



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

## AGENDA

### Village Board - Village of Summit

**Thursday, March 13, 2025 at 6:30 p.m.**

At the Summit Village Hall, 37100 Delafield Road

1. CALL TO ORDER
2. ROLL CALL AND CONFIRM POSTING
3. PLEDGE OF ALLEGIANCE
  
4. PUBLIC COMMENT
  
5. CONSENT AGENDA - Items listed under the Consent Agenda are considered in one motion unless a Village Board Member requests that an item be removed from the Consent Agenda
  - A. Minutes of February 13, 2025 regular meeting
  - B. February, 2025 payables
  - C. Resolution #25-469 Release of Cash Deposit for Emmaus Road Improvements
  - D. Designation of \$5,000 donated funds from Silver Circle Sporting Events to the Community Outreach Fund
  - E. Designation of \$20 donated funds from Lois Erdmann to the Community Outreach Fund
  
6. PLANNING DEPARTMENT
  - A. Update on Plan Commission matters
  - B. Update on Zoning Code Land Use Project
  - C. Discussion and action on a request by Andy Fieber, Aldo Partners, to combine two lots by Certified Survey Map for property owned by Christian and Katherine Kosch located at 34651 and 34647 Sugar Island Road (SUMT0671022 & SUMT0671023)
  - D. Discussion and action on a request by Andy Fieber, Aldo Partners, to record a revised Certified Survey Map for two existing properties owned by Madden Revocable Living Trust located at 1506 Sugar Island Road (SUMT0671034002) & Justin Beres & Andy Fieber located on the adjacent property to the north (SUMT0671034003)
  
7. PUBLIC WORKS DEPARTMENT
  - A. Monthly Administrative Report
  - B. Discussion and action on Genesee Lake Road Park parking lot design
  - C. Discussion and action on Genesee Lake Road Park parking lot bid documents & ad for bids
  - D. Discussion and action on 2025 Road Paving bid documents & ad for bids
  - E. Discussion and action on Oconomowoc Area Baseball Club (OABC) proposal to construct new baseball fields & batting cages at Genesee Lake Road Park
  - F. Discussion and action on N. Dousman Road multi-use trail placement and exception letter approval to WisDOT for Genesee Lake Road Park property
  - G. Discussion and action on donation request from Kettle Moraine Rec Sports
  - H. Discussion and action on jurisdictional transfer request from City of Oconomowoc for Pabst Farms Boulevard

- I. Discussion and action on purchase of road salt on WisDOT Bid for 2025-2026 Winter season
- J. Discussion and action on CY2024 MS4 Annual Report
- K. Discussion and action on DPW Seasonal Laborer positions wage range
- L. Discussion and action on Severe Weather Emergency Response Policy

8. POLICE DEPARTMENT

- A. Monthly Report
- B. Discussion and action on cameras for Village Hall & DPW Buildings
- C. Discussion and action on lake patrol efforts in the Village of Summit related to neighboring community inquiry for shared services

9. WESTERN LAKES FIRE DISTRICT

- A. Monthly Report

10. VILLAGE BOARD

- A. Discussion and action on options for communication with City of Oconomowoc related to road projects
- B. Update on ATV/UTV Waukesha County roads access
- C. Discussion and action on Waukesha County's agreement with Forest County Potawatomi Community for a portion of CTH BB (N. Golden Lake Road) to be added to the National Tribal Transportation Facility Inventory (NTTFI)
- D. Discussion and action to set items for April 10, 2025 regular Village Board meeting

11. ADJOURN VILLAGE BOARD MEETING

Respectfully Submitted,

Debra J. Michael, WCMC  
Village Administrator-Clerk/Treasurer

**Next Regular Meeting: April 10, 2025**

**Posted: March 7, 2025**

\*\*\*\* Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service contact the Village Hall at 567-2757.

It is possible that members of and possible a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any other governmental body except by the Village Board noticed above.

VILLAGE OF SUMMIT  
 Payables Report for  
 March 13, 2025 Meeting  
 Prepared by Debbie Michael

**Summary of February, 2025 Payables**

**Paid Check Batches:**

\$ Amount	Description
1,581.47	Mid month checks Bank 59
1,601,721.20	WLFD Final Tax Settlement
183.04	Mid month checks WSB
-----	
Total \$ 1,603,485.71	

**Batches For Payment:**

\$ Amount	Description
215,884.06	February Payables
15,098.61	Credit Card
-----	
Total \$ 230,982.67	

**Total February Payables for Approval: \$ 1,834,468.38**

Approved by the Summit Village Board on this the 13th day of March, 2025

<b>Engineering</b>	<b>\$</b>	<b>10,618.50</b>
Village		6,768.50
Billed		3,850.00
<b>Planning</b>		-
Planner		
Shoreland		
Billed		
<b>Legal</b>	<b>\$</b>	<b>12,104.95</b>
Village		8,828.35
Billed		3,276.60

BANK 59

ALL Checks

Posted From: 2/16/2025 From Account:  
Thru: 3/06/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
409082 2/19/2025 SILVER LAKE UTILITY DISTRICT FEB TAX SETTLEMENT			
800-00-24508-000-000		SILVER LAKE UD FEB TAX SETTLEMENT	2,701.46
		2024 TAX	
800-00-24508-000-000		SILVER LAKE UD FEB TAX SETTLEMENT	2,863.74
		DELINQUENTS ON TAX ROLL	
		Total	5,565.20
409083 2/19/2025 SUMMIT UTILITY DISTRICT #2 FEB SETTLEMENT			
800-00-24503-000-000		SUMMIT UTILITY DISTRICT #2 FEB SETTLEMENT	184,224.78
		2024 TAX	
800-00-24503-000-000		SUMMIT UTILITY DISTRICT #2 FEB SETTLEMENT	11,433.79
		DELINQUENTS 2024 TAX ROLL	
		Total	195,658.57
409084 2/19/2025 REGISTRATION FEE TRUST POLICE VEH REGISTRATION			
100-00-57400-000-000		CAPITAL PURCHASE POLICE VEH REGISTRATION	169.50
		2025 FORD	
		Total	169.50
409085 2/19/2025 SECURIAN FINANCIAL GROUP INC 056302 LIFE INS			
100-00-52100-132-000		POLICE INSURANCE 056302 LIFE INS	164.27
		MAR 2025	
100-00-53300-132-000		PUBLIC WORKS INSURANCE 056302 LIFE INS	41.54
		MAR 2025	
100-00-51420-132-000		ADMIN C/T INSURANCE 056302 LIFE INS	30.10
		MAR 2025	
100-00-51422-132-000		VILLAGE OFFICE INSURANCE 056302 LIFE INS	11.09
		MAR 2025	
100-00-13101-000-000		ACCOUNTS RECEIVABLE OTHER 056302 LIFE INS	162.97
		MAR 2025	
		Total	409.97
409086 2/27/2025 BARBARA WOOD 1.5HR SVD, 5HR 2/18/25			
100-00-51440-390-000		ELECTIONS 1.5HR SVD, 5HR 2/18/25	78.00
		FEB 18 ELECTION	

3/06/2025 3:46 PM

Reprint Check Register - Full Report - ALL

Page: 2  
ACCT

BANK 59

ALL Checks

Posted From: 2/16/2025 From Account:  
Thru: 3/06/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
			Total 78.00
409087	2/27/2025	CAROL VANDENBERG	
FEB 18 ELECTION			
100-00-51440-390-000		ELECTIONS	126.00
	FEB 18 ELECTION	02/18/25	
			Total 126.00
409088	2/27/2025	CARRIE NAMOWICZ	
FEB 18 ELECTION			
100-00-51440-390-000		ELECTIONS	75.00
	FEB 18 ELECTION	02/18/25	
			Total 75.00
409089	2/27/2025	CATHERINE L SHAW	
FEB 18 ELECTION			
100-00-51440-390-000		ELECTIONS	78.00
	FEB 18 ELECTION	02/18/25	
			Total 78.00
409090	2/27/2025	CATHY BUTSCHKE	
FEB 18 ELECTION			
100-00-51440-390-000		ELECTIONS	90.00
	FEB 18 ELECTION	02/18/25	
			Total 90.00
409091	2/27/2025	DANIELLE LEONARD	
FEB 18 ELECTION			
100-00-51440-390-000		ELECTIONS	69.00
	FEB 18 ELECTION	02/18/2025	
			Total 69.00
409092	2/27/2025	DEBORAH ENGEL	
FEB 18 ELECTION			
100-00-51440-390-000		ELECTIONS	90.00
	FEB 18 ELECTION	02/18/25	
			Total 90.00
409093	2/27/2025	FAYE FREDERICH	
FEB 18 ELECTION			

3/06/2025 3:46 PM

Reprint Check Register - Full Report - ALL

Page: 3  
ACCT

BANK 59

ALL Checks

Posted From: 2/16/2025 From Account:  
Thru: 3/06/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
100-00-51440-390-000	ELECTIONS		48.00
	FEB 18 ELECTION	02/18/25	
		Total	48.00
409094	2/27/2025	MARY RODE	
	FEB 18 ELECTION		
100-00-51440-390-000	ELECTIONS		48.00
	FEB 18 ELECTION	02/18/25	
		Total	48.00
409095	2/27/2025	MARY SZAJNA	
	FEB 18 ELECTION		
100-00-51440-390-000	ELECTIONS		48.00
	FEB 18 ELECTION	02/18/25	
		Total	48.00
409096	2/27/2025	MICHAEL RODE	
	FEB 18 ELECTION		
100-00-51440-390-000	ELECTIONS		90.00
	FEB 18 ELECTION	02/18/25	
		Total	90.00
409097	2/27/2025	PAM MCMURRAY	
	FEB 18 ELECTION		
100-00-51440-390-000	ELECTIONS		42.00
	FEB 18 ELECTION	02/18/25	
		Total	42.00
409098	2/27/2025	PATRICIA SIEBRECHT	
	FEB 18 ELECTION		
100-00-51440-390-000	ELECTIONS		18.00
	FEB 18 ELECTION	02/18/25	
		Total	18.00
409099	2/27/2025	RICHARD WENTLAND	
	FEB 18 ELECTION		
100-00-51440-390-000	ELECTIONS		54.00
	FEB 18 ELECTION	02/18/25	
		Total	54.00

3/06/2025 3:46 PM

Reprint Check Register - Full Report - ALL

Page: 4  
ACCT

BANK 59

ALL Checks

Posted From: 2/16/2025 From Account:  
Thru: 3/06/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
409100	2/27/2025	STEVE STYZA	
02/18/25			
100-00-51440-390-000		ELECTIONS	48.00
02/18/25		FEB 18 ELECTION	
		Total	48.00
409101	2/28/2025	WESTERN LAKES FIRE DISTRICT	
		OPERATING BUDGET 2025	
800-00-24505-000-000		DUE TO WSTRN LAKES FD TAX ROLL	1,281,440.70
		OPERATING BUDGET 2025 6508A	
800-00-24505-000-000		DUE TO WSTRN LAKES FD TAX ROLL	320,080.50
		CAPITAL BUDGET 2025 6508A	
800-00-24505-000-000		DUE TO WSTRN LAKES FD TAX ROLL	200.00
		DELQ FIRE INSP LCV POOL HOUSES DELQ FIRE INSP	
		Total	1,601,721.20
		Grand Total	1,804,526.44

3/06/2025 3:46 PM

Reprint Check Register - Full Report - ALL

Page: 5  
ACCT

BANK 59

ALL Checks

Posted From: 2/16/2025 From Account:  
Thru: 3/06/2025 Thru Account:

Amount

---

Total Expenditure from Fund # 100 - GENERAL FUND	1,581.47
Total Expenditure from Fund # 800 - TAX ROLL	1,802,944.97
Total Expenditure from all Funds	1,804,526.44

3/06/2025 3:49 PM

Reprint Check Register - Full Report - ALL

Page: 1  
ACCT

WSB CHECKING

ALL Checks

Posted From: 2/15/2025 From Account:  
Thru: 3/06/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
PYRLFEE	2/23/2025	SIKICH LLP WI	
PYRL ADMIN	1/17/2025		
		Manual Check	
100-00-51600-210-000		VILLAGE HALL 3RD PARTY ADMIN	183.04
		PYRL ADMIN 1/17/2025	80156
		Total	183.04
		Grand Total	183.04

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 1  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
3/14/2025 ACCURATE APPRAISAL LLC FEBUARY 2025			
100-00-51530-290-000		ASSESSOR O/S SERVICES FEBUARY 2025	2,500.00
		5209	
Total			2,500.00
3/14/2025 ACE HARDWARE OF OCONOMOWOC FASTENERS			
100-00-53300-340-000		PUBLIC WORKS ICE & SNOW FASTENERS	8.12
		259415	
100-00-53300-370-000		PUBLIC WORKS ROAD MAINTENANCE TREE MAINT PRUNER LOPPER	70.98
		259576	
100-00-53300-350-000		PUBLIC WORKS EQUIP MAINT HOSENOZ & TABLE	105.95
		259576	
Total			185.05
3/14/2025 CASPER'S TRUCK EQUIPMENT COM SPREADER PREWET SYSTEM			
100-00-57400-000-000		CAPITAL PURCHASE COM SPREADER PREWET SYSTEM	20,708.00
		0063376-IN	
Total			20,708.00
3/14/2025 CITY OF DELAFIELD POLICE DEPARTMENT SEATBELT GRANT			
100-00-52104-000-000		POLICE GRANT POOL PYMNT SEATBELT GRANT	687.69
		JAN 2025	
Total			687.69
3/14/2025 CITY OF OCONOMOWOC POLICE DEPARTMENT SEATBELT GRANT			
100-00-52104-000-000		POLICE GRANT POOL PYMNT SEATBELT GRANT	1,289.03
		JAN 2025	
Total			1,289.03
3/14/2025 COREY OIL LTD 276.6 GAL DIESEL			
100-00-53300-250-000		PUBLIC WORKS FUEL 276.6 GAL DIESEL	847.78
		388327	
100-00-53300-250-000		PUBLIC WORKS FUEL 404.8 GAL DIESEL	1,224.52
		396396	

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 2  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
100-00-52100-260-000		POLICE SQUAD REP & MAINT	55.35
		WINDSHIELD WASHER 584700	
100-00-53300-350-000		PUBLIC WORKS EQUIP MAINT	55.35
		WINDSHIELD WASHER 584700	
100-00-53300-250-000		PUBLIC WORKS FUEL	211.50
		DEF & HAND PUMP 584700	
100-00-52100-250-000		POLICE FUEL	861.02
		324.3 GAL GAS 388328	
100-00-52100-250-000		POLICE FUEL	525.02
		203.1 GAL GAS 396397	
Total			3,780.54

3/14/2025 DAN PLAUTZ CLEANING SERVICE, INC.

FEB CLEANING

100-00-51600-280-000		VILLAGE HALL CLEANING	780.00
		FEB CLEANING 8521	
100-00-51600-280-000		VILLAGE HALL CLEANING	49.49
		MFOLD DISPENSER 8590	
Total			829.49

3/14/2025 DIVERSIFIED BENEFIT SERVICES INC

FEB FSA ADMIN

100-00-51600-210-000		VILLAGE HALL 3RD PARTY ADMIN	117.75
		FEB FSA ADMIN 434298	
Total			117.75

3/14/2025 EWALD'S HARTFORD FORD LLC

2025 FORD EXPLORER

100-00-57400-000-000		CAPITAL PURCHASE	46,177.00
		2025 FORD EXPLORER 48713	
Total			46,177.00

3/14/2025 FASTENAL COMPANY

LADDER

100-00-53300-390-000		PUBLIC WORKS EXPENSE	598.75
		LADDER WIMI5110712	
100-00-53300-350-000		PUBLIC WORKS EQUIP MAINT	27.17
		SHOP STOCK WIMI5110727	

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 3  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
100-00-53300-340-000		PUBLIC WORKS ICE & SNOW	101.93
		WING PART	
		WIMI15110864	
		Total	727.85

3/14/2025 G-BROCKS AUTO REPAIR			
2017 FORD BRAKE ROTOR & PADS			
100-00-52100-260-000		POLICE SQUAD REP & MAINT	681.16
		2017 FORD BRAKE ROTOR & PADS	154935
100-00-52100-260-000		POLICE SQUAD REP & MAINT	334.83
		2024 FORD BATTERY	154786
100-00-52100-260-000		POLICE SQUAD REP & MAINT	743.12
		2022 FORD EXPLORER SPARK PLUG, GASKET	154879
		Total	1,759.11

3/14/2025 GFL ENVIRONMENTAL			
JAN 2025 2288 HH			
100-00-53620-000-000		GARBAGE & RECYCLING	42,250.43
		JAN 2025 2288 HH	244101
		Total	42,250.43

3/14/2025 GLOBE LIFE			
SUPPLEMENTAL INS			
100-00-21530-000-000		INSURANCE PAYABLE	786.06
		SUPPLEMENTAL INS	MAR 2025 31354
		Total	786.06

3/14/2025 GRAINGER			
CHAIN			
100-00-53300-340-000		PUBLIC WORKS ICE & SNOW	250.69
		CHAIN	9421299893
		Total	250.69

3/14/2025 ITU ABSORB TECH INC			
COVERALLS			
100-00-53300-390-000		PUBLIC WORKS EXPENSE	7.40
		COVERALLS	8487299
100-00-53300-390-000		PUBLIC WORKS EXPENSE	7.40
		COVERALLS	8491122
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	18.79
		MATS & TOWELS	8491122

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 4  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
100-00-53300-390-000		PUBLIC WORKS EXPENSE	11.45
		COVERALLS 8483670	
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	123.26
		MATS & TOWELS 8483670	
100-00-53300-390-000		PUBLIC WORKS EXPENSE	7.40
		COVERALLS 8494874	
Total			175.70

3/14/2025 KETTLE MORAINES SCHOOL DISTRICT  
2024 AIDS PAYMENT CH 70.114

100-00-59100-000-000		UNCLASSIFIED MISCELLANEOUS	63.18
		2024 AIDS PAYMENT CH 70.114 CH 70.114	
Total			63.18

3/14/2025 KWIK TRIP  
CHAINSAW GAS

100-00-53300-250-000		PUBLIC WORKS FUEL	19.35
		CHAINSAW GAS 10340473/10340489	
Total			19.35

3/14/2025 LAKE COUNTRY HEATING & COOLING  
PD GARAGE BOILER

100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	357.00
		PD GARAGE BOILER 63636	
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	126.00
		PD GARAGE HEAT 63708	
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	747.15
		PD GARAGE CIRCUIT BOARD 63324	
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	1,063.35
		PD GARAGE INDUCER MOTOR ON BOILER 63633	
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	357.00
		PD GARAGE BOILER ISSUES 61593	
Total			2,650.50

3/14/2025 LANGE ENTERPRISES INC  
35301 GENESEE LAKE RD

100-00-53300-370-000		PUBLIC WORKS ROAD MAINTENANCE	38.70
		35301 GENESEE LAKE RD 90437	
Total			38.70

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 5  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
3/14/2025 MILLER MONUMENT CO			
SCHUENKE ENGRAVING			
100-00-54910-335-000		CEMETERY ENGRAVING	389.00
		SCHUENKE ENGRAVING 36501	
			Total 389.00
3/14/2025 MUNICIPAL INSPECTORS LLC			
BUILDING PERMITS JAN 2025			
100-00-52402-000-000		BUILDING INSPECT SUPPLIES	25,470.98
		BUILDING PERMITS JAN 2025 JAN 2025	
			Total 25,470.98
3/14/2025 MUNICIPAL LAW & LITIGATION GROUP SC			
MISC LEGAL & TRAFFIC			
100-00-51300-290-000		LEGAL EXPENSE O/S SERVICES	5,191.55
		MISC LEGAL & TRAFFIC 13951	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	236.80
		PANGA 13951	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	210.00
		RAABE 13951	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	377.60
		LANG 13951	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	320.50
		LURVEY 13951	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	148.40
		STEIN/BURGESS 13951	
100-00-51300-290-000		LEGAL EXPENSE O/S SERVICES	3,636.80
		LEGAL SERVICES 14080	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	243.10
		KADOW 14080	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	379.40
		RAABE 14080	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	591.20
		LANG 14080	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	739.60
		LURVEY 14080	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	30.00
		FIEBER 14080	

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 6  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<b>Total</b>			<b>12,104.95</b>
3/14/2025 OCONOMOWOC AREA SCHOOL DISTRICT			
2024 AIDS PAYMENT CH 70.114			
100-00-59100-000-000		UNCLASSIFIED MISCELLANEOUS	10,735.78
		2024 AIDS PAYMENT CH 70.114 CH 70.114	
<b>Total</b>			<b>10,735.78</b>
3/14/2025 PROVEN POWER			
JDC LABOR & PARTS			
100-00-53300-350-000		PUBLIC WORKS EQUIP MAINT	572.67
		JDC LABOR & PARTS 01-483079	
<b>Total</b>			<b>572.67</b>
3/14/2025 REILLY, PENNER & BENTON LLP			
2024 FINAL QUARTERLY WORK			
100-00-51510-000-000		ACCOUNTING & AUDITING O/S SERV	750.00
		2024 FINAL QUARTERLY WORK 80266	
<b>Total</b>			<b>750.00</b>
3/14/2025 SHERWIN INDUSTRIES, INC.			
FIBER MIX ASPHALT			
100-00-53300-370-000		PUBLIC WORKS ROAD MAINTENANCE	532.44
		FIBER MIX ASPHALT SC053500	
<b>Total</b>			<b>532.44</b>
3/14/2025 SHORT ELLIOTT HENDRICKSON INC			
ON CALL ENG JAN 2025			
100-00-53101-000-000		ENGINEERING O/S SERVICES	1,095.50
		ON CALL ENG JAN 2025 482600	
100-00-53300-345-000		PUBLIC WORKS MS4	366.25
		MS4 ENGINEERING JAN 2025 482600	
100-00-57400-000-000		CAPITAL PURCHASE	2,080.50
		GENESEE LAKE RD PARK PARKING LOT 483168	
100-00-57400-000-000		CAPITAL PURCHASE	3,226.25
		ANNUAL ROAD PAVING PROG JAN 2025 483167	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	206.25
		LAKE COUNTRY VILLAGE/NEUMANN 483149	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	483.75
		ROGERS 483149	

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 7  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	1,192.50
		PANGA 483149	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	370.00
		KEMP 483149	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	207.50
		RAABE CSM 483149	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	57.50
		SPHEERIS/LANG PEC 483149	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	157.50
		LURVEY 483149	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	876.25
		STEIN CSM 483149	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	126.25
		JONAS GRADING 483149	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	172.50
		PLEVA PROPERTY LOT 3 NBC 483149	
Total			10,618.50

3/14/2025 STANDARD INSURANCE COMPANY RC  
STD LTD INS

100-00-52100-132-000		POLICE INSURANCE	760.53
		STD LTD INS MAR 2025	
100-00-53300-132-000		PUBLIC WORKS INSURANCE	242.25
		LTD STD INS MAR 2025	
100-00-51422-132-000		VILLAGE OFFICE INSURANCE	31.93
		STD LTD INS MAR 2025	
100-00-51420-132-000		ADMIN C/T INSURANCE	83.49
		STD LTD INS MAR 2025	
Total			1,118.20

3/14/2025 STRAND ASSOCIATES INC  
DOUSMAN RD TRAIL TAP REIMB

100-00-57400-000-000		CAPITAL PURCHASE	1,066.33
		DOUSMAN RD TRAIL TAP REIMB 0221239	
100-00-57400-000-000		CAPITAL PURCHASE	266.58
		DOUSMAN RD TRAIL STEWARDSHIP GRANT 0221239	
Total			1,332.91

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 8  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
3/14/2025 SUNSET SEPTIC SERVICES			
PUMP HOLDING TANK			
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT PUMP HOLDING TANK I21962	225.00
100-00-54910-390-000		CEMETERY EXPENSE EXAMINE CURRENT SEPTIC SYSTEM I22049	150.00
Total			375.00
3/14/2025 TACTICAL SOLUTIONS			
CERTIFY RADARS & LASERS			
100-00-52100-390-000		POLICE EXPENSE CERTIFY RADARS & LASERS 10588	382.00
Total			382.00
3/14/2025 USSI RENTALS INC			
RENTAL FORD F550 VERSALIFT-TREE MAINT			
100-00-53300-370-000		PUBLIC WORKS ROAD MAINTENANCE RENTAL FORD F550 VERSALIFT-TREE MAINT 7002992-IN	1,610.00
Total			1,610.00
3/14/2025 VILLAGE OF HARTLAND POLICE DEPARTMENT			
SEATBELT GRANT			
100-00-52104-000-000		POLICE GRANT POOL PYMNT SEATBELT GRANT JAN 2025	698.13
100-00-52100-312-000		POLICE TRAINING & SUPPLY MAJOR INVESTIGATIONS UNIT DUES 803-52100-300	600.00
Total			1,298.13
3/14/2025 VILLAGE OF OCONOMOWOC LAKE POLICE DEPT			
SEATBELT GRANT			
100-00-52104-000-000		POLICE GRANT POOL PYMNT SEATBELT GRANT JAN 2025	758.84
Total			758.84
3/14/2025 WAUKESHA COUNTY TECHNICAL COLLEGE			
ARBINGER TUITION			
100-00-52100-312-000		POLICE TRAINING & SUPPLY ARBINGER TUITION S0855350	99.00
100-00-59100-000-000		UNCLASSIFIED MISCELLANEOUS 2024 AIDS PAYMENT CH 70.114 CH 70.114	451.50

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 9  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<b>Total</b>			<b>550.50</b>
3/14/2025 WAUKESHA COUNTY TREASURER TRUNKED RADIO LABOR			
100-00-52100-270-000		POLICE DISPATCH & RADIO TRUNKED RADIO LABOR	30.99
		2025-24010059	
100-00-52100-390-000		POLICE EXPENSE PRISONER HOUSING - JAN 2025	62.54
		2025-20040017	
100-00-59100-000-000		UNCLASSIFIED MISCELLANEOUS 2024 CH 70.114 AIDS PAYMENT	2,720.91
		CH 70.114	
<b>Total</b>			<b>2,814.44</b>
3/14/2025 WHITE STONE COMMUNITY CHURCH EMMAUS ROAD - CASH DEPOSIT 5/11/2024			
100-00-59100-000-000		UNCLASSIFIED MISCELLANEOUS EMMAUS ROAD - CASH DEPOSIT 5/11/2024	19,060.00
		CASH DEPOSIT	
<b>Total</b>			<b>19,060.00</b>
3/14/2025 WISCONSIN PROFESSIONAL POLICE ASSOCIATION INC MAR 2025 UNION PAC 8			
100-00-21550-000-000		UNION DUES MAR 2025 UNION PAC 8	0.80
		23244	
100-00-21550-000-000		UNION DUES MAR 2025 UNION LEER 8	364.80
		23898	
100-00-21550-000-000		UNION DUES MAR 2025 UNION ELPP 8	48.00
		119757E	
<b>Total</b>			<b>413.60</b>
<b>Grand Total</b>			<b>215,884.06</b>

3/06/2025 3:39 PM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
BANK 59

Page: 10  
ACCT

Dated From: 3/14/2025 From Account:  
Thru: 3/14/2025 Thru Account:

Amount

---

Total Expenditure from Fund # 100 - GENERAL FUND	215,884.06
Total Expenditure from all Funds	215,884.06

VILLAGE OF SUMMIT  
US BANK CREDIT CARD  
Prepared for 02/13/2025

Description	G/L Acct	\$\$\$	25-Feb-25										
Customer AR	13101-000	-											
VB Dues/Training	51100-315	-											
Village Brd Exp	51100-390	-											
Elections	51440-390	117.17	123.03	(5.86)									
VO Dues/Training	51422-321	65.00	65.00										
BOR Exp	51531-390	-											
VH Utility	51600-220	766.96	79.98	550.00	136.98								
VH Maint/Rep	51600-240	33.25	33.25										
VH Lease/Rental Equip	51600-291	-											
VH IT Subscriptions	51600-320	7,651.90	159.90	7,340.00	152								
VH Exp	51600-390	1,139.17	19.76	12.97	64.50	1,041.94							
Police Sqd Maint/Rep	52100-260	-											
Police Dispatch/Radio	52100-270	190.05	190.05										
Police Training & Supp	52100-312	366.00	150.00	255.69	(39.69)								
Police Cloth Allow	52100-313	31.18	31.18										
Police Exp	52100-390	2,494.94	133.99	47.36	19.98	2,124.48	41.13	128.00					
Comm Outreach	52105-000	127.50	125.00	2.50									
Capital Purchase	57400-000	-											
PW Dues & Training	53300-321	-											
PW Ice Snow	53300-340	36.14	18.98	17.16									
PW Equip Maint	53300-350	172.89	172.89										
PW Road Maint	53300-370	453.96	392.35	26.99	34.62								
PW Exp	53300-390	1,303.52	64.50	150.00	260.10	150.00	100.00	370.00	150.00	58.92			
Cemetery Exp	54910-390	148.98	106.49	42.49									
Recreation Exp	55200-390	-											
<b>Total</b>		<b>15,098.61</b>											
				Total from CC Statement:		15,098.61							
				Total from above		15,098.61							
				Difference		0.00							



U.S. BANK  
P.O. BOX 6343  
FARGO ND 58125-6343



ACCOUNT NUMBER \_\_\_\_\_  
STATEMENT DATE 02-25-2025  
AMOUNT DUE \$15,098.61  
NEW BALANCE \$15,098.61

PAYMENT DUE ON RECEIPT

AMOUNT ENCLOSED  
\$ 15098.61

Please make check payable to  
U.S. BANK

000014128 01 SP  
VILLAGE OF SUMMIT  
ATTN KATHY STREBE  
37100 DELAFIELD RD  
SUMMIT WI 53066-9101

U.S. BANK  
P.O. BOX 790428  
ST. LOUIS, MO 63179-0428

Please tear payment coupon at perforation.

