following a public hearing. The retaining wall shall not adversely affect surrounding land. Based on a site inspection, the retaining wall does not cause adverse drainage on adjacent properties and the adjacent property to the south supports the construction of the wall. The wall is located approximately 40 ft. from the north lot line. Drainage from the retaining wall is directed toward the southwest, and not directed to the north.



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-646-2577

Summit Village Hall • 37100 Delafield Rd • Oconomowoc, WI 53066

## Application to Appear Village Plan Commission

Based on Chapter 235 Section 55 of the Code of the Village of Summit

Please read and complete this application carefully. All applications must be signed and dated.

1. OWNER Matthew & Maggie Katz AGENT \_\_\_\_\_

Phone # \_\_\_\_\_ Phone # ( ) \_\_\_\_\_

2. Property Address: 1707 N. Waterville Rd

3. Tax Key Number: SUMT 0672001

4. I/We would like to appear before the Plan Commission on the following application:
- |   |   |
|---|---|
| <input type="checkbox"/> Conceptual Plan Review                   | <input type="checkbox"/> Site and Architectural Plan Review (*) |
| <input type="checkbox"/> Preliminary Plat Review (*)              | <input type="checkbox"/> Final Plat Review (*)                  |
| <input type="checkbox"/> Conditional Use Permit (*)               | <input type="checkbox"/> Certified Survey Map Review (*)        |
| <input type="checkbox"/> Zoning Amendment (*)                     | <input type="checkbox"/> Master Plan Amendment                  |
| <input checked="" type="checkbox"/> Other existing retaining wall |   |
- (\*) items require application fees in addition to Reimbursement Agreement

5. Attach signed Professional Services Reimbursement Notice

6. Attach any plans or information relating to the application to this form.

7. **ALL APPLICATIONS MUST BE SIGNED BY THE PROPERTY OWNER**

Applicant	date	<u>Matthew W. Katz</u>	<u>10.27.25</u>
		Property Owner	date

Use this space to further describe the proposal, or detail points from above

We are seeking approval for an existing retaining wall located within the 5-foot setback. The wall, situated at the 5-foot mark, stands at 38 inches in height—exceeding the permitted 24-inch limit by 14 inches.

This retaining wall is essential for the structural support of the detached garage and was constructed as part of the garage development. The property presents unique topographical challenges due to significant slopes in the area, necessitating the wall's height and placement to ensure stability and safety.

**Amy Barrows**

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**From:** Kay Redmond <[REDACTED]>  
**Sent:** Tuesday, October 21, 2025 6:37 PM  
**To:** Matthew W. Katz  
**Subject:** [EXTERNAL] Fw: retaining wall issue

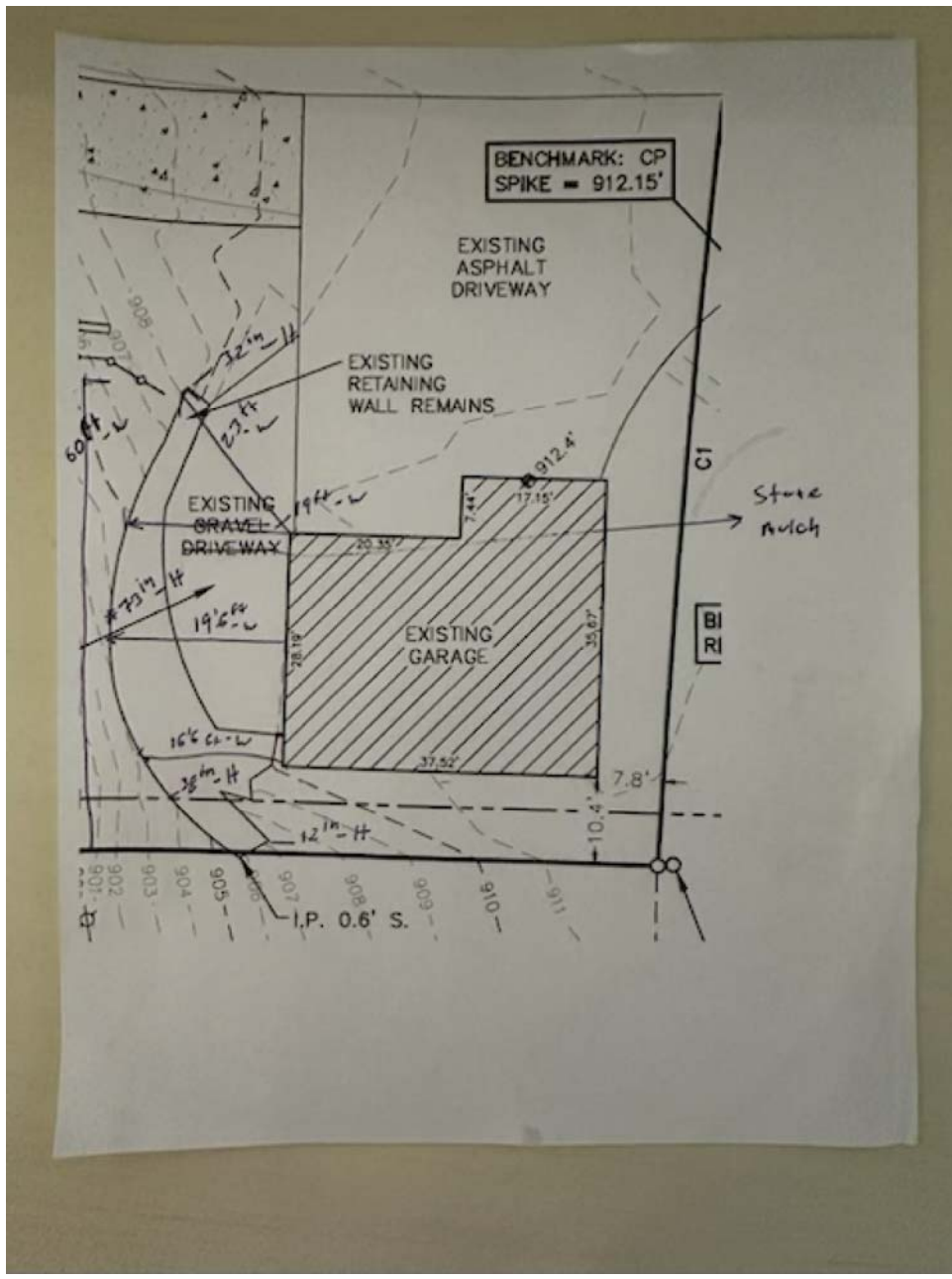
*I, Kay Redmond, own the property at 1639 Waterville Road, directly south of Matt and Maggie Katz. I am aware the retaining wall and landscaping around the garage at the east end of the property, on Matt and Maggie's property, is within the 5-foot set back and have no issue with it. Please grant them approval to keep the landscaping as currently constructed. We have been neighbors a long time and I hope this issue can be resolved quickly and peacefully.*

*Thanks so much,*

*Kay Redmond*

[REDACTED]

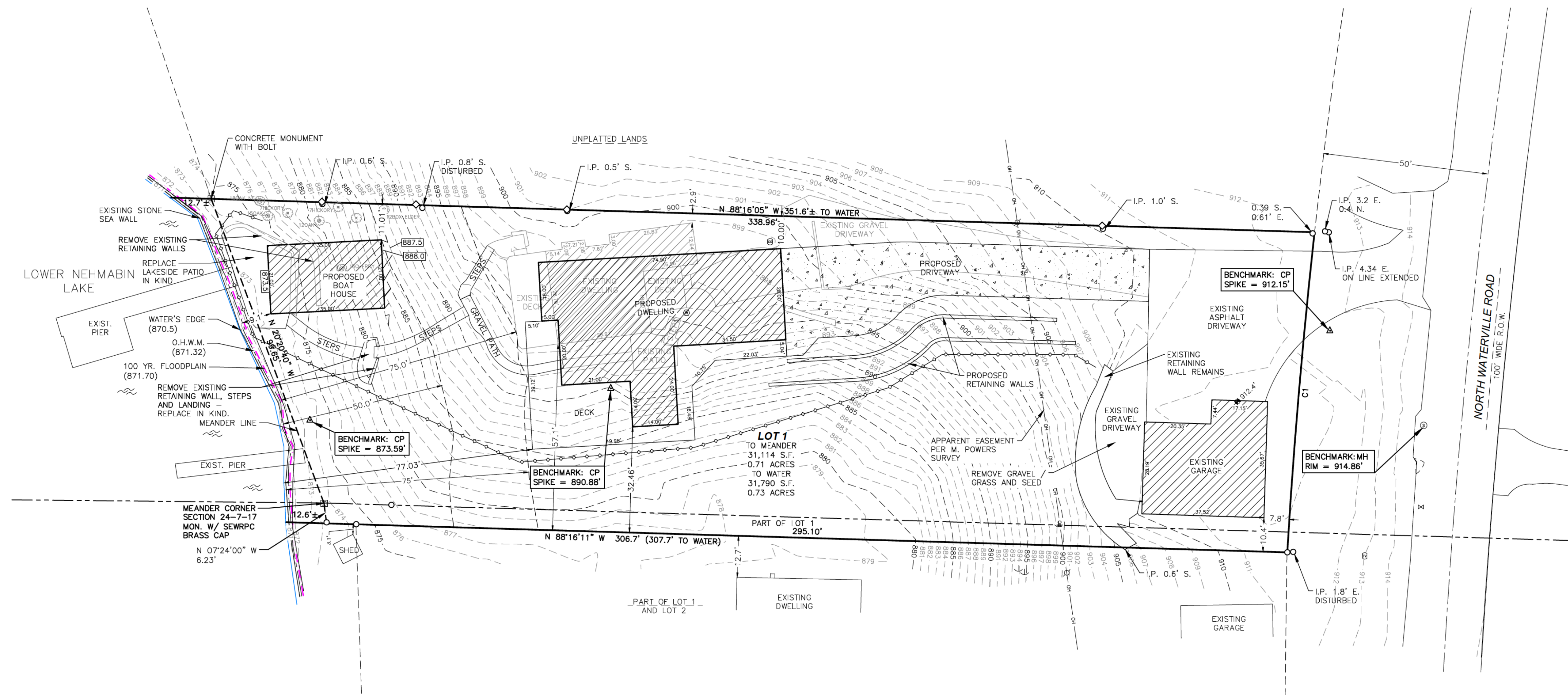
[REDACTED]





**PRELIMINARY SURVEY**

BEING A PART OF THE NORTH 1/2 OF LOT 1 OF JENKINS PLAT, AND A PART OF THE SOUTH 1/2 OF THE NE 1/4 OF SECTION 24, TOWNSHIP 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.



LEGAL DESCRIPTION PER DOC. NO. 4519264

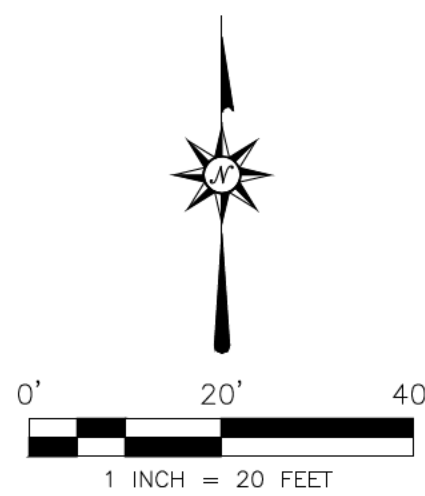
ALL THAT PART OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 24, TOWNSHIP 7 NORTH, RANGE 17 EAST, IN THE TOWN OF SUMMIT, WAUKESHA COUNTY, STATE OF WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE CENTER OF THE WATERVILLE ROAD, 658.5 FEET WEST OF THE EAST 1/4 POST OF SECTION 24; THENCE WEST ON 1/4 SECTION LINE, 352 FEET TO LOWER NEHMAHIN LAKE; THENCE ALONG THE LAKE NORTH 20 1/2° WEST, 100 FEET; THENCE EAST, PARALLEL WITH THE 1/4 SECTION LINE, 398 FEET TO THE CENTER OF SAID ROAD; THENCE SOUTHERLY TO THE PLACE OF BEGINNING, EXCEPTING THEREFROM THAT TRACT TAKEN FOR HIGHWAY BY AWARD OF DAMAGES RECORDED AS DOCUMENT NO. 541047.

THE NORTH 1/2 OF LOT 1, IN JENKINS PLAT, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 7 NORTH, RANGE 17 EAST, IN THE TOWN OF SUMMIT, WAUKESHA COUNTY, STATE OF WISCONSIN, EXCEPTING THEREFROM THOSE LANDS TAKEN FOR HIGHWAY PURPOSES BY AWARD OF DAMAGES RECORDED IN VOLUME 878 OF DEEDS, AT PAGE 130, AS DOCUMENT NO. 541048.

- LEGEND**
- CONCRETE MONUMENT (AS NOTED)
  - FOUND 1" IRON PIPE OR NOTED
  - P.W. SPIKE W/LA THE
  - △ CONTROL POINT BENCHMARK
  - ▲ FLOOR ELEVATION
  - ⊙ SANITARY MANHOLE
  - ⊗ WATER VALVE
  - ⊕ WELL
  - ⊖ TV PED
  - ⊙ SEPTIC CLEANOUT
  - ⊙ UTILITY POLE
  - ⊙ GUY WIRE
  - OH — OVERHEAD UTILITY
  - 800.0 EXISTING SPOT GRADE
  - — — EXISTING CONTOUR
  - DECID. TREE WITH TRUNK DIA.
  - PROPOSED CONTOUR
  - PROPOSED SILT FENCE
  - PROPOSED ELEVATION

**NOTES:**

- THE TITLE POLICY PROVIDED DOES NOT LIST ANY EASEMENTS OF RECORD. AN ADDITIONAL SEARCH FOR EASEMENTS OF RECORD HAS NOT BEEN COMPLETED.
- FLOODPLAIN IS PER FEMA FIRM MAP No. 55133C0166H, MAP REVISED NOVEMBER 5, 2014.
- THE O.H.W.M. (ORDINARY HIGH WATER MARK) IS AN APPROXIMATE LOCATION DETERMINED BY THE SURVEYOR.



**PROPOSED IMPERVIOUS AREA (SQ. FT.)**  
(6403 2474 0294)

DWELLING	= 2,582
DETACHED GARAGE	= 1,187
BOAT HOUSE	= 735
DECK(S)	= 1,189
PATIOS	= 383
RETAINING WALLS (ONE SQ. FT. PER LINEAL FT.)	= 267
DRIVEWAYS (INCL. PAVED, CONCRETE, GRAVEL AND COMPACTED AREAS)	= 4,513
SIDEWALKS (INCL. PAVED, CONCRETE, GRAVEL AND COMPACTED AREAS)	= 93
STAIRS	= 233
<b>TOTAL IMPERVIOUS SURFACE AREA</b>	<b>= 11,182</b>
<b>LOT SIZE</b>	<b>= 31,790</b>
<b>TOTAL PERCENT IMPERVIOUS SURFACE</b>	<b>= 35.2%</b>

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1959.86'	98.65'	98.64'	S 04°52.43' W	2°53'02"

**EXISTING IMPERVIOUS AREA (SQ. FT.)**

DWELLING	= 1,081
DETACHED GARAGE	= 1,187
DECK(S)	= 500
PATIO(S)	= 589
RETAINING WALLS (ONE SQ. FT. PER LINEAL FT.)	= 210
DRIVEWAYS (INCL. PAVED, CONCRETE, GRAVEL AND COMPACTED AREAS)	= 4,911
SIDEWALKS (INCL. PAVED, CONCRETE, GRAVEL AND COMPACTED AREAS)	= 284
STAIRS	= 275
<b>TOTAL IMPERVIOUS SURFACE AREA</b>	<b>= 9,037</b>
<b>LOT SIZE</b>	<b>= 31,790</b>
<b>TOTAL PERCENT IMPERVIOUS SURFACE</b>	<b>= 28.4%</b>

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SIGNED: MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR S-2771



REV.	REV.	REV.	REV.	REV.
1707 NORTH WATERVILLE ROAD, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN	CHECKED BY	MTO		
	DRAWN BY	JBK		

CLIENT	MATTHEW KATZ
PROJECT	NEW HOME CONSTRUCTION
LAYOUT	PRELIMINARY LAYOUT
DRAWING	232223_SURVEY.DWG

SCALE	1 : 20
DATE	05/14/2024
JOB NO.	232223
SHEET	1 OF 1



Photo – South to North



Photo – North to South

**White Stone Community Church**  
**2517 N. Dousman Road (SUMT0637999008)**  
11/20/2025 Plan Commission Meeting

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Staff Report

Village of Summit, Wisconsin

Property Owner: White Stone Community Church  
Applicant: Ryan Buck  
Zoning: IN Institutional  
Land Use Plan: Institutional

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**Possible Motion:**

*Motion to approve the Site Development Plans for additional parking and associated lighting and landscape plans on property located at 2517 N. Dousman Road (SUMT0637999008) subject to the following conditions being met prior to commencing construction on the new parking lot:*

- 1. All conditions of the Village Engineer letter dated November 12, 2025 shall be complied with. The Engineer's recommendation related to the placement of wheel stops or curb shall be complied with.*
- 2. A revised landscape plan shall be submitted for review and approval by Village Staff. The plans shall comply with all ordinance requirements.*
- 3. A revised lighting plan shall be submitted for review and approval by Village Staff. The plans shall indicate the location of all existing and proposed light poles. The photometrics shall include the lot lines. Light trespass shall be limited.*
- 4. The Fire Department shall review the plans to ensure access and maneuverability.*
- 5. The applicant shall demonstrate that they meet the maximum 50% impervious surface requirement of the IN Institutional District.*

**Summary:**

The property is 9.9 acres in size located on the west side of Dousman Road, north of Hope Church and Village Hall. The adjacent lands to the south and west are also owned in common. The property is occupied by White Stone Community Church for religious functions.

The church recently added an addition to the existing building, including additional parking. Since the construction of the addition, the church has decided that additional parking is required even though the existing parking lot complies with the ordinance standards. The church is proposing to add 124 parking stalls on the south side of the existing parking lot, but remove 3 stalls, for a total net gain of 121 stalls. With the additional parking area, there will be a total of 374 parking stalls on-site. The new parking lot area would consist of asphalt material to match the existing parking lot. As part of the improvements, the existing stormwater basin located west of the existing parking lot will be enlarged. There are several trees that will need to be removed as part of the proposed improvements.

**Engineering:**

The Engineering Staff has reviewed the plans and provided a review letter dated November 12, 2025. The letter is included in the packet. The existing and proposed parking lots do not include

curbs or wheel stops along the boundary of the parking lot in an effort to allow stormwater to runoff. The placement of wheel stops or curbs are required unless approved by Plan Commission with the Engineer's recommendation. The Engineering Staff's review is pending.

**Landscaping:**

Several trees will be removed to accommodate the parking lot. A landscape plan was provided. However, the plan does not match the layout of the civil plans. The landscape plan shall accurately show the parking area as it relates to the lot lines and civil plans. The applicant is proposing plantings in the proposed landscape islands. Landscaped areas shall occur every 15 spaces and shall divide areas with more than two aisles of parking. Each landscape area shall measure not less than 75 sq. ft. It appears that a landscape island will be required to break up the parking on the east side of the parking lot. Accessory landscaped areas shall make up at least 5% of the surfaced parking area. The applicant will need to demonstrate that these requirements have been met. At least 10 ft. of greenspace shall be provided between the lot line and parking area. There is at least 10 ft. of greenspace available.

**Lighting:**

The applicant is proposing to install additional pole lights to accommodate the parking lot addition. It is unclear how many new pole lights are existing vs. proposed. There will be one pole light in each landscape island and at the southern entrance to the parking lot. The poles will be 15 ft. in height with an additional 3 ft. base. The lights will match the height and style of the existing lights on the property. The applicant submitted photometrics and catalog cut sheets that are included in the packet. The applicant should include the light pole locations on a site plan included in the civil plan set packet. Staff needs to review the amount of light trespass on the south and west lot lines and the lot lines are not shown on the photometric.



Building a Better World  
for All of Us®

November 12, 2025

RE: White Stone Community Church Alterations  
Review Comments  
SEH No. 164914 Task 02 14.00

Ms. Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Dear Ms. Barrows:

We recently received updated civil and storm water management plans for the White Stone Community Church Alteration project located within the Village of Summit, Waukesha County, Wisconsin. The Storm Water Management carries a November 5, 2025 revision date. The Civil Plans have an updated revision date of October 29, 2025.

**SWMP Comments:**

The report describes expanding the recently constructed basin volume to account for the expansion of the parking lot.

1. Pre-treatment of the expanded lot runoff needs to be provided. WinSLAMM modeling, or DNR guidance for pretreatment, need to be used to show adequate measures for a parking lot land use.
2. As-built information for the recently constructed storm water basin should be used for modeling of the expanded basin.
3. An exhibit should be provided, using actual field information for the newly constructed parking lot and storm water facility, that accurately shows the curb and pavement grades. This exhibit is needed to verify if parking lot inundation is occurring for both the 100-year event, as well as the 100-year frozen conditions.

**SWMA Comments:**

4. A SWMA Addendum needs to be provided to account for the expanded basin.

**Civil Plans**

The plan set has several comments we would like to be addressed.

5. It is not clear that the proposed emergency spillway is able to positively drain. More topographic information is needed. Our review of the GIS topography questions whether this can be achieved. Our recommendation is to investigate a swale draining to the north and into the northerly basin, which has a positive emergency overflow route further to the north.
6. The proposed emergency overflow and 100-year calculated water surface elevation appears to pond water into the parking lot and should be revised to remove this ponding by expanding the volume of the basin and/or lowering the spillway.

7. The pre-treatment bio-swale proposed for the phase 1 storm water management facility is not shown on the plans. As noted above, pre-treatment is needed prior to infiltration and needs to be incorporated into the storm water management and civil plans.
8. The SWMP addresses and accounts for storage from apparently existing swales to the southwest. These should be shown on the plan and more clearly show how the basins are interconnected and how runoff is being directed to them.
9. The 12-inch CMP proposed for the sidewalk to the accessory building is likely undersized and may back up runoff where it is not intended. Provide culvert sizing calculations and the floor elevation of the existing adjacent structure to insure the water levels remains below and doesn't impact it or the parking lot.

General Comments

10. The as-built plans for the previous phase of expansion have not been received yet.. The new expanded area should be based on actual field information. Any modifications needed will need to be included with the expansion work and an updated as-built plan provided that includes the entire system. The basin as-built needs to include the west edge of the parking lot to verify that the lot is built above the overflow and/or determine the extents of potential lot flooding during large events.
11. A Village SW & EC permit is required. The form can be found on the Village's website.
12. A pre-construction meeting with the Village Engineer is required prior to starting any land disturbance activity.

Please contact me if you have any questions. The project engineer is welcome to contact me if there are questions regarding the review.

Sincerely,

SHORT ELLIOTT HENDRICKSON INC.



Brian Pehl, PE  
Senior Professional Engineer  
(Lic. WI)

c: Debra Michael, Village Administrator  
Kamron Nash, Village DPW  
Mike Sindorf, Village Building Inspector  
Matt Bailey, Trio Engineering  
Josh Pudelko, Trio Engineering  
Jayme Sisel, Sound Stormwater Design

X:\2025\25-41-1076 WHITE STONE COMMUNITY CHURCH - SUMMIT DRAWINGS\CONSTRUCTION PLANS\WHITE STONE\_CIVIL PLAN SET\_22X34.DWG

**GRADING PLAN NOTES:**  
 1. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED USING INTERPOLATED EXISTING SURVEY GRADES. CONTRACTOR SHALL VERIFY ALL EXISTING MATCH GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES. IF DISCREPANCIES ARE PRESENT CONTRACTOR SHALL REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.  
 2. OVERALL SITE MUST BE GRADED TO WITHIN 4" OF FINAL GRADE PRIOR TO THE ELECTRICAL INSTALLATION.