**CORPORATE ACCOUNT SUMMARY**

VILLAGE OF SUMMIT	Previous Balance	Purchases And Other Charges	Cash Advances	Cash Advance Fees	Late Payment Charges	Credits	Payments	New Balance
16 Company Total	\$7,936.98	\$15,144.16	\$0.00	\$0.00	\$0.00	\$45.55	\$7,936.98	\$15,098.61

**CORPORATE ACCOUNT ACTIVITY**

VILLAGE OF SUMMIT

TOTAL CORPORATE ACTIVITY  
\$7,936.98 CR

Post Date	Tran Date	Reference Number	Transaction Description	Amount
02-17	02-17		AUTO PAYMENT DEDUCTION	7,936.98 CR

**NEW ACTIVITY**

MICHAEL J HARTERT  
CREDITS \$39.69  
PURCHASES \$2,931.81  
CASH ADV \$0.00  
TOTAL ACTIVITY \$2,892.12

Post Date	Tran Date	Reference Number	Transaction Description	Amount
01-28	01-27	24692165027102396401595	AMZN MKTP US*ZC4501E80 AMZN.COM/BILL WA	133.99
01-28	01-27	24692165027102489870599	AMAZON MKTPL*ZC8272E80 AMZN.COM/BILL WA	47.36
01-29	01-27	24639235028900011400017	MOCIC 417-8934110 MO	150.00
02-10	02-10	24011345041500001774575	PADDLE.NET* CRASHPLAN PADDLE.COM NY	19.98
02-11	02-09	24325455041900016676930	KALAHARI RESORT - WI WISCONSIN DEL WI R5GZ4TIQO ARRIVAL: 02-09-25	255.69

52100  
390  
390  
312  
390  
312

**CUSTOMER SERVICE CALL**

800-344-5696

**ACCOUNT NUMBER**

**ACCOUNT SUMMARY**

STATEMENT DATE

DISPUTED AMOUNT

02/25/25

.00

PREVIOUS BALANCE 7,936.98  
PURCHASES & OTHER CHARGES 15,144.16

CASH ADVANCES .00  
CASH ADVANCE FEES .00  
LATE PAYMENT CHARGES .00

CREDITS 45.55  
PAYMENTS 7,936.98

ACCOUNT BALANCE 15,098.61

**SEND BILLING INQUIRIES TO:**

U.S. BANK  
P.O. Box 6335  
Fargo, ND 58125-6335

**AMOUNT DUE**

15,098.61



Company Name: VILLAGE OF SUMMIT
Corporate Account Number
Statement Date: 02-25-2025

**NEW ACTIVITY**

Post Date	Tran Date	Reference Number	Transaction Description	Amount
02-17	02-13	74325455045900017119840	KALAHARI RESORT - WI WISCONSIN DEL WI	39.69 CR
02-17	02-16	24435655047060452001071	GALLS 859-266-7227 KY	31.18
02-21	02-20	24275395051900013059457	VORPAHL FIRE & SAFETY 920-4977200 WI	2,124.48
02-21	02-20	24692165051102055977678	AMAZON MKTPL*KL9159833 AMZN.COM/BILL WA	41.13
02-24	02-24	24000775055500003787488	MSFT * E0400V87HT MICROSOFT.COM WA	128.00

52100  
312  
313  
390  
" "

<b>DEBRA J MICHAEL</b>	<b>CREDITS</b>	<b>PURCHASES</b>	<b>CASH ADV</b>	<b>TOTAL ACTIVITY</b>
	\$0.00	\$470.61	\$0.00	\$470.61

Post Date	Tran Date	Reference Number	Transaction Description	Amount
01-29	01-28	24692165028102899319582	AMAZON MKTPL*Z72MW6EV2 AMZN.COM/BILL WA	19.76
01-30	01-29	24692165029103736535843	AMAZON MKTPL*ZC5T45C01 AMZN.COM/BILL WA	106.49
01-31	01-31	24692165031105275234544	AMAZON MKTPL*ZC04C47E0 AMZN.COM/BILL WA	42.49
02-07	02-07	24692165038101344912353	AMAZON MKTPL*Z71GV1UF0 AMZN.COM/BILL WA	12.97
02-17	02-16	24692165047109073397430	B2B PRIME*VJ6M85IH3 AMZN.COM/BILL WA	129.00
02-24	02-22	24011345053000011096445	ZOOM.COM 888-799-9666 WWW.ZOOM.US CA	159.90

51600-390  
54910-390  
51600-390  
51600-320

<b>DEPT OF PUBLIC WORKS</b>	<b>CREDITS</b>	<b>PURCHASES</b>	<b>CASH ADV</b>	<b>TOTAL ACTIVITY</b>
	\$0.00	\$1,935.26	\$0.00	\$1,935.26

51600-390=64.50  
53300-390=64.50

Post Date	Tran Date	Reference Number	Transaction Description	Amount
01-30	01-29	24717055030730306303631	UW CE REGISTRATION CENTER 608-2622451 WI	150.00
01-30	01-29	24717055030730306303672	UW CE REGISTRATION CENTER 608-2622451 WI	260.10
01-30	01-29	24717055030730306303839	UW CE REGISTRATION CENTER 608-2622451 WI	150.00
01-30	01-29	24717055030730306303953	UW CE REGISTRATION CENTER 608-2622451 WI	100.00
01-30	01-29	24717055030730306303979	UW CE REGISTRATION CENTER 608-2622451 WI	370.00
01-30	01-29	24717055030730306303995	UW CE REGISTRATION CENTER 608-2622451 WI	150.00
01-30	01-28	24943015029010196845329	THE HOME DEPOT #4910 DELAFIELD WI	392.35
01-31	01-29	24137465030100289476940	MENARDS PEWAUKEE WI PEWAUKEE WI	51.78
02-05	02-04	24717055035290355678883	DMV WAUKESHA WK01 PEWAUKEE WI	172.89
02-12	02-11	24692165042104902230964	AMAZON MKTPL*V273C7KI3 AMZN.COM/BILL WA	26.99
02-17	02-14	24137465046100424273766	MENARDS PEWAUKEE WI PEWAUKEE WI	58.92
02-21	02-20	24941665051108888356707	FLEET FARM 5000 OCONOMOWOC WI	18.98
02-24	02-21	24692165052102864981506	AMAZON.COM*3Q3V60V53 AMZN.COM/BILL WA	33.25

53300  
390  
370  
350  
370  
390  
340  
51600-240  
53300-340  
\* 17.16  
53300-370  
\* 34.62

<b>VILLAGE OF SUMMIT</b>	<b>CREDITS</b>	<b>PURCHASES</b>	<b>CASH ADV</b>	<b>TOTAL ACTIVITY</b>
	\$5.86	\$9,678.98	\$0.00	\$9,673.12

Post Date	Tran Date	Reference Number	Transaction Description	Amount
02-03	02-01	24000775032500021787948	TOWN WEB DESIGN, LLC TOWNWEB.COM WI	7,340.00
02-03	01-31	24906415031220797042126	MSFT * E0800V4ZZF MSBILL.INFO WA	152.00
02-06	02-05	24692165036109759350730	VZWRLSS*APOCC VISB 800-922-0204 FL	190.05
02-07	02-06	24639235037900015800070	COMPLETE OFFICE OF W 206-3365175 WI	1,041.94
02-07	02-06	24692165037100763711610	SPECTRUM 855-707-7328 MO	79.98
02-07	02-06	24692165037100763739348	SPECTRUM 855-707-7328 MO	550.00
02-07	02-06	24692165037100763744785	SPECTRUM 855-707-7328 MO	136.98
02-18	02-17	24540455049010600967595	MARTYS PIZZA MARTYSPIZZA.N WI	123.03
02-19	02-18	74540455050010600898031	MARTYS PIZZA 2626463327 WI	5.86 CR
02-24	02-21	24121575053000052210102	WMCA 414-3360428 WI	65.00

51600-320  
52100-270  
51600-390  
51600-220  
51440-390  
51422-321



Company Name: VILLAGE OF SUMMIT
Corporate Account Number: _____
Statement Date: 02-25-2025

**NEW ACTIVITY**

<b>RBDIAN M WRAALSTAD</b>	<b>CREDITS</b>	<b>PURCHASES</b>	<b>CASH ADV</b>	<b>TOTAL ACTIVITY</b>
	\$0.00	\$127.50	\$0.00	\$127.50

Post Date	Tran Date	Reference Number	Transaction Description	Amount
02-10	02-07	24717055039150394871814	DOJ WS2 EVA EPAY SALE FEE 608-2669653 WI	125.00
02-10	02-07	24717055039150394871863	DOJ WS2 EVA EPAY SRV FEE 608-2669653 WI	2.50

52105  
1

Department: 00000 Total:	\$15,098.61
Division: 00000 Total:	\$15,098.61



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 4, 2025

Re: Discussion and Action on Resolution Authorizing Release of Cash Deposit for Emmaus Road Improvements

---

**PURPOSE:**

To receive approval of a proposed resolution to release the full cash deposit received from White Stone Community Church for facilities and improvements for the Emmaus Road development.

**BACKGROUND:**

In 2020, the Village entered into a Development Agreement with White Stone Community Church for Emmaus Road. At the December 8, 2022 Village Board meeting, the public improvements for the development were formally accepted by the Village Board via Resolution No. 22-443. The acceptance of these improvements initiated a two-year warranty period. The last letter of credit was completed at the same time, leaving a balance of \$19,060 per the recommendation of the Village Engineer.

White Stone Community Church made a request in 2024 to convert the letter of credit over to a cash agreement to assist with their financial obligations for an expansion project. At the May 9, 2024 Village Board meeting, a Cash Agreement was approved in the amount of \$19,060 to be held until the end of the two-year warranty period.

White Stone reached out in mid-February by email to inquire about the status of the release of the cash deposit. An inspection was completed in early March during favorable weather conditions, and the improvements were found to be in satisfactory condition. A crack has developed across the entire approach where the Hope Church entrance meets the roadway. This will require future crack filling maintenance by the church, but it does not need to be completed at this time prior to release of the funds. The Village Engineer provided a written report dated March 4, 2025 to Village staff recommending the release of the full \$19,060.

**ATTACHMENTS:** Resolution No. 25-469 Release of Cash Deposit for Emmaus Road Improvements (DRAFT)

SEH Memorandum RE: White Stone Church – Emmaus Road Improvements Acceptance and Cash Deposit Release Recommendation (dated March 4, 2025)

Cash Deposit Agreement between Village of Summit and White Stone Community Church (dated May 10, 2024)

FISCAL IMPACT: The release of the cash deposit will result in a net zero transaction.

RECOMMENDED MOTION: **Motion to approve and adopt Resolution 25-469 for the release of the \$19,060 cash deposit to White Stone Community Church for improvements for Emmaus Road.**

RESOLUTION NO. 25-469

**RELEASE OF CASH DEPOSIT FOR EMMAUS ROAD IMPROVEMENTS**

**WHEREAS**, the Summit Village Board entered into a Cash Deposit Agreement with a total value of \$19,060.00 with White Stone Community Church, dated May 10, 2024, pursuant to Section 109-19 of the Village of Summit Municipal Code to establish a Security Mechanism to amply cover the cost of completing facilities and improvements for Emmaus Road; and

**WHEREAS**, the Village Board accepted said facilities and improvements by Resolution No. 22-443 on December 8, 2022, beginning a two-year warranty period; and

**WHEREAS**, the Village Board has received a written report, attached as Exhibit A, from the Village Engineer confirming the satisfactory condition of the facilities and improvements in compliance with approved plans and specifications.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Summit, Waukesha, Wisconsin, to release the cash deposit in the amount of \$19,060.00 to White Stone Community Church.

Dated this \_\_\_\_ day of March, 2025.

**VILLAGE OF SUMMIT**

APPROVED:

ATTEST:

\_\_\_\_\_  
Jack Riley, Village President

\_\_\_\_\_  
Debra J. Michael, Village Administrator-  
Clerk/Treasurer

STATE OF WISCONSIN

COUNTY OF WAUKESHA

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 2025, the above-named Village President, authorized signatory of the Village of Summit, to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
NOTARY PUBLIC, STATE OF WISCONSIN

My commission expires: \_\_\_\_\_



Building a Better World  
for All of Us®

March 4, 2025

RE: White Stone Church - Emmaus Road  
Improvements Acceptance and Cash  
Deposit Release Recommendation  
SEH No. 164914 Task 2

Ms. Debra Michael  
Village Administrator  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Dear Debbie:

A cash deposit was required to be provided by White Stone Church for a 2-year warranty period for Emmaus Road. That warranty period has expired and based on a recent site visit, the pavement has not shown any unusual degradation and is wearing as expected for a Village roadway. We therefore recommend release of the cash deposit.

We did notice that a crack has developed where the Hope Church entrance approach connects to Emmaus Road, a crack has developed across the entire approach, see photo 5 of the attached inspection report and photos. This is something that will require future crack filling maintenance by the church but does not need to be done at this time, prior to releasing the held funds.

Please feel free to contact me with any questions or comments.

Sincerely,

A handwritten signature in blue ink that reads "B. Pehl".

Brian Pehl, PE  
Senior Professional Engineer  
bp  
Attachments

CC: Kamron Nash, Village Public Works Director  
Amy Barrows, Village Planner

x:\pts\summ\176551\task 4 - whitestone church\loc\cash deposit release\164914 task 2\_emmaus road cash deposit release recommendation 03-04-2025.docx

Emmaus Rd Infrastructure Inspection – 3/3/2025



Image 1 – West end of Emmaus Rd, north end of hammerhead

Image 2 – West end of Emmaus Rd, facing east at hammerhead towards Hope Church



Image 3 – West end of Emmaus Rd, facing east along north side of road



Image 4 – West end of Emmaus Rd, facing east along south side of road



Image 5 – Just west of Hope Church entrance, facing east along south side of road



Image 6 – On N Dousman Rd, facing north to Emmaus Rd





Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

VILLAGE OF SUMMIT  
CASH DEPOSIT AGREEMENT

White Stone Community Church, and the Village of Summit, Wisconsin, hereafter referred to as "VILLAGE", hereby enter into this Cash Deposit Agreement pursuant to Section 109-19 of the Village of Summit Municipal Code, effective upon the last date of signature shown below.

WHEREAS, White Stone Community Church has completed certain work within the Village of Summit as part of constructing a Village road, known as Emmaus Road, which is regulated by Section 109 of the Village of Summit Municipal Code, and White Stone Community Church intends to comply with all legal requirements; and

WHEREAS, pursuant to Section 109-18 of the Village of Summit Municipal Code, a sub-divider shall provide and dedicate ... facilities and improvements, all of which facilities and improvements must be installed within the time required by the Village Board, but in no event to exceed two years; and

WHEREAS, pursuant to Section 109-18(1) of the Village of Summit Municipal Code, these facilities and improvements include streets graded and surfaced in accordance with the described specifications established by the Village Engineer for the Village of Summit, including the quality control/quality assurance requirements established by the Village Engineer, including such amendments to the street construction specifications and quality control requirements that the Village Engineer may make from time to time; and

WHEREAS, pursuant to Section 109-19 of the Village of Summit Municipal Code, White Stone Community Church is required to establish a Security Mechanism in a form approved by the Village Attorney and in an amount approved by the Village Engineer and the Village Board to amply cover the cost of completing said facilities and improvements; and

WHEREAS, White Stone Community Church, has entered a Developer's Agreement with the VILLAGE concerning completion of the work, during 2020, (The "Developer's Agreement"), and this Cash Deposit Agreement and the cash deposit referenced herein are provided to comply with the financial guarantee and other terms and conditions of the Developer's Agreement; and

WHEREAS, the Village Engineer and Village Board have approved an amount of such Security as \$19,060.00 based on estimated costs of such facilities and improvements, including quality control requirements of the Village Engineer; and

WHEREAS, White Stone Community Church, desires to make a \$19,060.00 cash deposit with VILLAGE pursuant to Section 109-19 of the Village of Summit Municipal Code in order to satisfy its requirement to establish a Security Mechanism.

NOW, THEREFORE, for valuable consideration acknowledged by both parties, IT IS AGREED AS FOLLOWS:

1. White Stone Community Church, has paid \$19,060.00, the DEPOSIT, to VILLAGE which has been deposited at Waukesha State Bank located at 1227 Corporate Center Drive, Oconomowoc, Wisconsin, in the name of VILLAGE. The original of the documentation as to said bank account is on file with the Village Clerk. It is understood and agreed that the DEPOSIT shall serve as the Security Mechanism as set forth in Section 109-19 of the Village of Summit Municipal Code and the Developer's Agreement.
2. In the event the obligations required pursuant to Section 109-18 are not completed in accordance with said Ordinance within the time specified in the Ordinance, time being of the essence, White Stone Community Church, shall forfeit all interest in said bank account and all interest on the monies contained in said bank account and said account and interest shall become the property of the VILLAGE with no notice to White Stone Community Church.
3. In the event White Stone Community Church, complies with the terms and conditions of the Developer's Agreement, including the guarantees described therein, to the satisfaction of the VILLAGE, the deposit and all related interest shall be promptly and unconditionally returned to White Stone Community Church, its successors or assigns by Village Board resolution, following a written determination being made by the Village Engineer that the improvements required of White Stone Community Church, and all other requirements of Section 109-18 have been satisfied.
4. The bank account referred to herein shall be of the type that has no penalty for withdrawal at any time; all interest earned on said DEPOSIT shall be paid to the VILLAGE if White Stone Community Church, defaults on its obligations; and all interest earned on said DEPOSIT shall be paid to White Stone Community Church, if it complies with such obligations. White Stone Community Church shall pay any and all income taxes due on the interest earned; all interest earned on the DEPOSIT shall remain in the bank account until distribution as set forth herein. Any bank fees arising from the bank account shall be charged to and paid with the funds in the DEPOSIT.
5. The amount of the cash deposit may be reduced from time to time as and to the extent that the portion of the work required under the aforementioned agreement is completed and paid for, provided, however, that no such reduction shall reduce the amount below the financial guarantee amount required by the Developer's Agreement. White Stone Community Church may make a request for such a reduction in writing and must set forth the amount of the reduction and the amount of the remaining balance on deposit, which shall be reviewed by the Village Engineer, and reductions may be granted by Resolution of the Village Board. The Village Administrator shall process the reduction authorized by any such Resolution.
6. This Cash Deposit Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective successors, assigns, heirs and legal representatives.

DATED this 9<sup>th</sup> day of May, 2024.

VILLAGE OF SUMMIT

By: [Signature]

Jack Riley, Village President

Attest: [Signature]

Debra Michael, Village Administrator-Clerk/Treasurer

STATE OF WISCONSIN

COUNTY OF WAUKESHA

Personally came before me this 9<sup>th</sup> day of May, 2024, the above-named Village President, authorized signatory of the Village of Summit, to me known to be the person who executed the foregoing instrument and acknowledged the same.

[Signature]

NOTARY PUBLIC, STATE OF WISCONSIN

My commission expires: 03-21-2028



By: [Signature]

White Stone Community Church

STATE OF WISCONSIN

COUNTY OF WAUKESHA

Personally came before me this 10 day of May, 2024, the above-named representative, authorized signatory of White Stone Community Church, to me known to be the person who executed the foregoing instrument and acknowledged the same.

[Signature]

NOTARY PUBLIC, STATE OF WISCONSIN

My commission expires: 5 Aug 24



# Consent Agenda



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

## MEMORANDUM

To: Village Board  
From: Chief Michael Hartert  
Date: February 27, 2025  
Re: Designation of Donated Funds

---

**BACKGROUND:** Village resident Sean Osborne and his business Silver Circle Sporting Events, held a fundraiser for the Summit Police and Western Lakes Fire Departments. Between the event and an additional donation from the business, a total of \$5,000 was given to each Department.

**ATTACHMENTS:** None.

**FISCAL IMPACT:** None.

**RECOMMENDED:** Motion to approve the designation of funds from Silver Circle Sporting Events to the Community Outreach Fund for Community Service Officer Equipment, AED Supplies, and other items authorized by the donator.

# Consent Agenda



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

## MEMORANDUM

To: Village Board

From: Chief Michael Hartert

Date: February 24, 2025

Re: Designation of Donated Funds

---

**BACKGROUND:** A village resident recently sent a thank you note to one of our officers. The note contained a \$20 bill with a sticky note which stated, "Have a little treat on me – again thank you."

I contacted the resident, Lois Erdmann, and informed her that we can't accept gifts like that and offered to return the money to her or, if she wanted, I could place it in our Community Outreach Fund to be used for our community engagement activities. She requested to have the money donated to the Outreach Fund.

**ATTACHMENTS:** Note.

**FISCAL IMPACT:** None.

**RECOMMENDED:** Motion to approve the designation of \$20 in donated funds from Lois Erdmann to the Community Outreach Fund.



Building a Better World  
for All of Us®

February 3, 2025

RE: Village of Summit  
Kosch CSM Review  
SEH No. 176551 Task 51

Ms. Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Dear Ms. Barrows:

We have reviewed the Certified Survey Map for Christian A & Katherine J Kosch Joint Revocable Living Trust and prepared by Matthew O'Rourke of LandTech Surveying. The CSM reviewed is dated 01/02/2025. We have also included the CSM mark-ups to aid in the revisions. We offer the following comments:

- 1) The recorded bearing and distance, which do not agree with the proposed CSM, must be shown.
- 2) The 372.95-foot distance shown in the legal description for the east line of the CSM should be shown on the map.
- 3) The title "Administrator" is spelled incorrectly in the Village of Summit Plan Commission Approval signature block.

Please do not hesitate to contact me with any questions or comments at 414.949.8919 or [kkindred@sehinc.com](mailto:kkindred@sehinc.com).

Sincerely,

A handwritten signature in black ink that reads "Keith Kindred".

Keith Kindred, PLS  
Principal, Regional Practice Center Leader  
(Lic. WI, IL)

btp

x:\p\summv\176551\task 51 - kosch csm review\corr\review letters\kosch csm review letter\_village of summit\_2025-02-03.docx



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

**MEMORANDUM**

To: Village Board

From: Amy Barrows, Planner

Date: March 13, 2025

Re: **Certified Survey Map for Kosch – Lot Combination**  
**34651 Sugar Island Road (SUMT0671022)**  
**34647 Sugar Island Road (SUMT0671023)**

---

**BACKGROUND:**

See 2/20/2025 Plan Commission Staff Report. At the February 20, 2025 meeting, Plan Commission unanimously recommended approval of the proposed CSM, subject to the conditions provided in the recommended motion of this report. Village staff has requested that the applicant record a sanitary sewer easement as a separate document. The easement will be considered by the utility district at their March 13<sup>th</sup> meeting.

All planner comments have been addressed on the revised CSM, dated March 5, 2025. However, the survey was revised and now includes a note on sheet 1 and 2 that Sugar Island Road is private. Ownership of the road is unclear. The survey should be modified to remove any reference to public or private.

The owner is required to verify that the tarp-like structure is located entirely on the adjacent property to the southeast and any necessary permits shall be obtained prior to July 1, 2025.

The surveyor is reviewing the revised CSM for compliance with the February 3, 2025 letter.

ATTACHMENTS: 2/20/2025 Plan Commission report  
2/3/2025 Surveyor letter  
Revised Certified Survey Map dated 3/5/2025

FISCAL IMPACT: None.

**RECOMMENDED MOTION:**

- A. APPROVALS FROM ALL OBJECTING AND APPROVING BODIES.** Petitioner shall satisfy all comments, conditions and concerns of the Village Engineer, Surveyor, and Planner prior to approval of the final Certified Survey Map.
- B. SUBJECT TO REIMBURSEMENT OF EXPENSES.** As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.
- C. UTILITY CONNECTION FEES.** As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all utility connection fees owed to the Village of Summit. Note: **The CSM does not result in the creation of any new lots. Therefore, this condition does not apply.**
- D. BUSINESS OR COMMERCIAL USE.** There shall be no commercial or business use on this lot, except as specifically permitted within or pursuant to the applicable Zoning Code.
- E. ONE YEAR TO SATISFY CONDITIONS.** Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Village Board granting conditional final approval of the CSM.

**CERTIFIED SURVEY MAP REVIEW**  
**2/20/2025 Plan Commission Meeting**  
**Kosch CSM – Lot Combination**

---

Staff Report

Village of Summit, Wisconsin

Property Location: 34651 Sugar Island Road (SUMT0671022)  
34647 Sugar Island Road (SUMT0671023)

Property Owner: Christian & Katherine Kosch

---

**34651 Sugar Island Road – Northern Property**

**Lot Size:** 0.61-acre  
**Zoning:** R-3 Village Residential (35,000 sq. ft. lot size, 1-acre/unit density)  
EC Environmental Corridor Overlay (PEC)  
**Land Use Plan:** Wetland and Primary Environmental Corridor

**34647 Sugar Island Road - Southern Property**

**Lot Size:** 0.64-acre  
**Zoning:** R-3 Village Residential (35,000 sq. ft. lot size, 1-acre/unit density)  
EC Environmental Corridor Overlay (PEC)  
**Land Use Plan:** Wetland and Primary Environmental Corridor

---

**Possible Motion:** *Motion to recommend that Village Board approve the Certified Survey Map to combine two legal lots of record, subject to the following conditions:*

- A. APPROVALS FROM ALL OBJECTING AND APPROVING BODIES: Petitioner shall satisfy all comments, conditions and concerns of the Village Engineer, Surveyor, and Planner prior to approval of the final Certified Survey Map.*
- B. SUBJECT TO REIMBURSEMENT OF EXPENSES. As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.*
- C. UTILITY CONNECTION FEES. As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all utility connection fees owed to the Village of Summit. Note: **The CSM does not result in the creation of any new lots. Therefore, this condition does not apply.***
- D. BUSINESS OR COMMERCIAL USE. There shall be no commercial or business use on this lot, except as specifically permitted within or pursuant to the applicable Zoning Code.*

*E. ONE YEAR TO SATISFY CONDITIONS. Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Village Board granting conditional final approval of the CSM.*

**Summary:**

The property owner currently owns three legal lots of record on Sugar Island and would like to combine two of the lots into one legal lot of record. The combined lot would be 48,179 sq. ft., 1.1 acres. The lot would conform to the R-3 Residential District. The two existing lots do not conform to the minimum lot size requirements of the R-3 Residential District. The existing lots are also awkwardly shaped. It appears that a transfer of adjacent lands between the two properties occurred to accommodate a setback requirement for the residential structure located on the northern lot.

The property owner is also co-owner of the adjacent property to the southeast, which is nonconforming in size and width. There is a temporary tarp-like structure that may extend over the lot line into the subject property. Staff will work with the property owner to ensure no portion of the tarp-like structure is on the subject property and ensure that all necessary permits are obtained, if necessary.

**Considerations:**

Access and Frontage: The property will have frontage on Sugar Island Road. The right-of-way is used for pedestrian traffic only. All properties are accessed by watercraft only.

Total Area: The combined lot will be 48,179 sq. ft., or 1.1 acres. The lot will conform to the R-3 Residential District lot area requirements.

Sanitary Sewer System available: The property is in Utility District #2 and is currently served by sanitary sewer.

Water System Available: The property is served by a private well.

Natural Resources: There are no natural resources, except for the shore of Lower Nemahbin Lake.

**Planner Comments:**

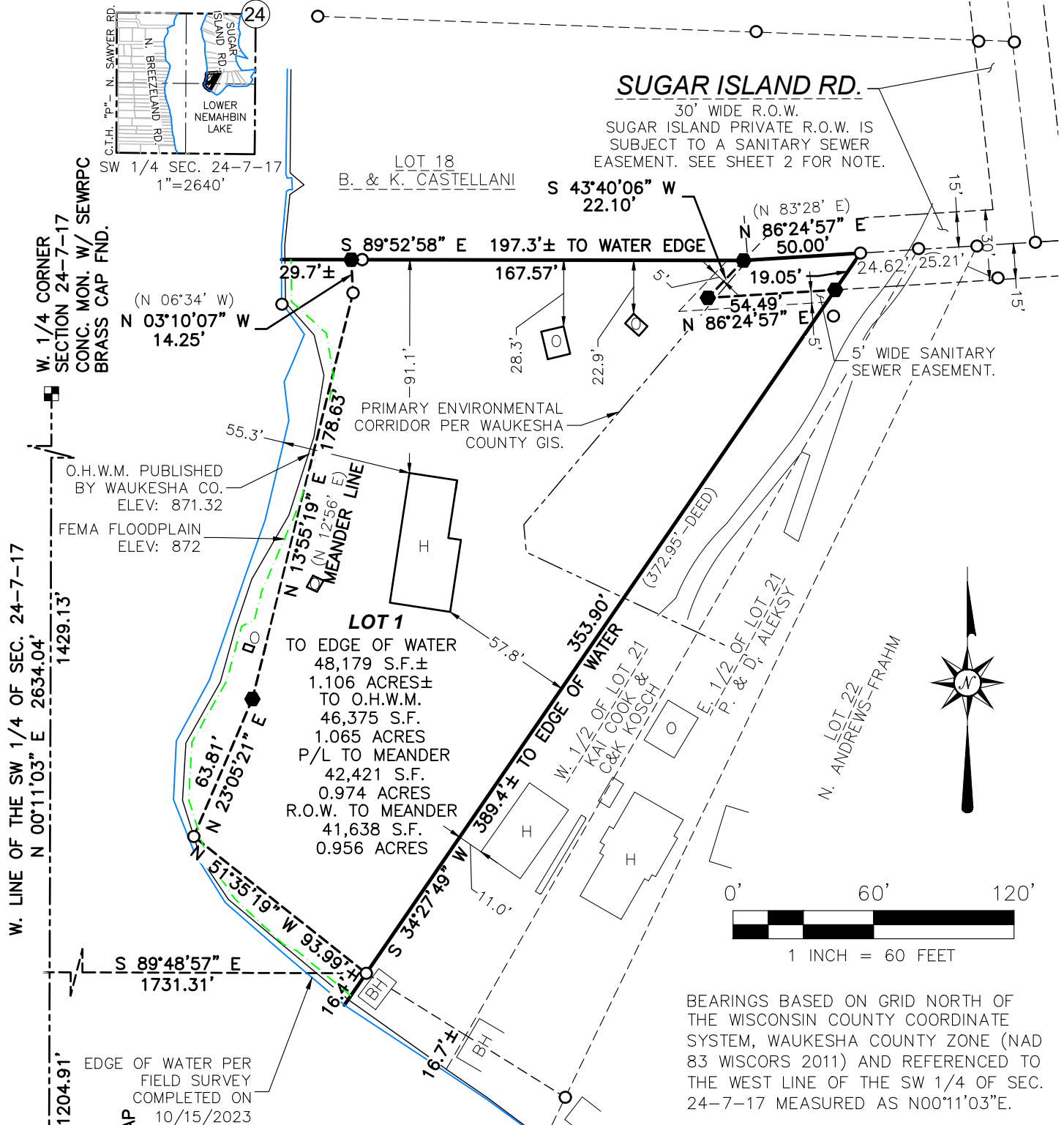
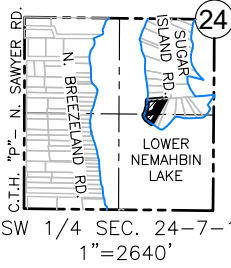
- All structures shall be accurately shown.
- The owner shall verify that the tarp-like structure is located entirely on the adjacent property to the southeast and any necessary permits shall be obtained prior to July 1, 2025.
- Primary Environmental Corridor Preservation Restrictions shall be added to the CSM.
- A lot size measurement shall be taken to the OHWM.
- FEMA recently approved a Letter of Map Revision for the Bark River. The floodplain reference should be updated to read "Floodplain elevation is 872' NAVD 88, per LOMR 21-05-1028P effective 11/28/2022. The boundary shown on the CSM may need to be modified accordingly.

Surveyor and Engineering Comments: See attached letter dated February 3, 2025.

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 19 AND LOT 20 IN SUGAR ISLAND BEING A SUBDIVISION OF GOVERNMENT LOT 8, IN THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

VICINITY MAP



LOWER NEMAUBIN LAKE

LEGEND

- SECTION CORNER MONUMENT
- FOUND 3/4 REBAR OR NOTED
- FOUND 1" IRON PIPE OR NOTED
- SET 0.75" O.D. X 18" REBAR WEIGHING 1.502 LBS/FT.
- (R) RECORD DIMENSION
- H EXISTING DWELLING
- O EXISTING OUTBUILDING
- FLOODPLAIN



BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY ZONE (NAD 83 WISCORS 2011) AND REFERENCED TO THE WEST LINE OF THE SW 1/4 OF SEC. 24-7-17 MEASURED AS N00°11'03"E.

• SEE SHEET 2 FOR NOTES

PREPARED FOR:  
CHRISTIAN A & KATHERINE J  
KOSCH JOINT REVOCABLE LIVING  
TRUST, JULY 31, 2015  
12645 W CHERRY TREE LN  
NEW BERLIN, WI 53151



LAND SURVEYING • LAND PLANNING  
111 W. 2ND STREET  
OCONOMOWOC, WI 53066  
WWW.LANDTECHWI.COM  
(262) 367-7599

REV: 03/05/2025  
DATED 01/02/2025

## WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 19 AND LOT 20 IN SUGAR ISLAND BEING A SUBDIVISION OF GOVERNMENT LOT 8, IN THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

### **SURVEYOR'S CERTIFICATE:**

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING LOT 19 AND LOT 20 IN SUGAR ISLAND BEING A SUBDIVISION OF GOVERNMENT LOT 8, IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST; THENCE N 00°11'03" E, ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, 1204.91 FEET; THENCE S 89°48'57" E, 1731.31 FEET TO THE WEST LINE OF LOT 21 OF SUGAR ISLAND SUBDIVISION, AND THE POINT OF BEGINNING ALSO THE BEGINNING OF A MEANDER LINE SAID POINT LYING N 34°27'49" E, 16.4 FEET MORE OR LESS THE EDGE OF WATER OF LOWER NEMAHBIN LAKE; THENCE ALONG A MEANDER LINE OF LOWER NEMAHBIN LAKE FOR THE FOLLOWING 4 COURSES: 1.: THENCE N 51°35'19" W, 93.99 FEET; 2.: THENCE N 23°05'21" E, 63.81 FEET; 3.: THENCE N 13°55'19" E, 178.63 FEET; 4.: THENCE N 03°10'07" W, 14.25 FEET TO THE SOUTH LINE OF LOT 18 OF SUGAR ISLAND SUBDIVISION; THENCE S 89°52'58" E, ALONG THE SOUTH LINE OF LOT 18 OF SUGAR ISLAND SUBDIVISION, 167.57 FEET TO THE CENTERLINE OF SUGAR ISLAND ROAD; THENCE N 86°24'57" E, ALONG THE CENTERLINE OF SUGAR ISLAND ROAD, 50.00 FEET TO THE NORTHWEST CORNER OF LOT 21 OF SUGAR ISLAND SUBDIVISION; THENCE S 34°27'49" W, ALONG THE WEST LINE OF LOT 21 OF SUGAR ISLAND SUBDIVISION, 372.95 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 42,421 SQUARE FEET OR 0.974 ACRES INCLUDING LANDS LYING BETWEEN THE MEANDER LINE AND EDGE OF WATER OF LOWER NEMAHBIN LAKE.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF THE CHRISTIAN A & KATHERINE J KOSCH JOINT REVOCABLE LIVING TRUST, DATED JULY 31, 2015, BEING OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF VILLAGE OF SUMMIT IN SURVEYING AND MAPPING THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
MATTHEW T. O'ROURKE, S-2771

### **NOTES:**

- FLOODPLAIN IS PER LOMR 21-05-1028P EFFECTIVE 11/28/2022 (872 NAVD 88)
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- THE ENTIRE PARCEL IS WITHIN THE VILLAGE OF SUMMIT SHORELAND JURISDICTION.
- LOT CONTAINS ENVIRONMENTAL CORRIDOR PER WAUKESHA COUNTY GIS. THE VILLAGE OF SUMMIT MAY REQUIRE A DELINEATION OF THE ENVIRONMENTAL CORRIDOR FOR BUILDING PERMIT PURPOSES.
- LOT 1 OF THIS CSM IS SUBJECT TO A 10' WIDE SANITARY SEWER EASEMENT LOCATED WITHIN THE SUGAR ISLAND ROAD PRIVATE RIGHT-OF-WAY. THE CENTERLINE OF THE 10' WIDE EASEMENT RUNS WITH THE SEWER LINE AND 5' ON EITHER SIDE OF SAID CENTERLINE, IN ADDITION TO THE 5' WIDE EASEMENT SHOWN ON SHEET 1.

### **FLOODPLAIN AND PRIMARY ENVIRONMENTAL CORRIDOR RESTRICTIONS**

THOSE AREAS OF LAND IDENTIFIED AS FLOODPLAIN AND/OR PRIMARY ENVIRONMENTAL CORRIDOR ON THIS CERTIFIED SURVEY MAP ARE SUBJECT TO THE FOLLOWING RESTRICTIONS:

1. GRADING, FILLING AND THE REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS IS PROHIBITED UNLESS APPROVED BY THE VILLAGE OF SUMMIT.
2. THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT DEAD, DISEASED, OR DYING or invasive VEGETATION MAY BE REMOVED AT THE DISCRETION OF THE LANDOWNER AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT. SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT, SHALL ALSO BE PERMITTED.
3. GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., SHALL BE DISCOURAGED TO THE GREATEST EXTENT POSSIBLE.
4. THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT IS PROHIBITED.
5. PONDS ARE PROHIBITED.
6. THE CONSTRUCTION OF BUILDINGS IS PROHIBITED.

**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 19 AND LOT 20 IN SUGAR ISLAND BEING A SUBDIVISION OF GOVERNMENT LOT 8, IN THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

**OWNER'S CERTIFICATE:**

AS OWNERS WE THE CHRISTIAN A & KATHERINE J KOSCH JOINT REVOCABLE LIVING TRUST, DATED JULY 31, 2015, HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT.

WITNESS THE HAND AND SEAL OF SAID OWNERS:

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
CHRISTIAN A. KOSCH

\_\_\_\_\_  
KATHERINE J KOSCH

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE NAMED CHRISTIAN A & KATHERINE J KOSCH JOINT REVOCABLE LIVING TRUST, DATED JULY 31, 2015, TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY SIGNATURE \_\_\_\_\_

PRINT NAME \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**VILLAGE OF SUMMIT BOARD APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT BOARD, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JACK RILEY, VILLAGE PRESIDENT

\_\_\_\_\_  
DEBRA MICHAEL, ADMINISTRATOR-CLERK/TREASURER

**VILLAGE OF SUMMIT PLAN COMMISSION APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT PLAN COMMISSION, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JIM SIEPMANN, CHAIRPERSON

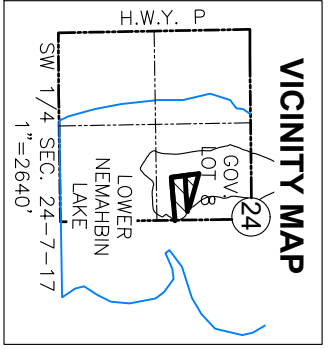
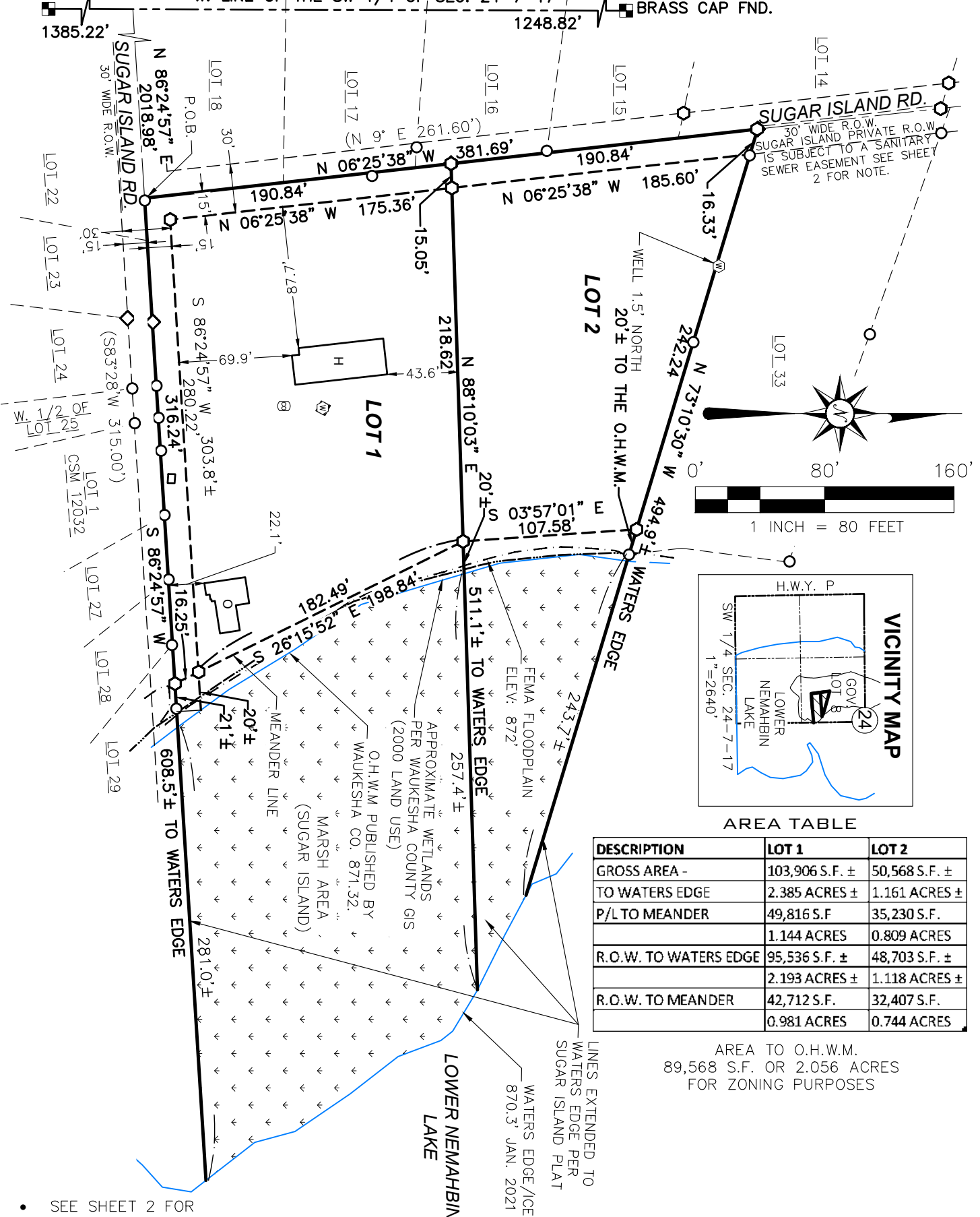
\_\_\_\_\_  
DEBRA MICHAEL, ADMINISTRATOR-CLERK/TREASURER

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 1 AND LOT 2 OF CSM 12158 RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE APRIL 12, 2021, IN V. 124, P. 191-194 AS DOCUMENT NO. 4574374, BEING ALL OF LOTS 30, 31 AND 32 IN SUGAR ISLAND BEING A SUBDIVISION OF GOVERNMENT LOT 8, IN THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

SW CORNER SECTION 24-7-17 CONC. MON. W/ SEWRPC BRASS CAP FND.

W. 1/4 CORNER SECTION 24-7-17 CONC. MON. W/ SEWRPC BRASS CAP FND.



AREA TABLE

DESCRIPTION	LOT 1	LOT 2
GROSS AREA -	103,906 S.F. ±	50,568 S.F. ±
TO WATERS EDGE	2.385 ACRES ±	1.161 ACRES ±
P/L TO MEANDER	49,816 S.F.	35,230 S.F.
	1.144 ACRES	0.809 ACRES
R.O.W. TO WATERS EDGE	95,536 S.F. ±	48,703 S.F. ±
	2.193 ACRES ±	1.118 ACRES ±
R.O.W. TO MEANDER	42,712 S.F.	32,407 S.F.
	0.981 ACRES	0.744 ACRES

AREA TO O.H.W.M.  
89,568 S.F. OR 2.056 ACRES  
FOR ZONING PURPOSES

- SEE SHEET 2 FOR NOTES AND LEGEND
- SEE SHEET 5 FOR WETLANDS REGULATIONS.



PREPARED FOR:  
DREW T. & PATRICIA MADDEN  
6756 RAMSEY RD.  
MIDDLETON, WI 53562

LAND SURVEYING • LAND PLANNING  
111 W. 2ND STREET  
OCONOMOWOC, WI 53066  
WWW.LANDTECHWI.COM  
(262) 367-7599

REV: 03/05/2025  
DATED 01/08/2023  
JOB # 21009  
SHEET 1 OF 4

# WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 1 AND LOT 2 OF CSM 12158 RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE APRIL 12, 2021, IN V. 124, P. 191-194 AS DOCUMENT NO. 4574374, BEING ALL OF LOTS 30, 31 AND 32 IN SUGAR ISLAND BEING A SUBDIVISION OF GOVERNMENT LOT 8, IN THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

## SURVEYOR'S CERTIFICATE:

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING ALL OF LOT 1 AND LOT 2 OF CSM 12158, RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE APRIL 12, 2021, IN V.124, P.191-194 AS DOCUMENT NO. 4574374, BEING ALL OF LOTS 30, 31 AND 32 IN SUGAR ISLAND BEING A SUBDIVISION OF GOVERNMENT LOT 8, IN THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 24, TOWN 7 NORTH, RANGE, 17 EAST; THENCE N 00°11'03" E, ALONG THE WEST LINE OF SAID SECTION, 1,385.22 FEET TO A POINT; THENCE N 86°24'57" E, 2018.98 FEET TO THE SOUTHWEST CORNER OF LOT 30 OF SUGAR ISLAND SUBDIVISION AND THE POINT OF BEGINNING; THENCE N 06°25'38" W, ALONG THE WEST LINE OF LOTS 30, 31 AND 32, 381.69 FEET TO THE SOUTHWEST CORNER OF LOT 33; THENCE S 73°10'30" E, ALONG THE SOUTH LINE OF LOT 33 OF SUGAR ISLAND SUBDIVISION PLAT, 258.57 FEET TO THE BEGINNING OF A MEANDER LINE LYING N 73°10'30" W, 263.7 FEET MORE OR LESS OF THE EDGE OF WATER OF LOWER NEMAHBIN LAKE; THENCE S 03°57'01" E ALONG THE MEANDER LINE, 107.58 FEET; THENCE S 26°15'52" E ALONG THE MEANDER LINE, 198.84 FEET TO THE END OF SAID MEANDER LINE LYING S 86°24'57" W, 302 FEET MORE OR LESS OF THE EDGE OF WATER OF LOWER NEMAHBIN LAKE, SAID POINT LYING ON THE SOUTH LINE OF LOT 30 OF SUGAR ISLAND SUBDIVISION PLAT; THENCE S 86°24'57" W, ALONG THE SOUTH LINE OF LOT 30, 316.24 FEET TO THE POINT OF BEGINNING.

LANDS AS DESCRIBED HAVING AN AREA OF 154,474 SQUARE FEET OR 3.546 ACRES MORE OR LESS, INCLUDING THE LAND LYING BETWEEN THE MEANDER LINE AND THE EDGE OF WATER OF LOWER NEMAHBIN LAKE.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF DREW T. AND PATRICIA R. MADDEN, JUSTIN BERES AND ANDY FIEBER, OWNERS OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF THE VILLAGE OF SUMMIT IN SURVEYING AND MAPPING THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
MATTHEW T. O'ROURKE, S-2771

## NOTES:

- BEARINGS BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM WAUKESHA COUNTY ZONE, NAD 83(2011) AND REFERENCED TO THE WEST LINE OF THE SW 1/4 SEC. 24-7-17 MEASURED AS N00°11'03"E.
- VERTICAL DATUM IS NAVD 88(GEIOD12A)
- FLOODPLAIN ELEVATION IS 872' NAVD 88, PER LOMAR 21-05-1028P EFFECTIVE 11/28/2022.
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- THE ENTIRE PARCEL IS WITHIN THE VILLAGE OF SUMMIT SHORELAND JURISDICTION.
- LOT CONTAINS ENVIRONMENTAL CORRIDOR PER WAUKESHA COUNTY GIS. THE VILLAGE OF SUMMIT MAY REQUIRE A DELINEATION OF THE ENVIRONMENTAL CORRIDOR FOR BUILDING PERMIT PURPOSES.
- THIS SITE WAS SUBJECT TO SNOWY CONDITIONS ON THE DATE OF THE SURVEY.
- LOTS 1 AND 2 OF THIS CSM ARE SUBJECT TO A 10' WIDE SANITARY SEWER EASEMENT LOCATED WITHIN THE SUGAR ISLAND ROAD PRIVATE RIGHT-OF-WAY. THE CENTERLINE OF THE 10' WIDE EASEMENT RUNS WITH THE SEWER LINE AND 5' ON EITHER SIDE OF SAID CENTERLINE.

## LEGEND

■	SECTION CORNER MONUMENT
○	FOUND 1" IRON PIPE OR NOTED
⊗	FOUND 3/4 REBAR" OR NOTED
◇	FOUND IRON ROD
~	WATER
H	HOUSE
O	OUTBUILDING
(R)	RECORD INFORMATION

REV: 03/05/2025  
DATED 01/08/2023  
JOB # 20011  
SHEET 2 OF 4

WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOT 1 AND LOT 2 OF CSM 12158 RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE APRIL 12, 2021, IN V. 124, P. 191-194 AS DOCUMENT NO. 4574374, BEING ALL OF LOTS 30, 31 AND 32 IN SUGAR ISLAND BEING A SUBDIVISION OF GOVERNMENT LOT 8, IN THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

**OWNER'S CERTIFICATE:**

AS OWNERS DREW T. AND PATRICIA R. MADDEN WE HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT  
WITNESS THE HAND AND SEAL OF SAID OWNERS:

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
DREW T. MADDEN

\_\_\_\_\_  
PATRICIA R. MADDEN

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE NAMED DREW T. MADDEN AND PATRICIA R. MADDEN TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, \_\_\_\_\_, COUNTY, WI

PRINT NAME, \_\_\_\_\_

MY COMMISSION EXPIRES. \_\_\_\_\_

**OWNER'S CERTIFICATE:**

AS OWNERS JUSTIN BERES AND ANDY FIEBER WE HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF SUMMIT  
WITNESS THE HAND AND SEAL OF SAID OWNERS:

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JUSTIN BERES

\_\_\_\_\_  
ANDY FIEBER

STATE OF WISCONSIN )SS  
COUNTY OF \_\_\_\_\_)

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE NAMED JUSTIN BERES AND ANDY FIEBER TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, \_\_\_\_\_, COUNTY, WI

PRINT NAME, \_\_\_\_\_

MY COMMISSION EXPIRES. \_\_\_\_\_

**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 1 AND LOT 2 OF CSM 12158 RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE APRIL 12, 2021, IN V. 124, P. 191-194 AS DOCUMENT NO. 4574374, BEING ALL OF LOTS 30, 31 AND 32 IN SUGAR ISLAND BEING A SUBDIVISION OF GOVERNMENT LOT 8, IN THE NE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 24, TOWN 7 NORTH, RANGE 17 EAST, VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

**VILLAGE OF SUMMIT BOARD APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT BOARD, THIS

\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JACK RILEY, VILLAGE PRESIDENT

\_\_\_\_\_  
DEBRA MICHAEL, ADMINISTRATOR-CLERK/TREASURER

**VILLAGE OF SUMMIT PLAN COMMISSION APPROVAL**

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE OF SUMMIT PLAN COMMISSION, THIS

\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
JIM SIEPMANN, CHAIRPERSON

\_\_\_\_\_  
DEBRA MICHAEL, ADMINIATRATOR-CLERK/TREASURER

**WETLAND, FLOODPLAIN, AND PRIMARY ENVIRONMENTAL CORRIDOR (PEC) RESTRICTIONS:**

THOSE AREAS OF LAND IDENTIFIED AS WETLANDS, FLOODPLAIN AND PRIMARY ENVIRONMENTAL CORRIDOR ON THIS CERTIFIED SURVEY MAP AND SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

1. GRADING, FILLING AND THE REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS IS PROHIBITED UNLESS APPROVED BY THE VILLAGE OF SUMMIT.
2. THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT DEAD, DISEASED, DYING OR INVASIVE VEGETATION MAY BE REMOVED AT THE DISCRETION OF THE LANDOWNER AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT. SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST AND WITH APPROVAL FROM THE VILLAGE OF SUMMIT, SHALL ALSO BE PERMITTED.
3. GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., SHALL BE DISCOURAGED TO THE GREATEST EXTENT POSSIBLE.
4. THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT IS PROHIBITED.
5. PONDS ARE PROHIBITED.
6. THE CONSTRUCTION OF BUILDINGS IS PROHIBITED.

RESTRICTIONS 1, 2, 4 AND 6 SHALL ALLOW A MAXIMUM OF 15% DISTURBANCE OF THE LOT AREA, OR 32,670 SQ. FT, WHICHEVER IS GREATER, WITHIN THE PRIMARY ENVIRONMENTAL CORRIDOR, BUT NOT WITHIN THE WETLAND OR FLOODPLAIN. DISTURBANCE INCLUDES ALL STRUCTURES, DECKS, PATIOS, DRIVEWAYS, WALKWAYS, AREAS DISTURBED FOR SEWER AND PRIVATE WELLS, AND MANICURED YARDS, PER THE VILLAGE OF SUMMIT ENVIRONMENTAL CORRIDOR OVERLAY DISTRICT STANDARDS.

REV: 03/05/2025  
DATED 01/08/2023  
JOB # 20011  
SHEET 4 OF 4



Building a Better World  
for All of Us®

February 5, 2025

RE: Village of Summit  
Madden CSM Review  
SEH No. 176551 Task 51

Ms. Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Dear Ms. Barrows:

We have reviewed the Certified Survey Map for Drew T. and Patricia Madden and prepared by Matthew O'Rourke of LandTech Surveying. The CSM reviewed is dated 01/08/2025.

We recommend the CSM prepared, and dated 07/08/2025, be approved.

Please do not hesitate to contact me with any questions or comments at 414.949.8919 or kkindred@sehinc.com.

Sincerely,

A handwritten signature in black ink that reads "Keith Kindred".

Keith Kindred, PLS  
Principal, Regional Practice Center Leader  
(Lic. WI, IL)

btp

x:\pts\summ\176551\task 52 - madden-fieber csm review\cor\review letters\madden-fieber csm review letter\_village of summit\_2025-02-05.docx

Engineers | Architects | Planners | Scientists

**Short Elliott Hendrickson Inc.**, 501 Maple Avenue, Delafield, WI 53018-9351

262.646.6855 | 888.908.8166 fax | **sehinc.com**

SEH is 100% employee-owned | Affirmative Action–Equal Opportunity Employer



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

**MEMORANDUM**

To: Village Board

From: Amy Barrows, Planner

Date: March 13, 2025

Re: **Certified Survey Map for Beres/Fieber/Madden Revocable Trust  
1506 Sugar Island Road (SUMT0671034002) & Unknown address on Sugar Island  
Road (SUMT0671034003)**

---

**BACKGROUND:**

See 2/20/2025 Plan Commission Staff Report. At the February 20, 2025 meeting, Plan Commission unanimously recommended approval of the proposed CSM, subject to the conditions provided in the recommended motion of this report. Village staff has requested that the applicant record a sanitary sewer easement as a separate document. The easement will be considered by the utility district at their March 13<sup>th</sup> meeting.

All planner comments have been addressed on the revised CSM, dated March 5, 2025. However, the survey was revised and now includes a note on sheet 1 and 2 that Sugar Island Road is private. Ownership of the road is unclear. The survey should be modified to remove any reference to public or private. The area to the O.H.W.M. note should include the square footage of each lot separately. There is a typo in the plan commission approval signature for the administrator that will need to be fixed.

The surveyor did not have any comments.

ATTACHMENTS: 2/20/2025 Plan Commission report  
2/5/2025 Surveyor letter  
Revised Certified Survey Map dated 3/5/2025

FISCAL IMPACT: None.

**RECOMMENDED MOTION:**

- A. APPROVALS FROM ALL OBJECTING AND APPROVING BODIES.** Petitioner shall satisfy all comments, conditions and concerns of the Village Engineer, Surveyor, and Planner prior to approval of the final Certified Survey Map.

- B. SUBJECT TO REIMBURSEMENT OF EXPENSES.** As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.
- C. UTILITY CONNECTION FEES.** As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all utility connection fees owed to the Village of Summit. Note: **The CSM does not result in the creation of any new lots. Therefore, this condition does not apply.**
- D. BUSINESS OR COMMERCIAL USE.** There shall be no commercial or business use on this lot, except as specifically permitted within or pursuant to the applicable Zoning Code.
- E. ONE YEAR TO SATISFY CONDITIONS.** Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Village Board granting conditional final approval of the CSM.

**CERTIFIED SURVEY MAP REVIEW**  
**2/20/2025 Plan Commission Meeting**  
**Beres/Fieber/Madden Revocable Living Trust CSM**

---

Staff Report

Village of Summit, Wisconsin

Property Location: 1506 Sugar Island Road (SUMT0671034002)  
Unknown address Sugar Island Road (SUMT0671034003)

Property Owner: Madden Revocable Living Trust  
Justin Beres & Andy Fieber

---

**1506 Sugar Island Road – Southern Property – Lot 1**

**Lot Size:** 103,906 sq. ft., 2.385 acres  
**Zoning:** R-3 Village Residential (35,000 sq. ft. lot size, 1-acre/unit density)  
EC Environmental Corridor Overlay (PEC), FO Floodplain Overlay &  
WC Wetland Conservancy  
**Land Use Plan:** Wetland and Primary Environmental Corridor

**Unknown address Sugar Island Road - Northern Property – Lot 2**

**Lot Size:** 50,568 sq. ft., 1.161 acres  
**Zoning:** R-3 Village Residential (35,000 sq. ft. lot size, 1-acre/unit density)  
EC Environmental Corridor Overlay (PEC), FO Floodplain Overlay &  
WC Wetland Conservancy  
**Land Use Plan:** Wetland and Primary Environmental Corridor

---

**Possible Motion:** *Motion to recommend that Village Board approve the Certified Survey Map to combine two legal lots of record, subject to the following conditions:*

- A. APPROVALS FROM ALL OBJECTING AND APPROVING BODIES: Petitioner shall satisfy all comments, conditions and concerns of the Village Engineer, Surveyor, and Planner prior to approval of the final Certified Survey Map.*
- B. SUBJECT TO REIMBURSEMENT OF EXPENSES. As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.*
- C. UTILITY CONNECTION FEES. As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all utility connection fees owed to the Village of Summit. Note: **The CSM does not result in the creation of any new lots. Therefore, this condition does not apply.***

D. *BUSINESS OR COMMERCIAL USE.* There shall be no commercial or business use on this lot, except as specifically permitted within or pursuant to the applicable Zoning Code.

E. *ONE YEAR TO SATISFY CONDITIONS.* Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Village Board granting conditional final approval of the CSM.

**Summary:**

In 2021, a CSM was reviewed, approved, and recorded for the division of three legal lots of record that were previously combined as one tax key parcel into two lots. The northern lot was sold separately. As part of the CSM, the lots were approved using Article X, allowing the reconfiguration of nonconforming parcels. The Village Surveyor required that the lot lines be drawn to the ordinary high water mark of Lower Nemahbin Lake, which resulted in a significant reduction in lot area.

Since the CSM was recorded in 2021, the applicant would like to modify the CSM to extend the lot lines to the water's edge. The Wisconsin Department of Administration agreed that lot lines should be extended to the water's edge in accordance with s. 236.16(4), Wis. Stats. The lot area square footage to the ordinary high water mark has been removed from the map document.

**Considerations:**

Access and Frontage: The properties have frontage on Sugar Island Road. No changes have been made.

Total Area: The lots are not changing other than the square footage identified in the lot area table is measured to the water's edge instead of the OHWM as presently shown.

Sanitary Sewer System available: The properties are in Utility District #2. The southern property is served by sanitary sewer. The northern lot is vacant but will have served by sewer upon development of the lot. There are no changes to sewer service as a result of the proposed CSM.

Water System Available: The southern property is served by a private well. The northern lot will be served by a private well upon development of the lot.

Natural Resources: There are wetlands, floodplain, and Primary Environmental Corridor along the shore of Lower Nemahbin Lake.

**Planner Comments:**

- The CSM shall include the acreage to the ordinary high water mark and water's edge.
- The wetland restrictions on sheet 4 shall include floodplain and primary environmental corridor.
- FEMA has approved a Letter of Map Revision for the Bark River since the 2021 CSM was recorded. The floodplain reference shall be updated to read "Floodplain elevation is 872' NAVD 88, per LOMR 21-05-1028P effective 11/28/2022. The boundary shown on the CSM may need to be modified accordingly.
- Although the applicant is revising the lot area so that it extends to the water's edge, the

*Fieber/Beres/Madden CSM*

overall lot area in the surveyor's certificate has remained the same. The surveyor shall verify that the area is correct.

Surveyor and Engineering Comments: No comments. See attached letter dated February 5, 2025.



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 6, 2025

Re: Department of Public Works Administrative Report

---

**DPW Crew Activities**

***Cemetery Activity Summary***

- Four burials occurred in February, and one is scheduled for late March.
- Three grave site sales occurred in February. Two grave transfers were completed.
- Staff had a septic service come out to look at the system at the cemetery in early March. The system is in relatively good condition, but it should be pumped this year. The system is not entered into the County's records for some reason. This information will be brought to the Cemetery Board's attention at the spring meeting.
- The Workhorse Cemetery module is up and running, and a training session was held on March 6<sup>th</sup>. Staff will begin using the program for recordkeeping activities, and any issues will be addressed with Workhorse.
- Cemetery Board Chairperson Arenz approved an Eagle Scout project at the cemetery for the improvement of the area surrounding the pet ossuary. These improvements will include a sign board for a future sign, plantings, and a bench.

***Equipment Maintenance & Repair***

- The pre-wet system retrofit of the 2014 International Patrol Truck was completed. There is one outstanding issue with a valve on the system that needs to be corrected.
- The JCB loader/excavator is having issues starting. Waukesha County fleet came on site to diagnose the issue, and a new starter was installed. The County's labor rate is approximately \$60/hr lower than Yes Equipment (JCB dealer) to perform the work.
- The John Deere tractor is leaking fuel. Proven Power has provided a quote to replace the fuel sender and a faulty O-ring for approximately \$800, including parts and labor.

***DPW Building Clean-up & Organization***

- Staff continues to clean up the DPW Building, eliminating clutter, damaged/broken equipment, materials, and components that are not needed for current operations. A significant amount of equipment parts and miscellaneous hardware have been recycled,

sold back to vendors, or will be placed on auction. Just over \$1,200 of miscellaneous revenue has been earned in 2025 for scrap metal costs, and an additional \$1,900 was earned through an auction of other items in February (refer to attached sales summary sheet).

### ***Park Activities***

#### **Friends of Summit Parks Update**

- A meeting for the Friends of Summit Parks Group was held on February 24<sup>th</sup>. Three people attended the meeting, which lasted approximately 40 minutes. Draft meeting minutes are attached for reference.
- A Poop Scoop Clean-Up Day has been scheduled for Saturday, March 29<sup>th</sup> from 2:00 – 3:00 p.m. at Genesee Lake Road Park (rain date is March 30<sup>th</sup>).
- A “Friends of Summit Parks and Trails” Facebook page has been created for posting information about the group’s activities.
- The next meeting is scheduled for Monday, April 7<sup>th</sup> at 5:30 p.m.

### ***Road Maintenance Activities***

- Staff continue to address potholes as the freeze/thaw cycles continue to put stress on the roads.
- A bucket truck was rented in early March to remove several hazardous trees, perform deadwood pruning, and to trim low hanging limbs. Staff have generated a significant amount of wood chips, and some good hardwood chips will be reserved for landscaping of Village Hall.

### ***Facilities Maintenance***

- Staff have started using a program called Coast on a trial basis to track assets and work orders related to facilities and equipment maintenance. A subscription would be relatively inexpensive (approx. \$500/year).
- Lake Country Heating & Cooling was contacted to address an issue with the in-ground heating in the Police Department garage. The control panel for the boiler was replaced, but this did not resolve the issue. LCH&C returned to re-diagnose the issue and ultimately replaced the combustion blower, which resolved the issue. The total repair cost for this work was \$2,650.50. Note that the Village has a service agreement with LCH&C, and a 15% discount was applied to labor and parts.
- For several days the week of March 3<sup>rd</sup>, a loud banging sound has been intermittently heard above the ceiling in both the Administrative and Police Department areas. JF Ahern was contacted to inquire if the fire suppression system could be having issues, and they reported that the system readings are normal. Pat’s Heating and Cooling was called to investigate whether it is HVAC-related. A service tech from Pat’s performed a service visit on March 6<sup>th</sup>, but the sound was not duplicated and he was unable to find an issue. He indicated that he will look at the HVAC drawings and determine if there is another unit that was missed. If the noises continue, JF Ahern will be called in to investigate the fire suppression system.

### ***Winter Season Activities***

- A summary of the 2024 – 2025 winter weather response activities by the DPW crew is attached for reference.

### **Pabst Farms Blvd Construction & Public Information Meeting**

The City of Oconomowoc has a significant construction project planned for Pabst Farms Blvd. The project will provide better channelization, a divided road, intersection signalization, and sidewalks. A portion of the road will be closed to through traffic for the duration of the project, lasting from approximately the end of March to the end of October.

A Public Information Meeting is scheduled on Thursday, March 13<sup>th</sup> with a presentation beginning at 6:30 p.m. at Summit Elementary School. The Village will post the information to the Village website and send out email notifications. More information is linked on the attached notice issued by the City.

### **Newbridge Ln Evelyn Ave Walking Trail Signage**

The City of Delafield reached out to the Village with a request that the Village install a sign that restricts motorized vehicles from the trail. Unfortunately, the trail has been used as a short-cut for delivery vehicles. Google Maps has this trail marked as a roadway, which is likely creating the issue. Staff will work with the City to get appropriate signage up in the spring on our end of the trail.

### **WisDOT Small Structure (6' – 20') Program**

Waukesha County Public Works has been reaching out to local municipalities regarding inspections of small structures that may qualify for the WisDOT program referenced above. The Village does not have any structure that would meet the criteria for inclusion, and this was communicated to the County.

### **N Dousman Road Multi-Use Trail Extension Project**

The Village has mailed letters to the two properties on N Dousman Rd where there is no right-of-way dedicated adjacent to their properties to determine if they are willing to do so as part of this project. Meetings are set up for the week of March 10<sup>th</sup> with the owners to discuss.

Several properties where only 33 feet of right-of-way is dedicated from the road centerline will require Temporary Limited Easements (TLEs). Notices will be sent to affected property owners in the coming weeks to advise them of the need for TLEs and to work through the process. Title searches were completed for these properties, as the TLEs will require a plat to be prepared by Strand Associates.

A Public Information Meeting is tentatively scheduled for April 2<sup>nd</sup> from 4:00 – 6:00 p.m. at Village Hall. Letters will be mailed to properties within a specific radius of the project, and the Village will issue a press release and post to the website. The general public is invited to attend the meeting.

The first reimbursement request for engineering fees in the amount of \$34,264.22 (80% of total cost) was submitted to WisDOT on February 24<sup>th</sup>, which includes work completed in 2024. A check was received the following week from WisDOT.

### **2025 Road Improvements Program & Genesee Lake Road Park Parking Lot Project**

Design of the paving program roads and parking lot and approval for bidding documents will be discussed and acted upon in separate agenda items on the March 13<sup>th</sup> Village Board meeting.

### **Waterville Lake Dam Ownership Update**

The Waterville Lake HOA reached out to the Village on March 4<sup>th</sup> to advise that a Dam Failure Analysis (DFA) was completed by Aqualis. An updated DFA was one of the requirements included in the concurrence letter issued by the DNR in April of 2023. Aqualis gave the dam a high hazard rating in the DFA due to the impact on downstream properties if there was a failure or breach of any kind. Note that the rating was not due to the soundness of the spillway or the embankments. There has been a good amount of development downstream since the last DFA was completed in which the dam received a low hazard rating. The HOA will be reaching out to the DNR to set up a meeting to determine the next steps, and staff have asked that the Village is included in these meetings and conversations.

### **“Lake Street” Right-of-Way Vacation Request (Genrich’s Bay Subdivision)**

Nothing significant to report.

### **Genesee Lake Road Park Master Plan Update**

Nothing significant to report.

### **Official Road Right-of-Way Map Update**

Nothing significant to report.

### **National Fitness Campaign Status**

No additional donations have been received for the NFC fitness court campaign. A total of \$11,000 has been donated to date.

### **Village Safety Program Development & Implementation**

#### ***Safety Committee Meeting***

A Safety Committee meeting was held on Monday, March 10<sup>th</sup> at 9:00 a.m.

The next meeting is scheduled for June 2<sup>nd</sup> at 9:00 a.m.

#### ***NIMS Training Update***

Two of the DPW staff have fully completed their NIMS training. One staff member has one course remaining, which should be completed by the end of March.

No additional Village Board members have reported completing courses since the last Village Board meeting.

#### ***Chainsaw Safety Training***

The Village hosted a chainsaw safety training on March 11<sup>th</sup>. Western Lakes Fire Department and the City of Oconomowoc also sent employees to the training. Several diseased/decaying trees in the right-of-way on Genesee Lake Rd were removed in the training.