19035 W CAPITOL DR., SUITE 200  
 BROOKFIELD, WI 53045  
 PHONE: (262) 790-1480  
 FAX: (262) 790-1481  
 EMAIL: jpu@trio.com

**PROJECT:**  
**WHITE STONE CHURCH - PARKING ADDITION**  
 VILLAGE OF SUMMIT, WISCONSIN  
 BY: WHITE STONE COMMUNITY CHURCH INC.  
 2517 N. DOUSMAN RD.  
 OCONOMOWOC, WI 53066

**REVISION HISTORY**

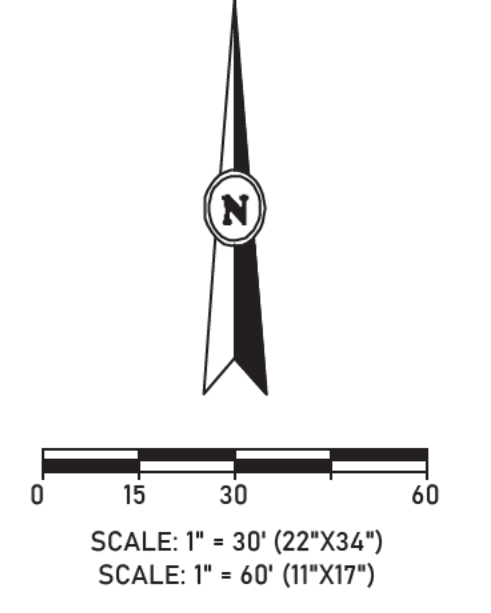
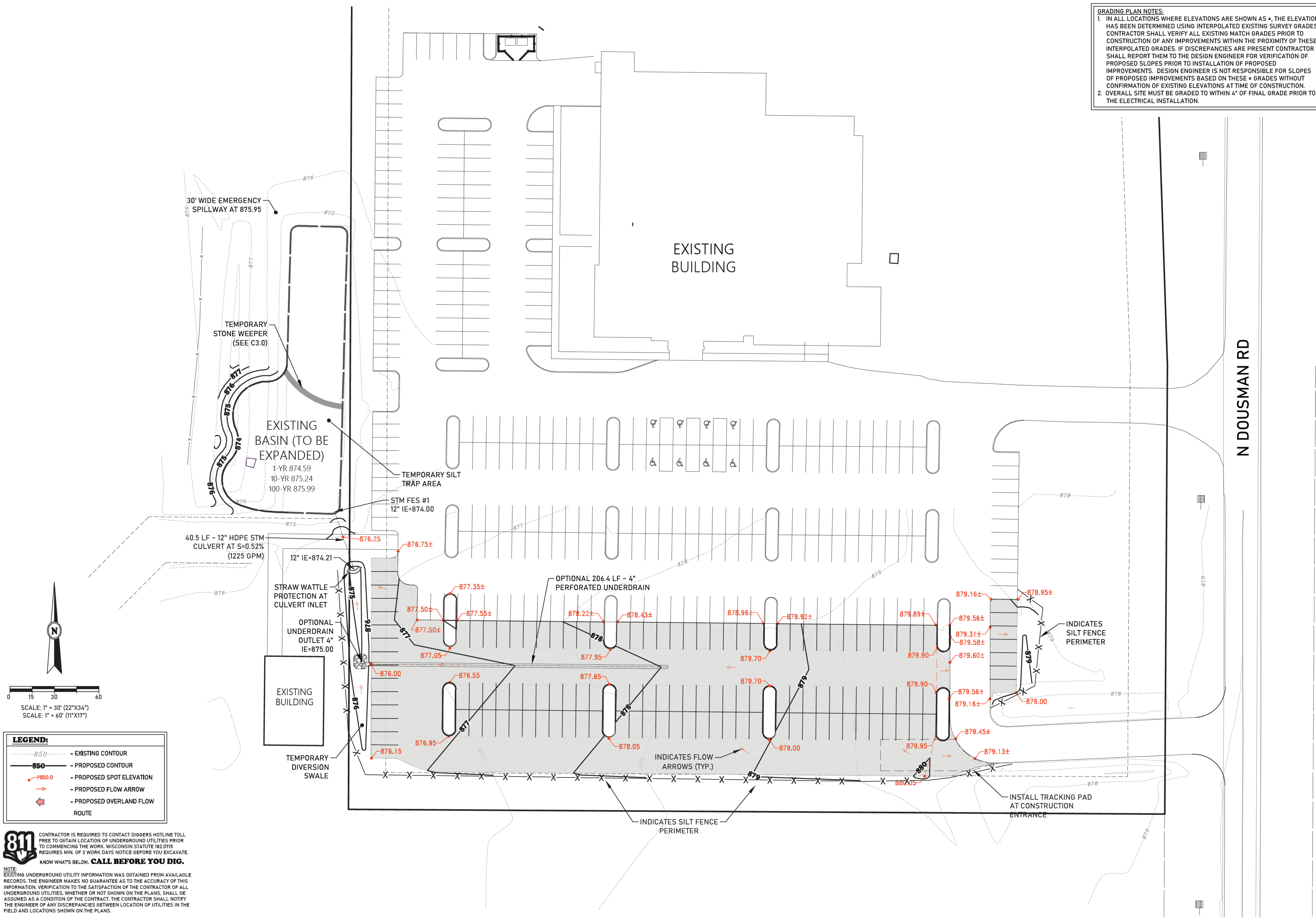
DATE	DESCRIPTION
10/29/2025	PRELIMINARY SUBMITTAL

**DATE:**  
 OCTOBER 29, 2025

**JOB NUMBER:**  
 25-37-1012

**DESCRIPTION:**  
 GRADING, UTILITY,  
 & EROSION  
 CONTROL PLAN

**SHEET**  
**C2.0**



**LEGEND:**

	85.0	EXISTING CONTOUR
	85.0	PROPOSED CONTOUR
	P850.0	PROPOSED SPOT ELEVATION
		PROPOSED FLOW ARROW
		PROPOSED OVERLAND FLOW ROUTE

**811** CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. KNOW WHATS BELOW. **CALL BEFORE YOU DIG.**

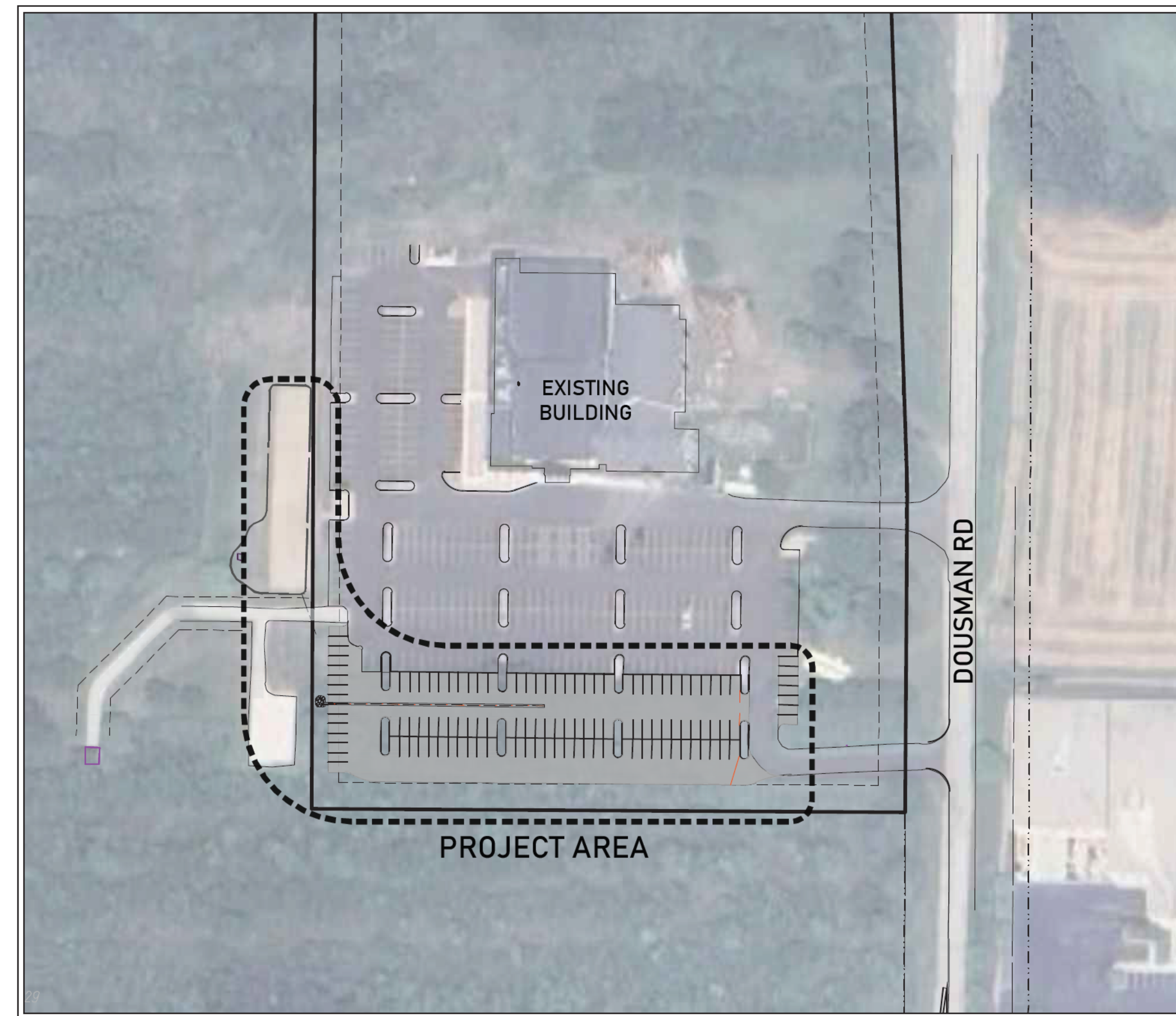
**NOTE:** EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

# WHITE STONE CHURCH - PARKING ADDITION

## SITE DEVELOPMENT PLANS VILLAGE OF SUMMIT, WISCONSIN

### GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
  - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
  - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
  - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
  - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
  - VILLAGE OF SUMMIT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY OR AS REQUIRED BY THE VILLAGE OF SUMMIT.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE VILLAGE OF SUMMIT SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.



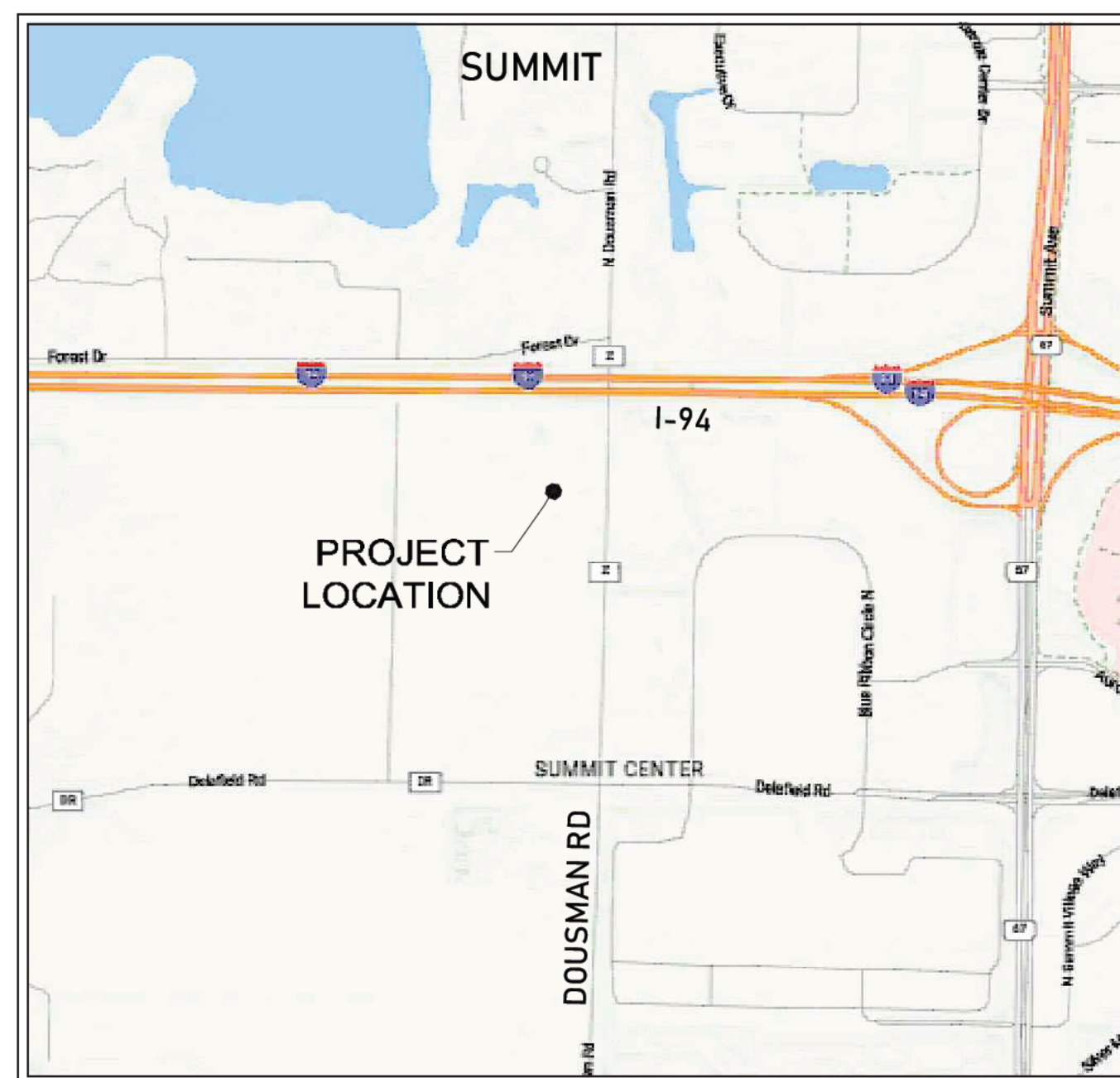
**SITE PLAN**  
SCALE: 1" = 100'

**OWNER:**  
WHITE STONE COMMUNITY CHURCH INC.  
2517 N. DOUSMAN RD.  
OCONOMOWOC, WI 53066  
PHONE: 262-569-2766  
EMAIL: info@mywhitestone.org

**ENGINEER / SURVEYOR:**  
TRIO ENGINEERING, LLC  
19035 W CAPITOL DR., SUITE 200  
BROOKFIELD, WISCONSIN 53045  
PHONE: (262) 790-1480  
FAX: (262) 790-1481

### SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE PLAN
C1.1	- PROPOSED SITE PLAN
C2.0	- GRADING, UTILITY, & EROSION CONTROL PLAN
C3.0	- CONSTRUCTION DETAILS



**LOCATION MAP**  
NOT TO SCALE



19035 W CAPITOL DR., SUITE 200  
BROOKFIELD, WI 53045  
PHONE: (262) 790-1480  
FAX: (262) 790-1481  
EMAIL: jpu@trioeng.com

**PROJECT:**  
**WHITE STONE CHURCH - PARKING ADDITION**  
VILLAGE OF SUMMIT, WISCONSIN  
BY: WHITE STONE COMMUNITY CHURCH INC.  
2517 N. DOUSMAN RD.  
OCONOMOWOC, WI 53066

REVISION HISTORY	
DATE	DESCRIPTION
10/17/2025	PRELIMINARY SUBMITTAL

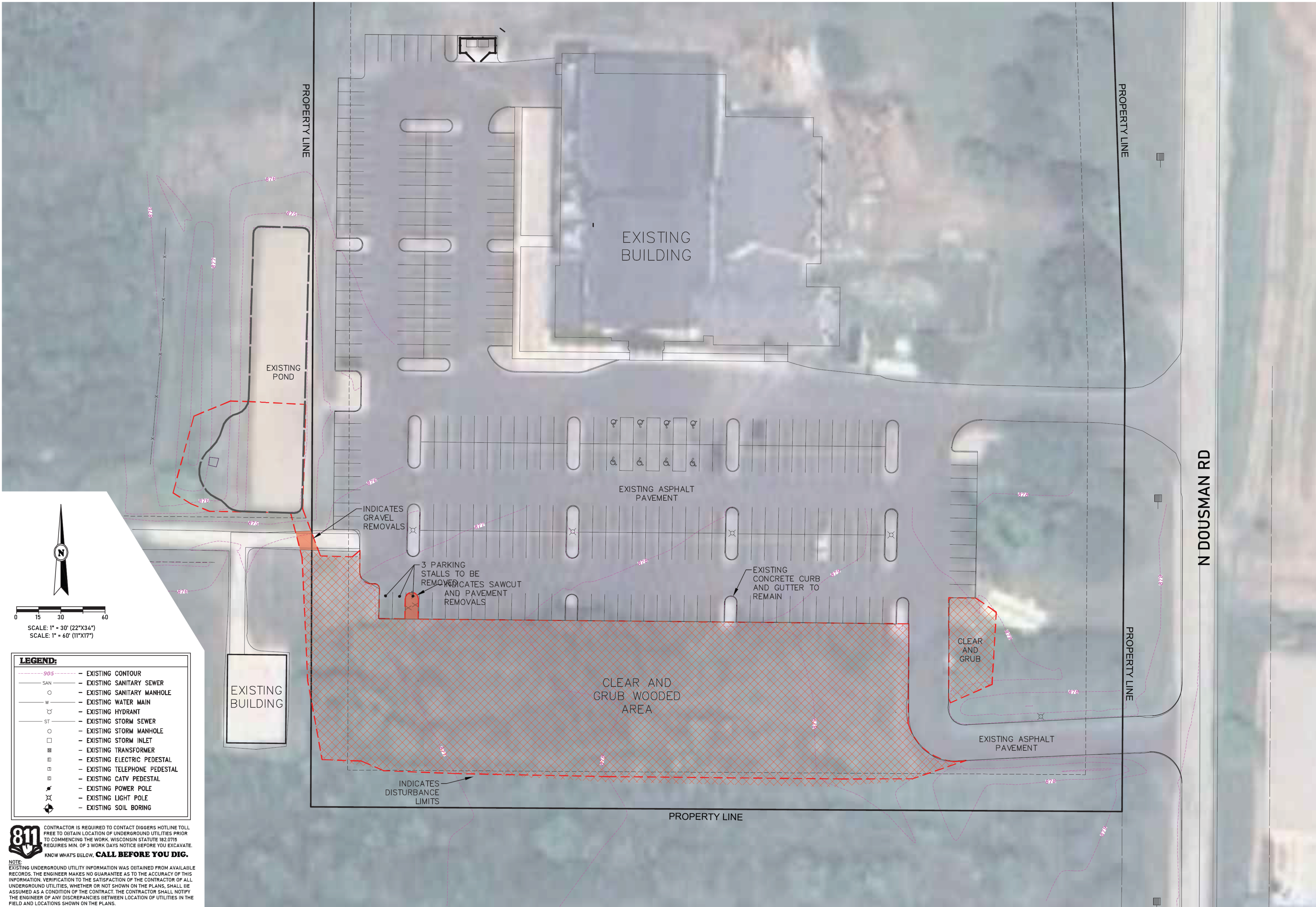
**DATE:**  
OCTOBER 17, 2025

**JOB NUMBER:**  
25-37-1012

**DESCRIPTION:**  
COVER SHEET

**SHEET**  
**T1**

X:\2025\25-41-1076 WHITE STONE COMMUNITY CHURCH - SUMMIT\DRAWINGS\CONSTRUCTION PLANS\WHITE STONE\_CIVIL\_PLAN\_SET\_22X34.DWG



0 15 30 60  
 SCALE: 1" = 30' (22"x34")  
 SCALE: 1" = 60' (11"x17")

**LEGEND:**

--- 905 ---	- EXISTING CONTOUR
— SAN —	- EXISTING SANITARY SEWER
○	- EXISTING SANITARY MANHOLE
— W —	- EXISTING WATER MAIN
♂	- EXISTING HYDRANT
— ST —	- EXISTING STORM SEWER
○	- EXISTING STORM MANHOLE
□	- EXISTING STORM INLET
⊞	- EXISTING TRANSFORMER
⊞	- EXISTING ELECTRIC PEDESTAL
⊞	- EXISTING TELEPHONE PEDESTAL
⊞	- EXISTING CATV PEDESTAL
⊞	- EXISTING POWER POLE
⊞	- EXISTING LIGHT POLE
⊞	- EXISTING SOIL BORING

**811** CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. KNOW WHAT'S BELOW. **CALL BEFORE YOU DIG.**

**NOTE:** EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



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**WHITE STONE CHURCH - PARKING ADDITION**  
 VILLAGE OF SUMMIT, WISCONSIN  
 BY: WHITE STONE COMMUNITY CHURCH INC.  
 2517 N. DOUSMAN RD.  
 OCONOMOWOC, WI 53066

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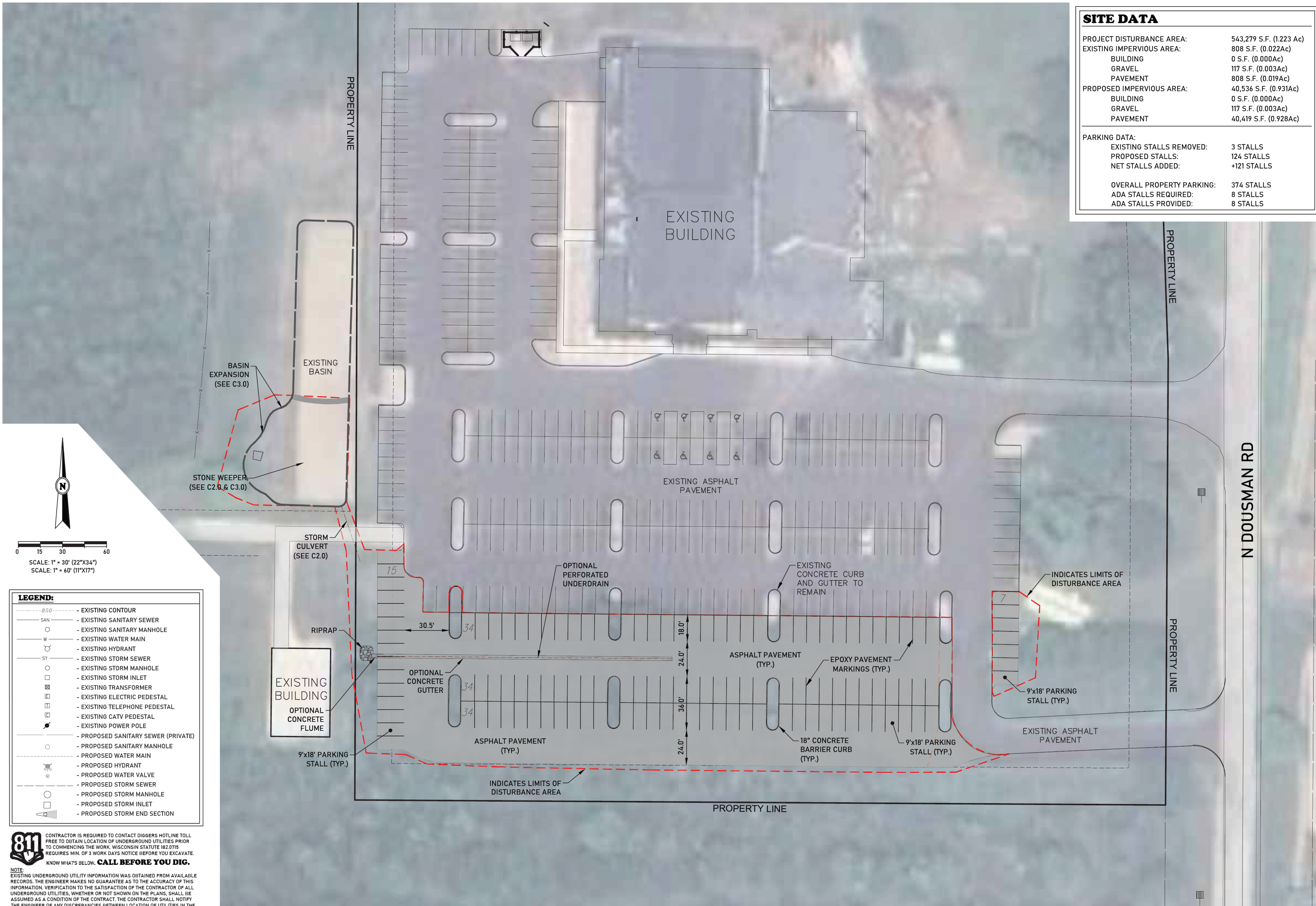
**DATE:**  
 OCTOBER 17, 2025

**JOB NUMBER:**  
 25-37-1012

**DESCRIPTION:**  
 EXISTING  
 SITE PLAN

**SHEET**  
**C1.0**

X:\2025\25-41-1076 WHITE STONE COMMUNITY CHURCH - SUMMIT\DRAWINGS\CONSTRUCTION PLANS\WHITE STONE\_CIVIL PLAN SET\_22X34.DWG



SITE DATA	
PROJECT DISTURBANCE AREA:	543,279 S.F. (1.223 Ac)
EXISTING IMPERVIOUS AREA:	808 S.F. (0.022Ac)
BUILDING	0 S.F. (0.000Ac)
GRAVEL	117 S.F. (0.003Ac)
PAVEMENT	808 S.F. (0.019Ac)
PROPOSED IMPERVIOUS AREA:	40,536 S.F. (0.931Ac)
BUILDING	0 S.F. (0.000Ac)
GRAVEL	117 S.F. (0.003Ac)
PAVEMENT	40,419 S.F. (0.928Ac)
PARKING DATA:	
EXISTING STALLS REMOVED:	3 STALLS
PROPOSED STALLS:	124 STALLS
NET STALLS ADDED:	+121 STALLS
OVERALL PROPERTY PARKING: 374 STALLS	
ADA STALLS REQUIRED:	8 STALLS
ADA STALLS PROVIDED:	8 STALLS

LEGEND:	
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING STORM SEWER
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING TRANSFORMER
	EXISTING ELECTRIC PEDESTAL
	EXISTING TELEPHONE PEDESTAL
	EXISTING CATV PEDESTAL
	EXISTING POWER POLE
	PROPOSED SANITARY SEWER (PRIVATE)
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED STORM SEWER
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED STORM END SECTION

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**PROJECT:**  
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VILLAGE OF SUMMIT, WISCONSIN  
BY: WHITE STONE COMMUNITY CHURCH INC.  
2517 N. DOUSMAN RD.  
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REVISION HISTORY	
DATE	DESCRIPTION
10/17/2025	PRELIMINARY SUBMITTAL

**DATE:**  
OCTOBER 17, 2025

**JOB NUMBER:**  
25-37-1012

**DESCRIPTION:**  
PROPOSED  
SITE PLAN

**SHEET**  
**C1.1**

X:\2025\25-41-1076 WHITE STONE COMMUNITY CHURCH - SUMMIT DRAWINGS\CONSTRUCTION PLANS\WHITE STONE\_CIVIL PLAN SET\_22X34.DWG

**GRADING PLAN NOTES:**  
 1. IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED USING INTERPOLATED EXISTING SURVEY GRADES. CONTRACTOR SHALL VERIFY ALL EXISTING MATCH GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES. IF DISCREPANCIES ARE PRESENT CONTRACTOR SHALL REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.  
 2. OVERALL SITE MUST BE GRADED TO WITHIN 4" OF FINAL GRADE PRIOR TO THE ELECTRICAL INSTALLATION.