ATTACHMENTS: City of Oconomowoc Notice of Street Work (Pabst Farms Blvd)

WI Surplus Sales Summary (February 18, 2025)

Meeting Minutes – Friends of Summit Parks (DRAFT, February 24, 2025)

**2024 – 2025 Winter Weather Response Summary (through 2/2/2025)**

Event Date(s)	Response Type	Snow (in)	Staff Hours					Est. Salt Use (Tons)	Estimated Costs (Labor, Materials)
			Full Time			Part Time			
			Reg	OT	DT	Reg	OT		
11/21/2024	Full Plow/Salt	5.30	18.25	-	-	9.00	-	15.50	\$2,094
12/4/2024	Full Residential Salt (Freezing Rain)	0.20	4.00	11.75	-	3.50	-	7.00	\$1,338
12/11/2024	Spot Plow/Salt	0.10	9.00	4.00	-	-	-	8.00	\$1,115
12/14/2024	Spot Salt (Freezing Road Conditions)	0.00	-	5.50	-	-	-	4.50	\$657
12/18 – 12/21/2024	Full Plow (including multiple full maintenance cycles and drifting day after)	3.50	50.00	50.50	-	23.75	-	39.50	\$7,692
12/23/2024	Full Plow/Salt	0.30	8.00	7.00	-	4.25	-	17.10	\$2,077
12/31/2024 – 1/1/2025	Full Plow/Salt	0.30	-	-	8.75	-	2.50	8.50	\$1,331
1/10/2025	Full Residential Salt (Freezing Rain); Full Plow/Salt	0.70	12.50	5.75	-	5.50	-	21.50	\$2,550
1/13 – 1/14/2025	Spot Plow/Salt	0.10	7.50	3.25	-	3.50	-	13.50	\$1,560
1/15 – 1/16/2025	Spot Plow/Salt	0.30	1.00	10.00	-	3.75	-	11.00	\$1,495
1/22 – 1/23/2025	Full Plow/Salt	3.20	46.00	19.25	-	18.25	-	43.40	\$6,248
2/2/2025	Spot Plow/Salt	0.30	-	-	12.75	-	4.25	5.75	\$1,405
2/5 – 2/6/2025	Full Salt (Freezing Rain)	0.00	7.25	11.00	-	5.00	-	24.50	\$2,890

Event Date(s)	Response Type	Snow (in)	Staff Hours					Est. Salt Use (Tons)	Estimated Costs (Labor, Materials)
			Full Time			Part Time			
			Reg	OT	DT	Reg	OT		
2/10 – 2/11/2025	Full Salt (Spot icing, pre-event treatment)	0.10	10.75	-	-	2.75	-	9.00	\$1,137
2/12 – 2/13/2025	Full Plow/Salt	6.00	43.00	27.75	-	22.50	-	34.50	\$5,953
2/14 – 2/16/2025	Full Plow/Salt; Drifting, icing maintenance	5.00	13.50	44.75	15.50	5.00	14.75	47.00	\$7,918
2/25/2025	Spot Salt (Icy conditions)	0.00	2.50	-	-	-	-	1.00	\$156
<b>Totals</b>	<b>Responses: 17</b>	<b>25.90</b>	<b>233.25</b>	<b>200.50</b>	<b>37.00</b>	<b>106.75</b>	<b>21.50</b>	<b>311.25</b>	<b>\$47,618</b>

*Note: Fuel costs, pre-event preparations, and post-event equipment maintenance not included.*



## STREET WORK COMING

*Current Resident or Interested Party,*

Due to the expanding Pabst Farms development, the city is working with the developer to reconstruct Pabst Farms Blvd. This improved road will provide better channelization, divided road, intersection signalization, and sidewalk. The section highlighted below will be closed to thru traffic during the duration of the project. This will last from approximately the end of March to the end of October, weather permitting.

This letter is to inform you of the upcoming detour routes and invite you to attend a public information meeting to hear more about the project and answer any questions you may have. The city thanks you in advance for your patience during the construction.



There will be a public information meeting held on **Thursday, March 13, 2025** w/ a **presentation at 6:30pm**, followed by a question-and-answer session.

The meeting will be held at:

**Summit Elementary School – 1680 Valley Rd  
Cafeteria / Multipurpose Room 101**

*For more information and to see additional detour plans, please visit:*

<https://www.oconomowoc-wi.gov/890/Pabst-Farms-Blvd>

*To receive construction updates throughout the project please visit the city website*

<https://www.oconomowoc-wi.gov>

*Click on the “Stay Informed” tab and select “Pabst Farms Blvd Updates”*

*Please reach out with any questions to the  
Department of Public Works (262) 569-2189*



SETTLEMENT TO

122637

Village of Summit Department of Public Works

(P)262-567-2422

(E)dpw@summitvillage.org

c/o Kamron Nash

37100 Delafield Road, Summit, Wisconsin, 53066, United States

Auction :

Settlement# :

Settlement Date :

#25-209 - Multi-Muni - Multi-Location, Wisconsin

20250218-121773122637-13624

Feb 18,2025

### #25-209 - Multi-Muni - Multi-Location, Wisconsin

Item	Qty	Description	Amount
90552 - McMillen PTO Driven 3 Point Auger w/6" & 8" Bit	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Fair -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 1</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	330.00
90553 - Plow Frame Mount	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Good -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 2</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	101.00
90554 - Continental HDR' Tire/Rim 225/70R19.5	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Good -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 3</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	95.00
90556 - Continental Tire/Rim 11R 22.5	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Good -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 5</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	150.00
90557 - Firestone Tire/Rim 315/80 R22.5	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Good -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 6</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	72.00

Item	Qty	Description	Amount
90558 - Good Year Tire/Rim 315/80 R22.5	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Good -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 7</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	46.00
90559 - Compressor	1	<ul style="list-style-type: none"> <li>• <b>Details:</b> Engine: Briggs &amp; Stratton 8 HP</li> <li>• <b>Provided Condition:</b> Fair -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 8</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	95.00
90560 - Landa Hot Series Pressure Washer	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Fair -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 9</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	455.00
90561 - Briggs & Stratton Elite Series Pressure Washer	1	<ul style="list-style-type: none"> <li>• <b>Details:</b> 3400 PSI -- 4.0 GPM -- 10HP</li> <li>• <b>Provided Condition:</b> Fair -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 10</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	155.00
90562 - Plate Wacker	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Fair -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 11</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	271.00
90563 - Ford Foot Step	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Good -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 12</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	5.00
90564 - Front Bumper	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Good -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 13</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm</b>, no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	6.00

Item	Qty	Description	Amount
90565 - Performax 10" Table Saw	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Good -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 14</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm,</b> no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	30.50
90566 - Lot of Misc. Parts	1	<ul style="list-style-type: none"> <li>• <b>Details:</b> Exhaust/Mirrors/Break Chambers</li> <li>• <b>Provided Condition:</b> Good -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 15</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm,</b> no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	9.00
90567 - Lot of Misc. Parts	1	<ul style="list-style-type: none"> <li>• <b>Details:</b> Bearings/Gaskets/Lenses/ Filters</li> <li>• <b>Provided Condition:</b> Fair -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 16</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm,</b> no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	60.50
90568 - Lot of - 4" & 3" Fire Hose	1	<ul style="list-style-type: none"> <li>• <b>Details:</b></li> <li>• <b>Provided Condition:</b> Fair -- Inspections Encouraged - Sold As/Is</li> <li>• <b>Seller Inventory #:</b> 17</li> <li>• <b>Seller:</b> 122637-Village of Summit - 37100 Delafield Rd, Summit, WI 53066 - Scott at 262-567-2422 or dpw@summitvillage.org - Inspections by appointment only. - Please contact with questions and to schedule inspections or pickups - <b>Appointments are required - Monday - Thursday 7:30 am - 3 pm,</b> no walk-ins.</li> <li>• Click on lot number for more details &amp; bigger pictures</li> </ul>	21.50

Items:	16
Settlement Total:	1902.50
Total Settlement:	1902.50
02/26/2025 Check #165255:	1902.50

**Balance Owed : 0.00**

**Thank you for using Wisconsin Surplus Online Auctions!  
We look forward to working with you in 2025 !!**

VILLAGE OF SUMMIT

Friends of Summit Park

Meeting – Monday, February 24, 2025

Present: Kamron Nash, Public Works Director  
Megan Allikas  
Lisa Carrao  
Justin Phillips  
Deb Engel

The meeting was called to order at 5:30 p.m.

Structuring Organization

Discussion ensued regarding establishing bylaws, 501(c)(3) status and tax-exempt status. The consensus of the group was to ease into these areas gradually as the organization membership grows and activities at the Park increase. Examples of bylaws will be brought to future meetings.

Recruitment of Membership/Projects

Karmron Nash noted that the Park could use a good clean-up before the Five O's begin using it in April. There is dog poop that has accumulated over the winter that needs to be cleaned up. A clean-up day would be a good activity to generate community interest in the Park and support of this group. March 29 from 2 – 3 p.m. was set as the Poop Scoop Clean-Up Day at the Village Park (rain date is March 30). Lisa Carrao will work with Gina LaGalbo on putting this information on the Village of Summit Facebook page as well as making fliers available at the Village Hall. Attendees of the event will be asked to bring their own shovels. Karmon will provide garbage bags.

Leadership

The group discussed leadership roles. They decided to begin with a chairperson and secretary. Megan Allikas volunteered to be the Chairperson and Deb Engel volunteered to be the Secretary.

Adjournment

The meeting adjourned at 6:10 p.m. The next meeting is scheduled for 5:30 p.m. on April 7, 2025, at the Village Hall.

Respectfully submitted,

Deborah Engel  
Secretary



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

## MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 6, 2025

Re: Discussion and Action on Genesee Lake Road Park Parking Lot Design

---

### PURPOSE:

To request approval from the Village Board for the design, layout, and placement of the proposed parking lot at Genesee Lake Road Park.

### BACKGROUND:

SEH and Village staff have been working on finalizing a parking lot design that will best serve existing and future park uses. There were several considerations made in the design, as outlined below:

#### Location

SEH and Village staff considered several locations for a parking lot during the Village Park Master Planning efforts, as well as during the initial design phase. Currently, the northwest side of the park is leased by two lacrosse groups (KM Lacrosse and Pirate Lacrosse), and the area just southwest of the existing parking lot is leased by OABC for use in their D-league. There are relatively few locations on this side of the park that would provide sufficient room for a single lot that would not impact existing users. Use of the farm field area on the southwest side of the park is possible, but the cost to push the lot so far from Genesee Lake Rd and the proximity of the subdivision to the south makes this impractical. In addition, there is a mowed path that residents utilize through this area.

The best position for a parking lot with minimal impact to adjacent property owners was identified in the northeast corner of the park adjacent to Genesee Lake Rd. There are mature trees east and south of this location that provide screening. There are also trees on either side of Genesee Lake Rd that provide some screening to the agricultural property to the north.

#### Quantity of Parking Spaces

The existing parking lot in the park's center has 164 standard parking spaces and 4 accessible parking spaces. There have been times when large events have been scheduled that there is a significant amount of overflow parking required, with dozens of cars parking along Genesee Lake Rd and on the west side of the park. As proposed, the new lot will add an additional 128 standard parking spaces and 5 accessible parking spaces. In the event that new facilities are

approved and constructed in the park (e.g., new ball fields, pickleball courts, etc.), the capacity provided by this lot will mitigate insufficient parking concerns.

#### Landscaping & Stormwater Facilities

The parking lot includes landscaped islands, per Village code requirements, and the design plan includes several trees planted along the north side of the lot that will provide screening. The intent is to have an aesthetically pleasing parking area with shaded areas.

A rain garden is proposed on the south side of the parking lot for stormwater from the lot. The lot will be sloped to allow for sheeted flow south toward the garden. The rain garden will contain native planting mix.

#### Accessibility Requirements

New parking facilities require a sufficient amount of accessible parking spaces and an accessible route from the lot to existing facilities. A paved path has been included in the design that extends from the southwest corner of the lot (adjacent to the accessible spaces) to the existing paved path in the center of the existing ball diamonds. The path will cross an existing drainage swale, and the design includes placement of a culvert through this area so that drainage is not negatively impacted.

#### Trail & Farm Field Accessibility

There is an existing “unofficial” perimeter trail that extends along the east property line from Genesee Lake Rd to the south. To mitigate disturbance to this well-used path, the lot and proposed swale east of the lot has been positioned so that it does not impact use.

The N Dousman Rd Multi-Use Trail project is currently in design. The trail is proposed to extend along the south side of Genesee Lake Rd just inside the north property line of the park. The lot was designed to accommodate the trail, and staff have been communicating with both consultants working on the projects to ensure there are no conflicts.

Staff consulted with the farmer who currently leases the farm fields at the park. He indicated that he would require a 20-foot clear access between the east property line and the swale to access the fields with his equipment. This clear zone will also allow for equipment access for future improvements on the east/south side of the park.

#### Potential Ball Field Additions

Village staff were directed to work with OABC on the placement of two proposed ball fields that would work with the new parking lot design. Alternate lot layouts were considered that deviated from the existing final design, but there were several factors that did not make this financially feasible. The lot was ultimately moved closer to Genesee Lake Rd to provide more room to the south for ball fields. SEH included the footprint of two additional fields on the drawing to depict a possible layout. *Note that the Village Board will consider the OABC’s request for new fields in a separate agenda item at tonight’s meeting.*

#### **RECOMMENDATION:**

Village staff is requesting approval of the proposed design of the parking lot at Genesee Lake Road Park. Once approved by the Village Board, staff intend to bring the design to the Plan Commission at the March 20<sup>th</sup> meeting. The intent is to bid this project out with the 2025 Road Paving Program in late March.

ATTACHMENTS: Construction Plans for Genesee Lake Road Park Parking Lot (dated March 6, 2025)

FISCAL IMPACT: \$430,870 was included in the 2025 CIP (\$268,953 in Impact Fees, \$162,047 in Borrowed Funds). The updated estimate for the proposed design is \$427,630, which includes a contingency and engineering and construction management.

RECOMMENDED MOTION: **Motion to approve the proposed parking lot and stormwater facilities design at Genesee Lake Road Park and to authorize staff to bring forward to the Village of Summit Plan Commission for approval.**

# VILLAGE OF SUMMIT, WISCONSIN

## CONSTRUCTION PLANS FOR GENESEE LAKE ROAD PARK PARKING LOT

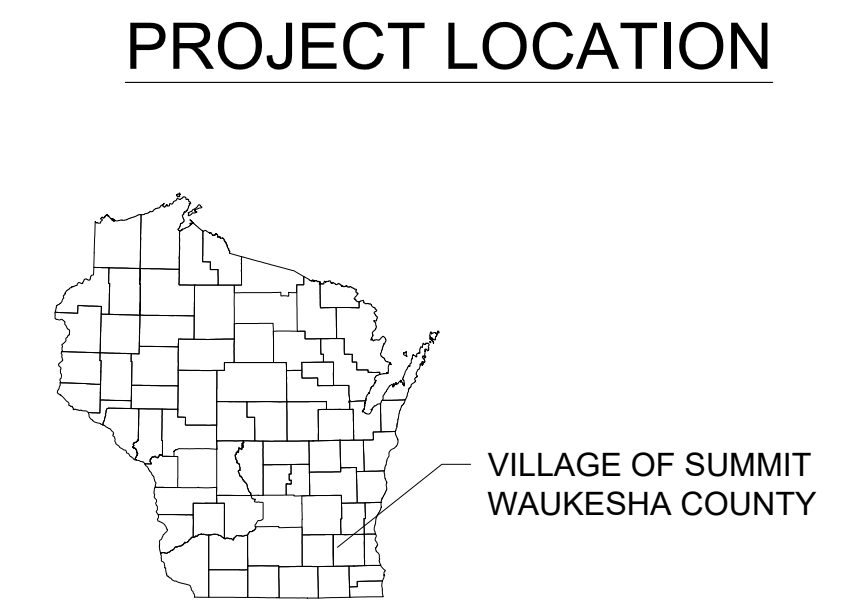
EXISTING	
---	RIGHT OF WAY
---	PERMANENT EASEMENT
---	PROPERTY LINE
△ XX	HORIZONTAL CONTROL POINT
× BM	BENCHMARK
● #	SURVEY MARKER
○	SOIL BORING
○	SANITARY SEWER AND MANHOLE
FM	FORCE MAIN AND LIFT STATION
○	SANITARY SEWER SERVICE & CLEANOUT
○	WATER MAIN, HYDRANT, VALVE AND MANHOLE
○	WATER SERVICE AND CURB STOP BOX
○	STORM SEWER, MANHOLE AND CATCH BASIN
○	CULVERT AND APRON ENDWALL
○	GAS MAIN, VALVE, VENT AND METER
○	HANDHOLE
○	BURIED FIBER OPTIC CABLE AND MANHOLE
○	BURIED PHONE CABLE, PEDESTAL AND MANHOLE
○	BURIED TV CABLE, PEDESTAL AND MANHOLE
○	BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
○	OVERHEAD WIRE, POLE AND GUY WIRE
○	LIGHT POLE
○	TRAFFIC SIGNAL
○	STREET NAME SIGN
○	SIGN (NON STREET NAME)
---	RAILROAD TRACKS
○	DECIDUOUS AND CONIFEROUS TREE
○	BUSH / SHRUB AND STUMP
---	EDGE OF WOODED AREA
---	WETLAND
---	BUILDING
---	FENCE (UNIDENTIFIED)
---	BARBED WIRE FENCE
---	CHAIN LINK FENCE
---	ELECTRIC WIRE FENCE
---	WOOD FENCE
---	WOVEN WIRE FENCE
---	PLATE BEAM GUARDRAIL
---	CABLE GUARDRAIL
○	POST / BOLLARD
---	RETAINING WALL
6+00	STREET CENTERLINE
---	RIGHT-OF-WAY
---	PERMANENT EASEMENT
---	TEMPORARY EASEMENT
---	CONSTRUCTION LIMITS
○	SANITARY SEWER, BULKHEAD AND MANHOLE
FM	FORCE MAIN
○	SANITARY SERVICE AND CLEANOUT
○	WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
○	WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
○	WATER SERVICE AND CURB STOP BOX
○	STORM SEWER, MANHOLE AND CATCH BASIN
○	CULVERT AND APRON ENDWALL
---	DRAIN TILE
---	DITCH / SWALE
---	RIPRAP
○	STREET NAME SIGN
○	SIGN (NON STREET NAME)
---	RETAINING WALL



### INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS
3	PRELIMINARY SITE PLAN
4	DRAINAGE & GRADING PLAN
5	LANDSCAPE PLAN

THIS PLAN CONTAINS 5 SHEETS.



Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PTT\S\SUMMV1832558\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMV1832558\_SITE & GRD.dwg

NOTE:  
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D.  
THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE  
GUIDELINES OF CI/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE  
COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

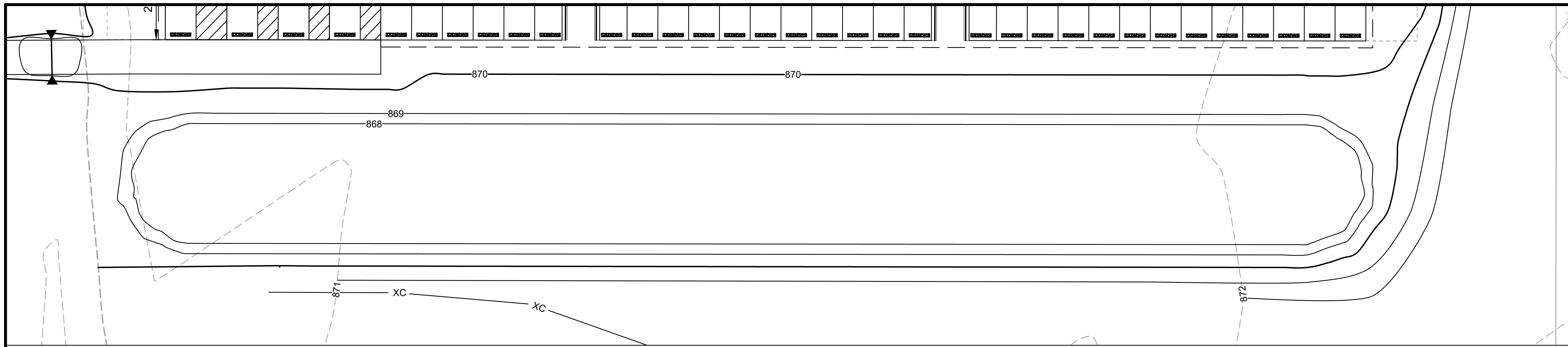
THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT  
811 BEFORE COMMENCING EXCAVATION.



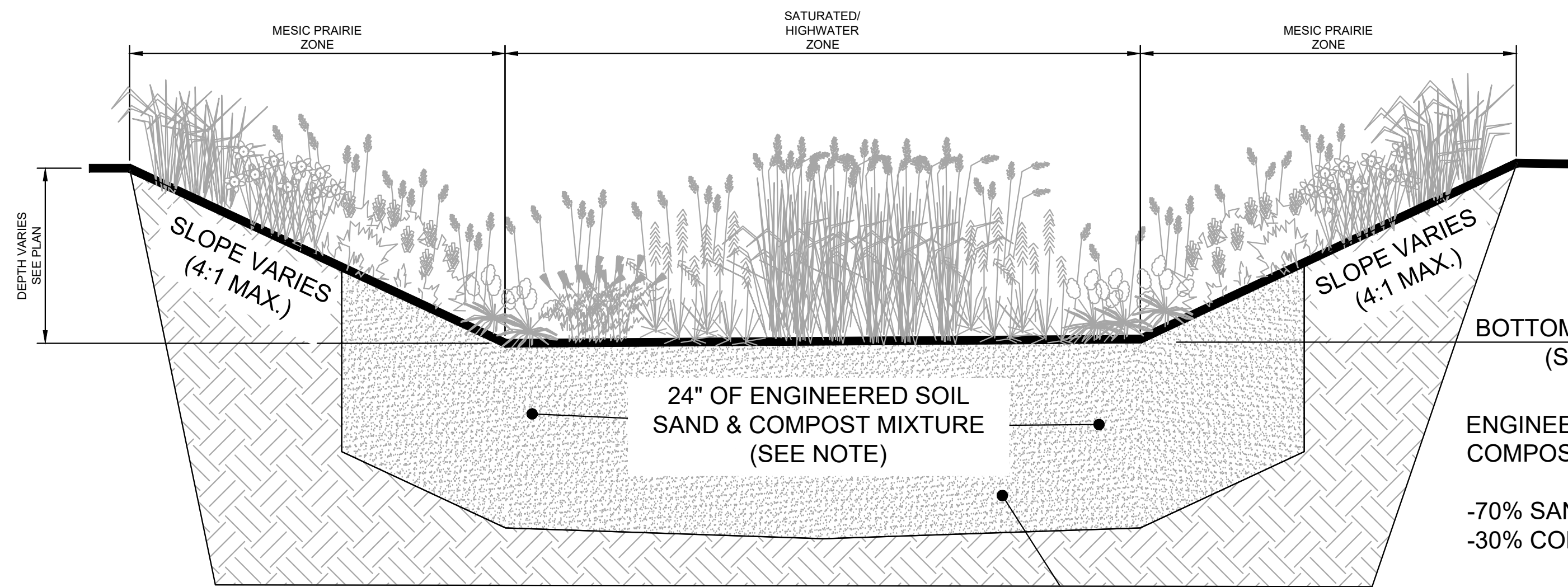
VILLAGE OF SUMMIT, WISCONSIN



PROJECT NO.  
183258  
**1**  
of 5



**RAIN GARDEN SOUTH DETAIL**  
1" = 20'



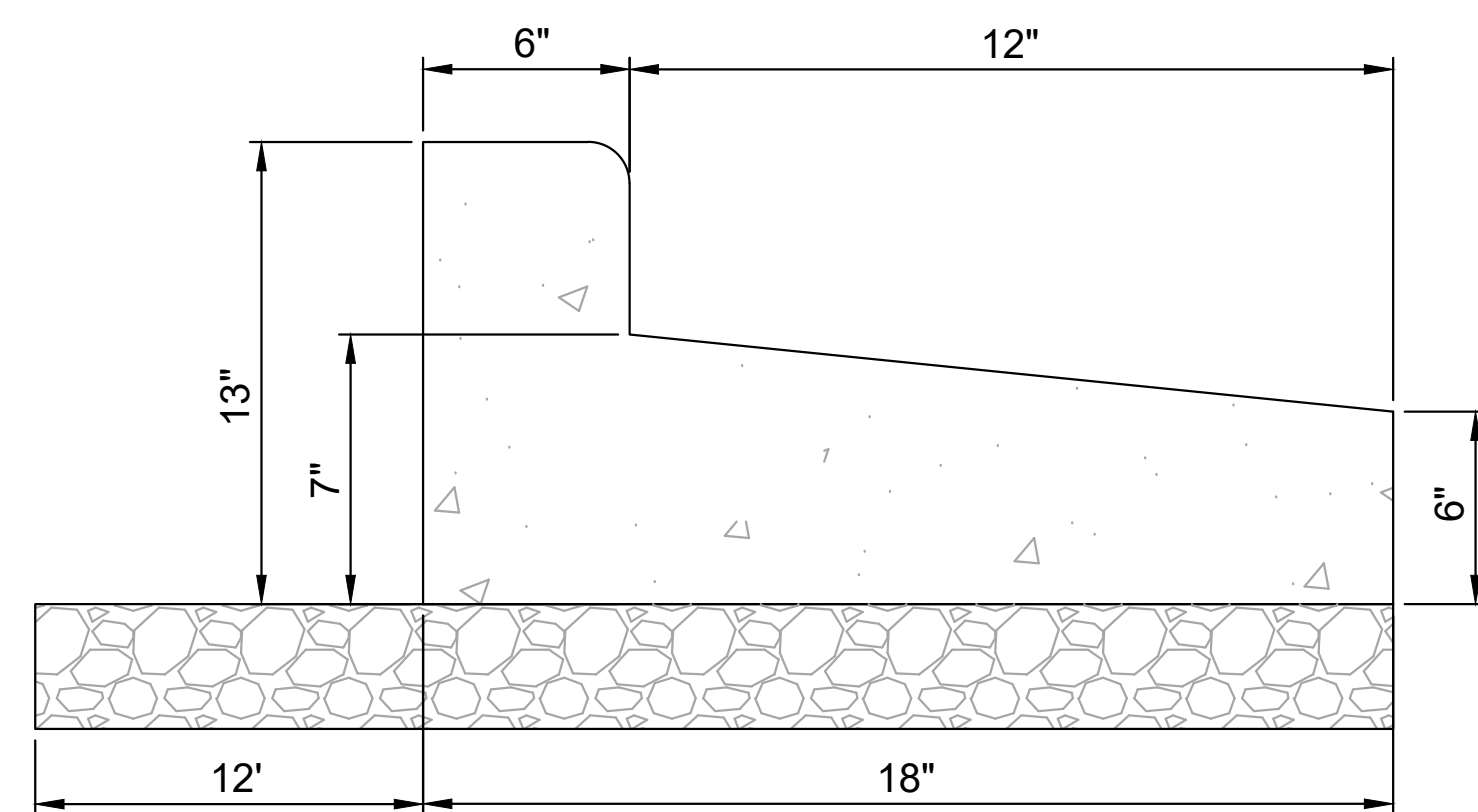
**BIO - RETENTION BASIN DETAIL**  
(N.T.S.)

BOTTOM ELEV. VARIES  
(SEE PLAN)

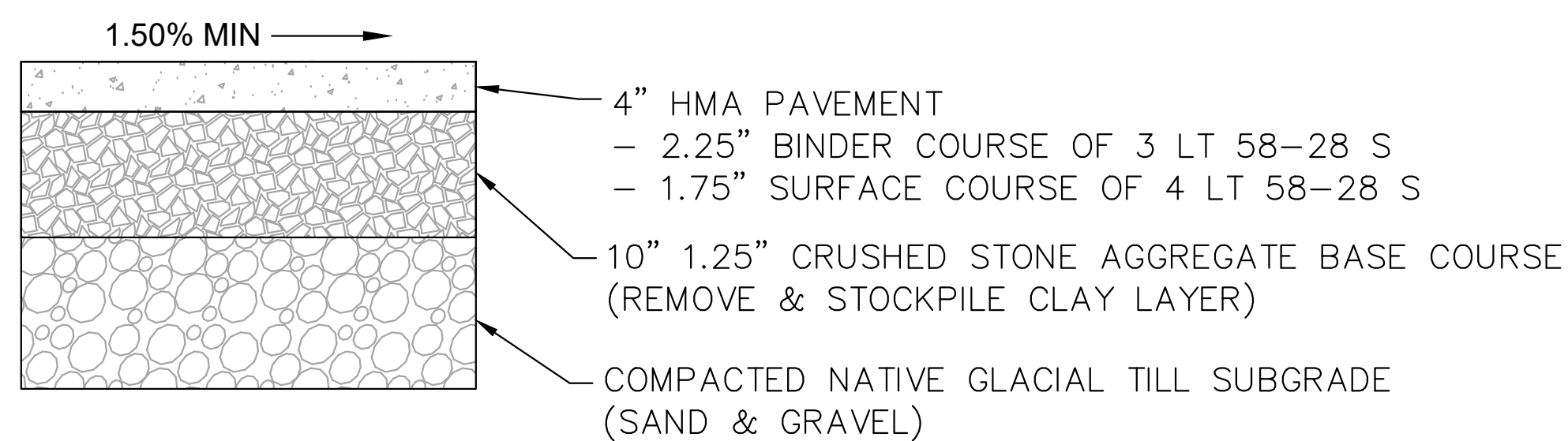
ENGINEERED SOIL MIXTURE SHALL BE  
COMPOSED OF THE FOLLOWING:

- 70% SAND (PER DNR SPEC. 1004)
- 30% COMPOST (PER DNR SPEC. S100)

SEE DNR TECH STD. 1004 FOR ADDITIONAL  
SPECIFICATIONS REGARDING THESE MATERIALS.



**18" VERTICAL FACE REJECT CURB DETAIL**  
N.T.S.



**ASPHALT CROSS SECTION**  
NTS

Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT-183258\_SITE & GRD.dwg

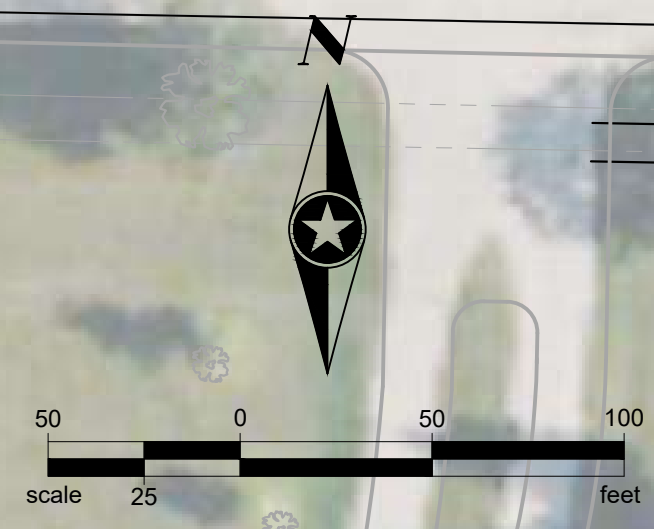
SEH Project	183258	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**DETAILS**

DATE: 3/6/2025 3:42 PM



Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMV183258\5-final-dsgn\5-final-dsgn\10-Civil\cad\dwg\sheet\SUMMV183258\_SITE & GRD.dwg

SEH Project	183258	Rev. #	Plan Revision Issue Description	Date	Rev. #	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#

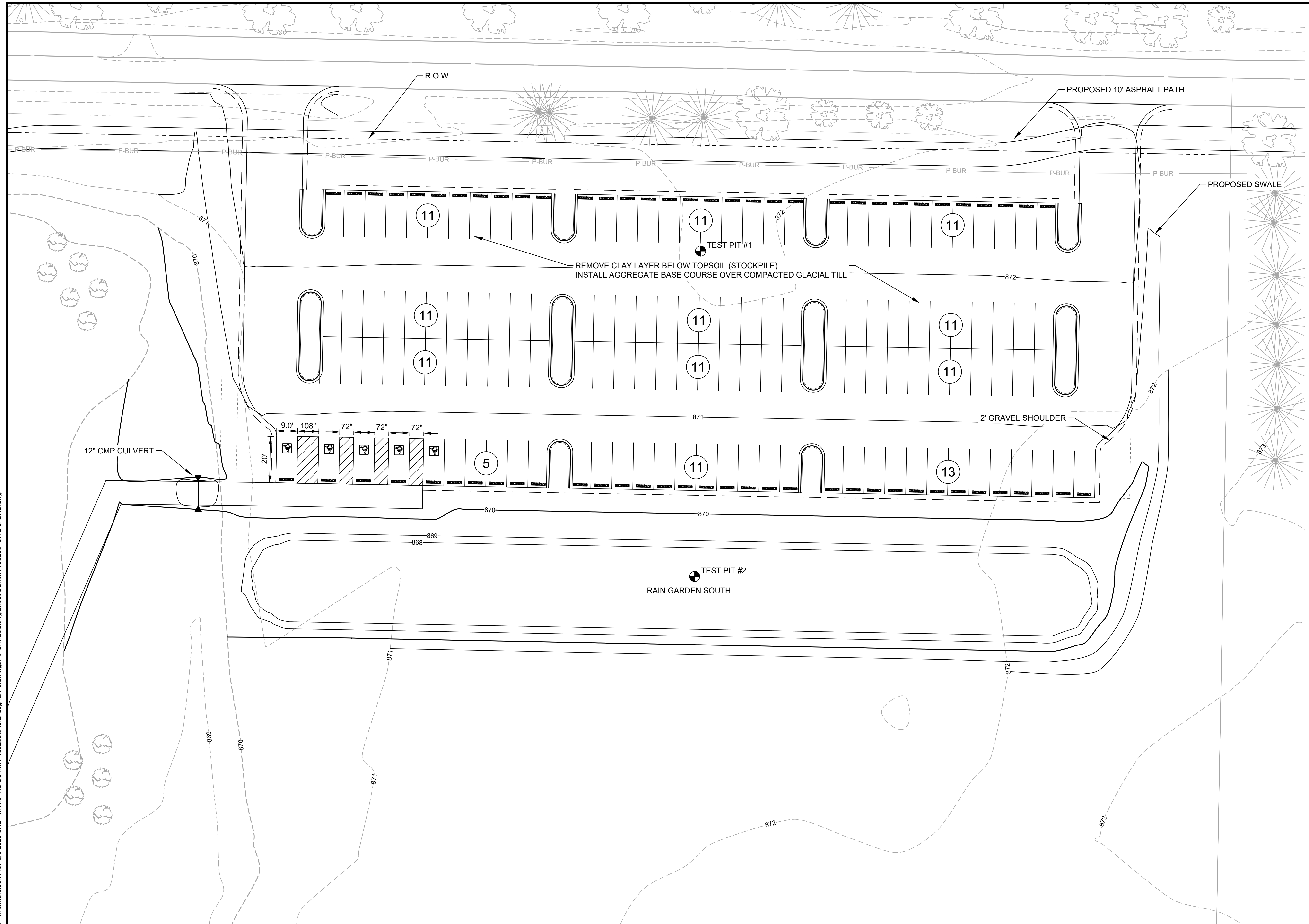


**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**PRELIMINARY SITE PLAN**



- TEST PIT #1  
8" TOPSOIL  
8" CLAY  
GLACIAL TILL MATERIAL
- TEST PIT #2  
8" TOPSOIL  
24" CLAY  
GLACIAL TILL MATERIAL



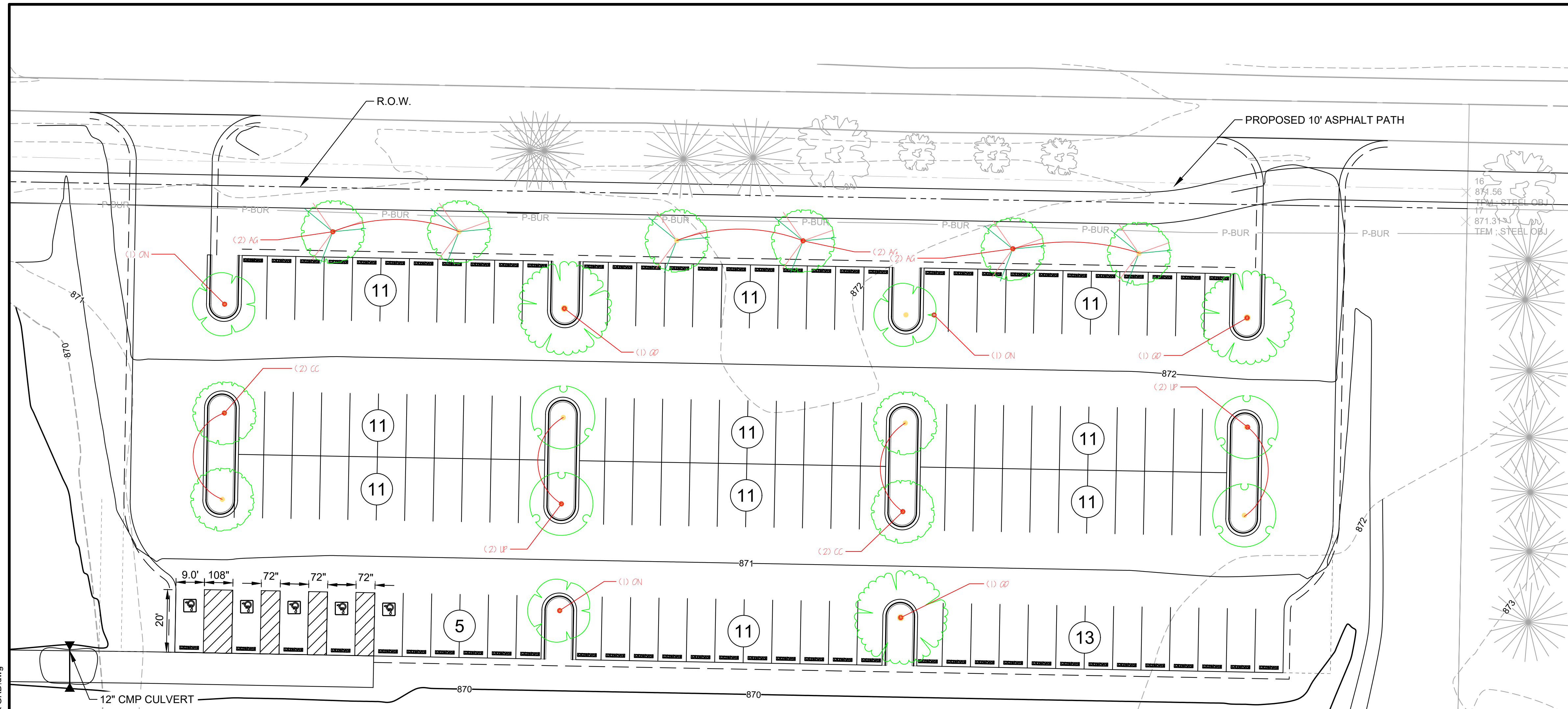
Save: 3/6/2025 3:36 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final.dgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT\183258\_SITE & GRD.dwg

SEH Project	183258	Rev. #	Plan Revision Issue Description	Date	Rev. #	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**GRADING & DRAINAGE PLAN**

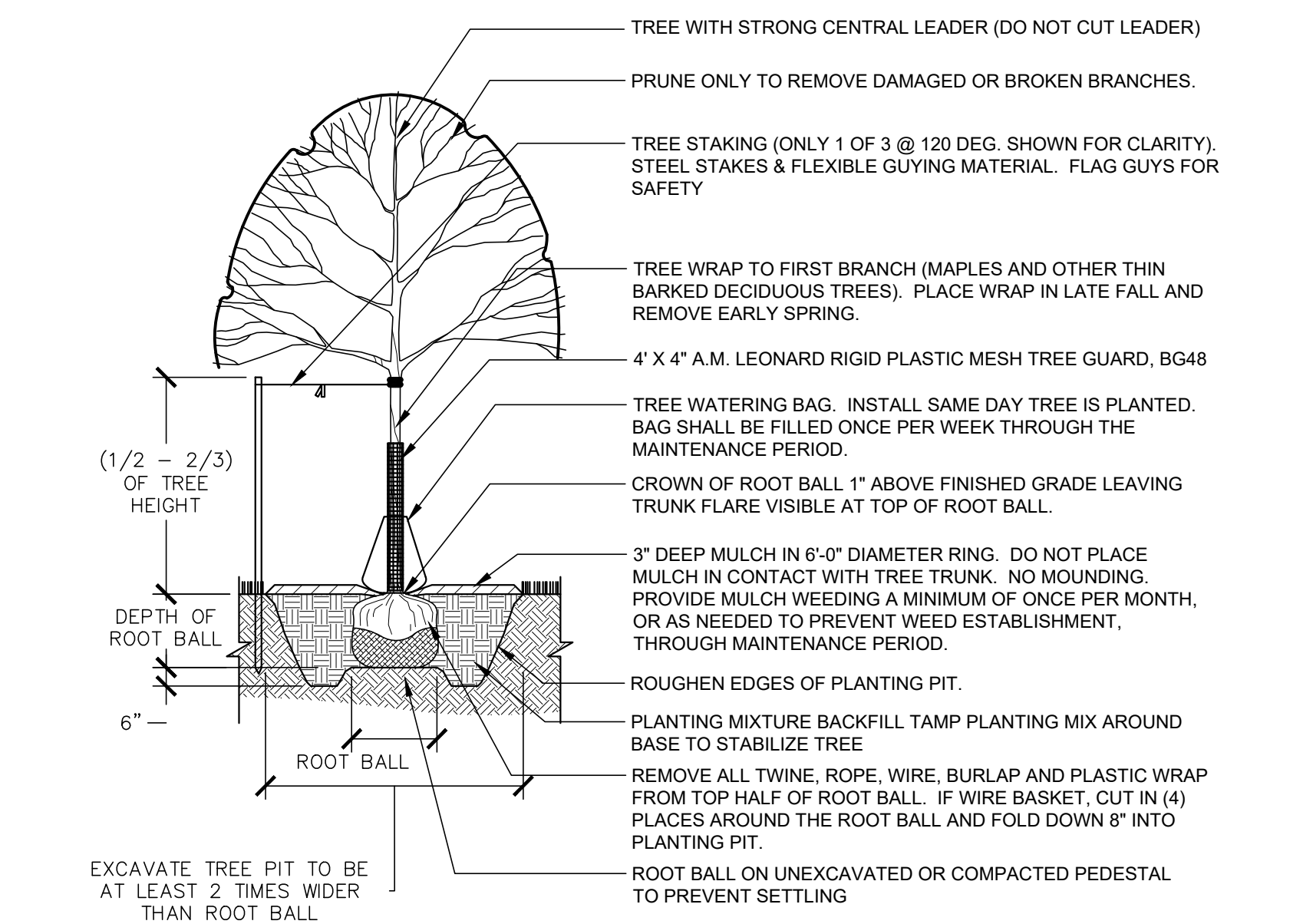


**PLANTING NOTES**

- EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
- AREAS UNDER PLANTING BEDS SHALL NOT CONTAIN COMPACTED AGGREGATE TO ALLOW FOR PROPER DRAINAGE AND GROWTH OF PLANT MATERIAL. REMOVE AGGREGATE AND PERFORM SUBSOILING AS NECESSARY TO OBTAIN LOOSE, FREE DRAINING SUBGRADE BELOW PLANTING BEDS. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTED TREES SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH PER PLANTING DETAILS. MULCH SHALL BE CONSIDERED INCIDENTAL TO PLANT MATERIALS.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**PLANT\_SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	AG	6	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	10' Tall
	CC	4	Celtis occidentalis 'Chicagoland' / Chicagoland Hackberry	2.5" CAL
	GD	3	Gymnocladus dioicus 'Espresso' / Kentucky Coffeetree	2.5" CAL
	ON	3	Ostrya virginiana 'JFS-KW5' / Autumn Treasure® American Hophornbeam	2.5" CAL
	UP	4	Ulmus x 'New Horizon' / New Horizon Elm	2.5" CAL



**1 TREE PLANTING**  
1/4" = 1'-0"

Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT\183258\_SITE & GRD.dwg

SEH Project	183258	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**LANDSCAPE PLAN**



# CONSTRUCTION COST ESTIMATE

Genesee Lake Road Parking Lot

Village of Summit

SEH No.: SUMMV 183258

March 6, 2025

Item No.	Description	Unit	Estimated Quantity	Bid Unit Price	Bid Price
<b>Genesee Lake Road Park Parking Lot</b>					
205.0100	Excavation Common (Parking Lot & Drainage)	1	LS	\$ 35,000.00	\$ 35,000.00
305.0120	Base Aggregate Dense 1-1/4"	3,950	TN	\$ 25.00	\$ 98,750.00
305.0500	Aggregate for Shoulders (2' Parking Lot)	1,100	LF	\$ 3.00	\$ 3,300.00
305.0501	Aggregate for Shoulders (1' Path)	1,425	LF	\$ 2.00	\$ 2,850.00
455.0600	Tack Coat	5,200	SY	\$ 0.15	\$ 780.00
460.5223	HMA Pavement 3 LT 58-28 S	775	TN	\$ 75.00	\$ 58,125.00
460.5225	HMA Pavement 5 LT 58-28 S	600	TN	\$ 85.00	\$ 51,000.00
520.1012	Apron Endwalls for Culvert Pipe 12-Inch Polyethylene	2	EA	\$ 250.00	\$ 500.00
530.0112	Culvert Pipe Corrugated Polyethylene 12-Inch	18	LF	\$ 75.00	\$ 1,350.00
601.0407	Concrete Curb and Gutter 18" Vertical Face	620	LF	\$ 50.00	\$ 31,000.00
625.0500	Strip and Salvage Topsoil	1	LS	\$ 20,000.00	\$ 20,000.00
628.2004	Restoration with Net-Free Erosion Matting	6,000	SY	\$ 5.00	\$ 30,000.00
628.9000	Erosion Control	1	LS	\$ 2,000.00	\$ 2,000.00
632.0101	Trees	20	EA	\$ 500.00	\$ 10,000.00
646.1020	Pavement Marking Parking Stall Epoxy 4" (white)	2,400	LF	\$ 3.00	\$ 7,200.00
646.5220	Pavement Marking Handicap Symbol Epoxy (white)	5	EA	\$ 300.00	\$ 1,500.00
646.5221	Pavement Marking Handicap Stall Epoxy 4" (white)	450	LF	\$ 3.00	\$ 1,350.00
647.0100	Parking Stops	67	EA	\$ 175.00	\$ 11,725.00
999.0100	Fill Berm Construction	1	LS	\$ 5,000.00	\$ 5,000.00

**Subtotal, Genesee Lake Road Park Parking Lot: \$ 371,430.00**

Construction Total	\$ 371,430.00
Contingency	\$ 6,000.00
Engineering and Construction Management	\$ 50,200.00
<b>Overall Base Project Costs</b>	<b>\$ 427,630.00</b>

**Village's Parking Lot Budget:**

**\$430,870.00**

# VILLAGE OF SUMMIT, WISCONSIN

## CONSTRUCTION PLANS FOR GENESEE LAKE ROAD PARK PARKING LOT

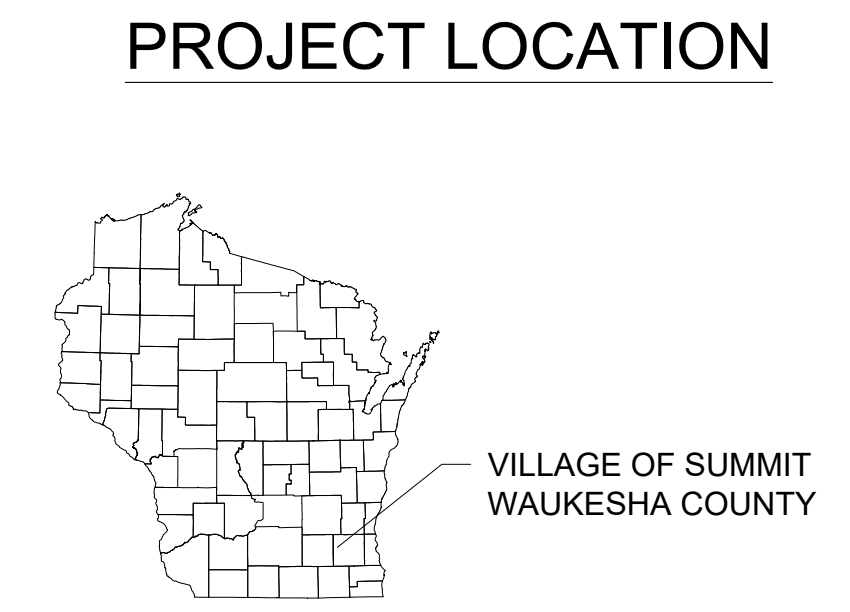
EXISTING	
---	RIGHT OF WAY
---	PERMANENT EASEMENT
---	PROPERTY LINE
△ XX	HORIZONTAL CONTROL POINT
× BM	BENCHMARK
● #	SURVEY MARKER
○	SOIL BORING
○	SANITARY SEWER AND MANHOLE
FM	FORCE MAIN AND LIFT STATION
○	SANITARY SEWER SERVICE & CLEANOUT
○	WATER MAIN, HYDRANT, VALVE AND MANHOLE
○	WATER SERVICE AND CURB STOP BOX
○	STORM SEWER, MANHOLE AND CATCH BASIN
○	CULVERT AND APRON ENDWALL
○	GAS MAIN, VALVE, VENT AND METER
○	HANDHOLE
○	BURIED FIBER OPTIC CABLE AND MANHOLE
○	BURIED PHONE CABLE, PEDESTAL AND MANHOLE
○	BURIED TV CABLE, PEDESTAL AND MANHOLE
○	BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
○	OVERHEAD WIRE, POLE AND GUY WIRE
○	LIGHT POLE
○	TRAFFIC SIGNAL
○	STREET NAME SIGN
○	SIGN (NON STREET NAME)
---	RAILROAD TRACKS
○	DECIDUOUS AND CONIFEROUS TREE
○	BUSH / SHRUB AND STUMP
---	EDGE OF WOODED AREA
---	WETLAND
---	BUILDING
---	FENCE (UNIDENTIFIED)
---	BARBED WIRE FENCE
---	CHAIN LINK FENCE
---	ELECTRIC WIRE FENCE
---	WOOD FENCE
---	WOVEN WIRE FENCE
---	PLATE BEAM GUARDRAIL
---	CABLE GUARDRAIL
○	POST / BOLLARD
---	RETAINING WALL
6+00	STREET CENTERLINE
---	RIGHT-OF-WAY
---	PERMANENT EASEMENT
---	TEMPORARY EASEMENT
---	CONSTRUCTION LIMITS
○	SANITARY SEWER, BULKHEAD AND MANHOLE
FM	FORCE MAIN
○	SANITARY SERVICE AND CLEANOUT
○	WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
○	WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
○	WATER SERVICE AND CURB STOP BOX
○	STORM SEWER, MANHOLE AND CATCH BASIN
○	CULVERT AND APRON ENDWALL
---	DRAIN TILE
---	DITCH / SWALE
---	RIPRAP
○	STREET NAME SIGN
○	SIGN (NON STREET NAME)
---	RETAINING WALL



### INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS
3	PRELIMINARY SITE PLAN
4	DRAINAGE & GRADING PLAN
5	LANDSCAPE PLAN

THIS PLAN CONTAINS 5 SHEETS.



Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PTT\S\SUMMV1832558\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMV1832558\_SITE & GRD.dwg

NOTE:  
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D.  
THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE  
GUIDELINES OF CI/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE  
COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

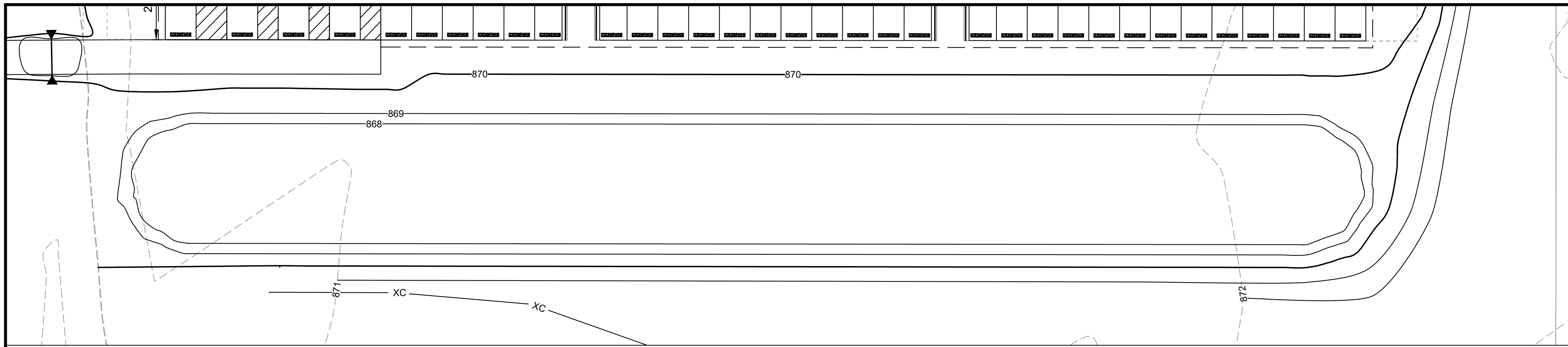
THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT  
811 BEFORE COMMENCING EXCAVATION.



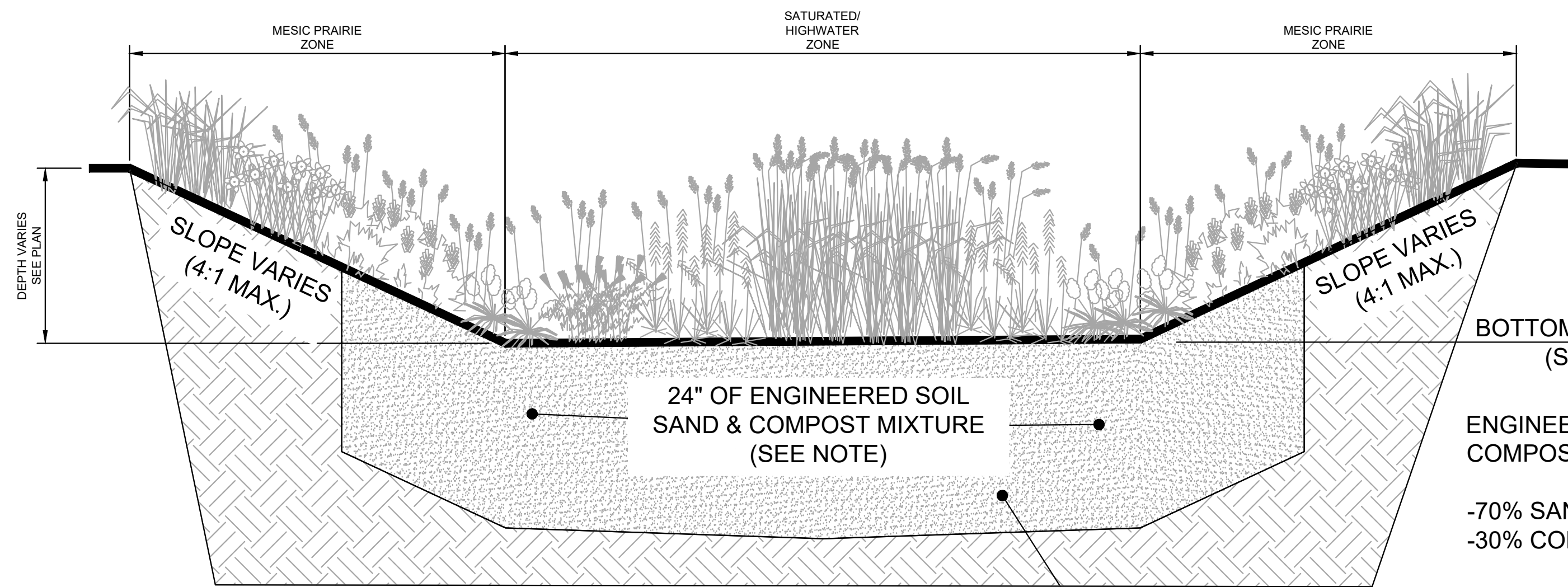
VILLAGE OF SUMMIT, WISCONSIN



PROJECT NO.  
183258  
**1**  
of 5



**RAIN GARDEN SOUTH DETAIL**  
1" = 20'



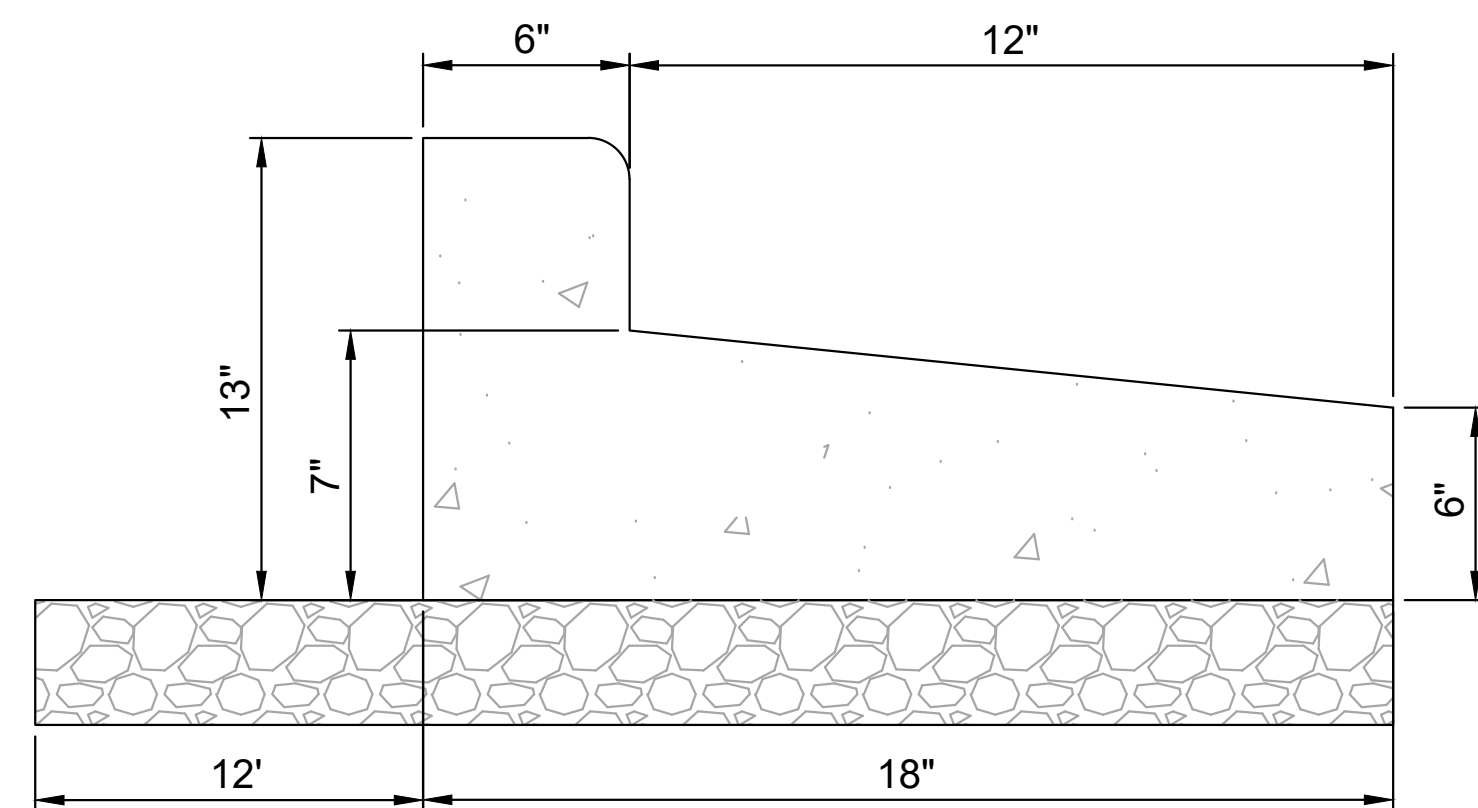
**BIO - RETENTION BASIN DETAIL**  
(N.T.S.)

BOTTOM ELEV. VARIES  
(SEE PLAN)

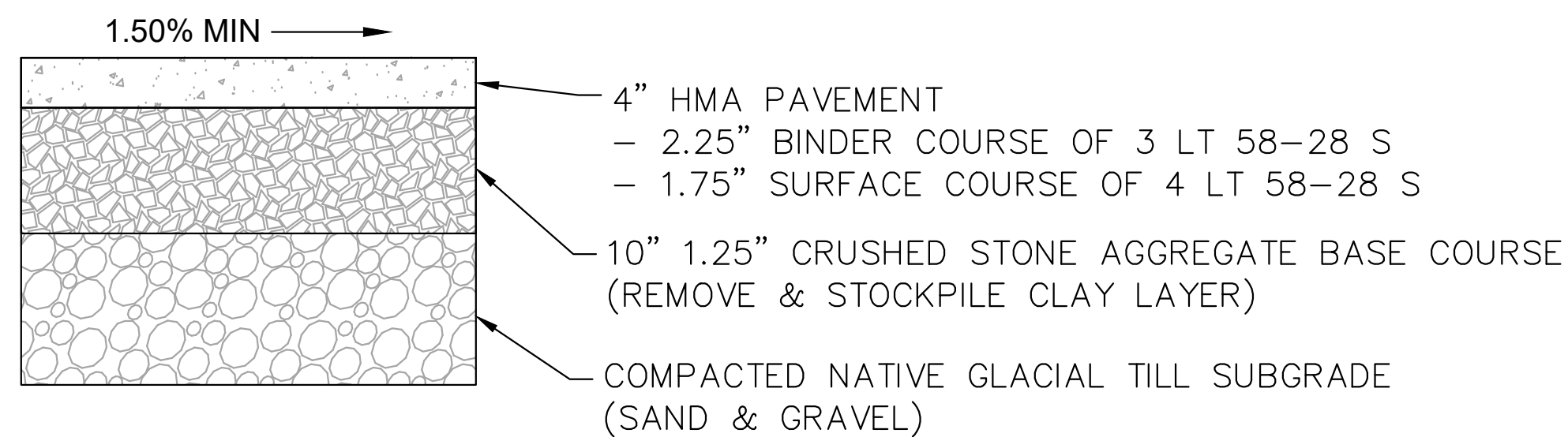
ENGINEERED SOIL MIXTURE SHALL BE  
COMPOSED OF THE FOLLOWING:

- 70% SAND (PER DNR SPEC. 1004)
- 30% COMPOST (PER DNR SPEC. S100)

SEE DNR TECH STD. 1004 FOR ADDITIONAL  
SPECIFICATIONS REGARDING THESE MATERIALS.