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**PROJECT:**  
**WHITE STONE CHURCH - PARKING ADDITION**  
 VILLAGE OF SUMMIT, WISCONSIN  
 BY: WHITE STONE COMMUNITY CHURCH INC.  
 2517 N. DOUSMAN RD.  
 OCONOMOWOC, WI 53066

**REVISION HISTORY**

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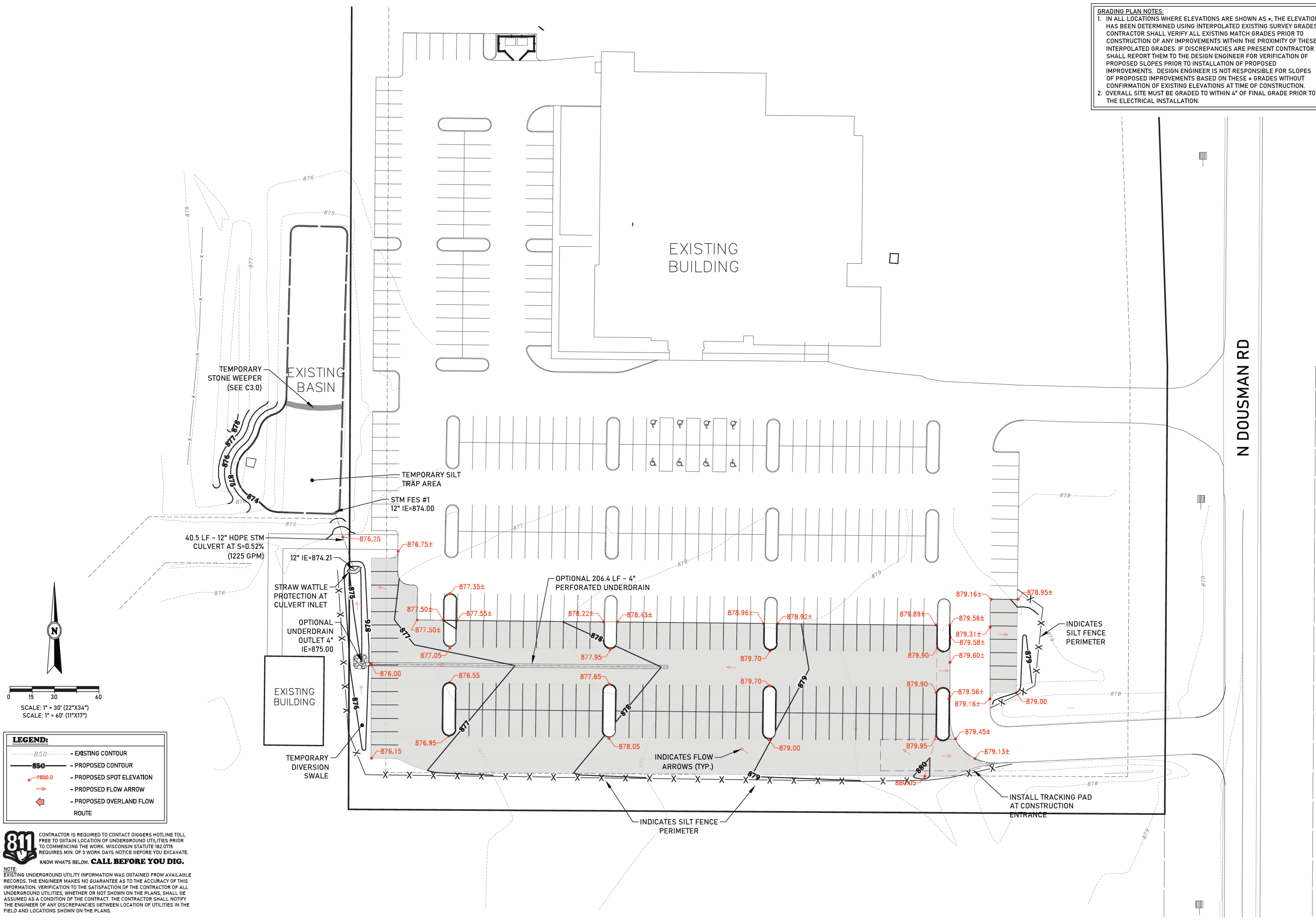
**DATE:**  
 OCTOBER 17, 2025

**JOB NUMBER:**  
 25-37-1012

**DESCRIPTION:**  
 GRADING, UTILITY,  
 & EROSION  
 CONTROL PLAN

**SHEET**

**C2.0**

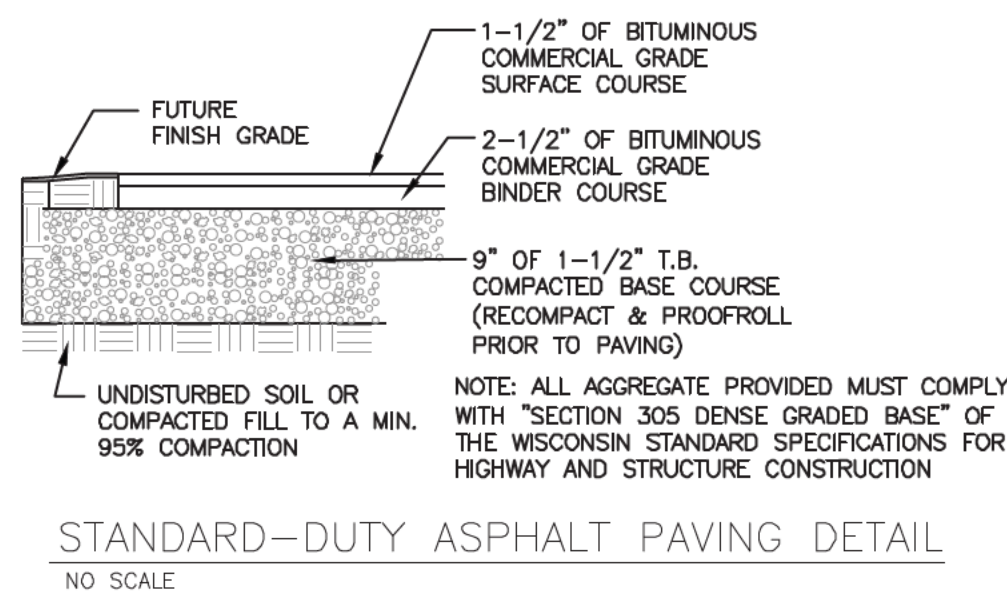


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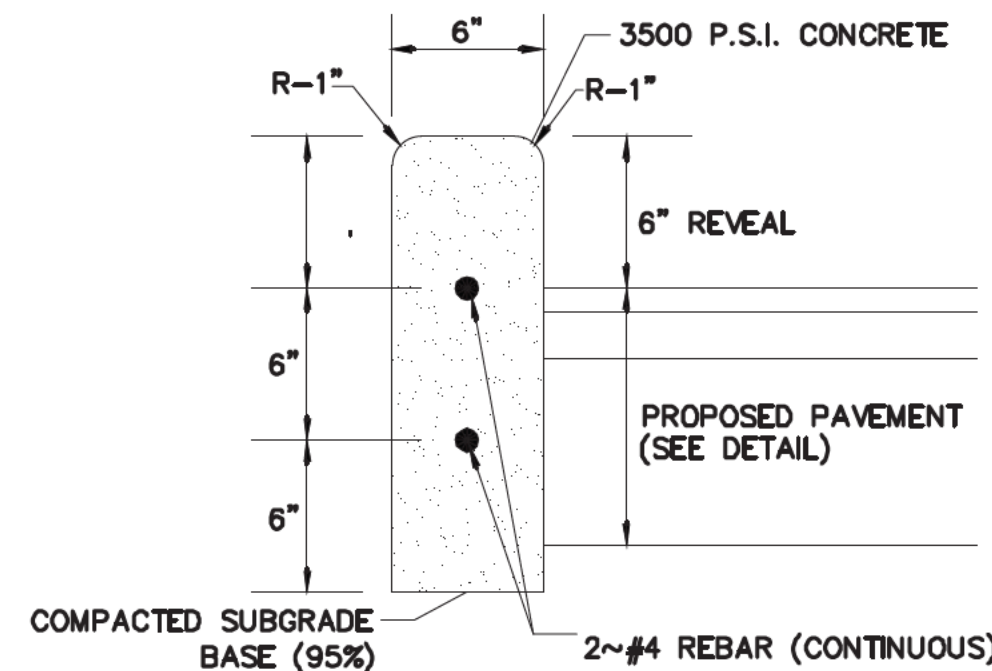
850	- EXISTING CONTOUR
850	- PROPOSED CONTOUR
P850.0	- PROPOSED SPOT ELEVATION
→	- PROPOSED FLOW ARROW
→	- PROPOSED OVERLAND FLOW ROUTE

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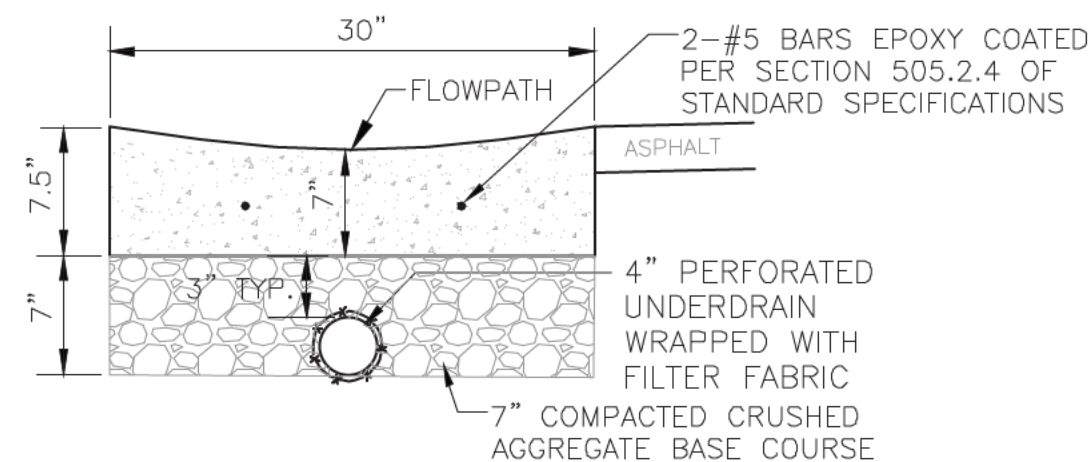


STANDARD-DUTY ASPHALT PAVING DETAIL  
NO SCALE

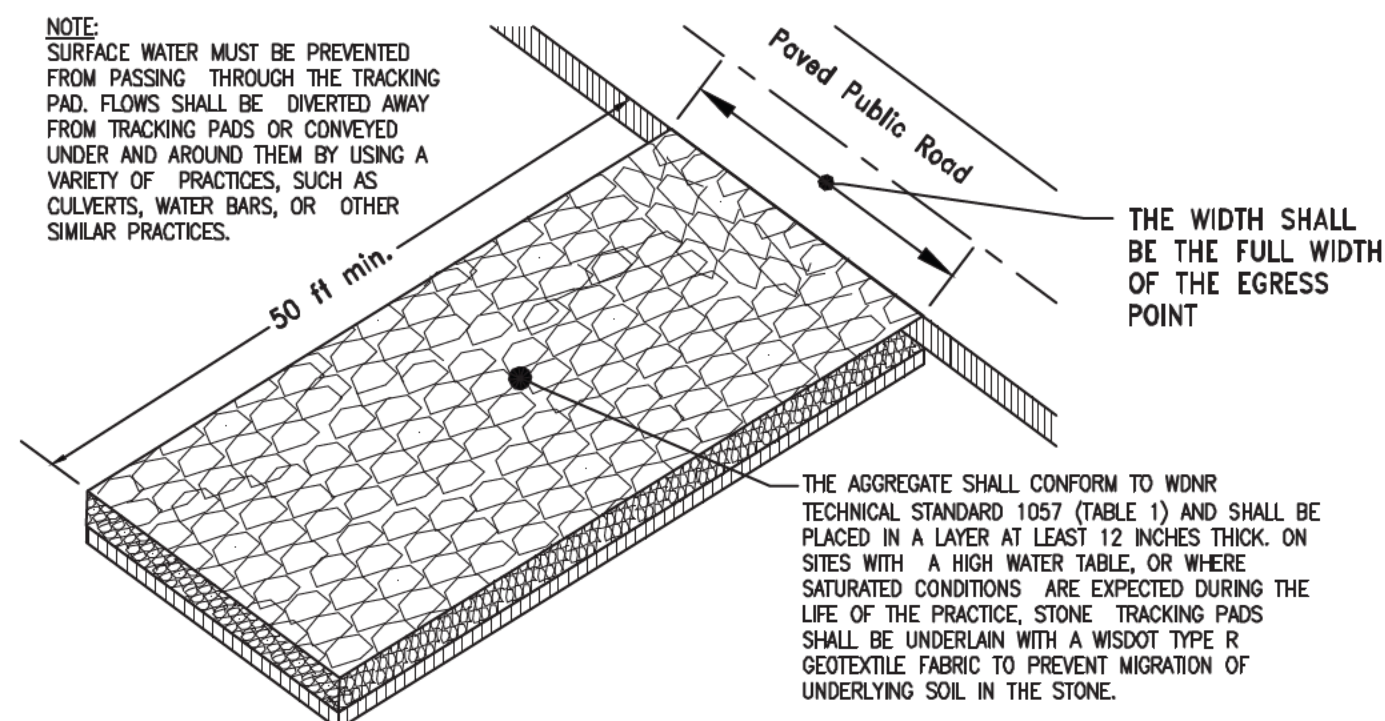


NOTES:  
1. PROVIDE HAND TOOLED CONTRACTION JOINTS EVERY 10' O.C.

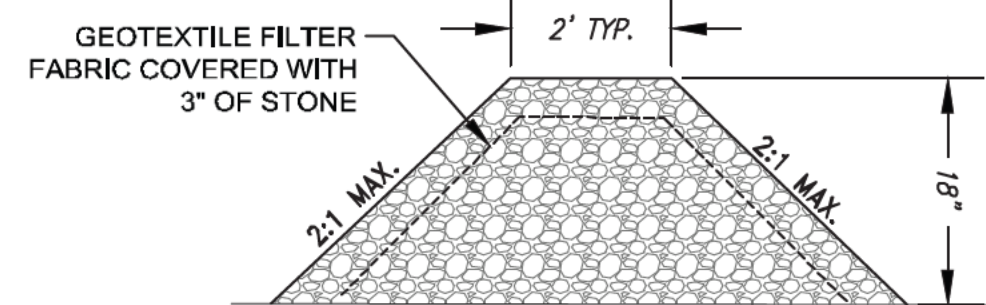
TYPE 'C' BARRIER CURB



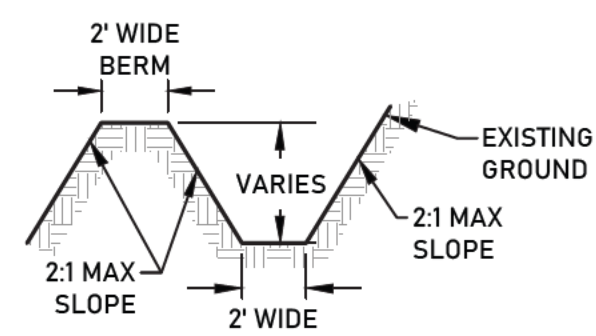
OPTIONAL CONCRETE GUTTER AND UNDERDRAIN DETAIL  
NO SCALE



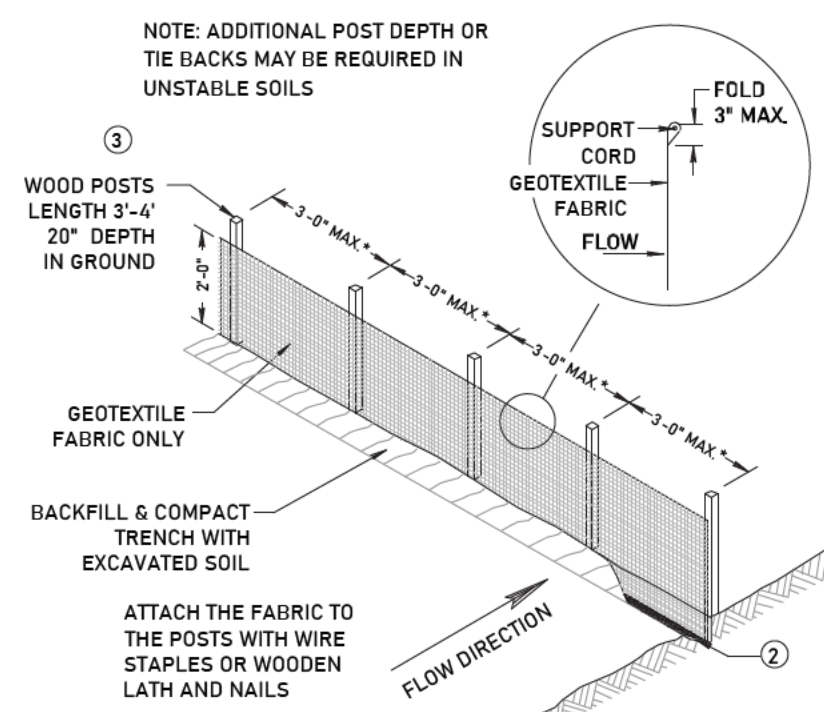
CONSTRUCTION ENTRANCE DETAIL  
NO SCALE



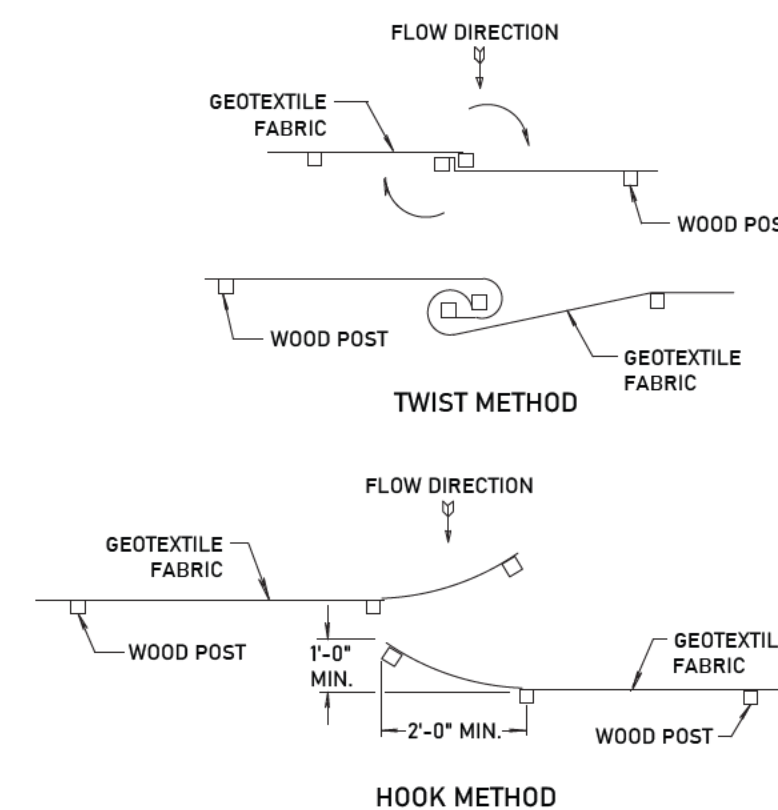
SILT TRAP STONE WEEPER  
N.T.S.



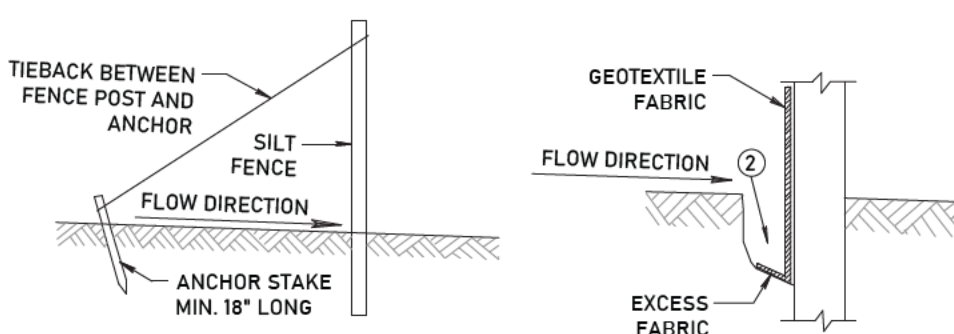
NOTES:  
1. TEMPORARY SEED/STABILIZE BERMS AND DITCHES IMMEDIATELY AS ANY SECTION IS COMPLETED PER WisDOT STD. SPEC.  
2. REFER TO WISCONSIN DNR TECHNICAL STANDARD 1066 FOR ADDITIONAL INFORMATION.  
DIVERSION BERM/SWALE DETAIL  
NO SCALE



SILT FENCE



JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK  
(WHEN ADDITIONAL SUPPORT REQUIRED)

TRENCH DETAIL

SILT FENCE INSTALLATION DETAIL  
NO SCALE

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.

CONSTRUCTION SEQUENCE PLAN

- FALL 2025: INSTALL WESTERN TEMPORARY DIVERSION BERM AND 12" CULVERT TO EXISTING BASIN. INSTALL STONE WEEPER IN EXISTING BASIN TO CREATE LIMITS OF SILT TRAP. LIMIT COMPACTION TO BASIN BOTTOM.
- FALL 2025: INSTALL TRACKING PAD AND SILT FENCE AROUND THE PERIMETER OF THE SITE.
- FALL 2025: STRIP TOPSOIL AND STOCKPILE. SEED AND STABILIZE STOCKPILES IMMEDIATELY UPON COMPLETION OF STOCKPILING.
  - ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN (7) DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
- FALL 2025: ROUGH GRADE SITE.
- FALL 2025: INSTALL STONE BASE COURSE.
- FALL 2025: LATE SEASON STABILIZATION (SEE SEPARATE NOTE).
- SPRING 2026: CONSTRUCT CURB, AND PLACE BINDER COURSE PAVEMENT.
- SPRING 2026: FINISH GRADING. RESPREAD TOPSOIL AND PLACE SEED, MULCH, MATTING AND OTHER SITE STABILIZERS AS NEEDED. NOTE THAT THIS STEP MAY BEGIN CONCURRENT PARKING LOT CONSTRUCTION. ALSO NOTE THAT ANY AREAS, SUCH AS POND SLOPES, THAT ARE FINISH GRADED AND TOPSOILED SHALL BE SEEDED, MULCHED AND/OR MATTED IMMEDIATELY AFTER TOPSOIL IS PLACED.
- SPRING/SUMMER 2026: REMOVE REMAINING CONSTRUCTION EROSION CONTROL MEASURES AFTER SITE IS STABILIZED (SUBSTANTIALLY VEGETATED) AND ALL CONSTRUCTION IS COMPLETE. REMOVE STONE WEEPER FROM BASIN AND ALL SILT FROM SILT TRAP.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
- IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
- EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
  - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH CONSTRUCTION SITE.
  - PROTECT DOWNSTREAM/ADJACENT WATERWAYS/WETLANDS WITH SILT FENCE.
  - DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
  - PLACE SILT FENCE OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
  - MAINTAIN EXISTING SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS. PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
  - PROMPT REMOVAL OF EXCAVATED MATERIAL.
  - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
  - CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
  - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
  - TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
  - ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARILY SEEDED AS OF THAT DATE.
  - TEMPORARY EROSION CONTROL MEASURES.
    - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
    - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
  - ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
  - ANY TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDNr TECHNICAL STANDARDS.
  - INSTALL SILT FENCE IN ACCORDANCE WITH WDNr TECHNICAL STANDARDS.
  - RIP RAP AT PIPE OUTLET SHALL BE 3'x5' MEDIUM RIP RAP OVER TYPE R FABRIC PER WDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
  - EROSION CONTROL INSPECTION AND MAINTENANCE
    - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
    - REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
  - ALL AREAS TO BE SEEDED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.

LATE SEASON STABILIZATION NOTES:

THE OBJECTIVE IS TO STABILIZE THE SITE WITH 70% VEGETATIVE COVERAGE OF ALL PVIOUSLY DISTURBED AREAS BEFORE THE END OF THE GROWING SEASON. THIS WILL BE DONE BY SEEDING OF ALL DISTURBED AREAS WITH PERMANENT VEGETATION BY SEPTEMBER 15, 2022. IF THIS DEADLINE IS MISSED, THEN STABILIZATION WILL BE COMPLETED BY:

- SEEDING OF ALL DISTURBED AREAS WITH TEMPORARY SEED MIX (OATS, WINTER WHEAT, ANNUAL RYE) BY OCTOBER 15. PERMANENT SEED MIX MUST THEN BE IMPLEMENTED BY JUNE 1 OF THE FOLLOWING YEAR.
- IF THE OCTOBER 15 DEADLINE IS MISSED, COVERAGE OF ALL DISTURBED AREAS BY NOVEMBER 1 WITH:
  - TOPSOIL, SEED, AND THE MATERIAL CALLED FOR ON THIS PLAN, WHERE TOPSOIL, SEED, AND EROSION CONTROL MATTING IS CALLED FOR.
  - PRODUCT ACCEPTABILITY LIST OR OTHER METHOD APPROVED BY THE CITY ENGINEER FOR ALL AREAS WHERE SEED, TOPSOIL, AND MULCH IS CALLED FOR ON THIS PLAN.
- IF THE NOVEMBER 1 DEADLINE HAS BEEN MISSED, AND THE CITY ENGINEER HAS DETERMINED THAT IT IS INFEASIBLE TO PLACE TOPSOIL, THE PERMIT APPLICANT SHALL:
  - APPLY TYPE A SOIL STABILIZER FROM THE WDOT PRODUCT ACCEPTABILITY LIST TO ALL DISTURBED AREAS.
  - INSTALL DITCH CHECKS IN ALL DITCHES WITH SLOPE GREATER THAN 0.5% AT INTERVALS SUCH THAT THE TOP OF THE DOWNHILL DITCH CHECK IS AT THE ELEVATION OF THE FOOT OF THE UPHILL DITCH CHECK. DITCH CHECKS SHALL BE EITHER:
    - TRIANGULAR FOAM-CORE
    - STONE INSTALLED PER THE WDNr TECHNICAL STANDARD
    - COMPOST-FILLED TUBES, OR
    - A COMPARABLE PRODUCT AS APPROVED BY THE CITY ENGINEER.



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**PROJECT:**  
**WHITE STONE CHURCH - PARKING ADDITION**  
**VILLAGE OF SUMMIT, WISCONSIN**  
BY: WHITE STONE COMMUNITY CHURCH INC.  
2517 N. DOUSMAN RD.  
OCONOMOWOC, WI 53066

REVISION HISTORY

DATE	DESCRIPTION
10/17/2025	PRELIMINARY SUBMITTAL

**DATE:**  
OCTOBER 17, 2025

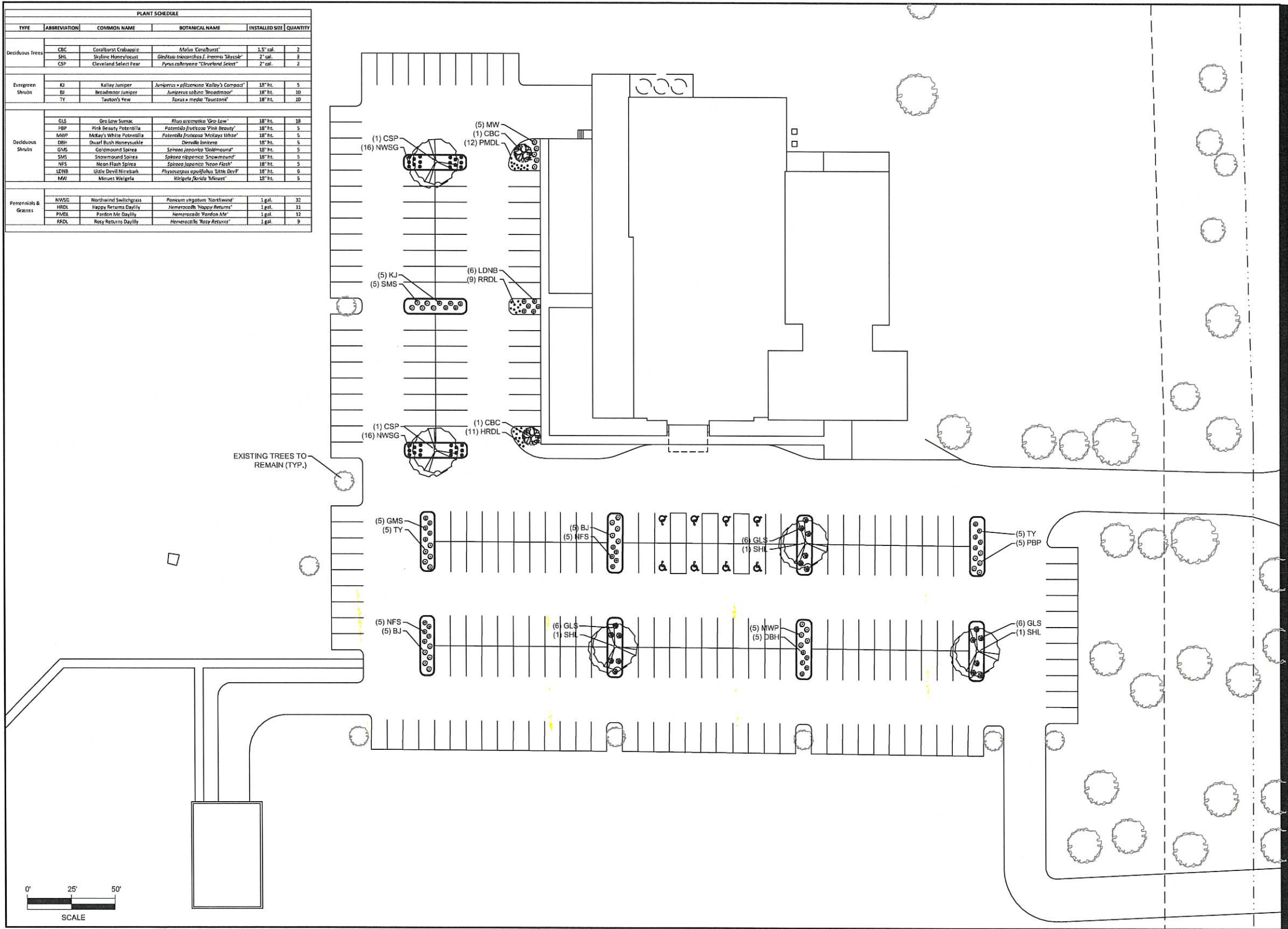
**JOB NUMBER:**  
25-37-1012

**DESCRIPTION:**  
CONSTRUCTION DETAILS

**SHEET**

C3.0

PLANT SCHEDULE				
TYPE	ABBREVIATION	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE   QUANTITY
Deciduous Trees	CBC	Corallorhiza Cinnamon	Malus 'Coralburst'	1.5" cal.   2
	SHL	Skyline HomeLocust	Gleditsia triacanthos / Inermis 'Skyline'	2" cal.   3
	CSP	Cleveland Select Pear	Pyrus calleryana 'Cleveland Select'	2" cal.   2
Evergreen Shrubs	KJ	Kelly Juniper	Juniperus x pfitzeriana 'Kelly's Compact'	18" ht.   5
	BJ	Broadmoor Juniper	Juniperus sabino 'Broadmoor'	18" ht.   10
	TY	Taunton's Yew	Taxus x media 'Taunton's'	18" ht.   10
Deciduous Shrubs	GLS	Green Low Spirea	Rhus aromatica 'Glo-Low'	18" ht.   18
	PBP	Pink Beauty Potentilla	Potentilla fruticosa 'Pink Beauty'	18" ht.   5
	MWP	McKay's White Potentilla	Potentilla fruticosa 'McKay's White'	18" ht.   5
	DBH	Dwarf Bush Hydrangea	Hydrangea serrata	18" ht.   5
	GMS	Goldmound Spirea	Spiraea japonica 'Goldmound'	18" ht.   5
	SMS	Snowmound Spirea	Spiraea japonica 'Snowmound'	18" ht.   5
	NFS	Neon Flash Spirea	Spiraea japonica 'Neon Flash'	18" ht.   5
Perennials & Grasses	LDNB	Little Devil Nerve Panic	Physocarpus opulifolius 'Little Devil'	18" ht.   6
	MW	Minesota Weigela	Wingely/Rand's 'Minesota'	18" ht.   5
	NWSG	Northern Switchgrass	Panicum virginicum 'Northwind'	1 gal.   22
HRDL	Happy Returns Daylily	Hemerocallis 'Happy Returns'	1 gal.   11	
PMDL	Pardon Me Daylily	Hemerocallis 'Pardon Me'	1 gal.   12	
RRDL	Rosy Returns Daylily	Hemerocallis 'Rosy Returns'	1 gal.   9	