**18" VERTICAL FACE REJECT CURB DETAIL**  
N.T.S.



**ASPHALT CROSS SECTION**  
NTS

Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT-183258\_SITE & GRD.dwg

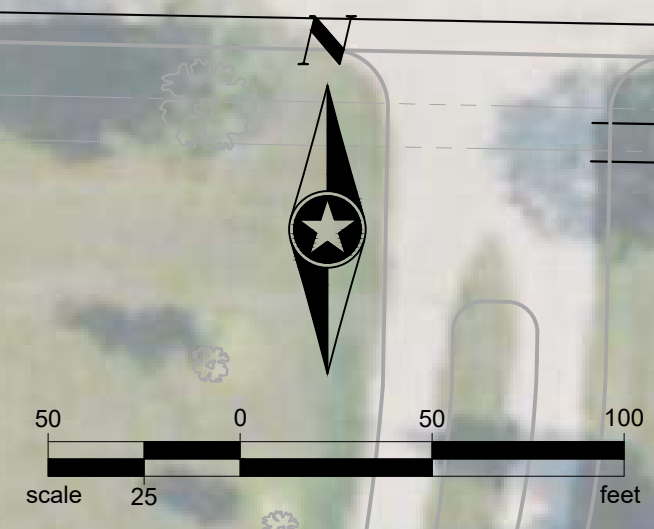
SEH Project	183258	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**DETAILS**

DATE: 3/6/2025 3:42 PM



Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final-dsgn\5-final-dsgn\10-Civil\cad\dwg\sheet\SUMMIT\183258\_SITE & GRD.dwg

SEH Project	183258	Rev. #	Plan Revision Issue Description	Date	Rev. #	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#

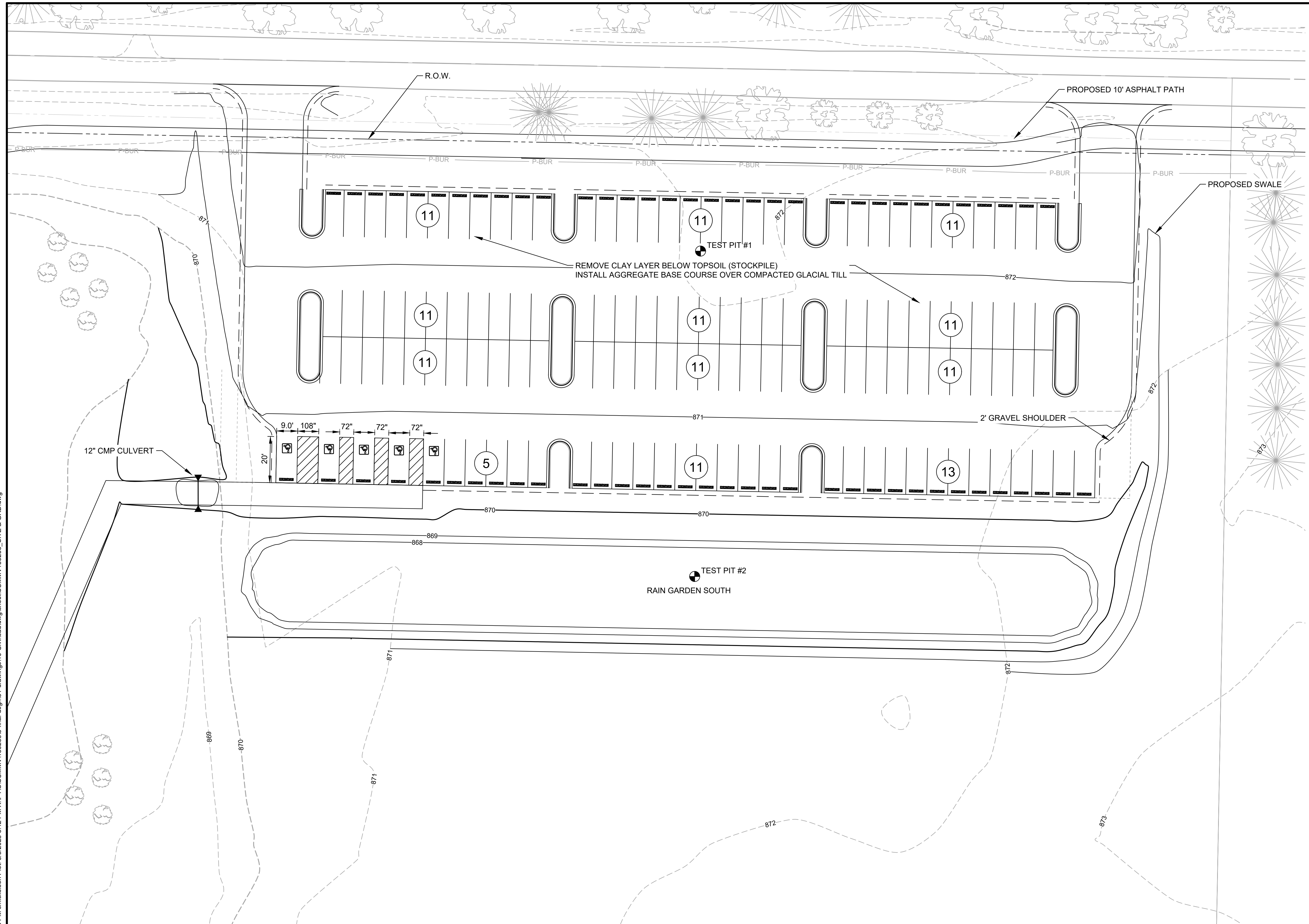


**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**PRELIMINARY SITE PLAN**



- TEST PIT #1
- 8" TOPSOIL
- 8" CLAY
- GLACIAL TILL MATERIAL
- TEST PIT #2
- 8" TOPSOIL
- 24" CLAY
- GLACIAL TILL MATERIAL



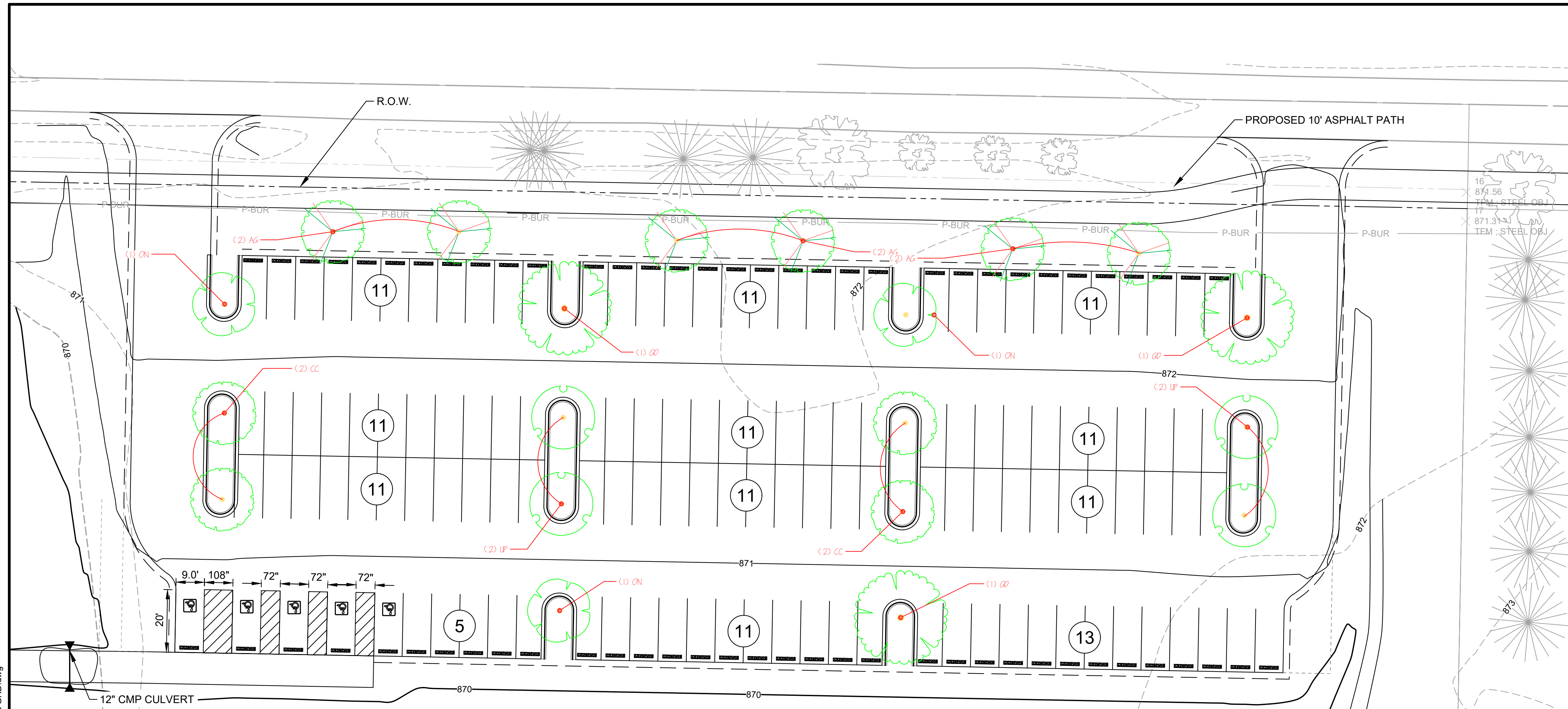
Save: 3/6/2025 3:36 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final.dwg sheet\SUMMIT\183258\_SITE & GRD.dwg

SEH Project	183258	Rev. #	Plan Revision Issue Description	Date	Rev. #	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**GRADING & DRAINAGE PLAN**

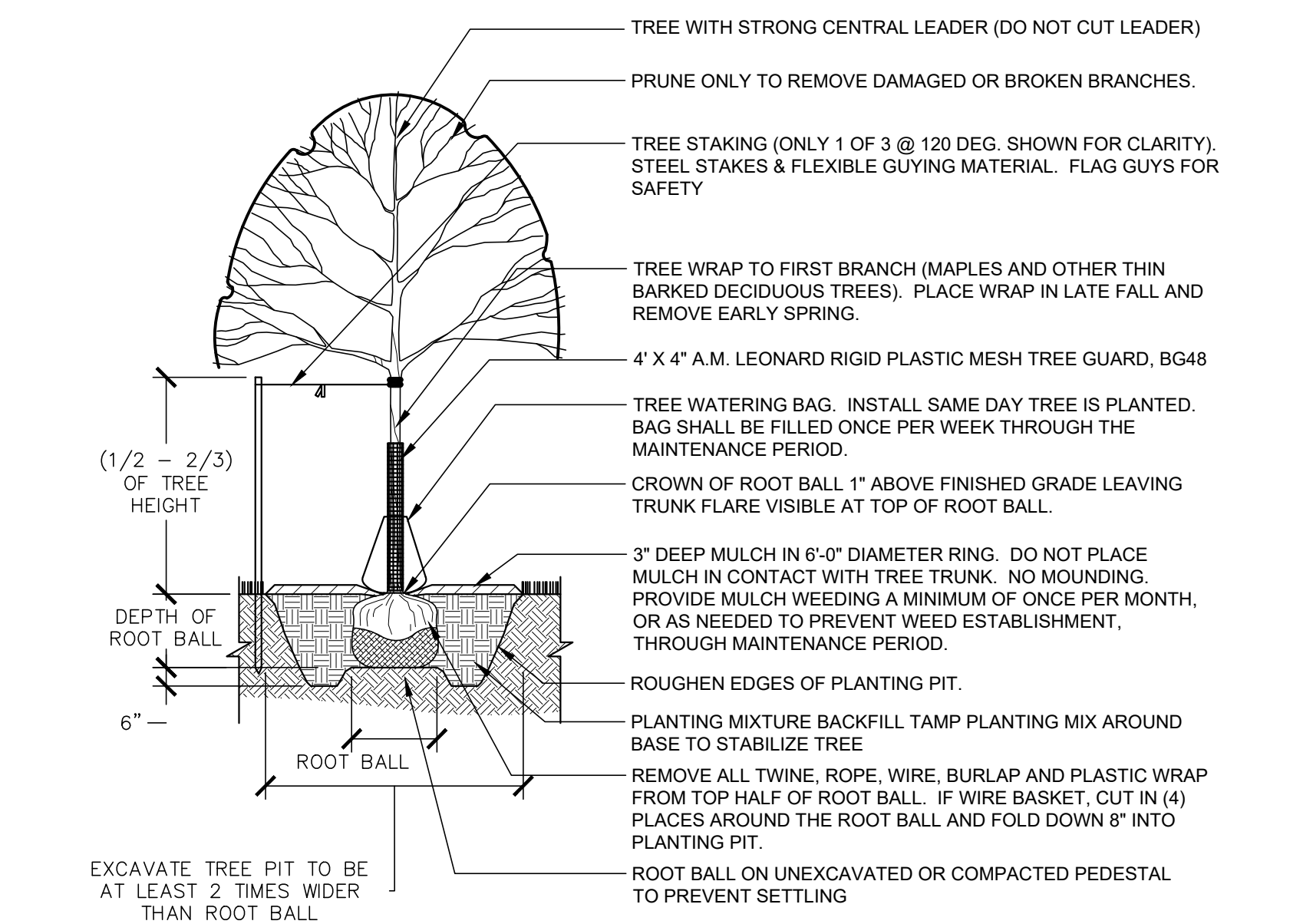


**PLANTING NOTES**

- EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
- AREAS UNDER PLANTING BEDS SHALL NOT CONTAIN COMPACTED AGGREGATE TO ALLOW FOR PROPER DRAINAGE AND GROWTH OF PLANT MATERIAL. REMOVE AGGREGATE AND PERFORM SUBSOILING AS NECESSARY TO OBTAIN LOOSE, FREE DRAINING SUBGRADE BELOW PLANTING BEDS. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTED TREES SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH PER PLANTING DETAILS. MULCH SHALL BE CONSIDERED INCIDENTAL TO PLANT MATERIALS.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**PLANT\_SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	AG	6	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	10' Tall
	CC	4	Celtis occidentalis 'Chicagoland' / Chicagoland Hackberry	2.5" CAL
	GD	3	Gymnocladus dioicus 'Espresso' / Kentucky Coffeetree	2.5" CAL
	ON	3	Ostrya virginiana 'JFS-KW5' / Autumn Treasure® American Hophornbeam	2.5" CAL
	UP	4	Ulmus x 'New Horizon' / New Horizon Elm	2.5" CAL



**1 TREE PLANTING**  
1/4" = 1'-0"

Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT\183258\_SITE & GRD.dwg

SEH Project	183258	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**LANDSCAPE PLAN**



# CONSTRUCTION COST ESTIMATE

Genesee Lake Road Parking Lot

Village of Summit

SEH No.: SUMMV 183258

March 6, 2025

Item No.	Description	Unit	Estimated Quantity	Bid Unit Price	Bid Price
<b>Genesee Lake Road Park Parking Lot</b>					
205.0100	Excavation Common (Parking Lot & Drainage)	1	LS	\$ 35,000.00	\$ 35,000.00
305.0120	Base Aggregate Dense 1-1/4"	3,950	TN	\$ 25.00	\$ 98,750.00
305.0500	Aggregate for Shoulders (2' Parking Lot)	1,100	LF	\$ 3.00	\$ 3,300.00
305.0501	Aggregate for Shoulders (1' Path)	1,425	LF	\$ 2.00	\$ 2,850.00
455.0600	Tack Coat	5,200	SY	\$ 0.15	\$ 780.00
460.5223	HMA Pavement 3 LT 58-28 S	775	TN	\$ 75.00	\$ 58,125.00
460.5225	HMA Pavement 5 LT 58-28 S	600	TN	\$ 85.00	\$ 51,000.00
520.1012	Apron Endwalls for Culvert Pipe 12-Inch Polyethylene	2	EA	\$ 250.00	\$ 500.00
530.0112	Culvert Pipe Corrugated Polyethylene 12-Inch	18	LF	\$ 75.00	\$ 1,350.00
601.0407	Concrete Curb and Gutter 18" Vertical Face	620	LF	\$ 50.00	\$ 31,000.00
625.0500	Strip and Salvage Topsoil	1	LS	\$ 20,000.00	\$ 20,000.00
628.2004	Restoration with Net-Free Erosion Matting	6,000	SY	\$ 5.00	\$ 30,000.00
628.9000	Erosion Control	1	LS	\$ 2,000.00	\$ 2,000.00
632.0101	Trees	20	EA	\$ 500.00	\$ 10,000.00
646.1020	Pavement Marking Parking Stall Epoxy 4" (white)	2,400	LF	\$ 3.00	\$ 7,200.00
646.5220	Pavement Marking Handicap Symbol Epoxy (white)	5	EA	\$ 300.00	\$ 1,500.00
646.5221	Pavement Marking Handicap Stall Epoxy 4" (white)	450	LF	\$ 3.00	\$ 1,350.00
647.0100	Parking Stops	67	EA	\$ 175.00	\$ 11,725.00
999.0100	Fill Berm Construction	1	LS	\$ 5,000.00	\$ 5,000.00

**Subtotal, Genesee Lake Road Park Parking Lot: \$ 371,430.00**

Construction Total	\$ 371,430.00
Contingency	\$ 6,000.00
Engineering and Construction Management	\$ 50,200.00
<b>Overall Base Project Costs</b>	<b>\$ 427,630.00</b>

**Village's Parking Lot Budget:**

**\$430,870.00**



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

### MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 6, 2025

Re: Discussion and Action on Genesee Lake Road Park Parking Lot Bid Documents and Advertisement for Bids

---

#### PURPOSE:

To request Village Board approval of the bid documents completed by the Village Engineer, SEH, for the Genesee Lake Road Park Parking Lot and to authorize advertisement for bids.

#### BACKGROUND:

SEH has completed the bid package for the Genesee Lake Road Park Parking Lot. The cost estimates have been updated to reflect the final design. Note that the berm construction with the excess clean fill from the project may be reduced/removed in the event that a developer is found who is in need of clean fill.

The total updated estimated cost for all work is summarized below:

Description	Estimated Total Cost (Construction & Engineering)	Approved 2025 Budget
Genesee Lake Road Park Parking Lot Base Bid	\$427,630	\$430,870
<b>Total Genesee Lake Road Park Parking Lot</b>	<b>\$427,630</b>	<b>\$430,870</b>

#### RECOMMENDATION:

Village staff recommends that the Village Board approve the bidding documents for the Genesee Lake Road Park Parking Lot as prepared and authorize SEH to advertise for proposals. This project will be bid with the 2025 Road Paving Program. In the event that there is a design change requested by the Village Board or the Plan Commission, SEH should have sufficient time to make those changes and meet the planned bidding timeline of late March.

#### ATTACHMENTS:

Cost Estimate for Genesee Lake Road Park Parking Lot

Construction Plans for Genesee Lake Road Park Parking Lot (dated March 6, 2025)

FISCAL IMPACT: To be determined, based on bid results. The 2025 approved budget for this work is \$430,870 (\$268,953 in Impact Fees, \$162,047 in borrowed funds).

RECOMMENDED MOTION: **Motion to approve the bidding documents for the Genesee Lake Road Park Parking Lot as prepared by SEH and to authorize SEH to proceed with advertisement for bids.**



# CONSTRUCTION COST ESTIMATE

Genesee Lake Road Parking Lot

Village of Summit

SEH No.: SUMMV 183258

March 6, 2025

Item No.	Description	Unit	Estimated Quantity	Bid Unit Price	Bid Price
<b>Genesee Lake Road Park Parking Lot</b>					
205.0100	Excavation Common (Parking Lot & Drainage)	1	LS	\$ 35,000.00	\$ 35,000.00
305.0120	Base Aggregate Dense 1-1/4"	3,950	TN	\$ 25.00	\$ 98,750.00
305.0500	Aggregate for Shoulders (2' Parking Lot)	1,100	LF	\$ 3.00	\$ 3,300.00
305.0501	Aggregate for Shoulders (1' Path)	1,425	LF	\$ 2.00	\$ 2,850.00
455.0600	Tack Coat	5,200	SY	\$ 0.15	\$ 780.00
460.5223	HMA Pavement 3 LT 58-28 S	775	TN	\$ 75.00	\$ 58,125.00
460.5225	HMA Pavement 5 LT 58-28 S	600	TN	\$ 85.00	\$ 51,000.00
520.1012	Apron Endwalls for Culvert Pipe 12-Inch Polyethylene	2	EA	\$ 250.00	\$ 500.00
530.0112	Culvert Pipe Corrugated Polyethylene 12-Inch	18	LF	\$ 75.00	\$ 1,350.00
601.0407	Concrete Curb and Gutter 18" Vertical Face	620	LF	\$ 50.00	\$ 31,000.00
625.0500	Strip and Salvage Topsoil	1	LS	\$ 20,000.00	\$ 20,000.00
628.2004	Restoration with Net-Free Erosion Matting	6,000	SY	\$ 5.00	\$ 30,000.00
628.9000	Erosion Control	1	LS	\$ 2,000.00	\$ 2,000.00
632.0101	Trees	20	EA	\$ 500.00	\$ 10,000.00
646.1020	Pavement Marking Parking Stall Epoxy 4" (white)	2,400	LF	\$ 3.00	\$ 7,200.00
646.5220	Pavement Marking Handicap Symbol Epoxy (white)	5	EA	\$ 300.00	\$ 1,500.00
646.5221	Pavement Marking Handicap Stall Epoxy 4" (white)	450	LF	\$ 3.00	\$ 1,350.00
647.0100	Parking Stops	67	EA	\$ 175.00	\$ 11,725.00
999.0100	Fill Berm Construction	1	LS	\$ 5,000.00	\$ 5,000.00

**Subtotal, Genesee Lake Road Park Parking Lot: \$ 371,430.00**

Construction Total	\$ 371,430.00
Contingency	\$ 6,000.00
Engineering and Construction Management	\$ 50,200.00
<b>Overall Base Project Costs</b>	<b>\$ 427,630.00</b>

**Village's Parking Lot Budget:**

**\$430,870.00**

# VILLAGE OF SUMMIT, WISCONSIN

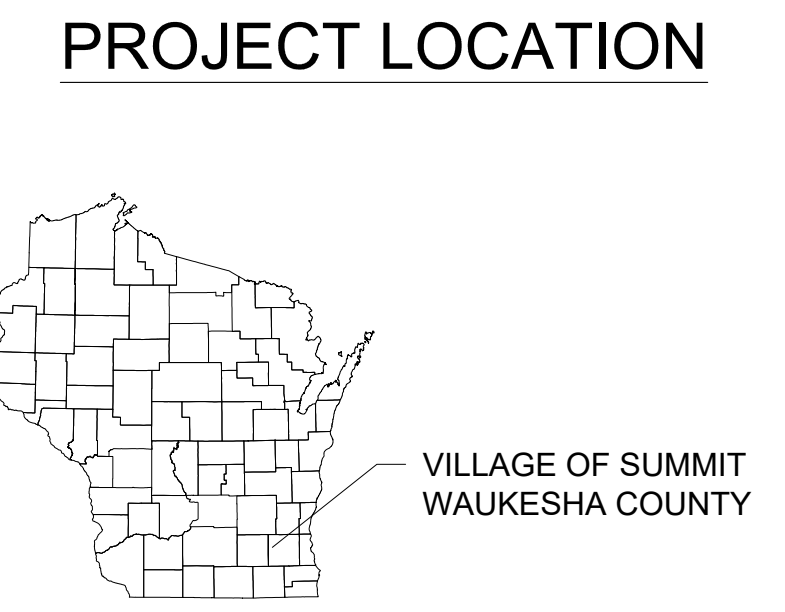
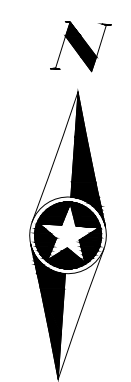
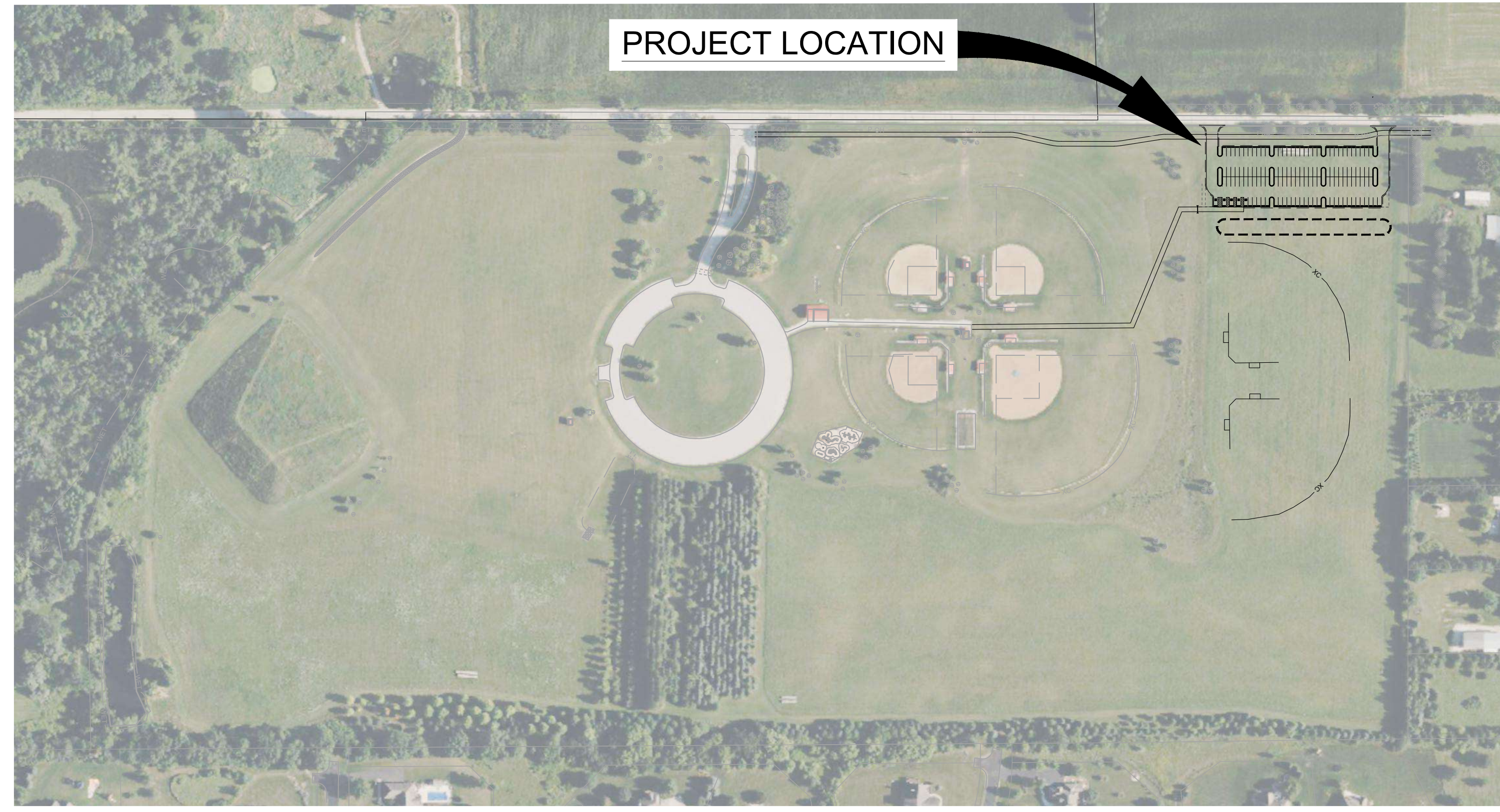
## CONSTRUCTION PLANS FOR GENESEE LAKE ROAD PARK PARKING LOT

EXISTING	
	RIGHT OF WAY
	PERMANENT EASEMENT
	PROPERTY LINE
	HORIZONTAL CONTROL POINT
	BENCHMARK
	SURVEY MARKER
	SOIL BORING
	SANITARY SEWER AND MANHOLE
	FORCE MAIN AND LIFT STATION
	SANITARY SEWER SERVICE & CLEANOUT
	WATER MAIN, HYDRANT, VALVE AND MANHOLE
	WATER SERVICE AND CURB STOP BOX
	STORM SEWER, MANHOLE AND CATCH BASIN
	CULVERT AND APRON ENDWALL
	GAS MAIN, VALVE, VENT AND METER
	HANDHOLE
	BURIED FIBER OPTIC CABLE AND MANHOLE
	BURIED PHONE CABLE, PEDESTAL AND MANHOLE
	BURIED TV CABLE, PEDESTAL AND MANHOLE
	BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
	OVERHEAD WIRE, POLE AND GUY WIRE
	LIGHT POLE
	TRAFFIC SIGNAL
	STREET NAME SIGN
	SIGN (NON STREET NAME)
	RAILROAD TRACKS
	DECIDUOUS AND CONIFEROUS TREE
	BUSH / SHRUB AND STUMP
	EDGE OF WOODED AREA
	WETLAND
	BUILDING
	FENCE (UNIDENTIFIED)
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	ELECTRIC WIRE FENCE
	WOOD FENCE
	WOVEN WIRE FENCE
	PLATE BEAM GUARDRAIL
	CABLE GUARDRAIL
	POST / BOLLARD
	RETAINING WALL
	PROPOSED
	STREET CENTERLINE
	RIGHT-OF-WAY
	PERMANENT EASEMENT
	TEMPORARY EASEMENT
	CONSTRUCTION LIMITS
	SANITARY SEWER, BULKHEAD AND MANHOLE
	FORCE MAIN
	SANITARY SERVICE AND CLEANOUT
	WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
	WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
	WATER SERVICE AND CURB STOP BOX
	STORM SEWER, MANHOLE AND CATCH BASIN
	CULVERT AND APRON ENDWALL
	DRAIN TILE
	DITCH / SWALE
	RIPRAP
	STREET NAME SIGN
	SIGN (NON STREET NAME)
	RETAINING WALL

### INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS
3	PRELIMINARY SITE PLAN
4	DRAINAGE & GRADING PLAN
5	LANDSCAPE PLAN

THIS PLAN CONTAINS 5 SHEETS.



Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PTT\S\SUMMV1832558\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMV1832558\_SITE & GRD.dwg

NOTE:  
THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.

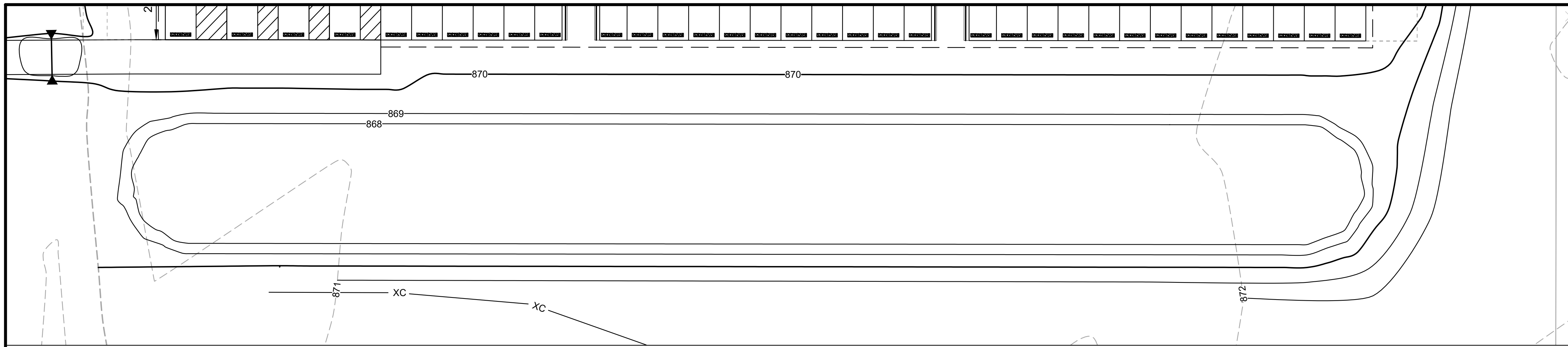


VILLAGE OF SUMMIT, WISCONSIN

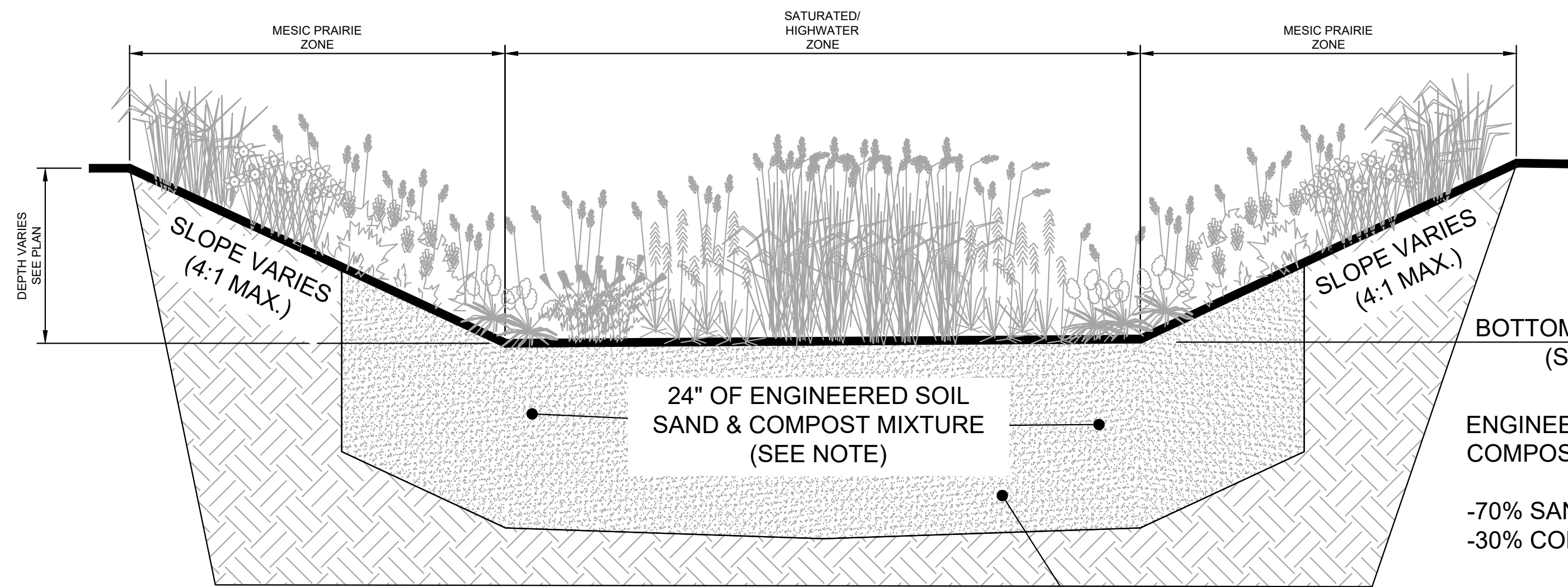


PROJECT NO.  
183258

1  
of 5



**RAIN GARDEN SOUTH DETAIL**  
1" = 20'



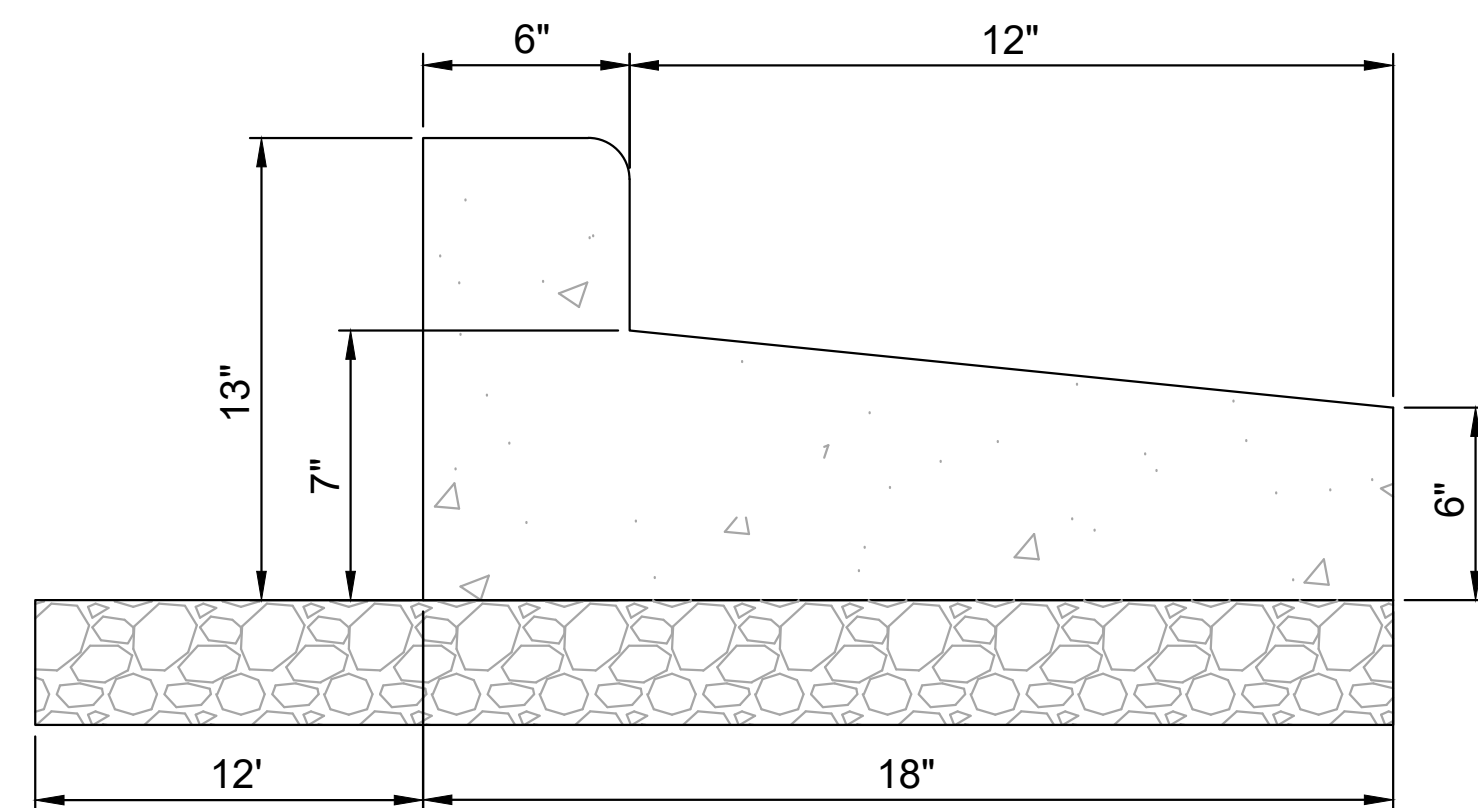
**BIO - RETENTION BASIN DETAIL**  
(N.T.S.)

BOTTOM ELEV. VARIES  
(SEE PLAN)

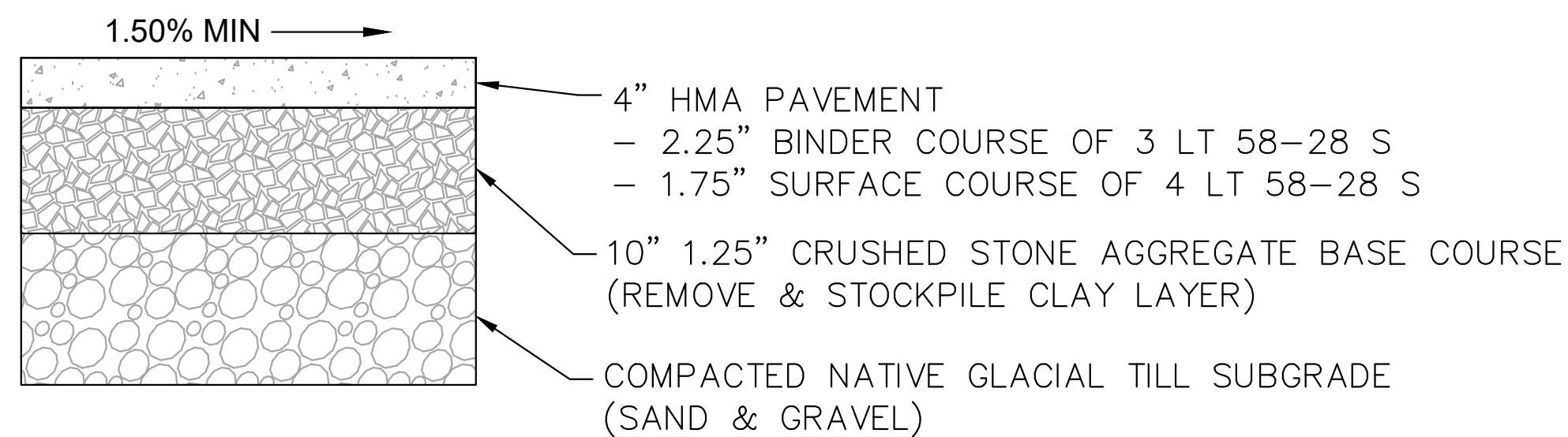
ENGINEERED SOIL MIXTURE SHALL BE  
COMPOSED OF THE FOLLOWING:

- 70% SAND (PER DNR SPEC. 1004)
- 30% COMPOST (PER DNR SPEC. S100)

SEE DNR TECH STD. 1004 FOR ADDITIONAL  
SPECIFICATIONS REGARDING THESE MATERIALS.



**18" VERTICAL FACE REJECT CURB DETAIL**  
N.T.S.



**ASPHALT CROSS SECTION**  
NTS

Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT-183258\_SITE & GRD.dwg

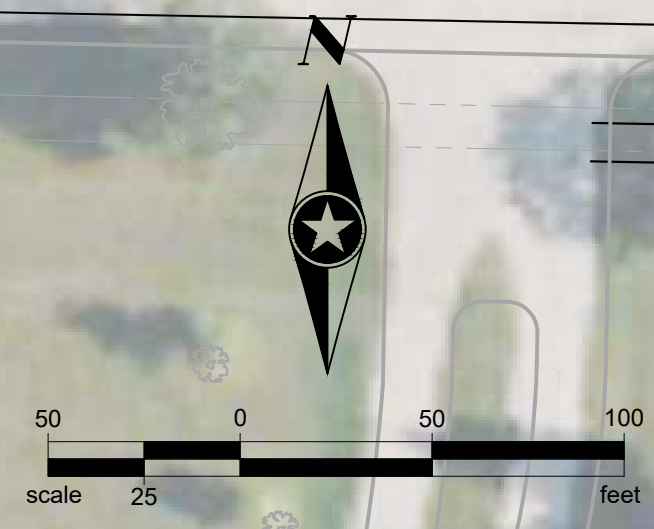
SEH Project	183258	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**DETAILS**

DATE: 3/6/2025 3:42 PM



Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMV183258\5-final-dsgn\5-final-dsgn\10-Civil\cad\dwg\sheet\SUMMV183258\_SITE & GRD.dwg

SEH Project	183258	Rev. #	Plan Revision Issue Description	Date	Rev. #	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#

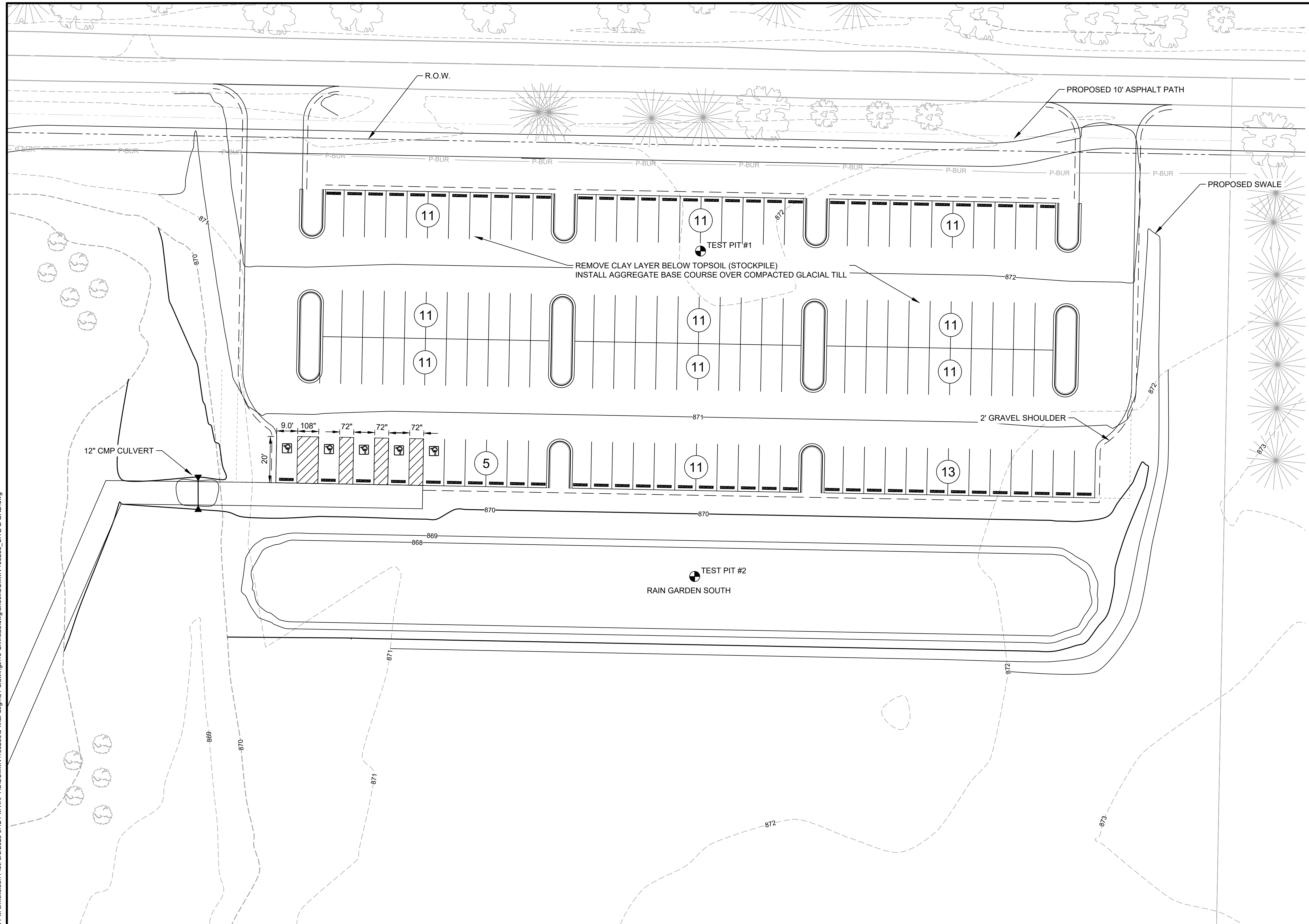


**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**PRELIMINARY SITE PLAN**



- TEST PIT #1  
8" TOPSOIL  
8" CLAY  
GLACIAL TILL MATERIAL
- TEST PIT #2  
8" TOPSOIL  
24" CLAY  
GLACIAL TILL MATERIAL



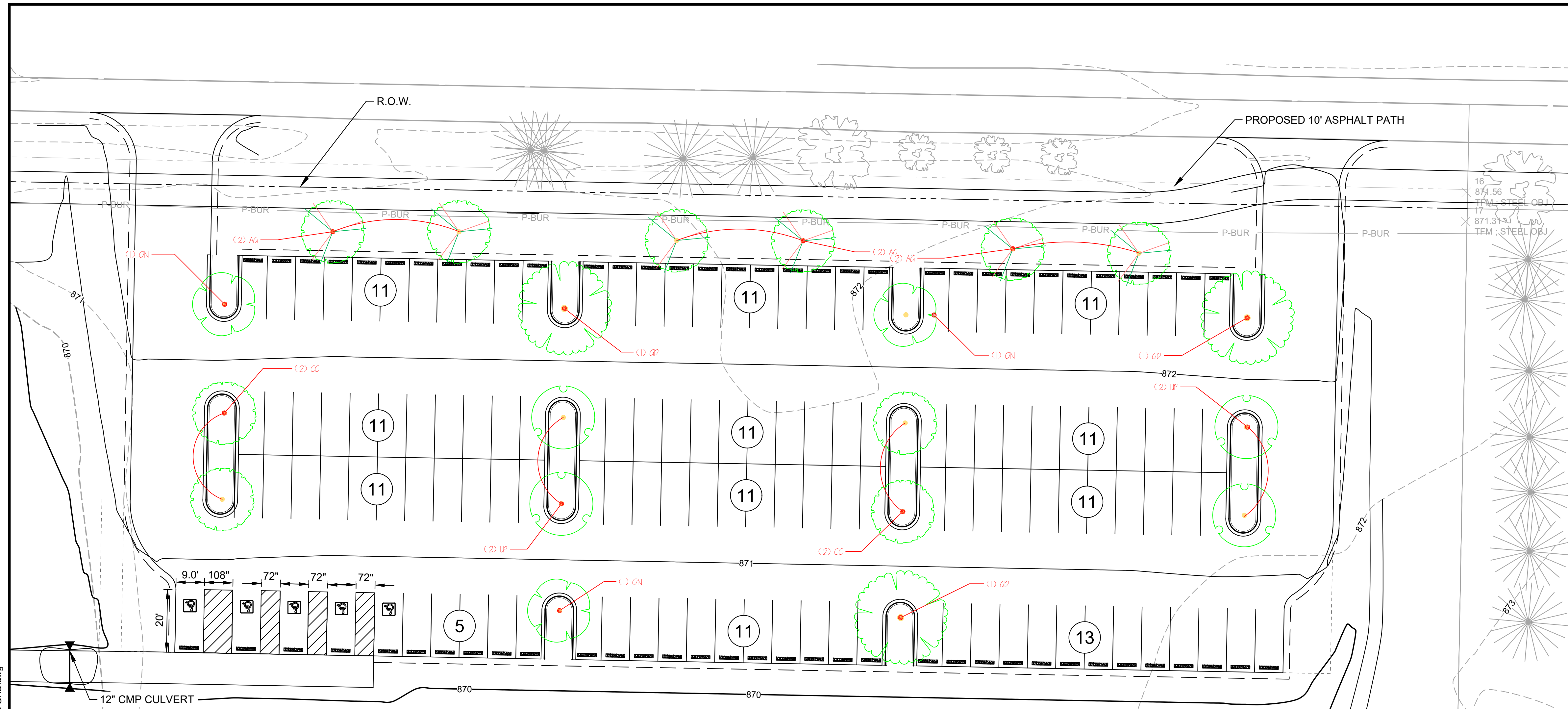
Save: 3/6/2025 3:36 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final.dgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT\183258\_SITE & GRD.dwg

SEH Project	183258	Rev. #	Plan Revision Issue Description	Date	Rev. #	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**GRADING & DRAINAGE PLAN**

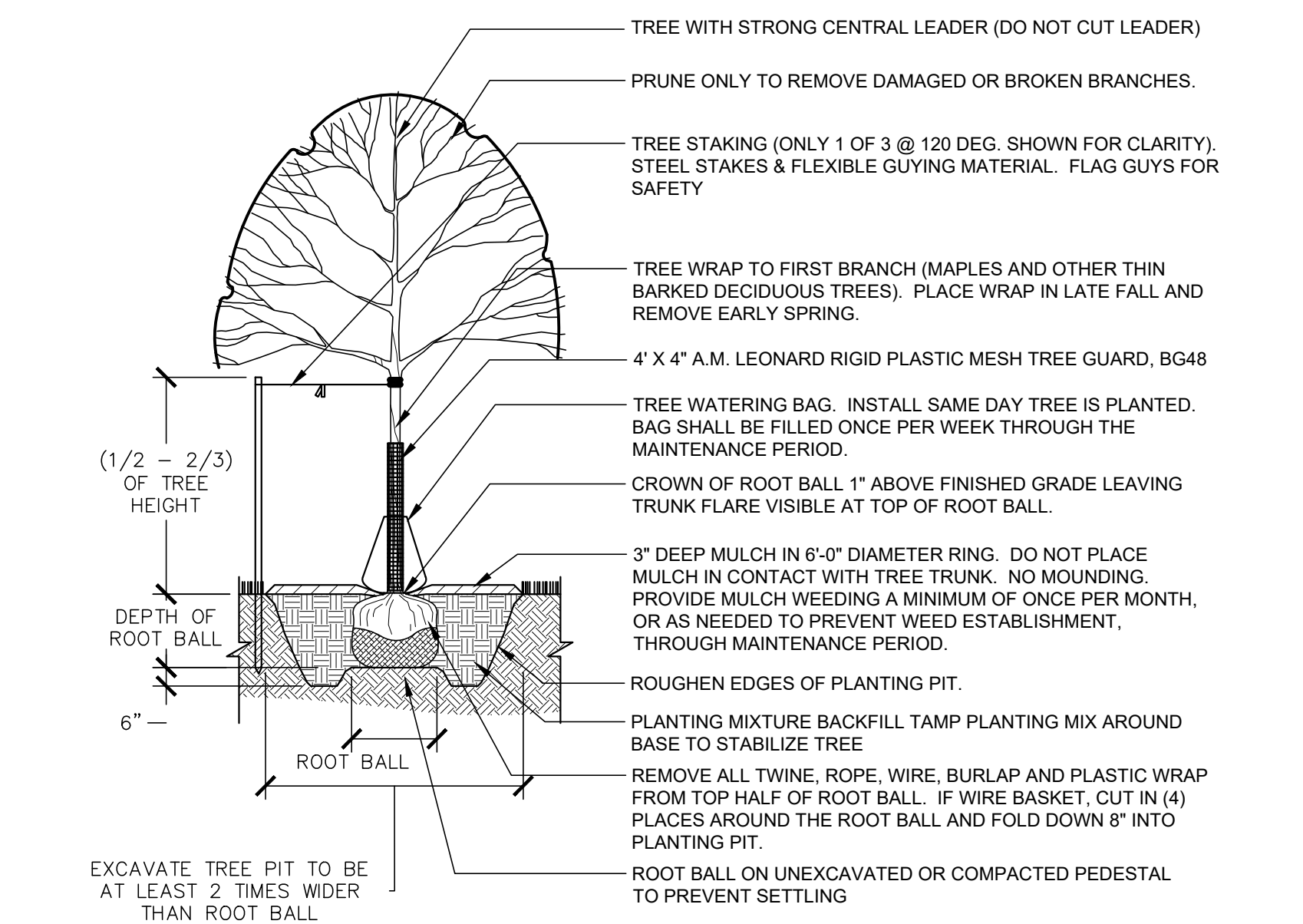


**PLANTING NOTES**

- EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
- AREAS UNDER PLANTING BEDS SHALL NOT CONTAIN COMPACTED AGGREGATE TO ALLOW FOR PROPER DRAINAGE AND GROWTH OF PLANT MATERIAL. REMOVE AGGREGATE AND PERFORM SUBSOILING AS NECESSARY TO OBTAIN LOOSE, FREE DRAINING SUBGRADE BELOW PLANTING BEDS. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTED TREES SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH PER PLANTING DETAILS. MULCH SHALL BE CONSIDERED INCIDENTAL TO PLANT MATERIALS.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**PLANT\_SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	AG	6	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	10' Tall
	CC	4	Celtis occidentalis 'Chicagoland' / Chicagoland Hackberry	2.5" CAL
	GD	3	Gymnocladus dioicus 'Espresso' / Kentucky Coffeetree	2.5" CAL
	ON	3	Ostrya virginiana 'JFS-KW5' / Autumn Treasure® American Hophornbeam	2.5" CAL
	UP	4	Ulmus x 'New Horizon' / New Horizon Elm	2.5" CAL



**1 TREE PLANTING**  
1/4" = 1'-0"

Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT\183258\_SITE & GRD.dwg

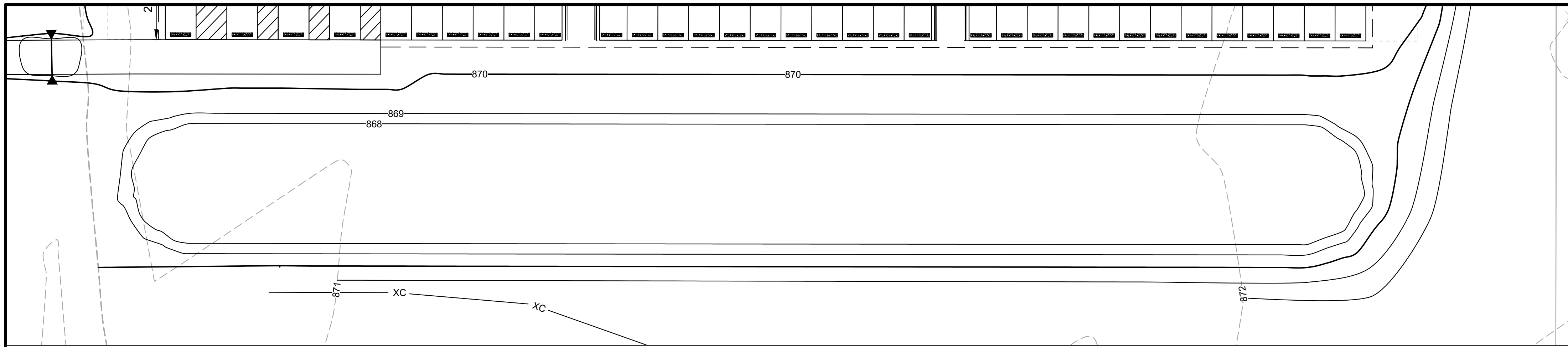
SEH Project	183258	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



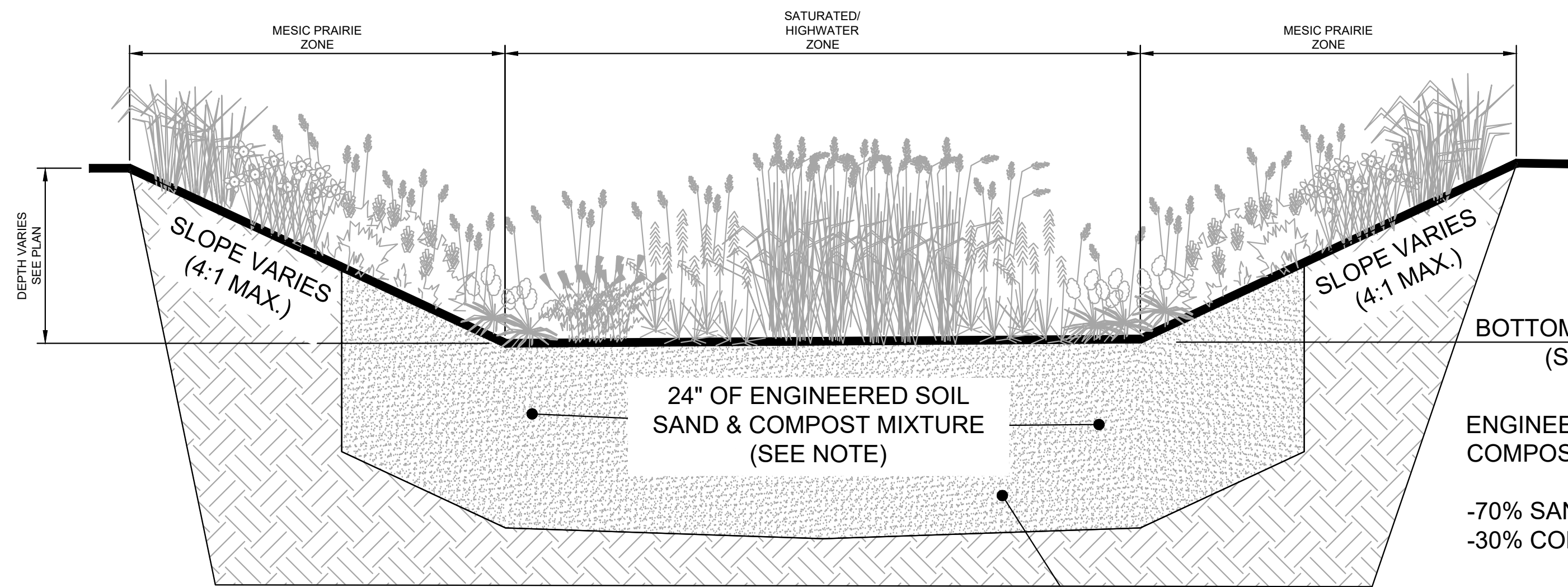
**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**LANDSCAPE PLAN**





**RAIN GARDEN SOUTH DETAIL**  
1" = 20'



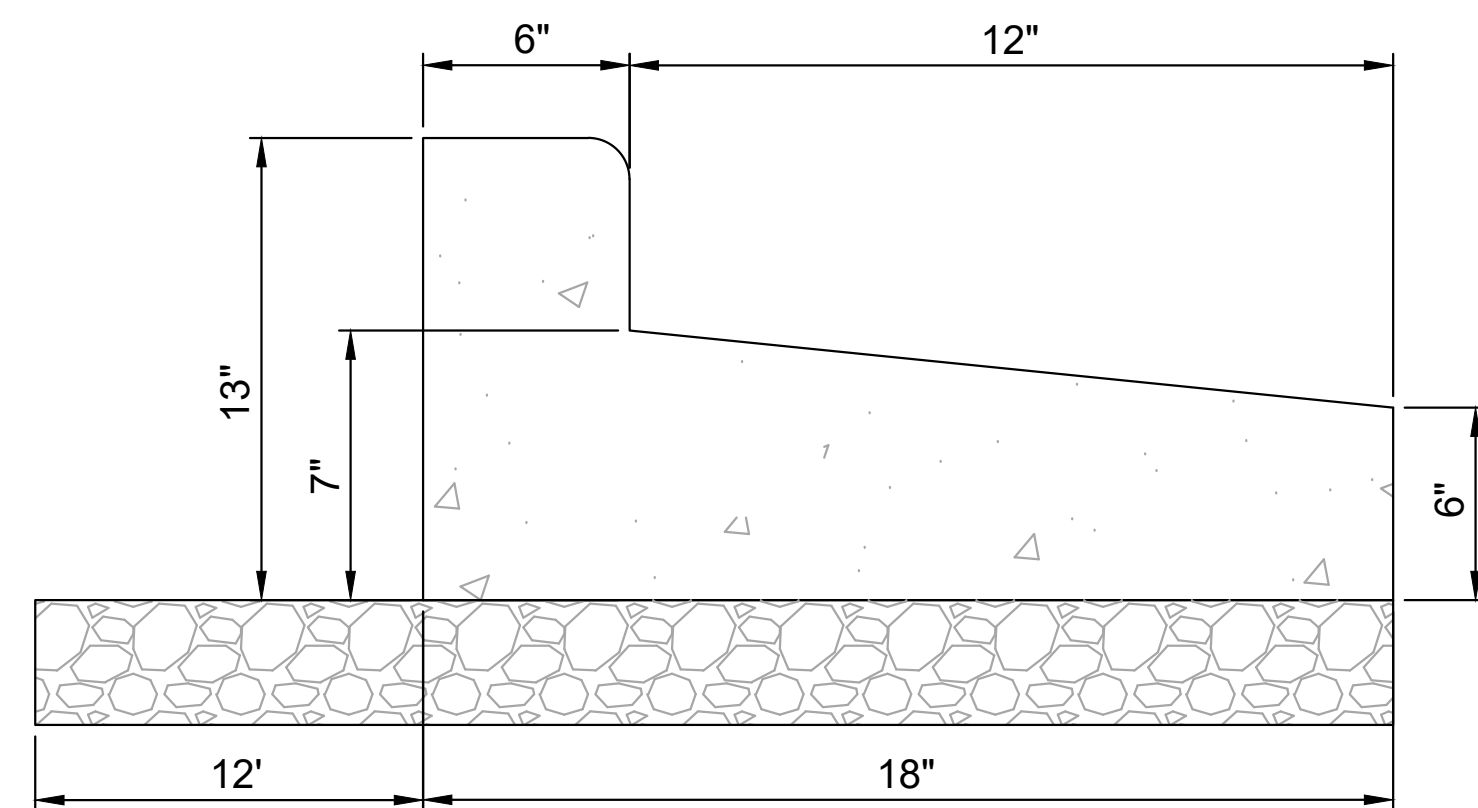
**BIO - RETENTION BASIN DETAIL**  
(N.T.S.)

BOTTOM ELEV. VARIES  
(SEE PLAN)

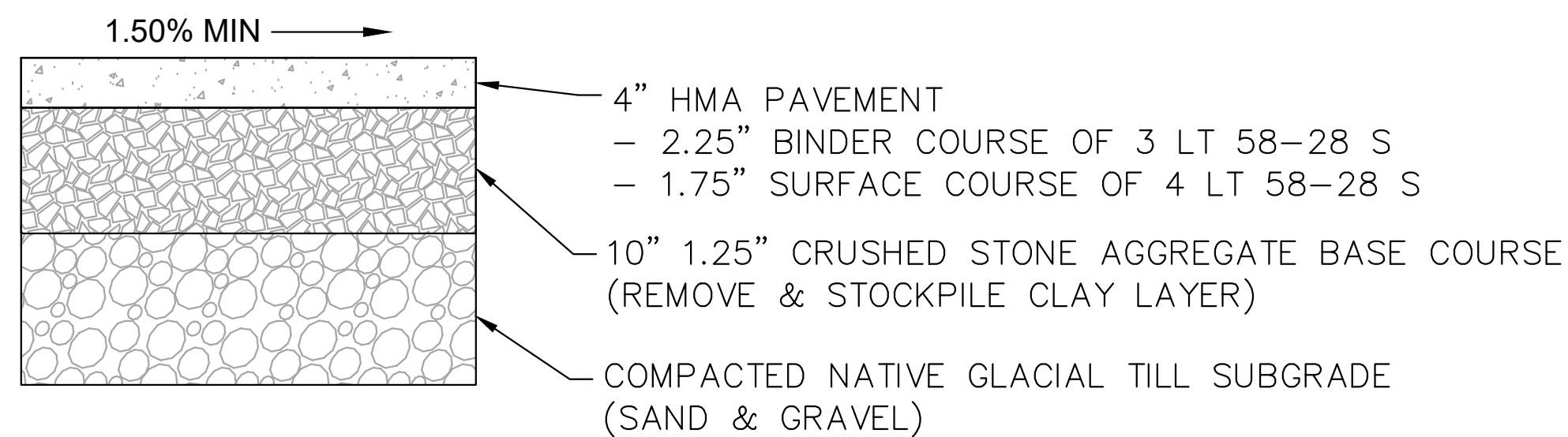
ENGINEERED SOIL MIXTURE SHALL BE  
COMPOSED OF THE FOLLOWING:

- 70% SAND (PER DNR SPEC. 1004)
- 30% COMPOST (PER DNR SPEC. S100)

SEE DNR TECH STD. 1004 FOR ADDITIONAL  
SPECIFICATIONS REGARDING THESE MATERIALS.