**HANSON'S  
LANDSCAPING**

101 DAIRY AVE.  
WAUKESHA, WI 53188

OFFICE: (262) 574-9288

www.hansonlandscaping.com

joe@hansonlandscaping.com  
mike@hansonlandscaping.com

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**DESIGN FOR:**

WHITE STONE CHURCH  
2517 N. DOUSMAN RD.  
OCONOMOWOC, WI 53066

SCALE: 1" = 25'



NORTH

**DATE:**

5/2/21

**DRAWN BY:**

JLH

**CHECKED BY:**

JLH

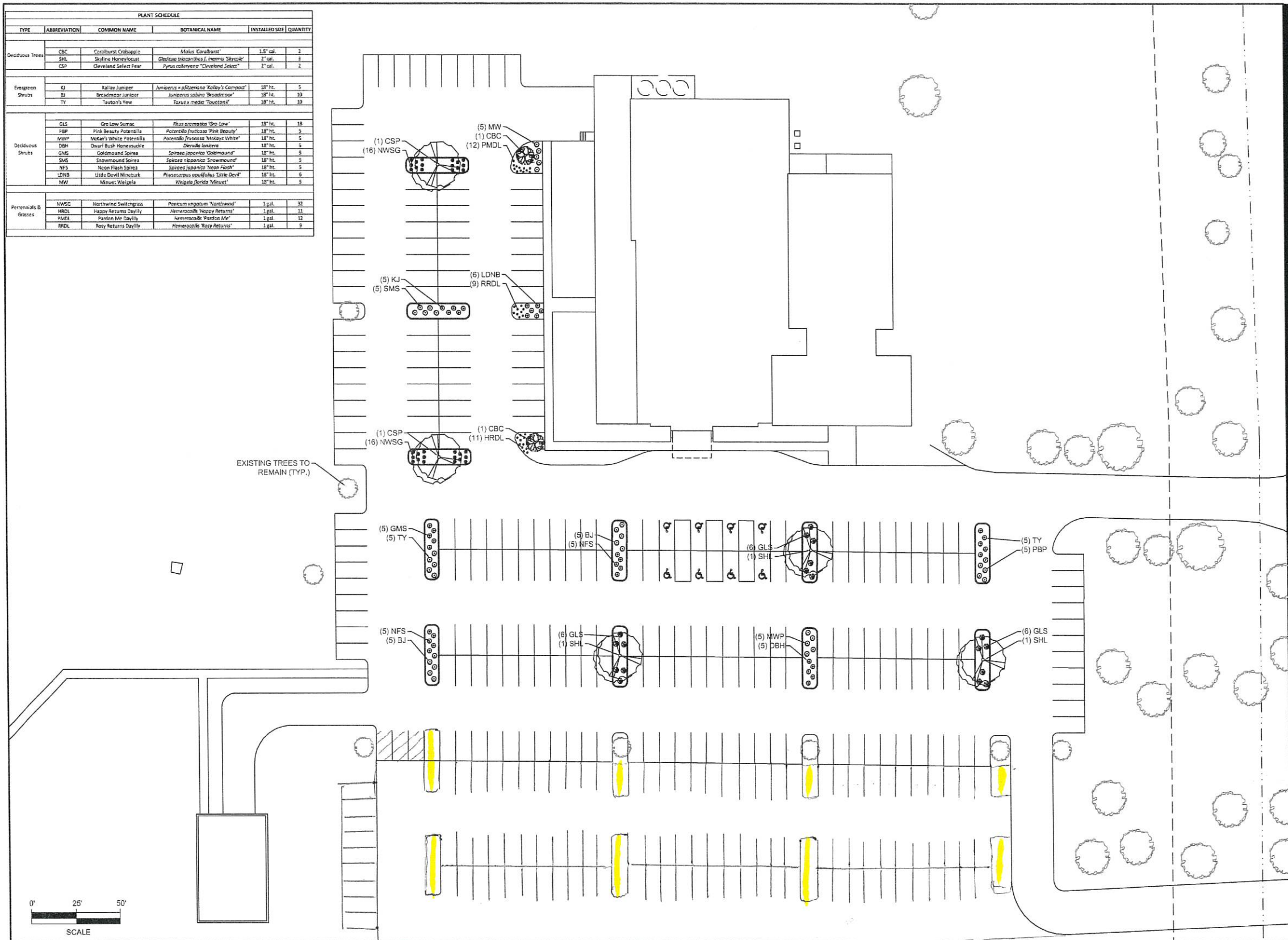
**SHEET TITLE:**

LANDSCAPING PLAN

Option #3

108 new spots  
 -3 = Dive  
 105 additional

PLANT SCHEDULE					
TYPE	ABBREVIATION	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	QUANTITY
Deciduous Trees	CBC	Coralburst Crabapple	Malus 'Coralburst'	1.5' cal.	2
	SHL	Skyline Honeylocust	Gleditsia inaequalis f. 'Inermis Skyline'	2" cal.	3
	CSP	Cleveland Select Pear	Pyrus columbiae 'Cleveland Select'	2" cal.	2
Evergreen Shrubs	KJ	Kalley Juniper	Juniperus x affinis 'Kalley's Compact'	18" ht.	5
	BJ	Broadmoor Juniper	Juniperus sabina 'Broadmoor'	18" ht.	10
	TY	Taylor's Yew	Taxus x media 'Taylor's Yew'	18" ht.	10
Deciduous Shrubs	GLS	Gre Low Sumac	Rhus glabra 'Gre-Low'	18" ht.	18
	PBP	Pink Beauty Potentilla	Potentilla fruticosa 'Pink Beauty'	18" ht.	5
	MWP	McKay's White Potentilla	Potentilla fruticosa 'McKay's White'	18" ht.	5
	DBH	Dwarf Bush Honeyuckle	Desmodium illinoense	18" ht.	5
	GMS	Goldmound Spirea	Spiraea japonica 'Goldmound'	18" ht.	5
	SMS	Snowmound Spirea	Spiraea japonica 'Snowmound'	18" ht.	5
	NFS	Neon Flash Spirea	Spiraea japonica 'Neon Flash'	18" ht.	5
	LDNB	Little Devil Ninebark	Physocarpus opulifolius 'Little Devil'	18" ht.	6
	MW	Minuet Weigela	Kniphofia 'Minuet'	18" ht.	5
Perennials & Grasses	NWSG	Northwind Switchgrass	Panicum virgatum 'Northwind'	1 gal.	32
	HRDL	Happy Returns Daylily	Hemerocallis 'Happy Returns'	1 gal.	11
	PMEL	Pardon Me Daylily	Hemerocallis 'Pardon Me'	1 gal.	12
	RDEL	Rosy Returns Daylily	Hemerocallis 'Rosy Returns'	1 gal.	9



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 WAUKESHA, WI 53188

OFFICE: (262) 574-9288

www.hansonlandscaping.com

joe@hansonlandscaping.com  
 mike@hansonlandscaping.com

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DESIGN FOR:

WHITE STONE CHURCH  
 2517 N. DOUSMAN RD.  
 OCONOMOWOC, WI 53066

SCALE: 1" = 25'



NORTH

DATE: \_\_\_\_\_  
 5/2/21

DRAWN BY: \_\_\_\_\_  
 JLH

CHECKED BY: \_\_\_\_\_  
 JLH

SHEET TITLE: \_\_\_\_\_  
 LANDSCAPING PLAN

**From:** [Ryan Buck](#)  
**To:** [Amy Barrows](#)  
**Subject:** Fw: White Stone Church -Parking lot expansion 2026  
**Date:** Tuesday, November 11, 2025 8:26:58 AM  
**Attachments:** [Photometrics - White Stone Community Church Dousman OCT 2025 Exterior Layout REV110725.pdf](#)

---

Good Morning Amy,

Attached is the updated photometric for parking lot. I also confirmed the total height for the lights is 15 ft.

*Ryan C. Buck*

Executive Pastor

**White Stone Community Church**

2517 N Dousman Road

Oconomowoc WI 53066

[REDACTED]

[REDACTED]

---

**From:** Steve Roblee [REDACTED]  
**Sent:** Friday, November 7, 2025 2:27 PM  
**To:** Ryan Buck [REDACTED] >  
**Subject:** Re: White Stone Church -Parking lot expansion 2026

Hi Ryan,

Here is an updated photometric for the parking lot.

Have a great day.

**Steve Roblee**



[REDACTED]

On Wed, Nov 5, 2025 at 9:38 AM Steve Roblee [REDACTED]:  
Hello Ryan,

Page 4 will show the 15' spec for the poles.

We should have the updated drawings soon.

Thanks

**Steve Roblee**



[Redacted]

On Mon, Nov 3, 2025 at 3:19 PM Ryan Buck [Redacted]:

Hi Steve,

I just got back from my meeting with the Village of Summit, they are asking for confirmation on pole height, and a map of "the foot candle to zero" (not sure what that means). Other than that we just have some slight engineering clarification and some landscaping updates. Overall, it was a positive step. Thank you for everything.

*Ryan C. Buck*

Executive Pastor

**White Stone Community Church**

2517 N Dousman Road

Oconomowoc WI 53066

[Redacted]

[Redacted]

---

**From:** Steve Roblee [Redacted]

[Redacted]

[Redacted] Buck <[Redacted]>

**Subject:** Re: White Stone Church -Parking lot expansion 2026

Hello Ryan,

It was a great meeting with you yesterday — I really appreciate you taking the time.

Attached are the spec sheets along with the photometric

design. You'll find the key analysis the village is most interested in on **page 14** of the photometrics. Please don't hesitate to reach out if you have any questions or need clarification on any of the details.

In addition, I'll have a quote for the poles and fixtures shortly. I've also requested a bid for the excavation and installation of the underground conduit and concrete bases. I just want to be ready in case there's an opportunity to get an early start on the project yet this year.

Thank you again,

### Steve Roblee



OFFICE

CELL

[REDACTED]

[REDACTED]

[REDACTED]

On Wed, Oct 22, 2025 at 11:11 AM Ryan Buck [REDACTED] wrote:

Hi Steve,

Great to see you today. Attached is the current parking lot drawing (first page) and the proposed expansion (second page). Here are the request form Summit in regards to lighting:

#### Lighting

- Fixtures max **15 ft height**, must be **downcast**.
- Provide **photometric plan** and **catalog cut sheets** for fixtures.

All forms need to be submitted in advance of Nov. 3<sup>rd</sup> review meeting. Thank you!

*Ryan C. Buck*

Executive Pastor

**White Stone Community Church**

2517 N Dousman Road  
Oconomowoc WI 53066

[REDACTED]

[REDACTED]

# NAFCO® SQUARE STRAIGHT ALUMINUM LIGHT POLES (ANCHOR BASE)

Catalog # \_\_\_\_\_

Project \_\_\_\_\_

Comments \_\_\_\_\_



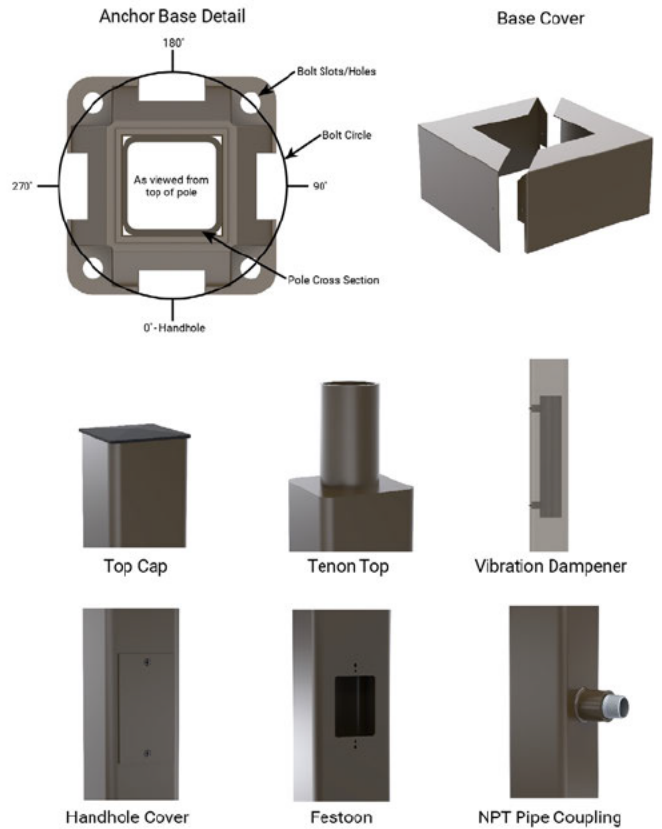
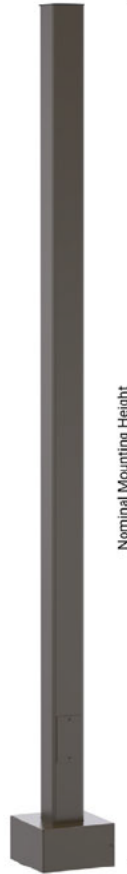
Proudly engineered and manufactured in the American Midwest – our NAFCO® family of professional-grade light pole and fixture products combines 50+ years of manufacturing expertise and top-notch Midwestern workmanship. Like all WILL products, NAFCO® products come supported by our unmatched design, engineering, and project support capabilities

## Highlights

- Single source manufacturing to ensure poles, bases, arms, and fixtures fit together and ship complete
- Designed, engineered, and manufactured in Wisconsin, USA
- Performance coatings and custom color matching of RAL codes and architectural colors
- Custom products, configurations, options, and accessories available
- Meets Buy American and BABA standards

## Light Poles

- Pole shaft is extruded from seamless 6063-T6 aluminum and anchor base is cast from 356 alloy aluminum
- Completed pole/base assembly is heat treated to T6 temper after welding and machining operations (for anchor base poles 16' and above)
- 2" x 4" oval hand hole with grounding provision, cover, and hardware are provided
- Supplied with an aluminum two-piece base cover
- Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers; bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end
- All structural fasteners are galvanized high strength carbon steel; non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel
- Architectural grade painted or anodized finish and custom color matching of RAL codes and architectural colors
- See loading tables below for design criteria and EPA loading
- Local specifying engineer recommended for product selection and local compliance; connect with WILL support for guidance



**Designation & Dimensional Information**

Base Model	Pole Dimensions					Anchor Base & Bolts				
	Nominal Mounting Height (ft)	Top OD (in)	Base OD (in)	Wall Thick (in)	Structural Weight (lb)	Bolt Circle Diameter On Center (in)	Bolt Square On Center (in)	Square (in) x Thickness (in)	Dia x Length x Hook (in)	Projection (in)
NP-SSAA-08-4040-C	8	4	4	0.125	39	9.25	6.54	8.63 x 0.75	0.63 x 16 x 2	2.75
NP-SSAA-10-4040-C	10	4	4	0.125	43	9.25	6.54	8.63 x 0.75	0.63 x 16 x 2	2.75
NP-SSAA-10-4040-D	10	4	4	0.188	55	9.25	6.54	8.63 x 0.75	0.75 x 17 x 3	2.75
NP-SSAA-10-5050-D	10	5	5	0.188	78	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-12-4040-C	12	4	4	0.125	48	9.25	6.54	8.63 x 0.75	0.63 x 16 x 2	2.75
NP-SSAA-12-4040-D	12	4	4	0.188	62	9.25	6.54	8.63 x 0.75	0.75 x 17 x 3	2.75
NP-SSAA-12-5050-D	12	5	5	0.188	89	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-14-4040-C	14	4	4	0.125	52	9.25	6.54	8.63 x 0.75	0.63 x 16 x 2	2.75
NP-SSAA-14-4040-D	14	4	4	0.188	68	9.25	6.54	8.63 x 0.75	0.75 x 17 x 3	2.75
NP-SSAA-14-5050-D	14	5	5	0.188	100	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-15-4040-C	15	4	4	0.125	54	9.25	6.54	8.63 x 0.75	0.63 x 16 x 2	2.75
NP-SSAA-15-4040-D	15	4	4	0.188	71	9.25	6.54	8.63 x 0.75	0.75 x 17 x 3	2.75
NP-SSAA-15-5050-D	15	5	5	0.188	84	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-16-4040-C	16	4	4	0.125	57	9.25	6.54	8.63 x 0.75	0.63 x 16 x 2	2.75
NP-SSAA-16-4040-D	16	4	4	0.188	74	9.25	6.54	8.63 x 0.75	0.75 x 17 x 3	2.75
NP-SSAA-16-5050-D	16	5	5	0.188	88	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-18-4040-C	18	4	4	0.125	61	9.25	6.54	8.63 x 0.75	0.63 x 16 x 2	2.75
NP-SSAA-18-4040-D	18	4	4	0.188	81	9.25	6.54	8.63 x 0.75	0.75 x 17 x 3	2.75
NP-SSAA-18-4040-E	18	5	5	0.250	100	9.25	6.54	8.63 x 0.75	0.75 x 17 x 3	2.75
NP-SSAA-18-5050-D	18	5	5	0.188	97	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-18-5050-E	18	5	5	0.250	122	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-20-4040-C	20	4	4	0.125	65	9.25	6.54	8.63 x 0.75	0.63 x 16 x 2	2.75
NP-SSAA-20-4040-D	20	5	5	0.188	88	9.25	6.54	8.63 x 0.75	0.75 x 17 x 3	2.75
NP-SSAA-20-4040-E	20	5	5	0.250	109	9.25	6.54	8.63 x 0.75	0.75 x 17 x 3	2.75
NP-SSAA-20-5050-D	20	5	5	0.188	105	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-20-5050-E	20	5	5	0.250	133	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-22-5050-D	22	5	5	0.188	114	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-22-5050-E	22	5	5	0.250	133	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-22-6060-E	22	6	6	0.250	170	12.00 - 14.75	8.48 - 10.43	12.63 x 0.88	1 x 36 x 4	3.50
NP-SSAA-24-5050-D	24	5	5	0.188	122	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-24-5050-E	24	5	5	0.250	155	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-24-6060-E	24	6	6	0.250	183	12.00 - 14.75	8.48 - 10.43	12.63 x 0.88	1 x 36 x 4	3.50
NP-SSAA-25-5050-D	25	5	5	0.188	126	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-25-5050-E	25	5	5	0.250	160	11.00 - 12.75	7.78 - 9.00	11.63 x 1.00	1 x 36 x 4	3.50
NP-SSAA-25-6060-E+	25	6	6	0.250	190	12.00 - 14.75	8.48 - 10.43	12.63 x 0.88	1 x 36 x 4	3.50
NP-SSAA-28-6060-E+	28	6	6	0.250	210	12.00 - 14.75	8.48 - 10.43	12.63 x 0.88	1 x 36 x 4	3.50
NP-SSAA-30-6060-E+	30	6	6	0.250	221	12.00 - 14.75	8.48 - 10.43	12.63 x 0.88	1 x 36 x 4	3.50

1. The total combined Effective Projected Area (EPA) and weight of all fixtures, brackets, and other attachments mounting to a light pole cannot exceed the EPA and weight rating for a specified pole.
2. Custom products, configurations, options, and accessories available.
3. Satisfactory performance of light poles is dependent upon the structure being properly attached to a supporting foundation of adequate design.

\*+\* indicates a vibration dampener is standard.

**EPA Loading Guide (AASHTO 2020 Design Criteria)**

Base Model	80mph w/ 1.3 Gust		90mph w/ 1.3 Gust		100mph w/ 1.3 Gust		110mph w/ 1.3 Gust		120mph w/ 1.3 Gust	
	Max EPA (sq ft)	Max Weight (lb)	Max EPA (sq ft)	Max Weight (lb)	Max EPA (sq ft)	Max Weight (lb)	Max EPA (sq ft)	Max Weight (lb)	Max EPA (sq ft)	Max Weight (lb)
NP-SSAA-08-4040-C	14.7	100	11.4	100	9.0	100	8.3	100	6.7	100
NP-SSAA-10-4040-C	11.7	100	8.9	100	6.9	100	6.3	100	5.0	100
NP-SSAA-10-4040-D	17.6	100	13.6	100	10.7	100	9.9	100	8.1	100
NP-SSAA-10-5050-D	29.5	125	22.8	125	18.0	125	16.7	125	13.6	125
NP-SSAA-12-4040-C	9.4	100	7.0	100	5.3	100	4.8	100	3.7	100
NP-SSAA-12-4040-D	14.6	100	11.1	100	8.6	100	7.9	100	6.3	100
NP-SSAA-12-5050-D	24.5	125	18.8	125	14.6	125	13.4	125	10.8	125
NP-SSAA-14-4040-C	7.5	100	5.4	100	3.9	100	3.5	100	2.5	100
NP-SSAA-14-4040-D	12.0	100	9.0	100	6.8	100	6.2	100	4.8	100
NP-SSAA-14-5050-D	20.4	125	15.4	125	11.8	125	10.8	125	8.5	125
NP-SSAA-15-4040-C	6.6	100	4.6	100	3.2	100	2.9	100	2.0	100
NP-SSAA-15-4040-D	10.8	100	7.9	100	5.9	100	5.4	100	4.1	100
NP-SSAA-15-5050-D	18.5	125	13.8	125	10.5	125	9.6	125	7.4	125
NP-SSAA-16-4040-C	5.7	100	3.9	100	2.7	100	2.3	100	1.5	100
NP-SSAA-16-4040-D	9.6	100	7.0	100	5.1	100	4.6	100	3.4	100
NP-SSAA-16-5050-D	16.8	125	12.4	125	9.3	125	8.4	125	6.5	125
NP-SSAA-18-4040-C	4.2	100	2.6	100	1.5	100	1.2	100	0.5	100
NP-SSAA-18-4040-D	7.6	100	5.3	100	3.7	100	3.2	100	2.2	100
NP-SSAA-18-4040-E	10.7	100	7.8	100	5.7	100	5.1	100	3.8	100
NP-SSAA-18-5050-D	13.7	125	9.9	125	7.1	125	6.4	125	4.6	125
NP-SSAA-18-5050-E	19.1	125	14.1	125	10.6	125	9.6	125	7.3	125
NP-SSAA-20-4040-C	2.9	100	1.5	100	0.5	100	0.2	100	N/A	N/A
NP-SSAA-20-4040-D	5.9	100	3.9	100	2.5	100	2.1	100	1.1	100
NP-SSAA-20-4040-E	8.7	100	6.1	100	4.2	100	3.7	100	2.5	100
NP-SSAA-20-5050-D	11	125	7.6	125	5.2	125	4.5	125	3	125
NP-SSAA-20-5050-E	15.8	125	11.4	125	8.2	125	7.4	125	5.4	125
NP-SSAA-22-5050-D	8.7	125	5.7	125	3.5	125	2.9	125	1.5	125
NP-SSAA-22-5050-E	12.9	125	9	125	6.2	125	5.5	125	3.7	125
NP-SSAA-22-6060-E	21	150	15.1	150	10.8	150	9.6	150	6.9	150
NP-SSAA-24-5050-D	6.6	125	3.9	125	2	125	1.5	125	0.2	125
NP-SSAA-24-5050-E	10.5	125	7	125	4.5	125	3.8	125	2.2	125
NP-SSAA-24-6060-E	17.5	150	12.1	150	8.3	150	7.2	150	4.8	150
NP-SSAA-25-5050-D	5.7	125	3.1	125	1.3	125	0.8	125	N/A	N/A
NP-SSAA-25-5050-E	9.4	125	6	125	3.6	125	3	125	1.5	125
NP-SSAA-25-6060-E+	15.9	150	10.8	150	7.1	150	6.1	150	3.8	150
NP-SSAA-28-6060-E+	11.6	150	7.2	150	4	150	3.1	150	1.1	150
NP-SSAA-30-6060-E+	9.1	150	5.1	150	2.1	150	1.3	150	N/A	N/A

1. The total combined Effective Projected Area (EPA) and weight of all fixtures, brackets, and other attachments mounting to a light pole cannot exceed the EPA and weight rating for a specified pole.
2. Standard EPA and weight values are based around AASHTO 2020 design criteria (with 3 second gust factor). Specific light pole design standards are available from WILL support. Above data is based around the load centroid being at 2.5' above the pole top and with 2.0' eccentricity. Weight of horizontally eccentric load is capped at 100lb, with all remaining weight mounted 2.5' above top of the pole.
3. Custom products, configurations, options, and accessories available.
4. Satisfactory performance of light poles is dependent upon the structure being properly attached to a supporting foundation of adequate design.

\*+ indicates a vibration dampener is standard.

**EPA Loading Guide (2020 Florida Building Code)**

Base Model	130mph		140mph		150mph		160mph		170mph		180mph	
	Max EPA (sq ft)	Max Weight (lb)	Max EPA (sq ft)	Max Weight (lb)	Max EPA (sq ft)	Max Weight (lb)	Max EPA (sq ft)	Max Weight (lb)	Max EPA (sq ft)	Max Weight (lb)	Max EPA (sq ft)	Max Weight (lb)
NP-SSAA-08-4040-C	8.3	100	8.1	100	6.9	100	5.9	100	5.0	100	4.4	100
NP-SSAA-10-4040-C	6.4	100	6.1	100	5.1	100	4.3	100	3.6	100	3.0	100
NP-SSAA-10-4040-D	11.8	100	11.5	100	9.7	100	8.3	100	7.1	100	6.1	100
NP-SSAA-10-5050-D	16.7	125	16.3	125	13.9	125	11.9	125	10.3	125	8.9	125
NP-SSAA-12-4040-C	4.8	100	4.6	100	3.8	100	3.0	100	2.5	100	2.0	100
NP-SSAA-12-4040-D	7.9	100	7.6	100	6.4	100	5.4	100	4.5	100	3.8	100
NP-SSAA-12-5050-D	13.5	125	13.1	125	11.0	125	9.3	125	7.9	125	6.8	125
NP-SSAA-14-4040-C	3.5	100	3.3	100	2.6	100	2.0	100	1.5	100	1.0	100
NP-SSAA-14-4040-D	6.2	100	6.0	100	4.9	100	4.0	100	3.2	100	2.6	100
NP-SSAA-14-5050-D	10.9	125	10.5	125	8.7	125	7.2	125	6.0	125	5.0	125
NP-SSAA-15-4040-C	2.9	100	2.7	100	2.0	100	1.5	100	1.0	100	0.6	100
NP-SSAA-15-4040-D	5.4	100	5.2	100	4.2	100	3.3	100	2.7	100	2.1	100
NP-SSAA-15-5050-D	9.6	125	9.3	125	7.6	125	6.2	125	5.1	125	4.1	125
NP-SSAA-16-4040-C	2.3	100	2.2	100	1.5	100	1.0	100	0.6	100	0.2	100
NP-SSAA-16-4040-D	4.6	100	4.4	100	3.5	100	2.7	100	2.1	100	1.6	100
NP-SSAA-16-5050-D	8.5	125	8.2	125	6.6	125	5.3	125	4.3	125	3.4	125
NP-SSAA-18-4040-C	1.2	100	1.1	100	0.5	100	0.1	100	N/A	N/A	N/A	N/A
NP-SSAA-18-4040-D	3.3	100	3.1	100	2.3	100	1.6	100	1.1	100	0.6	100
NP-SSAA-18-4040-E	5.1	100	4.9	100	3.9	100	3.0	100	2.3	100	1.7	100
NP-SSAA-18-5050-D	6.4	125	6.1	125	4.7	125	3.6	125	2.7	125	1.9	125
NP-SSAA-18-5050-E	9.6	125	9.2	125	7.5	125.0	6.0	125	4.8	125	3.8	125
NP-SSAA-20-4040-C	0.3	100	0.2	100	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NP-SSAA-20-4040-D	2.1	100	1.9	100	1.2	100	0.6	100	0.1	100	N/A	N/A
NP-SSAA-20-4040-E	3.7	100	3.5	100	2.6	100	1.8	100	1.2	100	0.7	100
NP-SSAA-20-5050-D	4.6	125	4.3	125	3.1	125	2.1	125	1.3	125	0.6	125
NP-SSAA-20-5050-E	7.4	125	7.1	125	5.5	125	4.2	125	3.2	125	2.3	125
NP-SSAA-22-5050-D	2.9	125	2.7	125	1.6	125	0.7	125	N/A	N/A	N/A	N/A
NP-SSAA-22-5050-E	5.5	125	5.2	125	3.8	125	2.7	125	1.7	125	0.9	125
NP-SSAA-22-6060-E	9.7	150	9.2	150	7.1	150	5.4	150	3.9	150	2.7	150
NP-SSAA-24-5050-D	1.5	125	1.3	125	0.3	125	N/A	N/A	N/A	N/A	N/A	N/A
NP-SSAA-24-5050-E	3.8	125	3.5	125	2.3	125	1.2	123	0.4	125	N/A	N/A
NP-SSAA-24-6060-E	7.3	150	6.9	150	5	150	3.4	150	2.1	150	1	150
NP-SSAA-25-5050-D	0.8	125	0.6	125	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NP-SSAA-25-5050-E	3	125	2.8	125	1.6	125	0.6	125	N/A	N/A	N/A	N/A
NP-SSAA-25-6060-E+	6.2	150	5.8	150	4	150	2.5	150	1.2	150	0.2	150
NP-SSAA-28-6060-E+	3.2	150	2.8	150	1.2	150	N/A	N/A	N/A	N/A	N/A	N/A
NP-SSAA-30-6060-E+	1.4	150	1.1	150	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

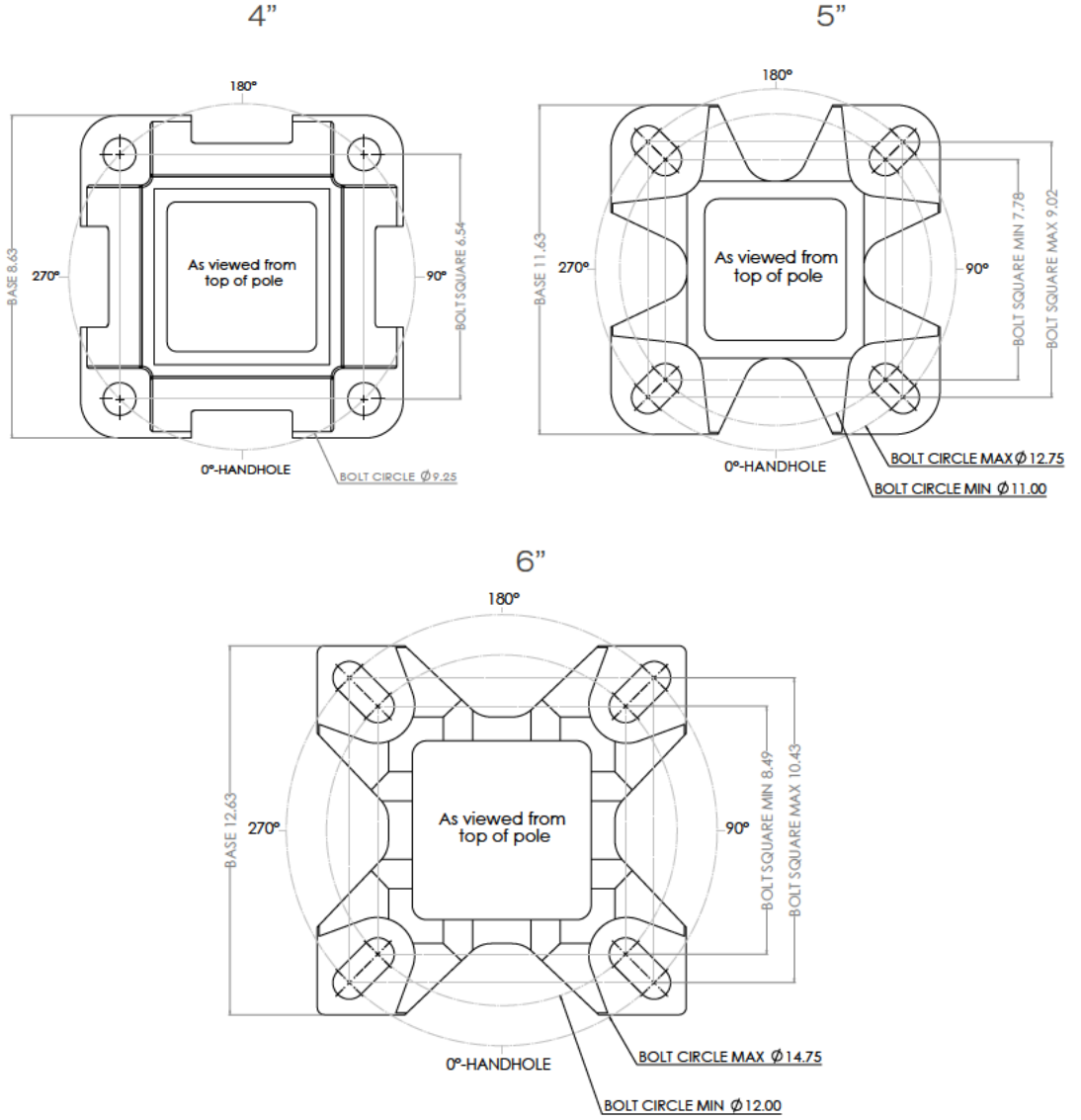
1. The total combined EPA and weight of all fixtures, brackets, and other attachments mounting to a light pole cannot exceed the EPA and weight rating for a specified pole.
2. Standard EPA and weight values are based around 2020 FL Code. Specific light pole design standards are available from WILL support. Above data is based around the load centroid being at 2.5' above the pole top and with 2.0' eccentricity. Weight of horizontally eccentric load is capped at 100lb, with all remaining weight mounted 2.5' above top of the pole.
3. Custom products, configurations, options, and accessories available from factory.
4. Satisfactory performance of light poles is dependent upon the structure being properly attached to a supporting foundation of adequate design.

\*A\* indicates a vibration dampener is standard.

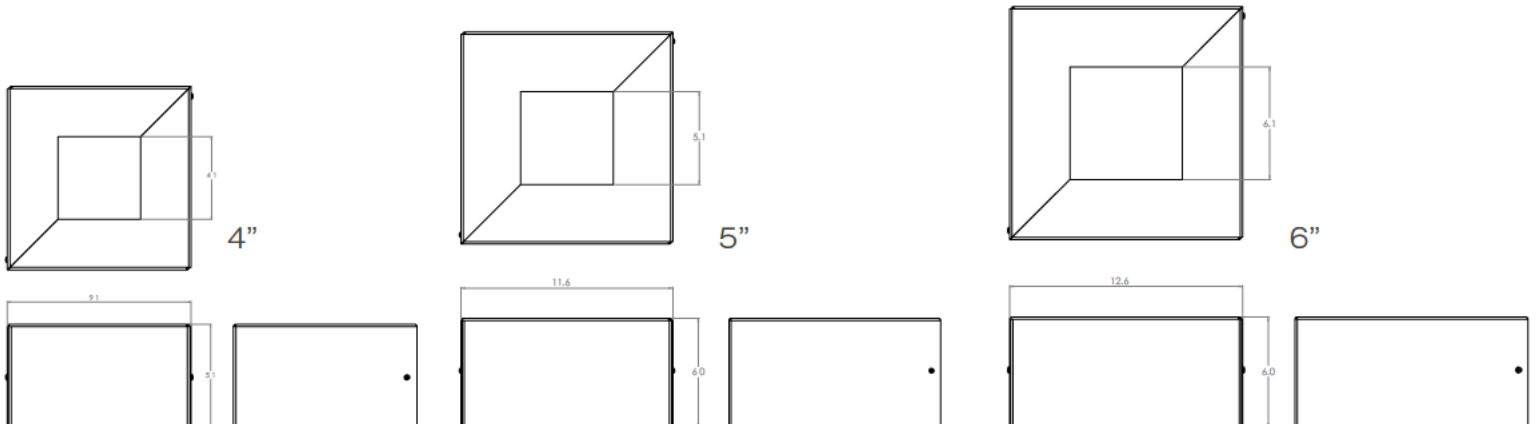
Dimensional Diagrams



ANCHOR BASES



BASE COVERS



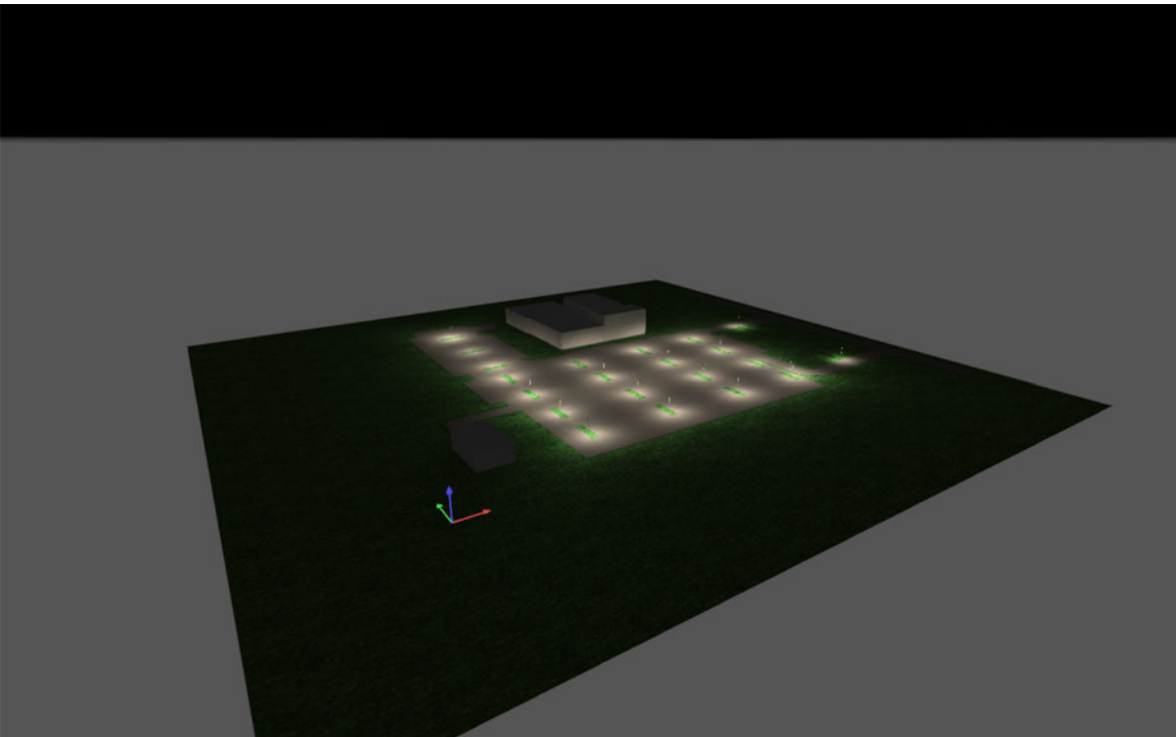
Ordering Information

Ex: NP-SSAA-16-4040-C-AB-SB-FP-BK-D2

Product Family	Design	Nominal Length	Pole Base OD	Pole Top OD	Wall Thickness	Anchor Bolts	Base Type	Finish Type	Finish Color	Fixture Mounting
NP = NAFCO®	SSAA = Square Straight Aluminum Anchor Base Light Pole	08 = 8'	40 = 4"	40 = 4"	C = 0.125"	AB = Includes Anchor Bolts	SB = Standard Base	FP = Finish Painted	BK = Black	PC = Cap Only, No Side Drilling
	C = Custom	10 = 10'	50 = 5"	50 = 5"	D = 0.188"	LAB = Less Anchor Bolts	CB = Custom Base	AN = Anodized	MB = Medium Bronze	PL = Open Top, No Cap
		12 = 12'	60 = 6"	60 = 6"	E = 0.250"	C = Custom		C = Custom	DB = Dark Bronze	D1 = Drill Single
		14 = 14'	C = Custom	C = Custom	C = Custom				WH = White	D2 = Drill 2@180
		15 = 15'							NA = Nat Alum Silver	D4 = Drill 4@90
		16 = 16'							LG = Light Gray	D5 = Drill 2@90
		18 = 18'							SG = Slate Gray	D6 = Drill 3@90
		20 = 20'							DG = Dark Green	P1 = 4" OD x 5" Long Tenon
		22 = 22'							DP = Dark Platinum	P2 = 2.38" OD x 4" Long Tenon
		24 = 24'							GM = Graphite Metallic	P3 = 3.50" OD x 6" Long Tenon
		25 = 25'							BA = Bronze Anodized	P4 = 4" OD x 6" Long Tenon
		28 = 28'							BKA = Black Anodized	P5 = 2.88" OD x 4" Long Tenon
		30 = 30'							SA = Satin Silver Anodized	P6 = 2.88" OD x 5" Long Tenon
	C = Custom								RAL = Custom RAL Match	P7 = 2.38" OD x 5" Long Tenon
									C = Custom	PQ = 2.38" OD x 12" Long Tenon
										PD = 3" OD x 3" Long Tenon
										P9 = Custom Size Tenon

Options & Accessories (Add as Suffix)		
Options	Options	Accessories
SPL = Special Cut Length (Please Specify)	CPL-P-12 = 1/2" NPT Pipe-Thread Female Coupling (Specify Pole Height & Orientation)	STAMP = Engineering Services, Signed & Sealed Calcs
BCSPCL = Special Base Plate & Cover to Match Existing Bolt Circle (May Add to Production Lead Time)	CPL-P-34 = 3/4" NPT Pipe-Thread Female Coupling (Specify Pole Height & Orientation)	STAMPCA = Engineering Services, CA Signed & Sealed Calcs
VDA = Internal Vibration Dampener, Factory Installed	CPL-P-1 = 1" NPT Pipe-Thread Female Coupling (Specify Pole Height & Orientation)	PRE063 = Pre-Ship Anchor Bolts - 0.625" x 16" x 2"
HHUS = Additional Unreinforced Hand Hole Opening w/ Cover Assembly (Specify Pole Height & Orientation)	CPL-S-12 = 1/2" NPSM Straight-Thread Female Coupling (Specify Pole Height & Orientation)	PRE075 = Pre-Ship Anchor Bolts - 0.75" x 17" x 3"
HHRS = Additional Reinforced Hand Hole Opening w/ Cover Assembly (Specify Pole Height & Orientation)	CPL-S-34 = 3/4" NPSM Straight-Thread Female Coupling (Specify Pole Height & Orientation)	PRE100 = Pre-Ship Anchor Bolts - 1.0" x 36" x 4"
FSTS = Festoon Provision, Electrical by Others (Specify Pole Height & Orientation, Minimum 37" Above Base Plate)	CPL = Custom Coupling (Please Specify)	VDF = Internal Vibration Dampener, Field Installable

1. See previous pages for standard light pole model configurations and loading guidelines.
2. Additional hand hole option required for poles with side drilling plus tenon top.
3. Consult WILL support to verify options and accessories will work with your light pole part number.
4. Custom products, configurations, options, and accessories available.



## LIGHTING CALCULATE

Address/Location:  
2517 N. Dousman Road  
Oconomowoc, WI 53066

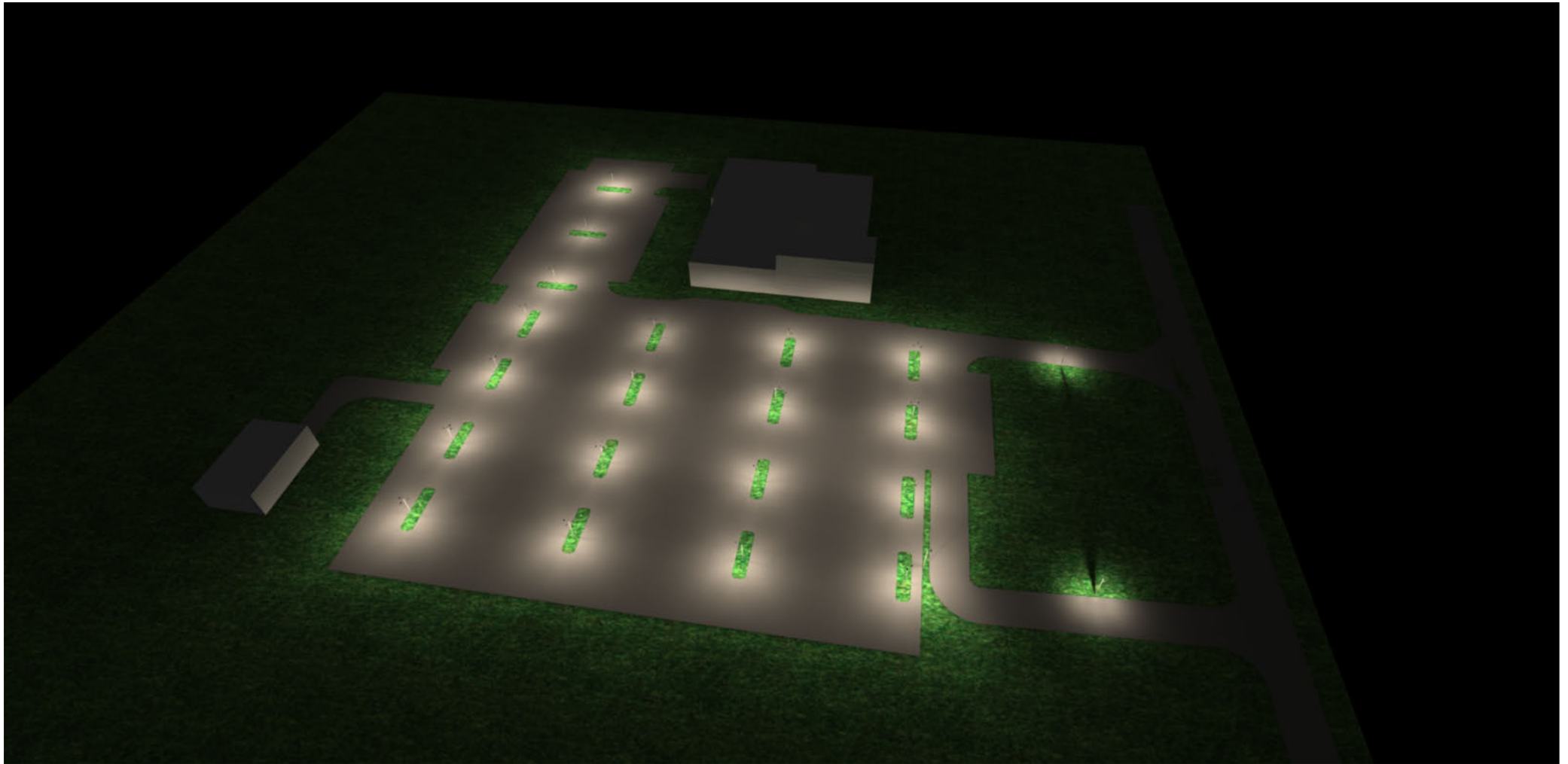
Object  
Address/Location:  
2517 N. Dousman Road  
Oconomowoc, WI 53066

## Luminaire list

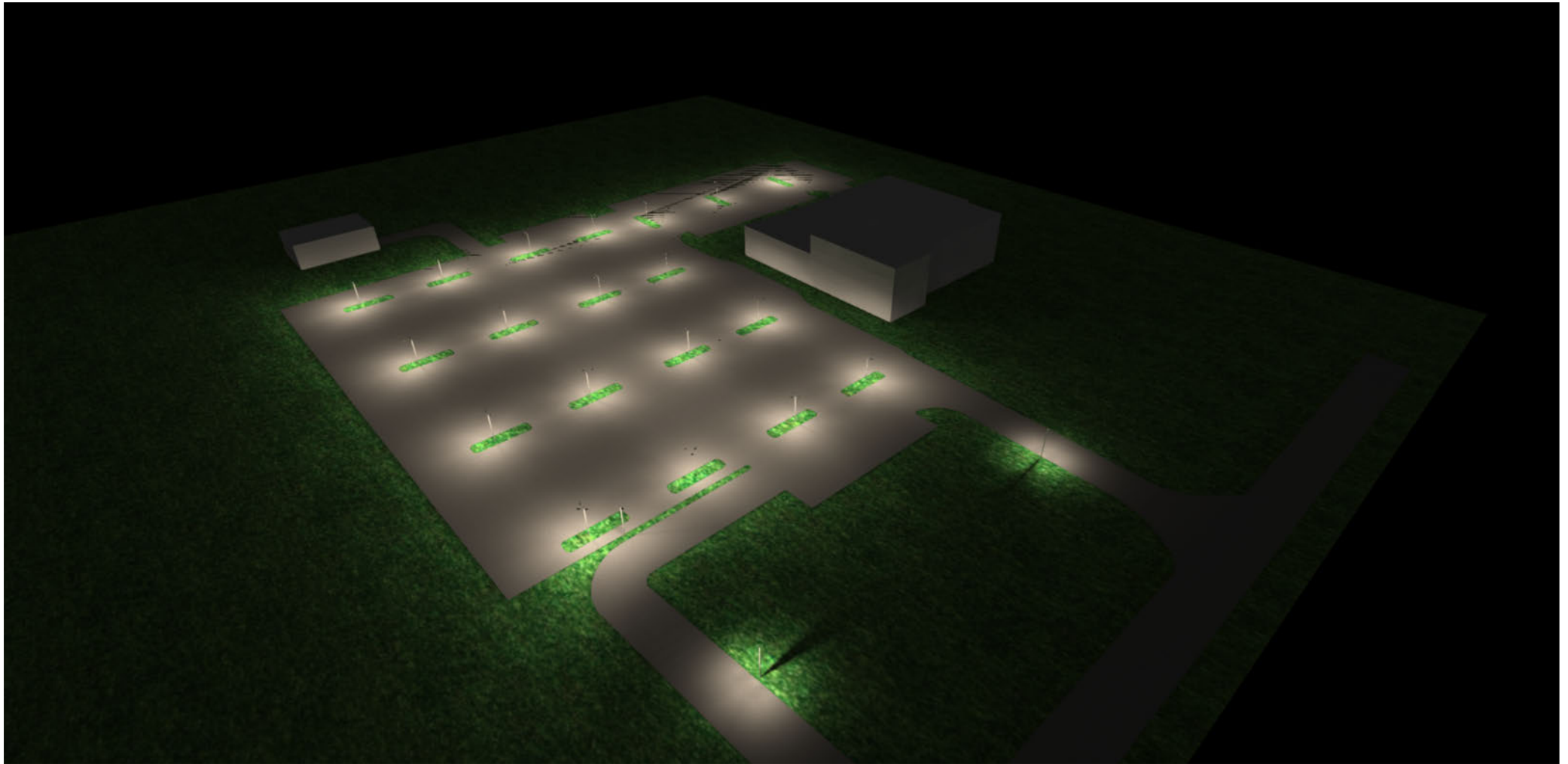
total 1214889 lm	P <sub>total</sub> 8524.3 W	Luminous efficacy 142.5 lm/W
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pcs.	Manufacturer	Article No.	Article name	P		Luminous efficacy	Index
30	MESTER LED LTD		MAL08180W27V50KDT3(Position 2)	144.4 W	20645 lm	143.0 lm/W	T3
27	MESTER LED LTD	MAL08180	LED W27V50K DSQT4AD (Position 2)	144.3 W	20675 lm	143.3 lm/W	T4
2	TCP		PTUZDA3T550KN7BR	148.1 W	18657 lm	126.0 lm/W	

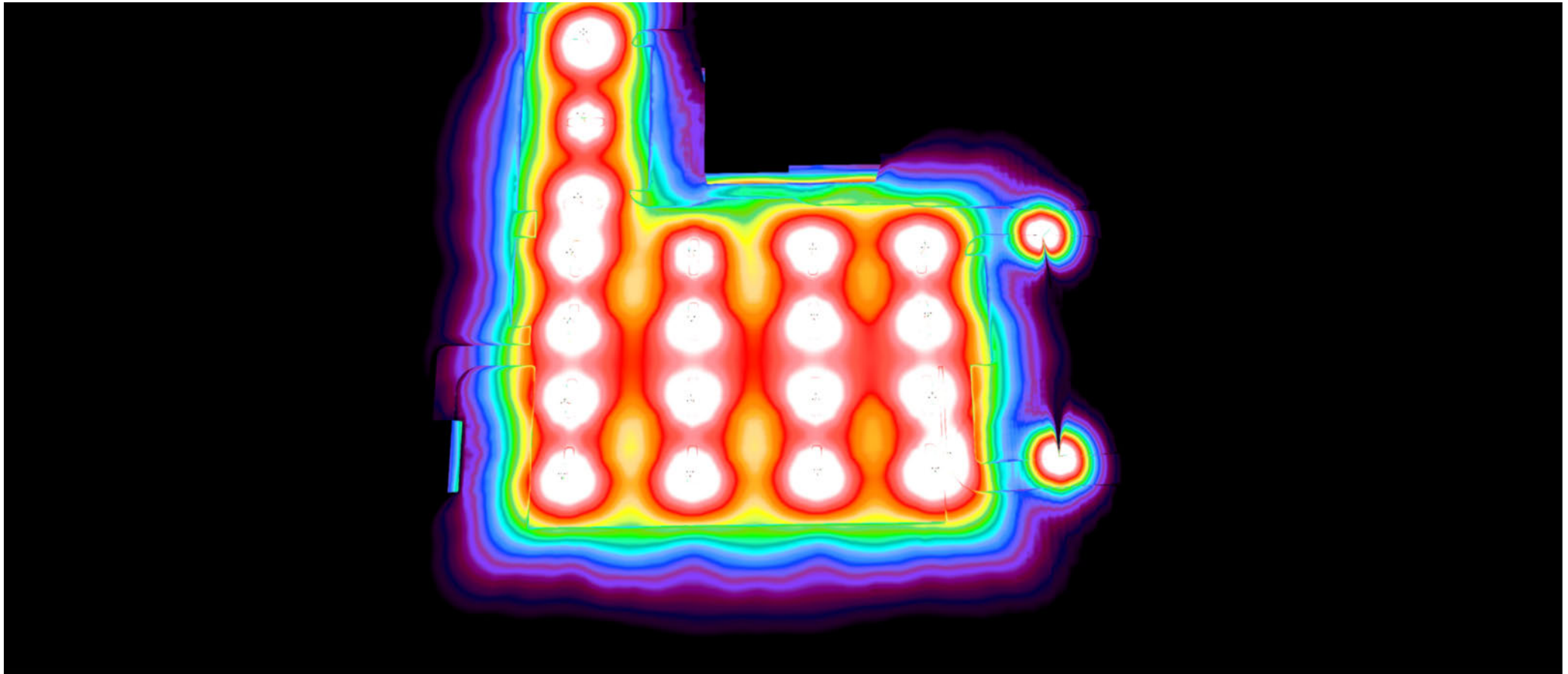
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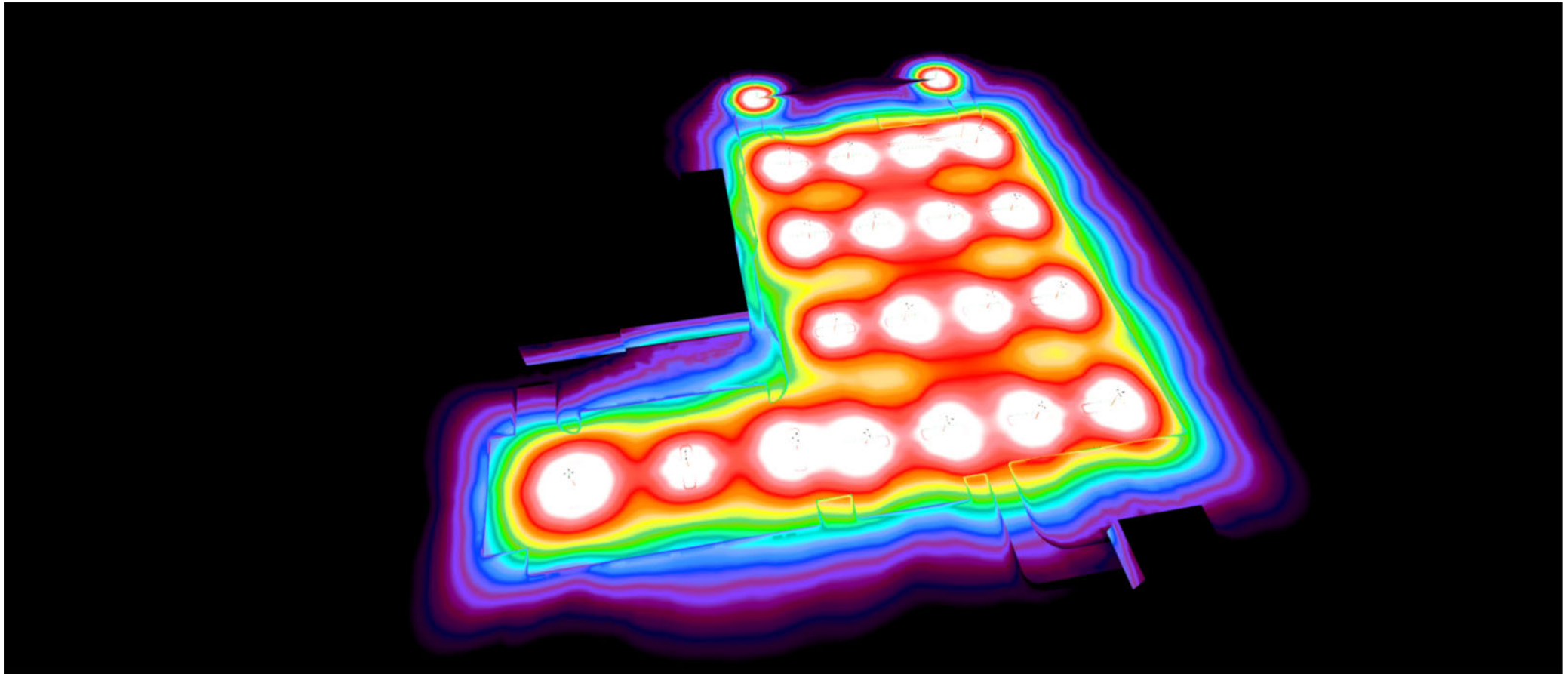
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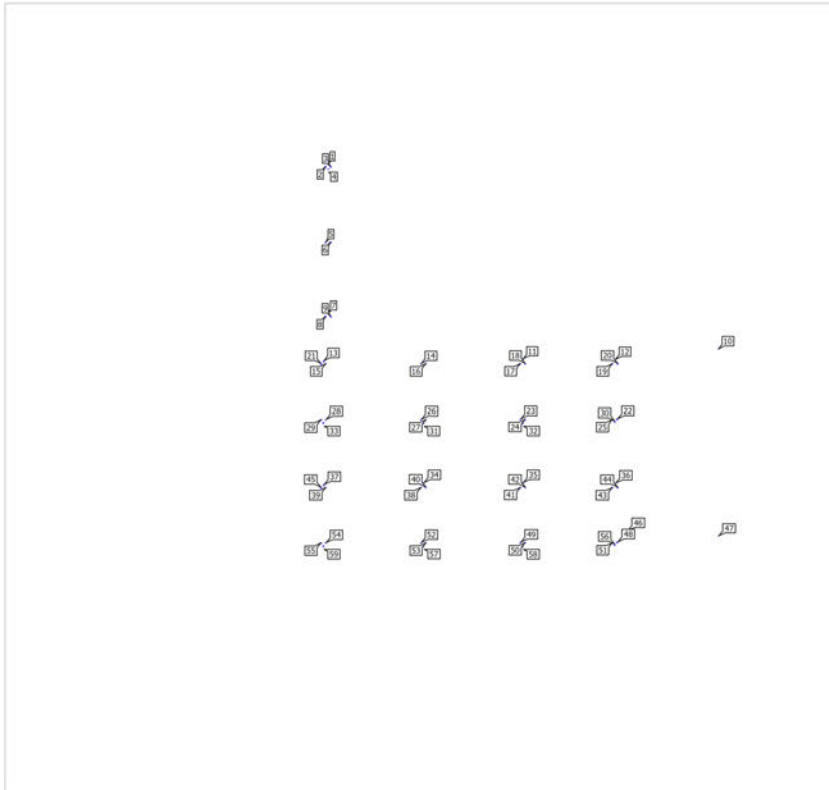
# Images



# Images



# Luminaire layout plan



## Luminaire layout plan

MESTER LED LTD - - MAL08180W27V50KDT3(Position 2)

1x KHM-NISG200W67S-960

X	Y	Mounting height	Luminaire
183.542 ft	477.591 ft	18.000 ft	2
188.916 ft	477.591 ft	18.000 ft	3
183.542 ft	397.492 ft	18.000 ft	5
188.916 ft	397.492 ft	18.000 ft	6
183.542 ft	318.634 ft	18.000 ft	8
188.916 ft	318.634 ft	18.000 ft	9
392.610 ft	272.926 ft	18.000 ft	11
490.622 ft	272.380 ft	18.000 ft	12
181.463 ft	270.913 ft	18.000 ft	13
493.254 ft	268.519 ft	18.000 ft	20
178.700 ft	268.348 ft	18.000 ft	21
492.560 ft	210.200 ft	18.000 ft	22
178.700 ft	209.613 ft	18.000 ft	29
490.072 ft	207.642 ft	18.000 ft	30
287.284 ft	206.278 ft	18.000 ft	31
392.528 ft	206.278 ft	18.000 ft	32
181.200 ft	206.278 ft	18.000 ft	33
287.394 ft	142.202 ft	18.000 ft	34
392.610 ft	142.202 ft	18.000 ft	35
490.622 ft	141.657 ft	18.000 ft	36
181.463 ft	140.190 ft	18.000 ft	37

## Luminaire layout plan

X	Y	Mounting height	Luminaire
493.254 ft	137.795 ft	18.000 ft	44
178.700 ft	137.625 ft	18.000 ft	45
503.151 ft	91.463 ft	18.000 ft	46
492.560 ft	79.476 ft	18.000 ft	48
178.700 ft	78.890 ft	18.000 ft	55
490.072 ft	76.918 ft	18.000 ft	56
287.284 ft	75.555 ft	18.000 ft	57
392.528 ft	75.555 ft	18.000 ft	58
181.200 ft	75.555 ft	18.000 ft	59

## Luminaire layout plan

MESTER LED LTD - MAL08180W27V50KDSQT4AD(Position 2) - LED  
1x

X	Y	Mounting height	Luminaire
186.344 ft	480.158 ft	18.000 ft	1
186.344 ft	475.130 ft	18.000 ft	4
186.344 ft	321.910 ft	18.000 ft	7
284.699 ft	268.527 ft	18.000 ft	14
183.657 ft	268.527 ft	18.000 ft	15
289.769 ft	268.527 ft	18.000 ft	16
390.074 ft	268.527 ft	18.000 ft	17
395.144 ft	268.527 ft	18.000 ft	18
487.719 ft	268.527 ft	18.000 ft	19
390.074 ft	210.076 ft	18.000 ft	23
395.144 ft	210.076 ft	18.000 ft	24
487.719 ft	209.968 ft	18.000 ft	25
284.699 ft	209.770 ft	18.000 ft	26
289.769 ft	209.770 ft	18.000 ft	27
183.657 ft	209.688 ft	18.000 ft	28
284.699 ft	137.803 ft	18.000 ft	38
183.657 ft	137.803 ft	18.000 ft	39
289.769 ft	137.803 ft	18.000 ft	40
390.074 ft	137.803 ft	18.000 ft	41
395.144 ft	137.803 ft	18.000 ft	42
487.719 ft	137.803 ft	18.000 ft	43

## Luminaire layout plan

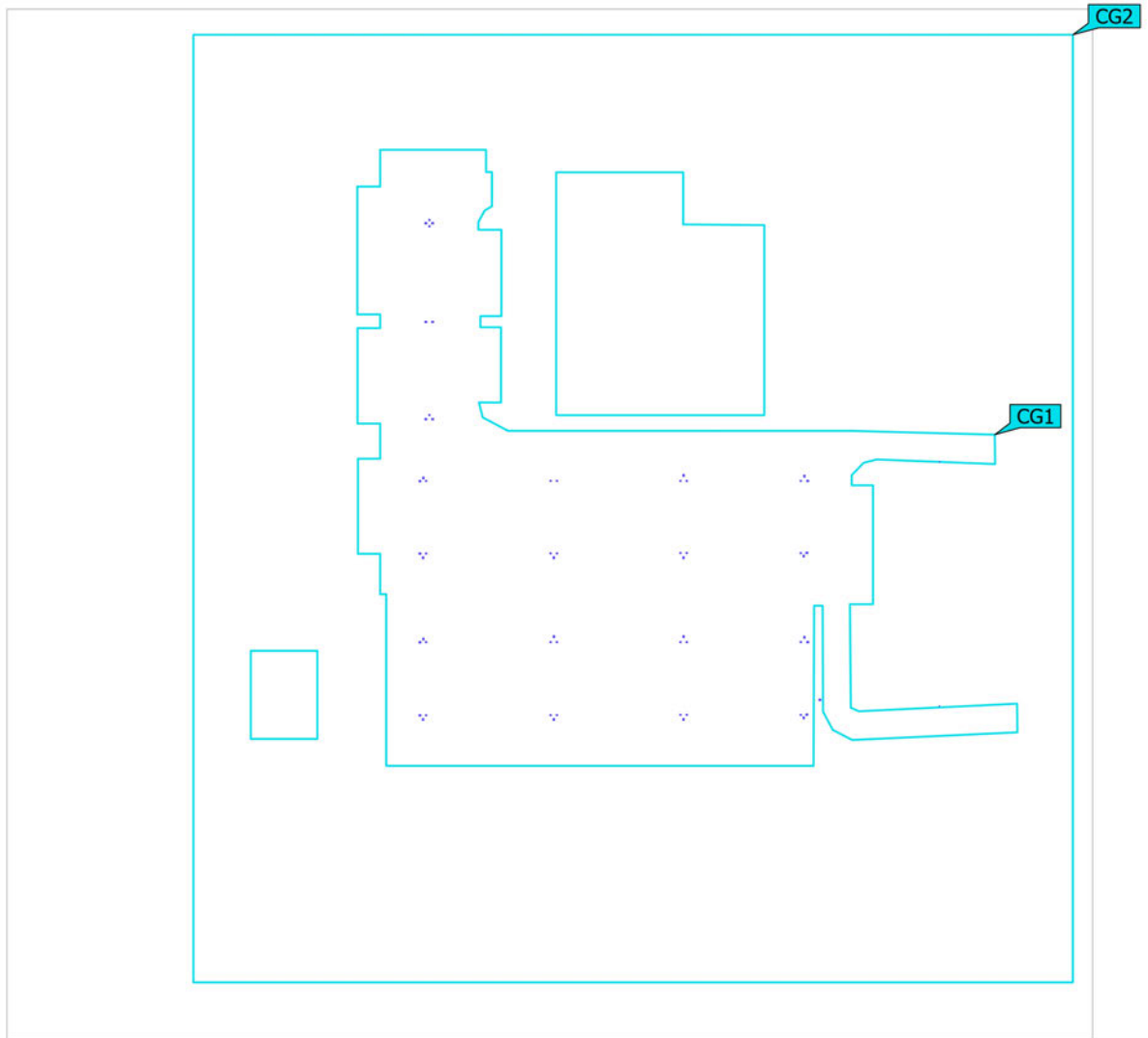
X	Y	Mounting height	Luminaire
390.074 ft	79.352 ft	18.000 ft	49
395.144 ft	79.352 ft	18.000 ft	50
487.719 ft	79.244 ft	18.000 ft	51
284.699 ft	79.046 ft	18.000 ft	52
289.769 ft	79.046 ft	18.000 ft	53
183.657 ft	78.965 ft	18.000 ft	54

TCP - - PTUZDA3T550KN7BR

1x

X	Y	Mounting height	Luminaire
600.067 ft	283.962 ft	18.000 ft	10
600.067 ft	86.285 ft	18.000 ft	47

(Light scene 1)  
Calculation objects



(Light scene 1)

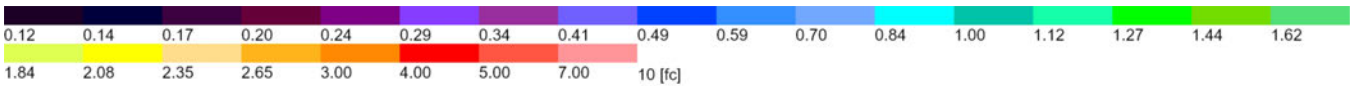
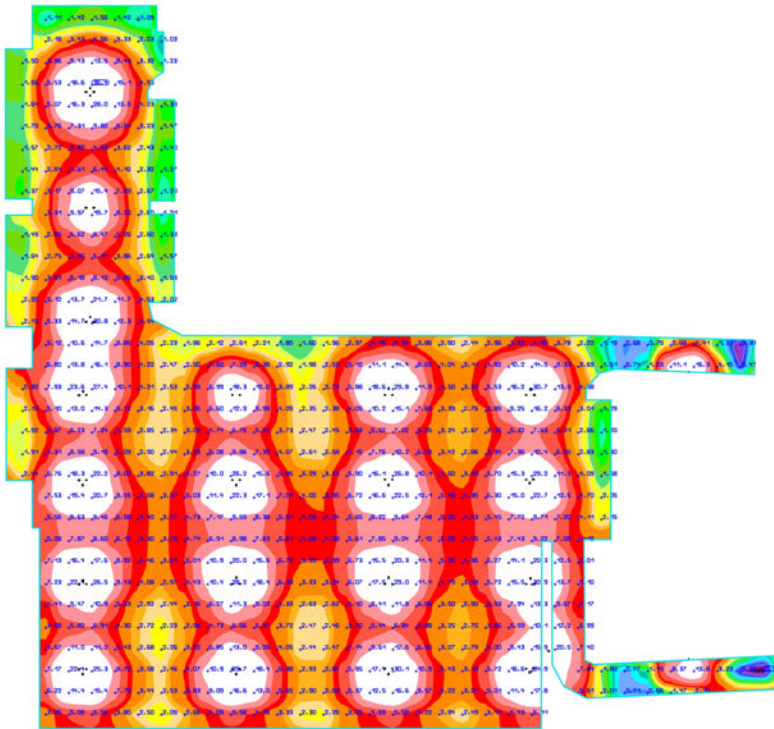
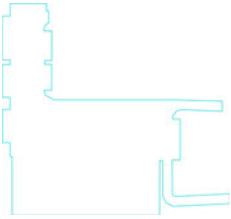
## Calculation objects

### Calculation surfaces

Properties		$E_{min}$	$E_{max}$	$U_o (g_1)$	$g_2$	Index
ALL AREA Perpendicular illuminance Height: 0.100 ft	2.11 fc	0.00 fc	32.6 fc	0.00	0.00	CG2
CALCULATE AREA Perpendicular illuminance Height: 0.100 ft	7.11 fc	0.12 fc	36.4 fc	0.017	0.003	CG1

(Light scene 1)

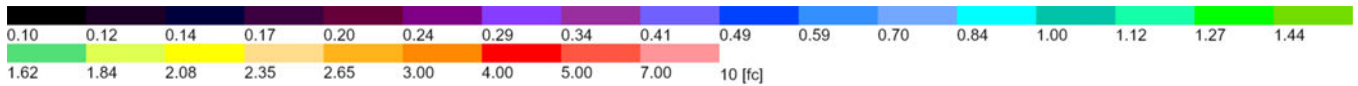
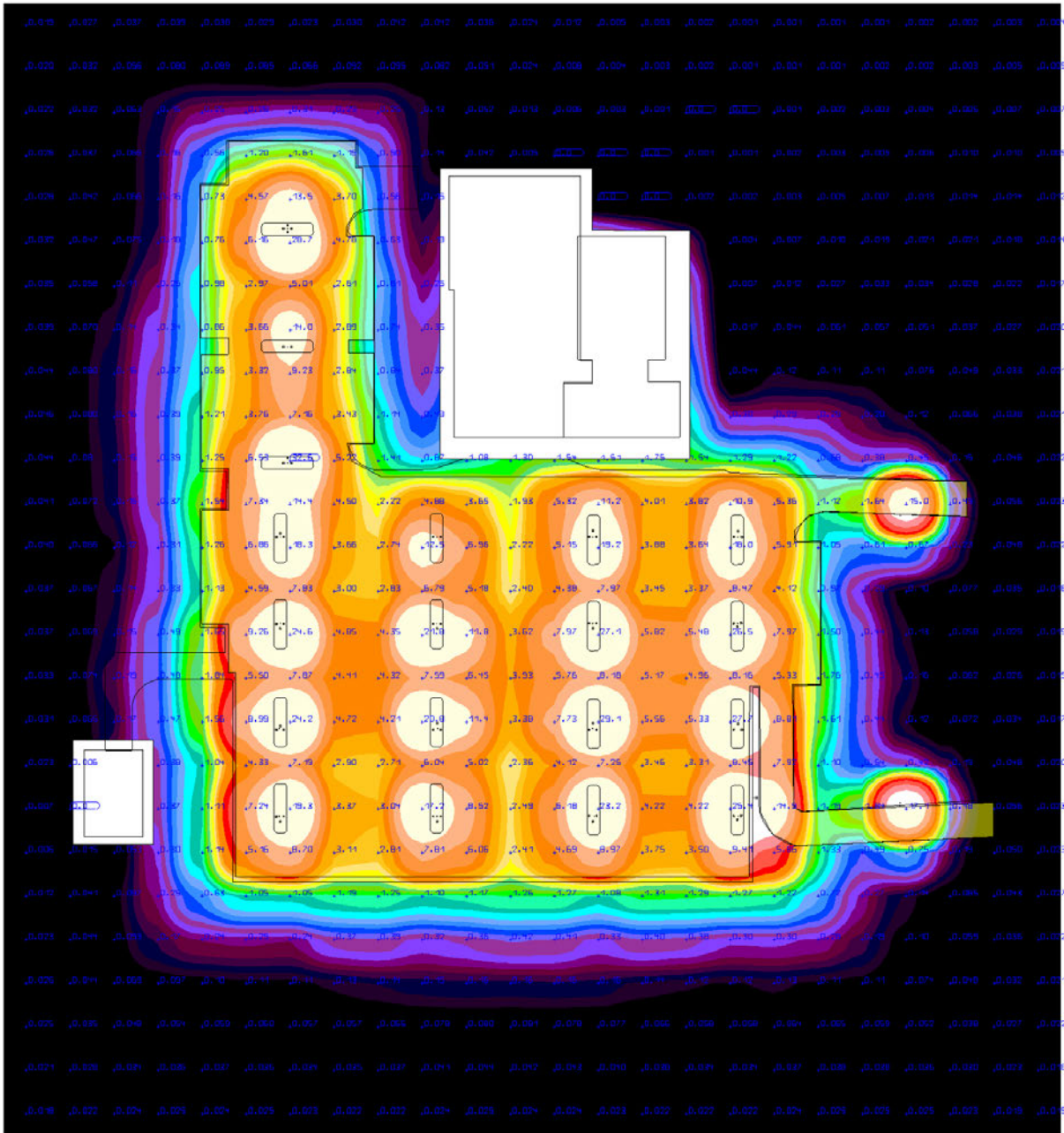
CALCULATE AREA



Properties		$E_{min}$	$E_{max}$	$U_o (g_1)$	$g_2$
CALCULATE AREA	7.11 fc	0.12 fc	36.4 fc	0.017	0.003
Perpendicular illuminance					
Height: 0.100 ft					

2517 N. Dousman Road (Light scene 1)

ALL AREA



Properties	$E_{min}$	$E_{max}$	$U_o (g_1)$	$g_2$	Index
ALL AREA Perpendicular illuminance Height: 0.100 ft	2.11 fc	0.00 fc	32.6 fc	0.00	0.00

## Specifications

### Construction:

- The rugged, one-piece die-cast aluminum housing features a complete heat sink that optimizes heat dissipation through convection cooling management.
- Low profile, 3G vibration rated compact design minimizes wind load requirements.
- Housing is completely sealed against moisture and environmental contaminants.

### Optics:

- Available in IES Type II, III, IV, V distributions
- Light engines are available in adjustable color temperature (3000K&4000K&5000K) configurations.
- Scalable Lumen Packages from 6,600 to 61,000 Lumens replaces up to 1000W Metal Halide.
- Optics is precisely designed to shape the distribution, maximizing efficiency and application spacing.
- The optics can conform to dark sky requirement.

### Electrical:

- Universal 120-277 VAC or 347-480 VAC input voltage
- 10KA(@120-277V) or 20KA(@347-480V) surge protection
- 0-10V dimming driver standard for 10% to 100% dimming
- Power adjustable: 100%, 80%, 60%, 40%.
- THD: ≤20%
- Power Factor: ≥90%

### Controls:

- Optional Occupancy sensor or Microwave sensor.
- Optional Bluetooth sensor or Bluetooth controller.
- Optional NEMA 3-pin photocell or 7-pin photocell.

### Ambient Temperature:

- Ambient operating temperature -40°C to 45°C (-40°F to 113°F).
- The ambient temperature of 400W is: -40°C to 40°C.

### Installation:

- Suitable for mounting heights ranging from 26-50' in area lighting applications
- Round pole, Square pole, slipfitter, wall mount and yoke are available.
- The design can be operated by one person to install the whole lamp

### Lifespan:

- Estimated 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

### Finish:

- It's available in black or optional dark bronze, silvery gray or white.



Medium Size: 100W/140W/180W



Large Size: 250W/300W/400W



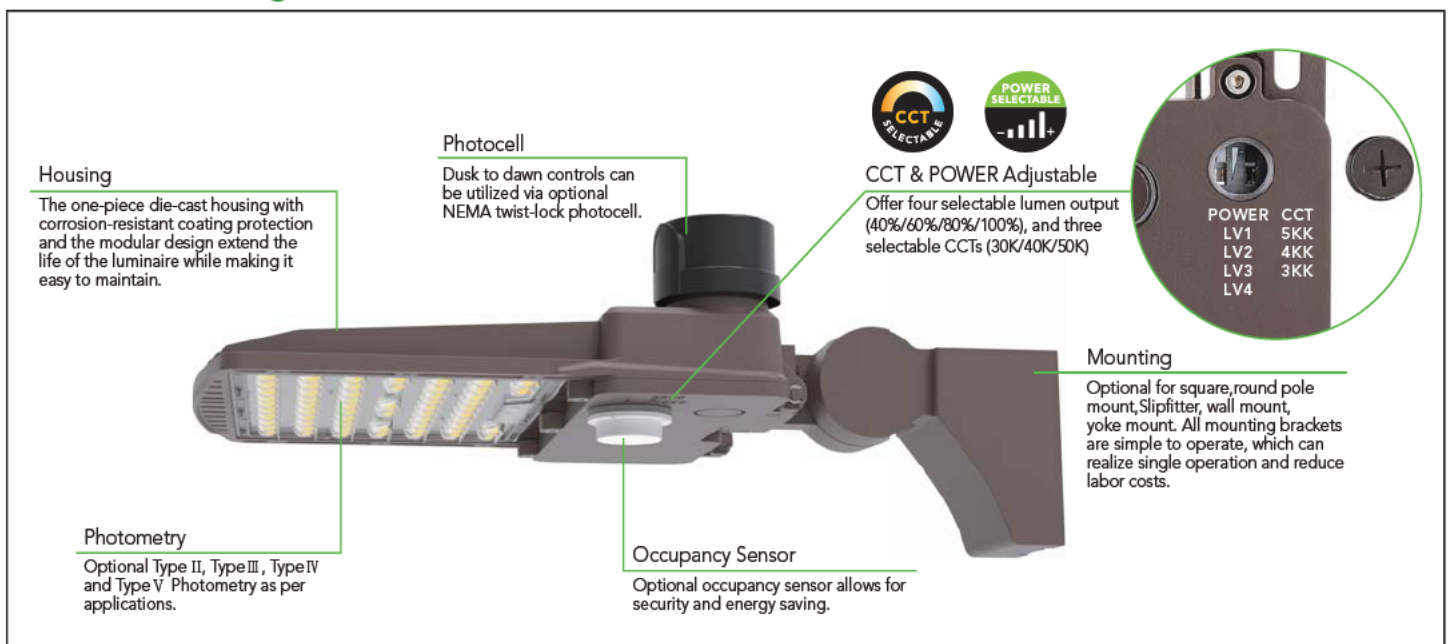
### Certifications:

- UL wet location listed
- DesignLights Consortium™ Qualified.  
 Note: DesignLights Consortium™ Qualified and classified for DLC Premium, refer to [www.designlights.org](http://www.designlights.org) for details.

### Note:

Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C (±5°C) specifications subject to change without notice.

## Structural Design



**Housing**

The one-piece die-cast housing with corrosion-resistant coating protection and the modular design extend the life of the luminaire while making it easy to maintain.

**Photometry**

Optional Type II, Type III, Type IV and Type V Photometry as per applications.

**Photocell**

Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell.

**Occupancy Sensor**

Optional occupancy sensor allows for security and energy saving.

**CCT & POWER Adjustable**

Offer four selectable lumen output (40%/60%/80%/100%), and three selectable CCTs (30K/40K/50K)

POWER	CCT
LV1	5KK
LV2	4KK
LV3	3KK
LV4	

**Mounting**

Optional for square, round pole mount, Slipfitter, wall mount, yoke mount. All mounting brackets are simple to operate, which can realize single operation and reduce labor costs.

# PERFORMANCE DATA

MAL08100W									
SETTING	SYSTEM WATTS	DIST.TYPE	CRI	3000K		4000K		5000K	
				LUMENS	LPW	LUMENS	LPW	LUMENS	LPW
100%	100W	2	70	14500lm	145 lm/W	15800lm	158 lm/W	15000lm	150 lm/W
		3	70	14500lm	145 lm/W	15800lm	158 lm/W	15000lm	150 lm/W
		4	70	14500lm	145 lm/W	15800lm	158 lm/W	15000lm	150 lm/W
		5	70	15100lm	151 lm/W	16000lm	160 lm/W	15600lm	156 lm/W
80%	80W	2	70	12000lm	150 lm/W	13000lm	163 lm/W	12500lm	156 lm/W
		3	70	12000lm	150 lm/W	13000lm	163 lm/W	12500lm	156 lm/W
		4	70	12000lm	150 lm/W	13000lm	163 lm/W	12500lm	156 lm/W
		5	70	12500lm	156 lm/W	13300lm	166 lm/W	12800lm	160 lm/W
60%	60W	2	70	9300lm	155 lm/W	10000lm	167 lm/W	9600lm	160 lm/W
		3	70	9300lm	155 lm/W	10000lm	167 lm/W	9600lm	160 lm/W
		4	70	9300lm	155 lm/W	10000lm	167 lm/W	9600lm	160 lm/W
		5	70	9600lm	160 lm/W	10200lm	170 lm/W	9850lm	164 lm/W
40%	40W	2	70	6400lm	160 lm/W	6800lm	170 lm/W	6560lm	164 lm/W
		3	70	6400lm	160 lm/W	6800lm	170 lm/W	6560lm	164 lm/W
		4	70	6400lm	160 lm/W	6800lm	170 lm/W	6560lm	164 lm/W
		5	70	6560lm	164 lm/W	7000lm	175 lm/W	6700lm	168 lm/W

MAL08140W									
SETTING	SYSTEM WATTS	DIST.TYPE	CRI	3000K		4000K		5000K	
				LUMENS	LPW	LUMENS	LPW	LUMENS	LPW
100%	140W	2	70	20000lm	147 lm/W	23000lm	164 lm/W	21000lm	150 lm/W
		3	70	20000lm	147 lm/W	23000lm	164 lm/W	21000lm	150 lm/W
		4	70	20000lm	147 lm/W	23000lm	164 lm/W	21000lm	150 lm/W
		5	70	21000lm	150 lm/W	23500lm	168 lm/W	21500lm	154 lm/W
80%	120W	2	70	18000lm	150 lm/W	20000lm	167 lm/W	18500lm	154 lm/W
		3	70	18000lm	150 lm/W	20000lm	167 lm/W	18500lm	154 lm/W
		4	70	18000lm	150 lm/W	20000lm	167 lm/W	18500lm	154 lm/W
		5	70	18500lm	154 lm/W	20500lm	171 lm/W	19000lm	158 lm/W
60%	90W	2	70	13800lm	153 lm/W	15200lm	169 lm/W	14200lm	158 lm/W
		3	70	13800lm	153 lm/W	15200lm	169 lm/W	14200lm	158 lm/W
		4	70	13800lm	153 lm/W	15200lm	169 lm/W	14200lm	158 lm/W
		5	70	14000lm	156 lm/W	15600lm	172 lm/W	14500lm	161 lm/W
40%	60W	2	70	9400lm	157 lm/W	10300lm	172 lm/W	9700lm	162 lm/W
		3	70	9400lm	157 lm/W	10300lm	172 lm/W	9700lm	162 lm/W
		4	70	9400lm	157 lm/W	10300lm	172 lm/W	9700lm	162 lm/W
		5	70	9600lm	160 lm/W	10500lm	175 lm/W	10000lm	167 lm/W

MAL08180W									
SETTING	SYSTEM WATTS	DIST.TYPE	CRI	3000K		4000K		5000K	
				LUMENS	LPW	LUMENS	LPW	LUMENS	LPW
100%	180W	2	70	24800lm	138 lm/W	27000lm	150 lm/W	25200lm	140 lm/W
		3	70	24800lm	138 lm/W	27000lm	150 lm/W	25200lm	140 lm/W
		4	70	24800lm	138 lm/W	27000lm	150 lm/W	25200lm	140 lm/W
		5	70	25500lm	142 lm/W	28000lm	156 lm/W	26000lm	144 lm/W
80%	144W	2	70	20200lm	140 lm/W	22000lm	153 lm/W	20600lm	143 lm/W
		3	70	20200lm	140 lm/W	22000lm	153 lm/W	20600lm	143 lm/W
		4	70	20200lm	140 lm/W	22000lm	153 lm/W	20600lm	143 lm/W
		5	70	20800lm	144 lm/W	22800lm	158 lm/W	21000lm	146 lm/W
60%	108W	2	70	15300lm	142 lm/W	16800lm	156 lm/W	15700lm	145 lm/W
		3	70	15300lm	142 lm/W	16800lm	156 lm/W	15700lm	145 lm/W
		4	70	15300lm	142 lm/W	16800lm	156 lm/W	15700lm	145 lm/W
		5	70	15800lm	146 lm/W	17300lm	160 lm/W	16200lm	150 lm/W
40%	72W	2	70	10500lm	146 lm/W	11500lm	160 lm/W	10800lm	150 lm/W
		3	70	10500lm	146 lm/W	11500lm	160 lm/W	10800lm	150 lm/W
		4	70	10500lm	146 lm/W	11500lm	160 lm/W	10800lm	150 lm/W
		5	70	10800lm	150 lm/W	11800lm	164 lm/W	11000lm	153 lm/W

MAL08250W									
SETTING	SYSTEM WATTS	DIST.TYPE	CRI	3000K		4000K		5000K	
				LUMENS	LPW	LUMENS	LPW	LUMENS	LPW
100%	250W	2	70	33500lm	134 lm/W	37000lm	148 lm/W	34500lm	138 lm/W
		3	70	33500lm	134 lm/W	37000lm	148 lm/W	34500lm	138 lm/W
		4	70	33500lm	134 lm/W	37000lm	148 lm/W	34500lm	138 lm/W
		5	70	34500lm	138 lm/W	38000lm	152 lm/W	35500lm	142 lm/W
80%	200W	2	70	27500lm	138 lm/W	30400lm	152 lm/W	28400lm	142 lm/W
		3	70	27500lm	138 lm/W	30400lm	152 lm/W	28400lm	142 lm/W
		4	70	27500lm	138 lm/W	30400lm	152 lm/W	28400lm	142 lm/W
		5	70	28000lm	140 lm/W	31000lm	155 lm/W	28800lm	144 lm/W
60%	150W	2	70	21300lm	142 lm/W	23200lm	155 lm/W	21800lm	145 lm/W
		3	70	21300lm	142 lm/W	23200lm	155 lm/W	21800lm	145 lm/W
		4	70	21300lm	142 lm/W	23200lm	155 lm/W	21800lm	145 lm/W
		5	70	21800lm	145 lm/W	23800lm	159 lm/W	22500lm	150 lm/W
40%	100W	2	70	14500lm	145 lm/W	16000lm	160 lm/W	14800lm	148 lm/W
		3	70	14500lm	145 lm/W	16000lm	160 lm/W	14800lm	148 lm/W
		4	70	14500lm	145 lm/W	16000lm	160 lm/W	14800lm	148 lm/W
		5	70	15000lm	150 lm/W	16500lm	165 lm/W	15500lm	155 lm/W

MAL08300W									
SETTING	SYSTEM WATTS	DIST.TYPE	CRI	3000K		4000K		5000K	
				LUMENS	LPW	LUMENS	LPW	LUMENS	LPW
100%	300W	2	70	41000lm	137 lm/W	45000lm	150 lm/W	42000lm	140 lm/W
		3	70	41000lm	137 lm/W	45000lm	150 lm/W	42000lm	140 lm/W
		4	70	41000lm	137 lm/W	45000lm	150 lm/W	42000lm	140 lm/W
		5	70	42500lm	142 lm/W	46000lm	153 lm/W	43500lm	145 lm/W
80%	240W	2	70	33600lm	140 lm/W	37000lm	154 lm/W	34500lm	144 lm/W
		3	70	33600lm	140 lm/W	37000lm	154 lm/W	34500lm	144 lm/W
		4	70	33600lm	140 lm/W	37000lm	154 lm/W	34500lm	144 lm/W
		5	70	34500lm	144 lm/W	38000lm	158 lm/W	35500lm	148 lm/W
60%	180W	2	70	26000lm	144 lm/W	28600lm	159 lm/W	26600lm	148 lm/W
		3	70	26000lm	144 lm/W	28600lm	159 lm/W	26600lm	148 lm/W
		4	70	26000lm	144 lm/W	28600lm	159 lm/W	26600lm	148 lm/W
		5	70	26600lm	148 lm/W	29700lm	165 lm/W	27500lm	153 lm/W
40%	120W	2	70	18000lm	150 lm/W	20000lm	167 lm/W	18500lm	154 lm/W
		3	70	18000lm	150 lm/W	20000lm	167 lm/W	18500lm	154 lm/W
		4	70	18000lm	150 lm/W	20000lm	167 lm/W	18500lm	154 lm/W
		5	70	18500lm	154 lm/W	20800lm	173 lm/W	19000lm	158 lm/W

MAL08400W							
SETTING	SYSTEM WATTS	DIST.TYPE	CRI	4000K		5000K	
				LUMENS	LPW	LUMENS	LPW
LV1	400W	2	70	60500lm	151 lm/W	60000lm	150 lm/W
		3	70	60500lm	151 lm/W	60000lm	150 lm/W
		4	70	60500lm	151 lm/W	60000lm	150 lm/W
		5	70	61000lm	153 lm/W	60800lm	152 lm/W
LV2	360W	2	70	56000lm	156 lm/W	55000lm	153 lm/W
		3	70	56000lm	156 lm/W	55000lm	153 lm/W
		4	70	56000lm	156 lm/W	55000lm	153 lm/W
		5	70	56500lm	157 lm/W	55500lm	154 lm/W
LV3	320W	2	70	51000lm	159 lm/W	50000lm	156 lm/W
		3	70	51000lm	159 lm/W	50000lm	156 lm/W
		4	70	51000lm	159 lm/W	50000lm	156 lm/W
		5	70	51500lm	161 lm/W	50500lm	159 lm/W
LV4	300W	2	70	47000lm	162 lm/W	46000lm	159 lm/W
		3	70	47000lm	162 lm/W	46000lm	159 lm/W
		4	70	47000lm	162 lm/W	46000lm	159 lm/W
		5	70	47500lm	164 lm/W	46500lm	160 lm/W

# BUG @5000K

SYSTEM WATTS	VOLTAGE	DIST.TYPE	B	U	G
100W	120-277V/347-480V	2	3	0	3
		3	3	0	3
		4	3	0	2
		5	4	0	2
140W	120-277V/347-480V	2	3	0	3
		3	3	0	3
		4	3	0	3
		5	4	0	2
180W	120-277V/347-480V	2	4	0	3
		3	3	0	3
		4	3	0	3
		5	4	0	2
250W	120-277V/347-480V	2	4	0	4
		3	4	0	4
		4	4	0	3
		5	5	0	3
300W	120-277V/347-480V	2	5	0	4
		3	4	0	4
		4	4	0	4
		5	5	0	4
400W	120-277V/347-480V	2	5	0	4
		3	5	0	5
		4	5	0	5
		5	5	0	4

## ELECTRICAL DATA

Number Of Drivers	Driver Current (mA)	Nominal Power (W)	INPUT VOLTAGE (V)	CURRENT (Amps)
1	850	100	120	0.83
		100	208	0.48
		100	240	0.42
		100	277	0.36
	2520	100	347	0.29
		100	480	0.21
1	1200	140	120	1.17
		140	208	0.67
		140	240	0.58
		140	277	0.51
		140	347	0.40
		140	480	0.29
1	960	180	120	1.50
		180	208	0.87
		180	240	0.75
		180	277	0.65
		180	347	0.52
		180	480	0.38
1	1200	250	120	2.08
		250	208	1.20
		250	240	1.04
		250	277	0.90
		250	347	0.72
		250	480	0.52
1	1500	300	120	2.50
		300	208	1.44
		300	240	1.25
		300	277	1.08
		300	347	0.86
		300	480	0.63
1	1460	400	120	3.33
		400	208	1.92
		400	240	1.67
		400	277	1.44
		400	347	1.15
		400	480	0.83

# MOUNTING

- Standard versatile mounting arm accommodates multiple drilling patterns as well as square and round poles
- Optional for cast aluminum slipfitter mounting adapter (Compatible with more MESTER mounting adaptors such as Tenon, suits for various application)

## Mounting Options



**Arm Mount**  
(4" and 5" Square and Round poles)  
Standard versatile mounting arm is simple to install and can be used with existing poles for retrofit installations.



**Slipfitter Mount**  
An optional cast aluminum mast arm adapter secures fixture head to nominal 2-3/8" O.D. horizontal steel tenon arm.



**Wall Mount**  
Wall Mount is easy to install for direct wall mounting with 1/2" conduit wiring or standard J-box mounting

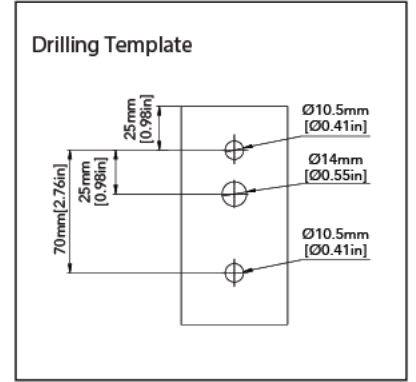
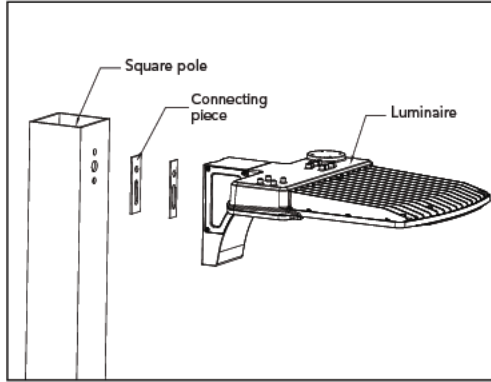
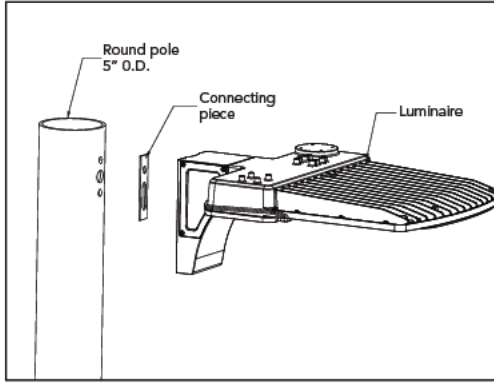


**Yoke Mount**  
Die-cast aluminum trunnion is easily adapted to many surfaces and allows easy fixture aiming angles.



**Adjustable Arm Mount**  
Standard versatile mounting arm is simple to install and can be used with existing poles for retrofit installations.

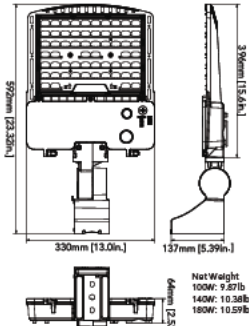
## Mounting Dimensions



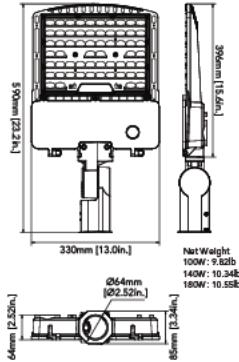
# DIMENSION

unit: inch/mm

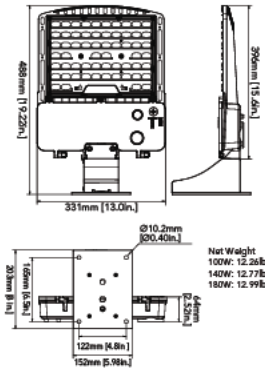
**100W/140W/180W (Adjustable Square Mount)**



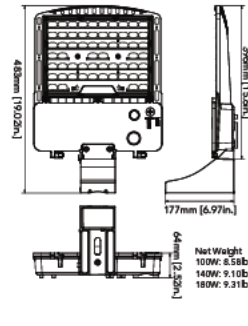
**100W/140W/180W (Slipfitter Mount)**



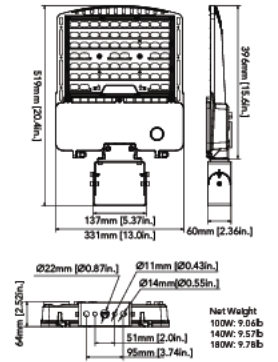
**100W/140W/180W (Wall Mount)**



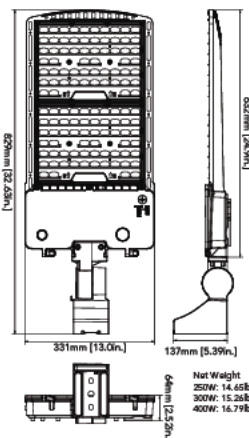
**100W/140W/180W (Pole Mount)**



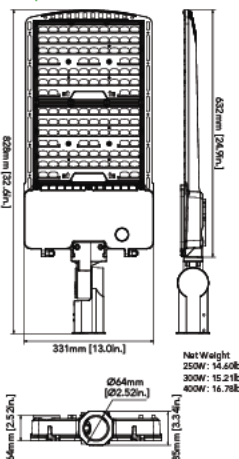
**100W/140W/180W (Yoke Mount)**



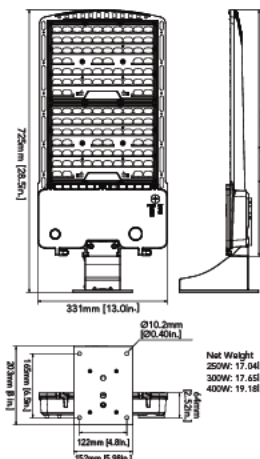
**250W/300W/400W (Adjustable Square Mount)**



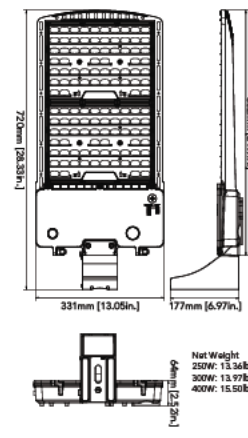
**250W/300W/400W (Slipfitter Mount)**



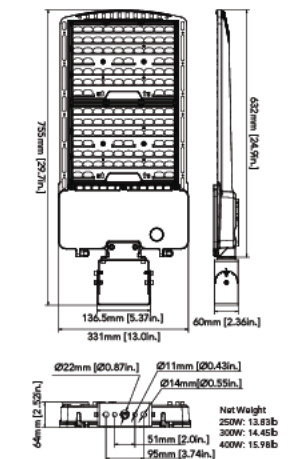
**250W/300W/400W (Wall Mount)**




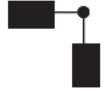





**250W/300W/400W (Pole Mount)**



**250W/300W/400W (Yoke Mount)**



# EPA OF AREA LIGHT

Item							
	1	2 @90°	2 @120°	2@180°	3 @90°	3 @120°	4 @90°
100W/140W/180W	0.3632	0.6849	0.8861	0.7264	1.0481	1.2078	1.0481
250W/300W/400W	0.4758	0.8091	1.059	0.9516	1.2849	1.3923	1.2849

## PHOTOMETRICS

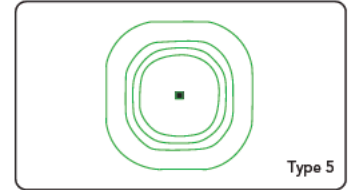
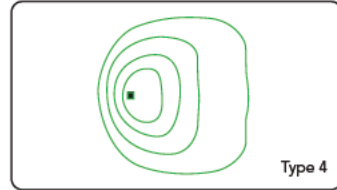
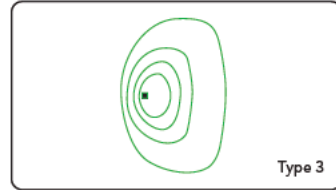
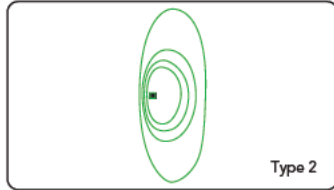
Mester offers a complete set of optical systems to meet every site lighting requirement. These systems provide remarkable flexibility in precisely matching light distribution patterns to specific site requirements.

Type 2 optics are ideal for applications where there is a need to space the luminaires farther apart along a road or pathway. The light distribution pattern is optimized for elongated areas, allowing for greater pole spacing without sacrificing lighting quality.

Type 3 optics produce an asymmetrical pattern that directs the majority of the light forward and equally on both sides of the luminaire. In a back-to-back configuration, it creates a rectangular pattern which can extend pole spacings.

Type 4 is suitable for applications where light is primarily required forward with minimal backlight. Typical installations include perimeter poles.

Type 5 optics produce a symmetrical square distribution pattern that distributes light equally on all sides of the luminaire. Type 5 luminaires is universal for most area lighting applications



## ORDERING GUIDE Example: MAL08 140W 27V XXK Y Y Y Y Y

Fixture Type	Wattage	Voltage	CCT	Finish	Photocell (Option)	Sensor (Option)	Mounting	Photometry	CCT and Power Adjustable	Internal Code
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>MAL08</b> Area Light Series	100 100W 140 140W 180 180W 250 250W 300 300W 400 400W	27V 120-277V 48V 347-480V	DDK <sup>1</sup> Adjustable color temperature	D Dark Bronze B Black W White SG Silver Gray	P0 120-277V Photocell P3 347V Photocell P4 480V Photocell Blank Without Photocell	M With Sensor Blank Without Sensor	SQ Square Pole Mount SP Slipfitter Mount WM Wall Mount YK Yoke Mount SQA Adjustable Square Mount	T2 TYPE II T3 TYPE III T4 TYPE IV T5 TYPE V	AD <sup>1</sup> With adjustment dial Blank Without adjustment dial	Blank Alphanumeric
















Note: Only 400W suit for 4000K, 5000K adjustable and other wattage suit for 3000K, 4000K and 5000K adjustable.

## ACCESSORIES(Optional)

AL08 series features a backlight control which provides reduced pixilation and increased visual comfort without compromising performance. External Glare Shield: sold separately or as an accessory.

			
<b>External Glare Shield</b>		<b>External Glare Full Visor</b>	
			
<b>Plug-and-Play PIR Sensor</b> PIR sensor: MSANT12VPH01 Bluetooth PIR sensor: MSANT12VPHB01	<b>Plug-and-Play Microwave Sensor</b> Microwave sensor: MSANT12VMH01 Bluetooth microwave sensor: MSANT12VMHB01	<b>120-277V PIR Sensor</b> PIR sensor: BRI823-B-D Bluetooth PIR sensor: BRI823-B-D-BLE-SR	<b>NEMA Photocell</b> 3 pin NEMA Type: MS-PSUNVB1 3 pin NEMA Type(480V): JL-207F 7 pin NEMA Type: JL-241C
			
<b>Back Light Control Shield</b>			

# ADDITIONAL MOUNTING ACCESSORIES

POLE BRACKET • For mounting one fixture on an existing pole			
	<p><b>4" Square Pole Mount with 2-3/8" O.D. Tenon</b>                      NO. 4SQ-SP-D                      Finish: Dark Bronze                      USE: For use with square, non-tapered steel and aluminum poles. Furnished with four 5/16" hex head stainless-steel bolts. Vertical tenon measures 2-3/8" O.D., and is made of steel tubing. Fixtures mounted to this bracket can be adjusted both vertically and horizontally.</p>		<p><b>4" Round Pole Mount with 2-3/8" O.D. Tenon</b>                      NO. 4SQR-SP-D                      Finish: Dark Bronze                      USE: For use with Round, non-tapered steel and aluminum poles. Furnished with three 3/8" hex head stainless-steel bolts. Vertical tenon measures 2-3/8" O.D., and is made of steel tubing. Fixtures mounted to this bracket can be adjusted both vertically and horizontally.</p>
	<p><b>5" Square Pole Mount with 2-3/8" O.D. Tenon</b>                      NO. 5SQ-SP-D                      Finish: Dark Bronze                      USE: For use with square, non-tapered steel and aluminum poles. Furnished with four 5/16" hex head stainless-steel bolts. Vertical tenon measures 2-3/8" O.D., and is made of steel tubing. Fixtures mounted to this bracket can be adjusted both vertically and horizontally.</p>		<p><b>5" Round Pole Mount with 2-3/8" O.D. Tenon</b>                      NO. 5SQR-SP-D                      Finish: Dark Bronze                      USE: For use with Round, non-tapered steel and aluminum poles. Furnished with three 3/8" hex head stainless-steel bolts. Vertical tenon measures 2-3/8" O.D., and is made of steel tubing. Fixtures mounted to this bracket can be adjusted both vertically and horizontally.</p>
	<p><b>Pole Bracket Accessories - Angle-Adjustment Adapter</b>                      NO. SQA-ALDA                      Finish: Dark Bronze                      USE: Durable brackets are engineered to provide versatile mounting options. These arms are made from rugged die-cast aluminum. They allow optimal positioning of the light fixture to maximize the lighting effectiveness vertically and horizontally.</p>		<p><b>Pole Bracket accessories - Tenon &amp; Yoke Adaptor</b>                      NO. SP-TR-D                      Finish: Dark Bronze                      USE: The 2-3/8" OD Tenon Mount Adaptor for Yoke Fixtures is designed to mount MESTER light fixtures that are equipped with a yoke mount onto a 2-3/8" OD tenon. It may be utilized with the Mester Flood Light Series of light fixtures.</p>
	<p><b>Horizontal Wall or Square or Round pole mount with 2-3/8" Tenon Bracket</b>                      NO. SQ/R-SP-D                      Finish: Dark Bronze                      USE: This tenon bracket can be installed onto a wall, square pole, round pole. Provides wiring access and built-in 2-3/8" O.D. tenon to mount a fixture with our adjustable slipfitter. Suggested 3/8" diameter bolts for mounting.</p>		<p><b>Adjustable Arm Mount Kit</b>                      NO. SOADAL08-A                      Finish: Dark Bronze                      Description: Adjustable pole mount kit, suitable for 4" &amp; 5" square or round pole</p>
WALL BRACKET • Attaches to any flat surface • Provides wiring access		Mid-Pole tenon Bracket	
	<p><b>90° Wall Mount Bracket with 2-3/8" O.D. Tenon</b>                      NO. WM-SP-D                      Finish: Dark Bronze                      USE: The 90° wall mount bracket with 2-3/8" tenon attaches an MESTER floodlight to almost any surface: wall, roof, or wood pole. Provides wiring access and built-in 2-3/8" O.D. tenon to mount a fixture with our adjustable slipfitter. Suggested 3/8" diameter bolts for mounting. Mounting holes are spaced 3-1/4" apart.</p>		<p><b>2-3/8" OD Horizontal Tenon Mid-Pole Bracket</b>                      NO. SQ-SP-D                      Finish: Dark Bronze                      USE: 2-3/8" OD Horizontal Tenon Mid-Pole Bracket is designed to mount light fixture that is equipped with an adjustable slipfitter onto a 2-3/8" OD horizontal tenon</p>
Round External Mount Horizontal Tenon • To mount 2/3/4 fixtures on a existing pole			
	<p><b>Double 90° Horizontal Tenon Adaptor</b>                      NO. R60-SP2-90-D                      Finish: Dark Bronze                      USE: The Bracket is designed to mount over 2-3/8" (60mm) O.D. vertical tenon. Two fixtures can be mounted to the Round External Mount Horizontal Tenon and adjusted horizontally</p>		<p><b>Triple 120° Horizontal Tenon Adaptor</b>                      NO. R60-SP3-120-D                      Finish: Dark Bronze                      USE: The Bracket is designed to mount over 2-3/8" (60mm) O.D. vertical tenon. Three fixtures can be mounted to the Round External Mount Horizontal Tenon and adjusted horizontally</p>
	<p><b>Double 180° Horizontal Tenon Adaptor</b>                      NO. R60-SP2-180-D                      Finish: Dark Bronze                      USE: The Bracket is designed to mount over 2-3/8" (60mm) O.D. vertical tenon. Two fixtures can be mounted to the Round External Mount Horizontal Tenon and adjusted horizontally</p>		<p><b>Quad 90° Horizontal Tenon Adaptor</b>                      NO. R60-SP4-90-D                      Finish: Dark Bronze                      USE: The Bracket is designed to mount over 2-3/8" (60mm) O.D. vertical tenon. Four fixtures can be mounted to the Round External Mount Horizontal Tenon and adjusted horizontally</p>
	<p><b>Triple 90° Horizontal Tenon Adaptor</b>                      NO. R60-SP3-90-D                      Finish: Dark Bronze                      USE: The Bracket is designed to mount over 2-3/8" (60mm) O.D. vertical tenon. Three fixtures can be mounted to the Round External Mount Horizontal Tenon and adjusted horizontally</p>		

**LOEPFE CERTIFIED SURVEY MAP REVIEW**  
**11/20/2025 Plan Commission Meeting**  
**Lola and Bob Loepfe**

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Staff Report

Village of Summit, Wisconsin

Property Location: 2937 N. Mill Road and adjacent lands  
SUMT0625990 & SUMT0625996

Property Owner: Carola Kappus Loepfe Trust C-U The Elizabeth J Bostrom Living Trust

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**Recommended Motion:** *Motion to recommend that Village Board approve the Certified Survey Map for the division of two lots into three lots, subject to the following conditions:*

- A. *APPROVALS FROM ALL OBJECTING AND APPROVING BODIES: Petitioner shall satisfy all comments, conditions and concerns of the Waukesha County Department of Public Works, Village Engineer, Surveyor, and Planner prior to approval of the final Certified Survey Map.*
- B. *SUBJECT TO REIMBURSEMENT OF EXPENSES. As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.*
- C. *UTILITY CONNECTION FEES. As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all utility connection fees owed to the Village of Summit.*
- D. *BUSINESS OR COMMERCIAL USE. There shall be no commercial or business use on this lot, except as specifically permitted within or pursuant to the applicable Zoning Code.*
- E. *ONE YEAR TO SATISFY CONDITIONS. Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Village Board granting conditional final approval of the CSM's.*

**Summary:**

Existing Zoning: R-2 Country Residential (1.5 acres/90,000 sq. ft. density) & EC Environmental Corridor Overlay, WL Wetland Conservancy

Land Use Plan: SF Residential 1.6-acre density, Primary Environmental Corridor

The applicant is proposing to divide and reconfigure two lots into three legal lots of record.

Lot Configuration Table

	Existing North Lot	Existing South Lot	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Required
Lot Size	~ 3.78 acres	~ 14 acres	6.64 acres 6.36 no WL	6.4 acres	4 acres	1.5 acres*
Lot Width	~ 103 ft.	~ 800 ft. +	242.9 ft.	170 – 180 ft.	570 ft.	180 ft.
Lake Frontage	~ 260 ft.	~ 90 ft.	~ 163.5 ft.	~ 175 ft.	None	See below

\*Overall density must not exceed 1 unit per 5 acres in the Environmental Corridor

Each lot is required to be at least 1.5 acres in size. Since the lots are located in the Primary Environmental Corridor, or partially in the corridor, the overall density shall not exceed 1 unit per 5 acres, excluding the wetland area. The proposed land division complies with the minimum lot size and density standards.

Each lot is required to have at least 180 ft. in lot width. Lot width is defined as the width of a parcel of land measured at the setback line. Because the building envelope for Lot 2 is set back much further than the required setback line, the lot width is measured at the location of the building envelope.

Lake access is limited to no more than one lot or dwelling unit for each 150 ft. of lake frontage, except for existing substandard lots that have less than 150 ft. of lake frontage. Each lot will have at least 150 ft. of lake frontage.

**Surveyor Review:** The surveyor has reviewed previous versions of the CSM. Conditions 1 and 2 of the review letter dated July 11, 2025 still apply. The surveyor’s review comments related to the most recently submitted CSM are pending.

**Planner Review:**

- Written documentation shall be provided from the Waukesha County Department of Public Works that they have reviewed and approve of the CSM. Documentation shall also be provided regarding legal access to Valley Road (CTH B) from each lot.
- The Village Surveyor is recommending that the intersection be rounded and that a Vision Corner Easement be created with an associated note. This condition shall be addressed.
- Lot 2 currently has two living units. The upstairs unit needs to either be converted to single-family residence (remove lock on door) or the applicant shall apply for approval to have an accessory dwelling unit on the property.
- The reference to “sport court” shall read “decommissioned sport court” and the sport court shall be removed or covered with a natural surface (topsoil and seed).



Building a Better World  
for All of Us®

July 11, 2025

RE: Village of Summit  
Loepfe CSM Review  
SEH No. 176551 Task 61

Ms. Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Dear Ms. Barrows:

We have reviewed the Certified Survey Map for William Loepfe and prepared by Matthew O'Rourke of LandTech Surveying. The CSM reviewed is dated 05/23/2025. We have also included the CSM mark-ups to aid in the revisions. We offer the following comments:

- 1) The intersection will require a County Vision Corner Easement and associated note.
- 2) It is recommended the intersection be rounded.
- 3) The overall length of the meander line shall be shown.
- 4) The prior or former lot lines do not need to be shown.
- 5) The document number ingress/Egress easement shall be shown or notes that it will be created by separate document.

Please do not hesitate to contact me with any questions or comments at 414.949.8919 or [kkindred@sehinc.com](mailto:kkindred@sehinc.com).

Sincerely,

A handwritten signature in black ink that reads "Keith Kindred".

Keith Kindred, PLS  
Principal, Regional Practice Center Leader  
(Lic. WI, IL)

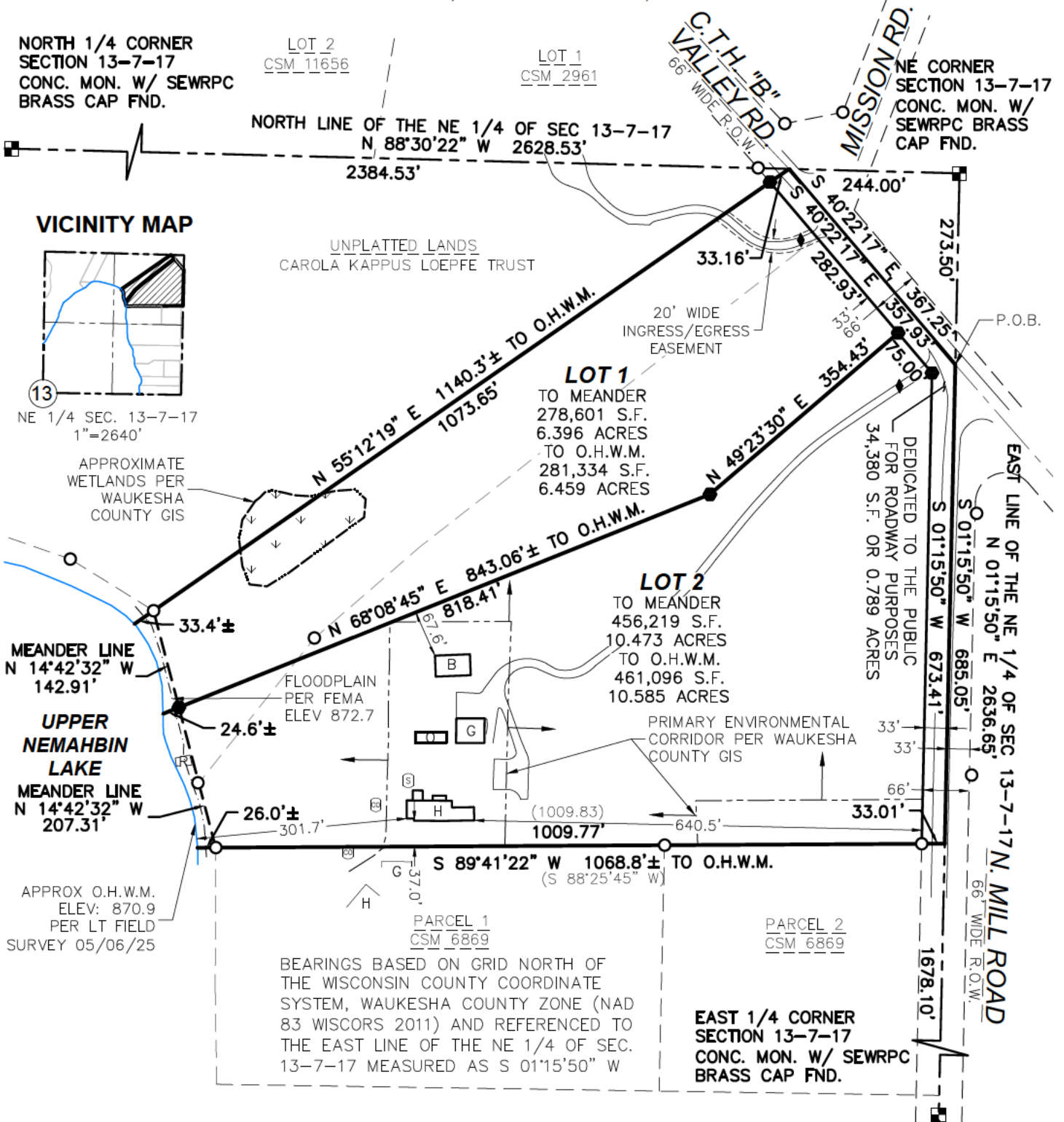
btp

x:\p\t\s\summ\176551\task 61 - loepfe csm\corr\review letters\loepfe csm review letter\_village of summit\_2025-07-11.docx

PRELIMINARY

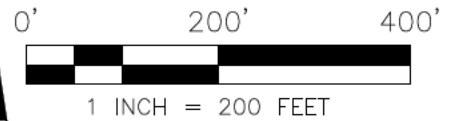
WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T7N., R17E.,  
VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.



LEGEND

■ SECTION CORNER MONUMENT	H EXISTING HOUSE
○ FOUND 1" IRON PIPE OR NOTED	G EXISTING GARAGE
● SET 0.75" O.D. X 18" REBAR	B EXISTING BARN
WEIGHING 1.502 LBS/FT.	O EXISTING OUTBUILDING
⊗ SEPTIC VENT	R REMNANT BUILDING
⊗ SEPTIC CLEANOUT	P.E.C.
(R) RECORD DIMENSION	— FLOODPLAIN
◆ DRIVEWAY LOCATION	▭ WETLANDS



PREPARED FOR:  
CAROLA KAPPUS LOEPFE TRUST C-U  
THE ELIZABETH J BOSTROM LIVING TRUST  
(WILLIAM LOEPFE)  
2937 N MILL RD.  
OCONOMOWOC, WI 53066

LAND SURVEYING • LAND PLANNING  
955 LEXINGTON DRIVE  
OCONOMOWOC, WI 53066  
WWW.LANDTECHWI.COM  
(262) 367-7599

DATED 05/23/2025  
JOB# 25134  
SHEET 1 OF 4

THIS INSTRUMENT WAS DRAFTED BY MATTHEW T. O'ROURKE, S-2771

**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T7N., R17E.,  
VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE:**

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF UNPLATTED LAND BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION 13, TOWN 7 NORTH, RANGE 17 EAST; THENCE S 01°15'50" W, ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 13, 273.50 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S 01°15'50" W, ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 13, 685.05 FEET TO THE EXTENSION OF THE NORTH LINE OF CSM 6869; THENCE S 89°41'22" W, ALONG THE NORTH LINE OF CSM 6869, 1042.78 FEET TO THE BEGINNING OF A MEANDER LINE OF UPPER NEMAHBIN LAKE, SAID POINT LYING N 89°41'22" E, 26.0 FEET MORE OR LESS FROM THE ORDINARY HIGH WATER MARK OF UPPER NEMAHBIN LAKE; THENCE N 14°42'32" W, ALONG SAID MEANDER LINE, 207.31 FEET; THENCE N 14°42'32" W, ALONG SAID MEANDER LINE, 142.91 FEET TO THE END OF THE MEANDER LINE SAID POINT LYING N 55°12'19" E, 33.4 FEET MORE OR LESS FROM THE ORDINARY HIGH WATER MARK OF UPPER NEMAHBIN LAKE; THENCE N 55°12'19" E, 1106.81 FEET TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 13 AND THE CENTERLINE OF VALLEY ROAD ALSO KNOWN AS C.T.H. "B"; THENCE S 40°22'17" E, ALONG THE CENTERLINE OF VALLEY ROAD ALSO KNOWN AS C.T.H. "B", 367.25 FEET; TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 364,669 SQUARE FEET OR 17.833 ACRES INCLUDING THE LANDS LYING BETWEEN THE MEANDER LINE AND THE ORDINARY HIGHWATER MARK OF UPPER NEMAHBIN LAKE.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF THE CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST OWNER OF SAID LANDS.

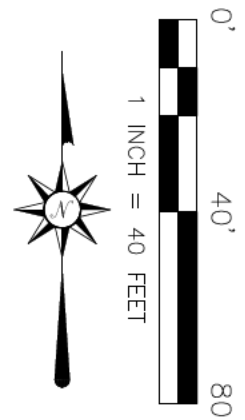
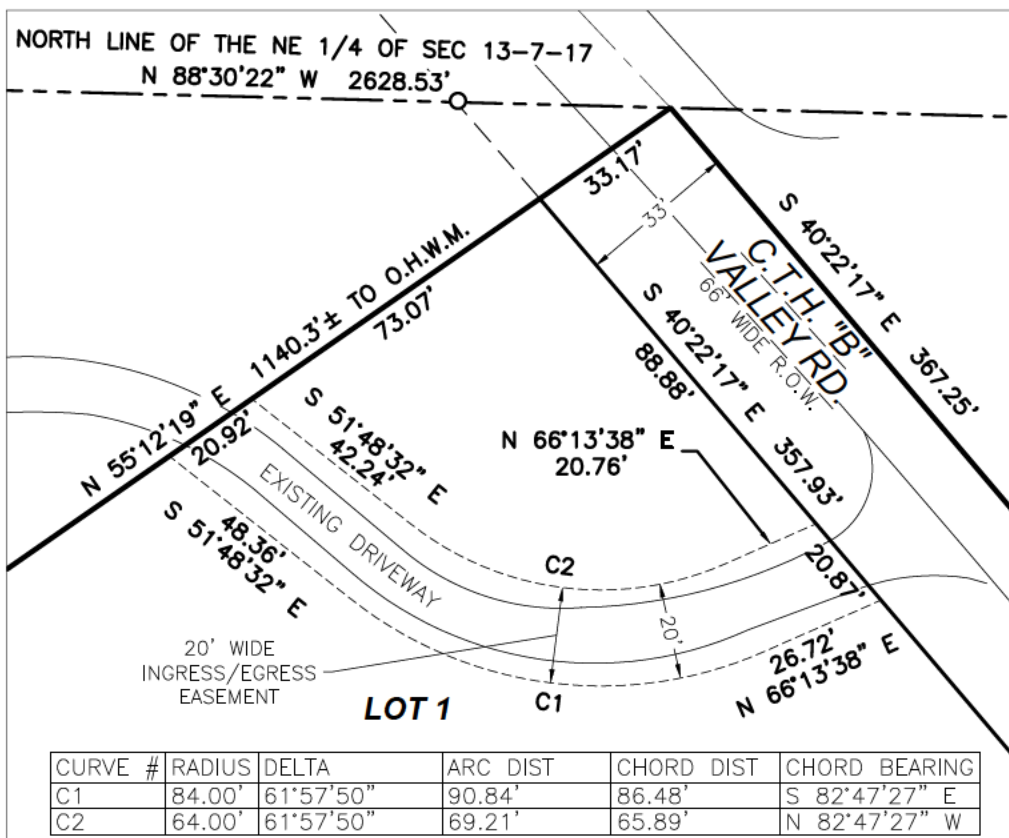
THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF VILLAGE OF SUMMIT IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
MATTHEW T. O'ROURKE, S-2771

**EASEMENT DETAIL**



**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

**UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T7N., R17E.,  
VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.**

**NOTES:**

- FLOODPLAIN IS PER FEMA FIRM MAP NO. 55133C0158H, MAP REVISED NOVEMBER 5, 2014. ELEV: 872.7
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- THE ENTIRE PARCEL IS WITHIN THE VILLAGE OF SUMMIT SHORELAND JURISDICTION.
- LOT CONTAINS ENVIRONMENTAL CORRIDOR PER WAUKESHA COUNTY GIS. THE VILLAGE OF SUMMIT MAY REQUIRE A DELINEATION OF THE ENVIRONMENTAL CORRIDOR FOR BUILDING PERMIT PURPOSES.
- THE ORDINARY HIGH WATER MARK IS BASED ON LANDTECH SURVEYING LOCATION AND IS SHOWN FOR REFERENCE PURPOSES ONLY.

**WETLAND/ ENVIRONEMNTAL CORRIDOR/ FLOODPLAIN RESTRICTIONS**

THOSE AREAS OF LAND IDENTIFIED AS WETLANDS, ENVIRONMENTAL CORRIDOR AND/OR FLOODPLAIN ON THIS CERTIFIED SURVEY MAP AND SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

1. GRADING AND FILLING ARE PROHIBITED.
2. THE REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS IS PROHIBITED.
3. THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT DEAD, DISEASED, OR DYING VEGETATION MAY BE REMOVED AT THE DISCRETION OF THE LANDOWNER AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT. SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT, SHALL ALSO BE PERMITTED.
4. GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., SHALL BE DISCOURAGED TO THE GREATEST EXTENT POSSIBLE.
5. THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT OF THE WETLAND\_ AND/OR ENVIRONMENTAL CORRIDOR IS PROHIBITED.
6. PONDS MAY BE PERMITTED SUBJECT TO THE APPROVAL OF THE VILLAGE OF SUMMIT AND, IF APPLICABLE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
7. THE CONSTRUCTION OF BUILDINGS WITHIN THE WETLAND IS PROHIBITED.

**OWNER'S CERTIFICATE:**

AS OWNERS WE THE CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED, DIVIDED, DEDICATED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT.

WITNESS THE HAND AND SEAL OF SAID OWNERS: THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
WILLIAM LOEPFE – MEMBER

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE NAMED CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST, TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY SIGNATURE \_\_\_\_\_

PRINT NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T7N., R17E.,  
VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

**VILLAGE OF SUMMIT BOARD APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT BOARD, THIS  
\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
JACK RILEY, VILLAGE PRESIDENT

\_\_\_\_\_  
DEBRA MICHAEL, ADMINISTRATOR-CLERK/TREASURER

**VILLAGE OF SUMMIT PLAN COMMISSION APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT PLAN COMMISSION, THIS  
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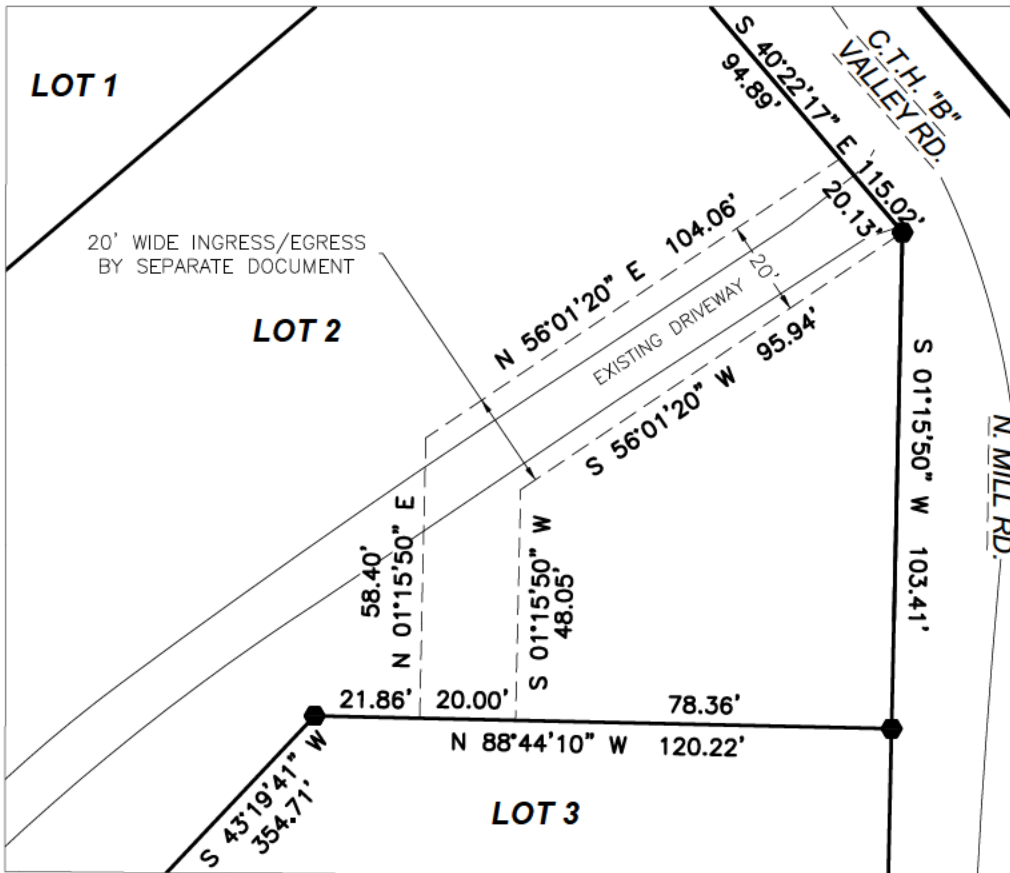
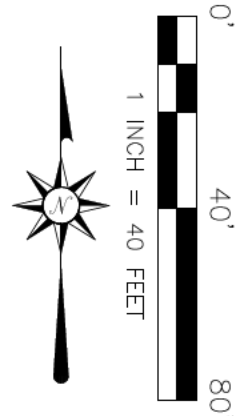
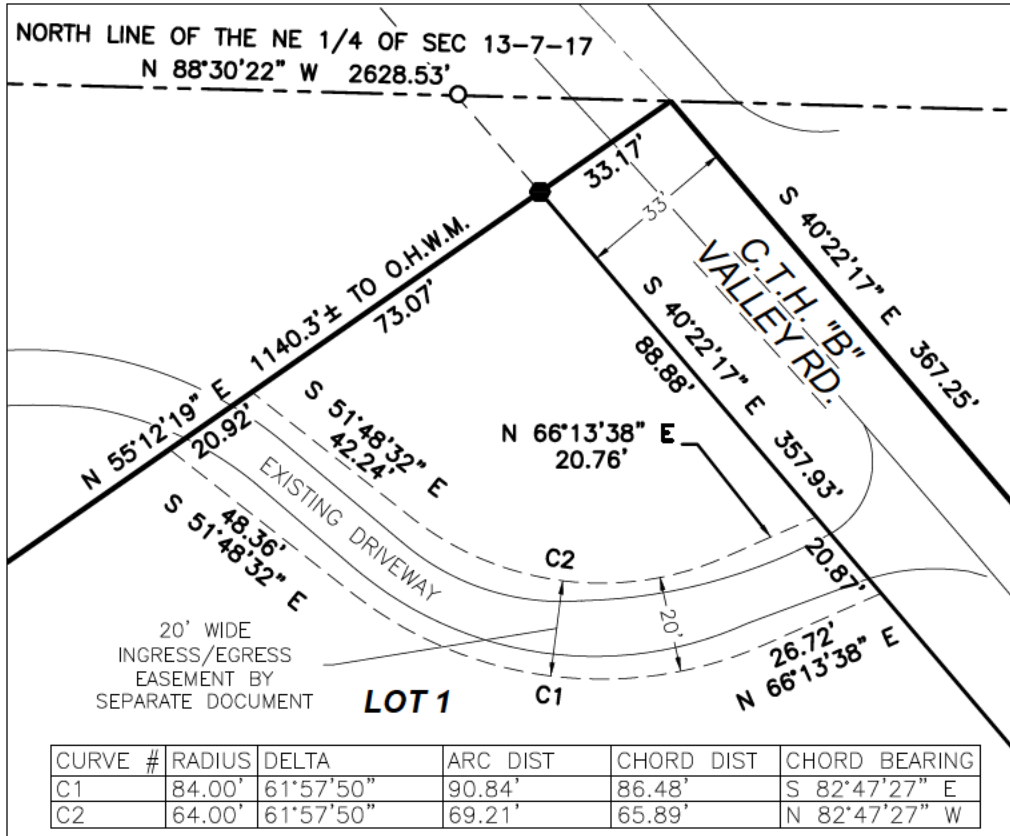
\_\_\_\_\_  
JIM SIEPMANN, CHAIRPERSON

\_\_\_\_\_  
DEBRA MICHAEL, ADMINIATRATOR-CLERK/TREASURER



WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
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 VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

EASEMENT DETAIL



**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**  
**UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T7N., R17E.,**  
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DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
MATTHEW T. O'ROURKE, S-2771

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

UNPLATTED LANDS BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 13, T7N., R17E.,  
VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

**NOTES:**

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**WETLAND/ ENVIRONMENTAL CORRIDOR/ FLOODPLAIN RESTRICTIONS**

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6. THE CONSTRUCTION OF BUILDINGS WITHIN THE WETLAND IS PROHIBITED.
7. ON LOTS 1 AND 3, EXISTING AND PROPOSED BUILDINGS, HARD SURFACES AND ALL OTHER LAND DISTURBANCE IS LIMITED TO 15%, OR 32,670 SQUARE FEET, OF THE LOT AREA, WHICH EVER IS GREATER. ON LOT 2, EXISTING AND PROPOSED BUILDINGS, HARD SURFACES, AND ALL OTHER LAND DISTURBANCE IS LIMITED TO THE AREA LOCATED OUTSIDE OF THE PRIMARY ENVIRONMENTAL CORRIDOR AS ILLUSTRATED ON THIS CSM AND WITHIN THE "EXISTING DISTURBANCE AREA". BUILDING IN THE "EXISTING DISTURBANCE AREA" IS LIMITED TO THE CONSTRUCTION OF A BOATHOUSE ONLY.

**OWNER'S CERTIFICATE:**

AS OWNERS WE THE CAROLA KAPPUS LOEPFE TRUST C-U THE ELIZABETH J BOSTROM LIVING TRUST HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED, DIVIDED, DEDICATED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT.

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\_\_\_\_\_  
WILLIAM LOEPFE – MEMBER

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

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NOTARY SIGNATURE \_\_\_\_\_

PRINT NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_  
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VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

**VILLAGE OF SUMMIT BOARD APPROVAL**

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\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
JACK RILEY, VILLAGE PRESIDENT

\_\_\_\_\_  
DEBRA MICHAEL, ADMINISTRATOR-CLERK/TREASURER

**VILLAGE OF SUMMIT PLAN COMMISSION APPROVAL**

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\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
JIM SIEPMANN, CHAIRPERSON

\_\_\_\_\_  
DEBRA MICHAEL, ADMINISTRATOR-CLERK/TREASURER