**18" VERTICAL FACE REJECT CURB DETAIL**  
N.T.S.



**ASPHALT CROSS SECTION**  
NTS

Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT-183258\_SITE & GRD.dwg

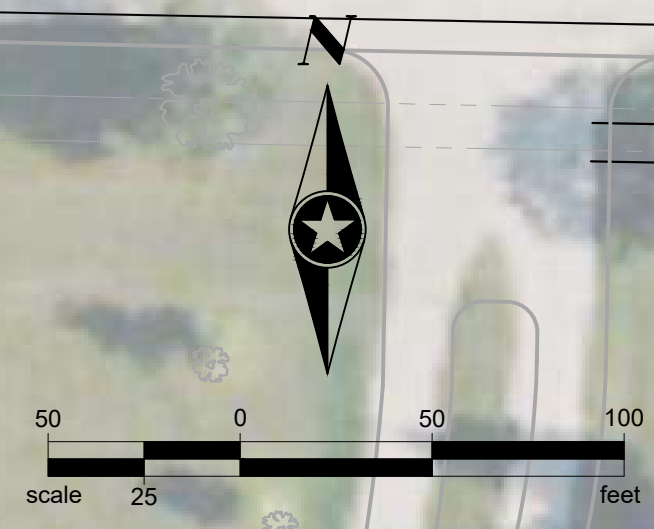
SEH Project	183258	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**DETAILS**

DATE: 3/6/2025 3:42 PM



Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMV183258\5-final-dsgn\5-final-dsgn\10-Civil\cad\dwg\sheet\SUMMV183258\_SITE & GRD.dwg

SEH Project	183258	Rev. #	Plan Revision Issue Description	Date	Rev. #	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#

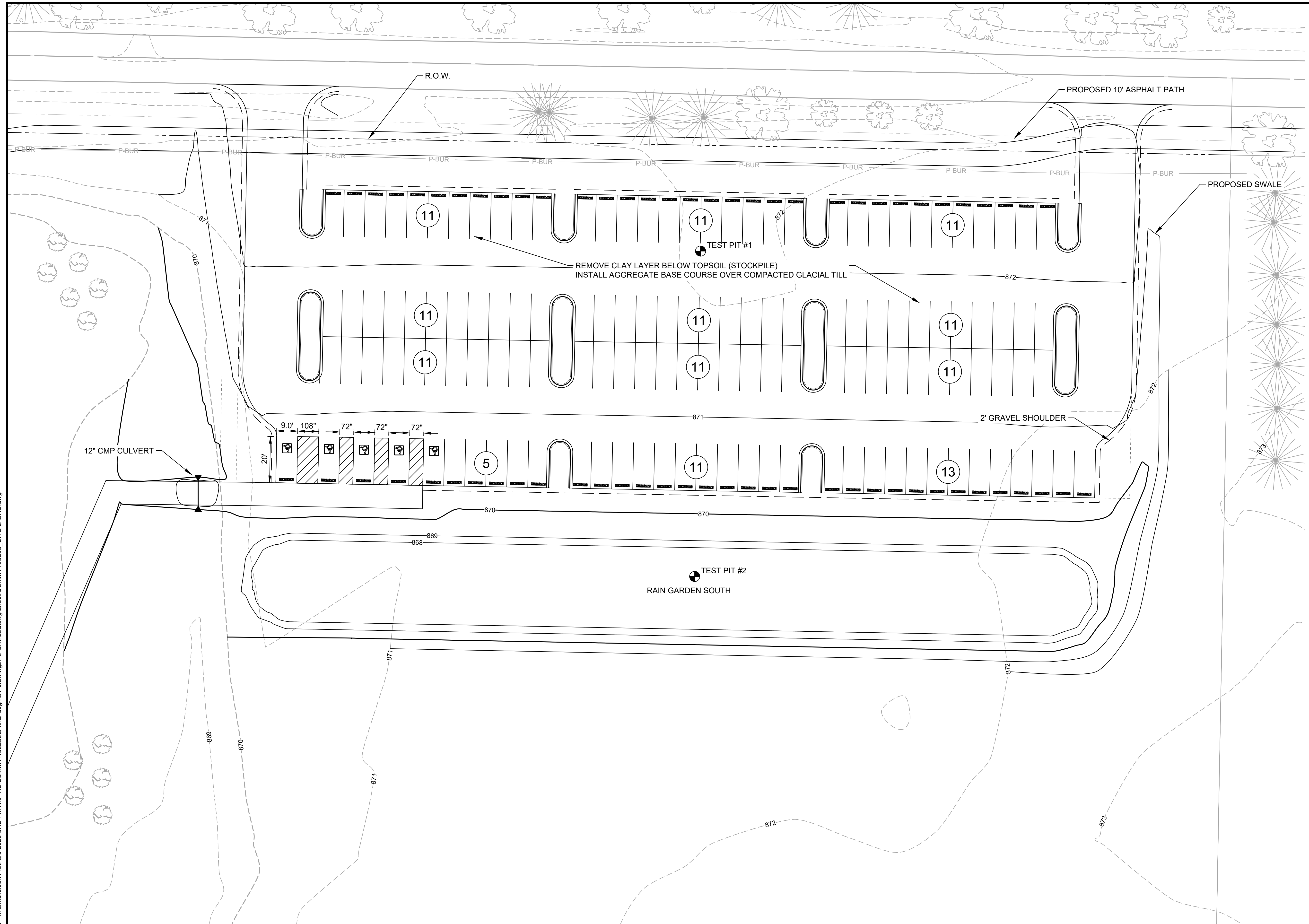


**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**PRELIMINARY SITE PLAN**



- TEST PIT #1  
8" TOPSOIL  
8" CLAY  
GLACIAL TILL MATERIAL
- TEST PIT #2  
8" TOPSOIL  
24" CLAY  
GLACIAL TILL MATERIAL



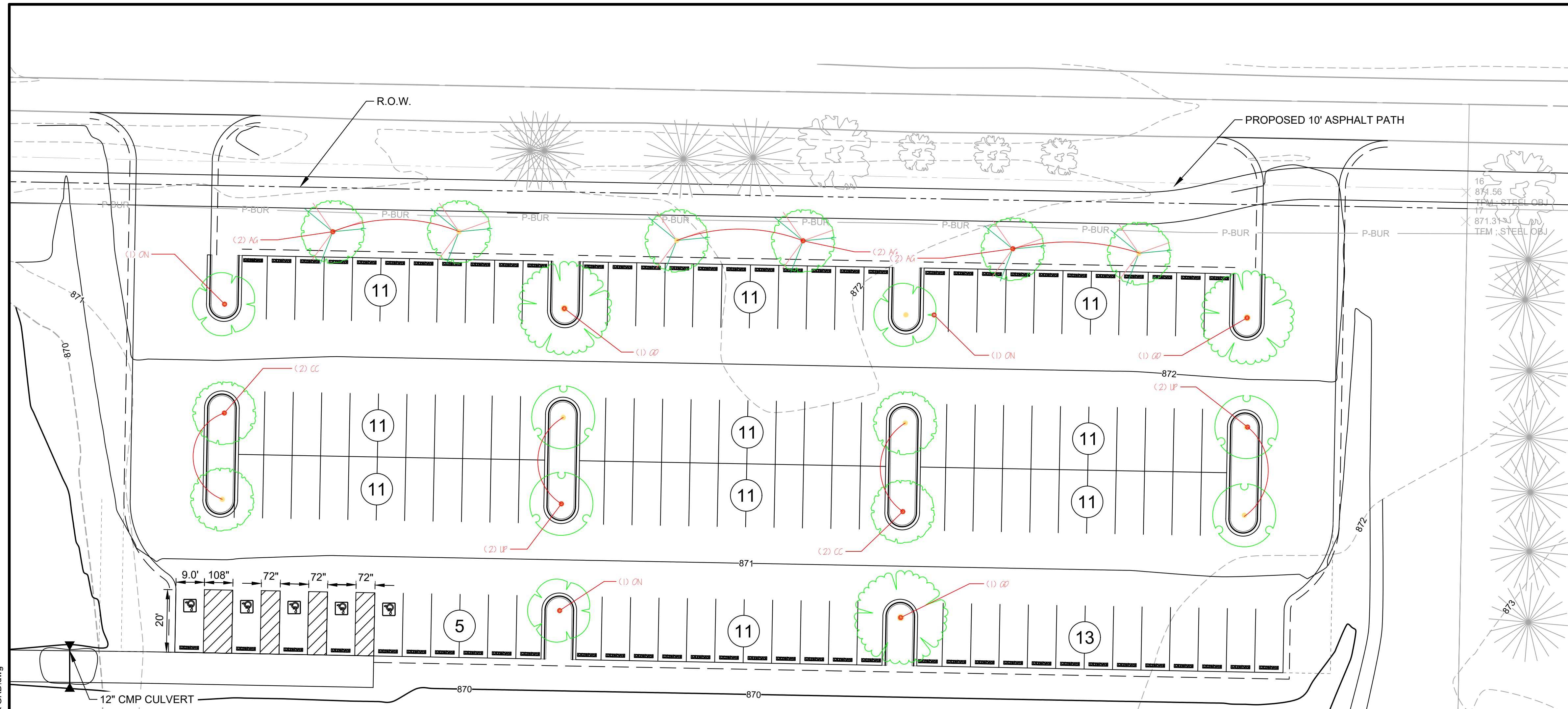
Save: 3/6/2025 3:36 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final\dwg\sheet\SUMMIT183258\_SITE & GRD.dwg

SEH Project	183258	Rev. #	Plan Revision Issue Description	Date	Rev. #	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**GRADING & DRAINAGE PLAN**

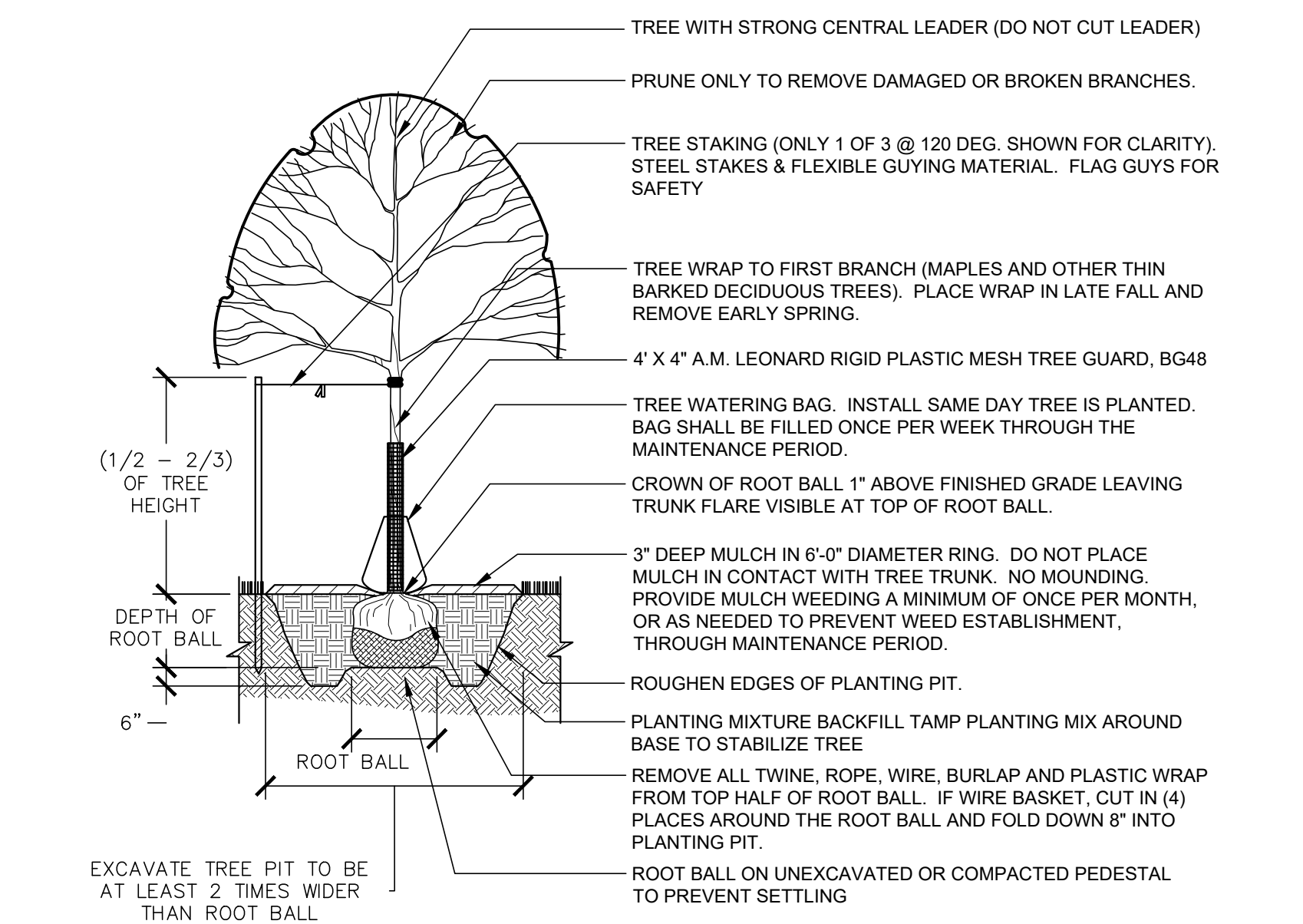


**PLANTING NOTES**

- EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
- AREAS UNDER PLANTING BEDS SHALL NOT CONTAIN COMPACTED AGGREGATE TO ALLOW FOR PROPER DRAINAGE AND GROWTH OF PLANT MATERIAL. REMOVE AGGREGATE AND PERFORM SUBSOILING AS NECESSARY TO OBTAIN LOOSE, FREE DRAINING SUBGRADE BELOW PLANTING BEDS. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTED TREES SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH PER PLANTING DETAILS. MULCH SHALL BE CONSIDERED INCIDENTAL TO PLANT MATERIALS.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**PLANT\_SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	AG	6	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	10' Tall
	CC	4	Celtis occidentalis 'Chicagoland' / Chicagoland Hackberry	2.5" CAL
	GD	3	Gymnocladus dioicus 'Espresso' / Kentucky Coffeetree	2.5" CAL
	ON	3	Ostrya virginiana 'JFS-KW5' / Autumn Treasure® American Hophornbeam	2.5" CAL
	UP	4	Ulmus x 'New Horizon' / New Horizon Elm	2.5" CAL



**1 TREE PLANTING**  
1/4" = 1'-0"

Save: 3/6/2025 3:38 PM smickelson Plot: 3/6/2025 3:42 PM X:\PT\GIS\SUMMIT\183258\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMIT\183258\_SITE & GRD.dwg

SEH Project	183258	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	SM	#	#	#	#	#	#
Designed By	SM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**GENESSEE LAKE ROAD  
PARK PARKING LOT**  
VILLAGE OF SUMMIT

**LANDSCAPE PLAN**



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

### MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 6, 2025

Re: Discussion and Action on 2025 Road Paving Program Bid Documents and Advertisement for Bids

---

#### PURPOSE:

To request Village Board approval of the bid documents completed by the Village Engineer, SEH, for the 2025 Village of Summit Paving Program and to authorize advertisement for bids.

#### BACKGROUND:

SEH has completed the bid package for the Village's 2025 Road Paving Program. The cost estimates have been updated to more accurately reflect existing conditions of the roadways, as well as costs of recent bid opening results in our area. The Village and SEH are recommending that all roads approved in the 2025 CIP and budget are included in the advertisement for bids as follows:

#### Base Bid:

- **Delafield Road** (Village limit/Morgan Rd to CTH BB)
- **N Dekoven Road** (CTH B to termini)

*The construction estimate for these road segments is \$485,812, including a 10% contingency.*

#### Alternate Bid No. 1:

- **Delafield Road Paved Shoulders** (Village limit/Morgan Rd to CTH BB), including pavement markings

*The paved shoulders on Delafield Rd and associated pavement markings have been included in the bid as an alternate. The construction estimate for this work is \$40,464, including a 10% contingency.*

The total updated estimated cost for all work is summarized below:

Description	Estimated Total Cost (Construction & Engineering)	Approved 2025 Budget
Road Program Base Bid	\$585,472	\$650,000
Road Program Alternate Bid No. 1	\$90,888	\$116,000
<b>Total 2025 Road Program</b>	<b>\$676,360</b>	<b>\$766,000</b>

Village staff recommends that the Village Board approve the bidding documents for the 2025 Road Paving Program as prepared and authorize SEH to advertise for proposals.

ATTACHMENTS:                    Cost Estimate for Village of Summit 2025 Road Paving Program  
   Construction Plans for Village of Summit 2025 Road Paving  
   Program (electronic packet only)

FISCAL IMPACT:                    To be determined, based on bid results. The 2025 approved  
   budget for this work is \$766,000 in borrowed funds for the paving  
   program.

RECOMMENDED MOTION:        **Motion to approve the bidding documents for the 2025 Road  
   Paving Program as prepared by SEH and to authorize SEH to  
   proceed with advertisement for bids.**



# CONSTRUCTION COST ESTIMATE

<b>2025 Road Paving Program</b> <b>Village of Summit</b> <b>SEH No.: SUMMV 183160</b> <b>March 6, 2025</b>
---

Item No.	Description	Unit	Estimated Quantity	Bid Unit Price	Bid Price
<b><u>Delafield Rd (Village Limits/Morgan Rd to CTH BB) (1.02 MI)</u></b>					
204.0100	Remove Concrete Drive	100	SY	\$ 25.00	\$ 2,500.00
205.0110	Base Repair	100	CY	\$ 70.00	\$ 7,000.00
305.0500	Aggregate Shoulders (6 ft) and Drives	10,300	LF	\$ 5.50	\$ 56,650.00
330.0110	Mill & Remove Existing Asphalt Pavement (1.5")	10,500	SY	\$ 2.00	\$ 21,000.00
330.0110A	Milling Concrete Butt Joint Transitions	600	SY	\$ 5.00	\$ 3,000.00
355.0100	Rubblize Existing Pavement and Compact	14,250	SY	\$ 3.00	\$ 42,750.00
455.0600	Tack Coat	14,250	SY	\$ 0.15	\$ 2,137.50
460.5223	HMA Pavement 3 LT 58-28 S (2.5")	2,100	TN	\$ 70.00	\$ 147,000.00
460.5225	HMA Pavement 5 LT 58-28 S (1.5")	1,250	TN	\$ 80.00	\$ 100,000.00
465.0120	Asphalt Surface for Drives and Approaches	75	TN	\$ 115.00	\$ 8,625.00
643.5000	Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00
646.1020	Pavement Marking Line Epoxy 4" (Double Yellow)	675	LF	\$ 3.00	\$ 2,025.00
646.1020	Pavement Marking Line Epoxy 4" (White)	1,800	LF	\$ 3.00	\$ 5,400.00
646.1020	Pavement Marking Line Epoxy 4" (Yellow)	125	LF	\$ 3.00	\$ 375.00
646.4020	Pavement Marking Line Epoxy 10" (White)	70	LF	\$ 20.00	\$ 1,400.00
<b>Subtotal, Delafield Road:</b>					<b>\$ 404,862.50</b>
<b><u>N. Dekoven Road (Valley Rd to Private) (0.11 MI)</u></b>					
205.0100	Excavation Common (Road Widening)	75	CY	\$ 35.00	\$ 2,625.00
305.0120	Base Aggregate Dense 1-1/4" (Road Widening)	150	TN	\$ 25.00	\$ 3,750.00
305.0500	Aggregate Shoulders (1 ft) and Drives	1,225	LF	\$ 1.50	\$ 1,837.50
330.0100	Mill Existing Pavement/Shoulder & Remove Material	1,150	SY	\$ 2.50	\$ 2,875.00
455.0600	Tack Coat	1,150	SY	\$ 0.15	\$ 172.50
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	180	TN	\$ 80.00	\$ 14,400.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	30	TN	\$ 150.00	\$ 4,500.00
465.0120	Asphalt Surface for Drives and Approaches	45	TN	\$ 125.00	\$ 5,625.00
643.5000	Traffic Control	1	LS	\$ 1,000.00	\$ 1,000.00
<b>Subtotal, N. Dekoven Road:</b>					<b>\$ 36,785.00</b>
Construction Total					\$ 441,647.50
Contingency (10%)					\$ 44,164.75
Engineering and Construction Management					\$ 99,660.00
<b>Overall Base Project Costs</b>					<b>\$ 585,472.25</b>



## CONSTRUCTION COST ESTIMATE

**2025 Road Paving Program**  
**Village of Summit**  
**SEH No.: SUMMV 183160**  
**March 6, 2025**

Item No.	Description	Unit	Estimated Quantity	Bid Unit Price	Bid Price
<b>Alternate No. 1 - Delafield Road Paved Shoulders</b>					
305.0500	Remove Aggregate Shoulders (6 ft) and Drives	10,400	LF	\$ (5.50)	\$ (57,200.00)
305.0500	Add Aggregate Shoulders (3 ft) and Drives	10,400	LF	\$ 2.75	\$ 28,600.00
455.0600	Tack Coat	3,500	SY	\$ 0.15	\$ 525.00
460.5223	HMA Pavement 3 LT 58-28 S (2.5")	550	TN	\$ 70.00	\$ 38,500.00
460.5225	HMA Pavement 5 LT 58-28 S (1.5")	325	TN	\$ 80.00	\$ 26,000.00
646.1020	Pavement Marking Line Epoxy 4" (Yellow)	5,300	LF	\$ 3.00	\$ 15,900.00
646.1020	Pavement Marking Line Epoxy 4" (White)	10100	LF	\$ 3.00	\$ 30,300.00
<b>Subtotal, Alternate No. 1:</b>					<b>\$ 82,625.00</b>

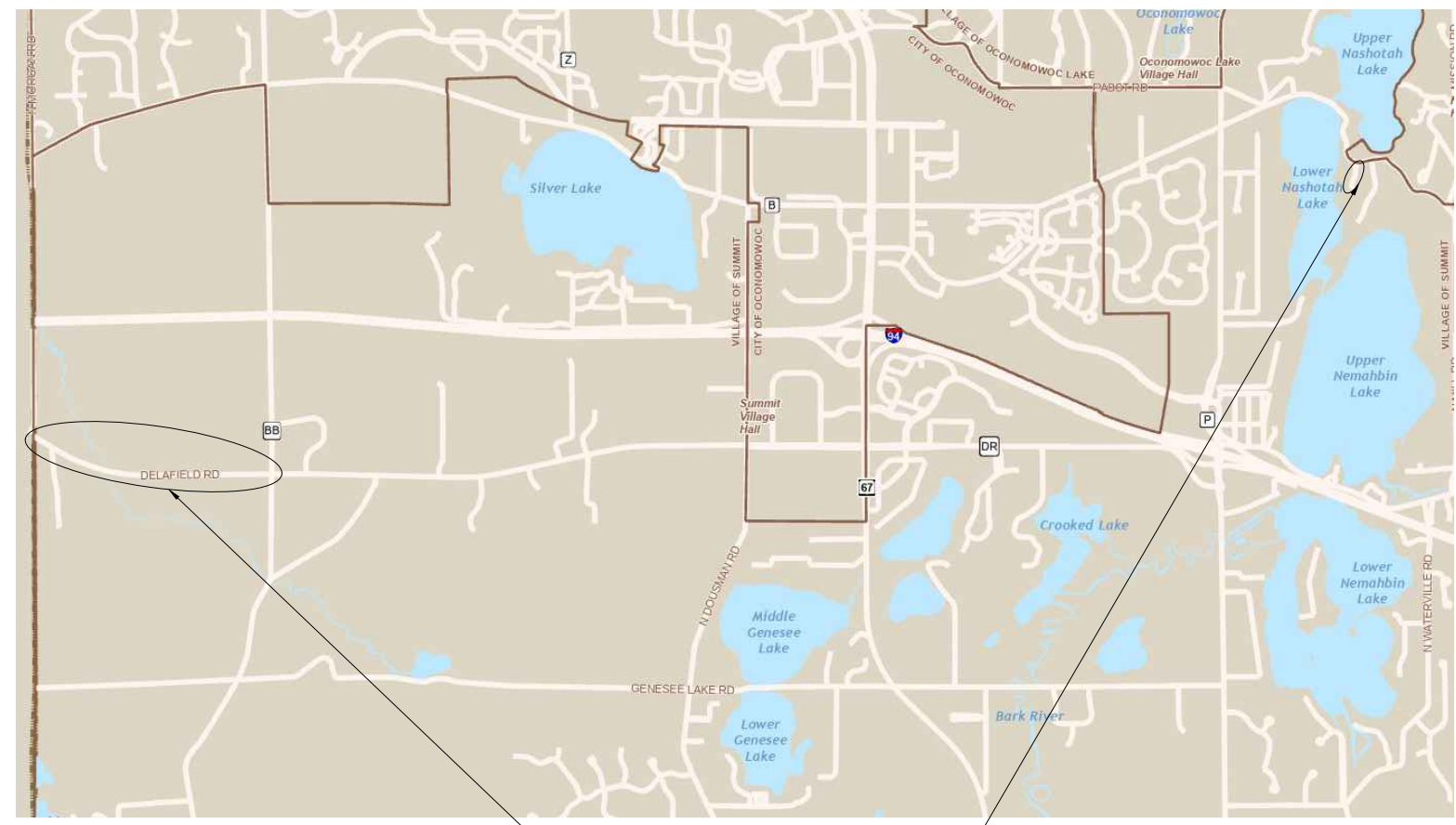
Base Project Costs	\$ 441,647.50
Construction Total of Alternate No. 1	\$ 82,625.00
Subtotal of Construction Costs	\$ 524,272.50
Contingency (10%)	\$ 52,427.25
Engineering and Construction Management	\$ 99,660.00
<b>Overall Project Costs with Alternate No. 1</b>	<b>\$ 676,359.75</b>

**Village's Road Paving Budget: \$766,000.00**

# CONSTRUCTION PLANS FOR 2025 ROAD PROGRAM VILLAGE OF SUMMIT, WI

SHEET INDEX	
Sheet Number	Sheet Title
1	TITLE
2	CONSTRUCTION DETAILS
3	DELAFIELD RD - 1
4	DELAFIELD RD - 2
5	DELAFIELD RD - 3
6	N. DEKOVEN DR - 1

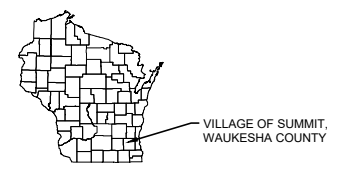
- EXISTING**
- RIGHT OF WAY
  - PERMANENT EASEMENT
  - PROPERTY LINE
  - △<sup>XX</sup> HORIZONTAL CONTROL POINT
  - ⊗<sup>BM</sup> BENCHMARK
  - SURVEY MARKER
  - ⊙<sup>#</sup> SOIL BORING
  - SANITARY SEWER AND MANHOLE
  - FM LIFT FORCE MAIN AND LIFT STATION
  - SANITARY SEWER SERVICE & CLEANOUT
  - WATER MAIN, HYDRANT, VALVE AND MANHOLE
  - WATER SERVICE AND CURB STOP BOX
  - STORM SEWER, MANHOLE AND CATCH BASIN
  - CULVERT AND APRON ENDWALL
  - G<sup>HH</sup> GAS MAIN, VALVE, VENT AND METER HANDHOLE
  - FO BURIED FIBER OPTIC CABLE AND MANHOLE
  - T-BUR BURIED PHONE CABLE, PEDESTAL AND MANHOLE
  - TV-BUR BURIED TV CABLE, PEDESTAL AND MANHOLE
  - P-BUR BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
  - P-OH OVERHEAD WIRE, POLE AND GUY WIRE
  - LIGHT POLE
  - TRAFFIC SIGNAL
  - STREET NAME SIGN
  - SIGN (NON STREET NAME)
  - ==== RAILROAD TRACKS
  - 6" DECIDUOUS AND CONIFEROUS TREE
  - 6" BUSH / SHRUB AND STUMP
  - ~~~~~ EDGE OF WOODED AREA
  - WET WETLAND
  - BUILDING
  - X FENCE (UNIDENTIFIED)
  - X BARBED WIRE FENCE
  - XC CHAIN LINK FENCE
  - XE ELECTRIC WIRE FENCE
  - XWD WOOD FENCE
  - XWW WOVEN WIRE FENCE
  - PLATE BEAM GUARDRAIL
  - CABLE GUARDRAIL
  - ○<sup>P</sup> POST / BOLLARD
  - RETAINING WALL
  - 6+00
  - STREET CENTERLINE
  - RIGHT-OF-WAY
  - PERMANENT EASEMENT
  - TEMPORARY EASEMENT
  - CONSTRUCTION LIMITS
  - SANITARY SEWER, BULKHEAD AND MANHOLE
  - FM FORCE MAIN
  - CO SANITARY SERVICE AND CLEANOUT
  - WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
  - WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
  - WATER SERVICE AND CURB STOP BOX
  - STORM SEWER, MANHOLE AND CATCH BASIN
  - CULVERT AND APRON ENDWALL
  - DRAIN TILE
  - DITCH / SWALE
  - RIPRAP
  - STREET NAME SIGN
  - SIGN (NON STREET NAME)
  - RETAINING WALL



**PROJECT LOCATIONS**  
 • N. DEKOVEN DRIVE  
 • DELAFIELD ROAD



**PROJECT LOCATION**



**CONTACTS**

**WE ENERGIES (ELECT)**  
 EMERGENCIES: 800-662-4797  
 ERIC KICKHAVER 414-944-5917  
 GERARD HEJLIK 262-968-5771

**WE ENERGIES (GAS)**  
 EMERGENCIES: 800-261-5325  
 JACOB SPENCER 262-968-7009

**BRIGHTSPEED/CENTURY LINK TELEPHONE**  
 EMERGENCIES: 800-824-2877  
 JAMES WINTER: 262-392-5210

**SPECTRUM/CHARTER CABLE**  
 EMERGENCIES: 800-644-8328  
 BEAU ABUYA: 414-908-1343  
 NEAL LONG: 414-277-4271

**AT&T COMMUNICATION**  
 EMERGENCIES: 800-288-2020  
 JOHN MCCHESENEY: 414-678-2455

NOTE:  
 THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."  
 THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.



**VILLAGE OF SUMMIT, WISCONSIN**

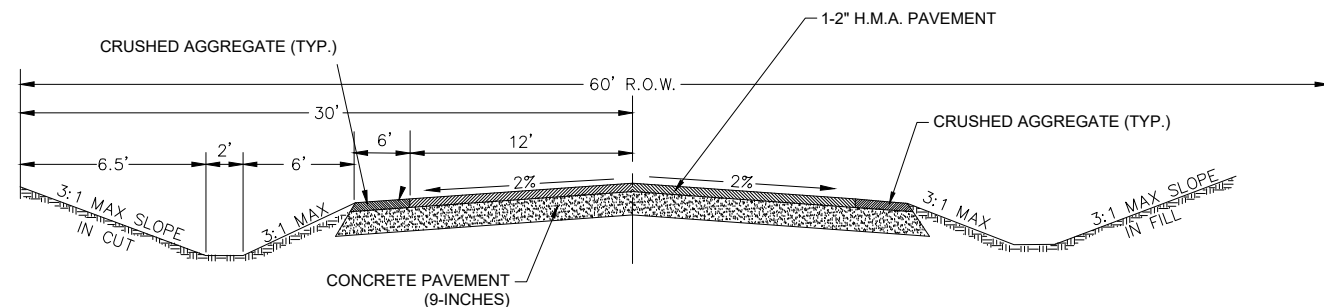


FILE NO.  
SUMMV\_183160

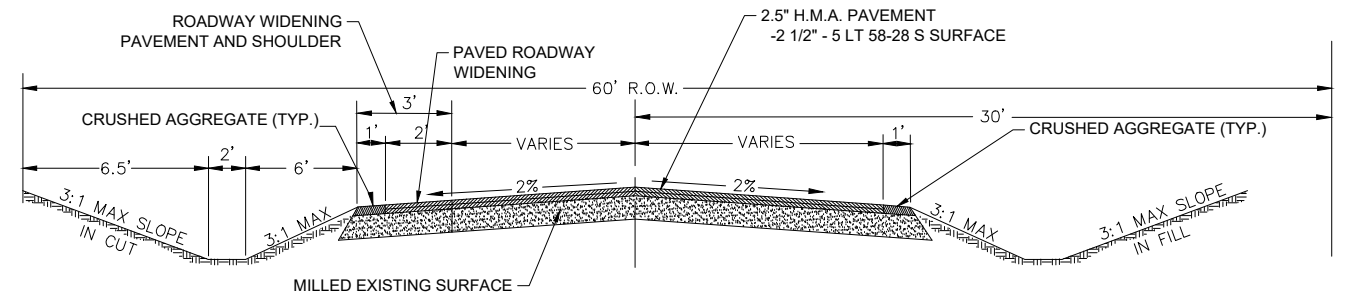
ISSUE DATE  
3/5/2025

1  
of 6

Save: 3/5/2025 1:43 PM ohanson Plot: 3/5/2025 1:46 PM X:\PT\S\SUMMV\183160\5-final-dgn\5-1-drawings\10-Civil\cad\cvg\sheet\SUMMV\_182684\_Title & Details.dwg

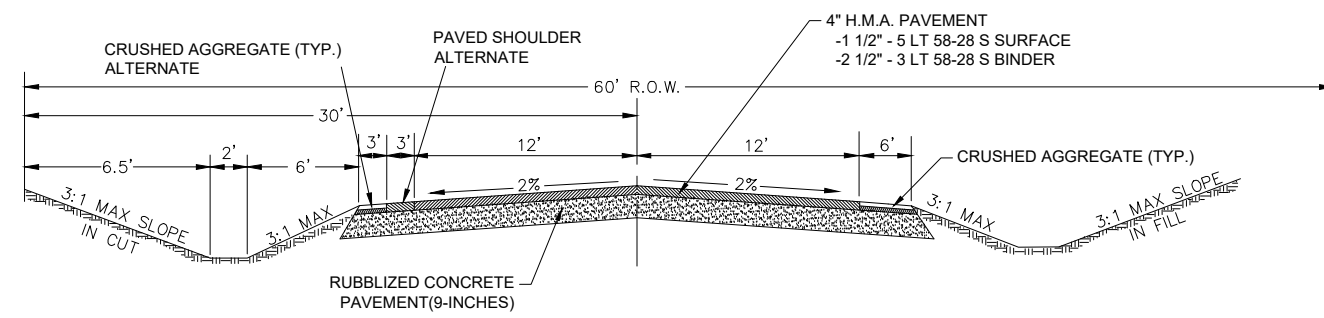


**TYPICAL EXISTING CROSS SECTION - DELAFIELD ROAD**  
NTS



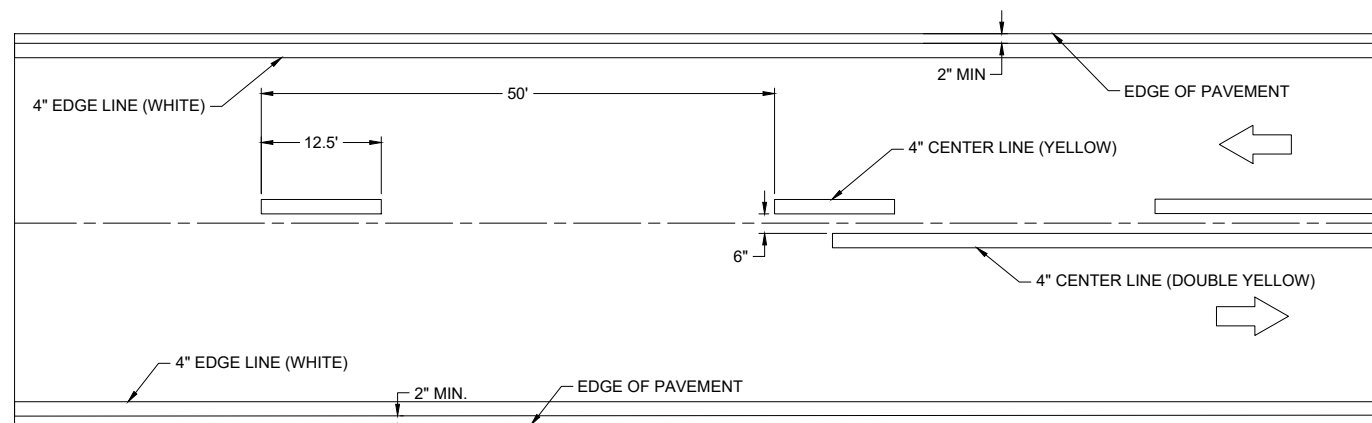
**TYPICAL PROPOSED CROSS SECTION - N. DEKOVEN DR**  
NTS

ROADWAY	PROPOSED WIDTH
N. DEKOVEN DRIVE	16'



**TYPICAL PROPOSED CROSS SECTION - DELAFIELD ROAD**  
NTS

ROADWAY	PROPOSED PAVED WIDTH
DELAFIELD ROAD	24'
ALTERNATE	30'



**TWO WAY TRAFFIC PERMANENT PAVEMENT MARKING DETAIL - DELAFIELD ROAD**  
NTS

**CONSTRUCTION SEQUENCING:**

1. OBTAIN ALL NECESSARY PERMITS AND PRIVATE ACCESS PERMISSION.
2. CONTRACTOR TO CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION AND TO COORDINATE WITH UTILITY COMPANIES TO RELOCATE ANY UTILITY CONFLICTS.
3. INSTALL ALL TEMPORARY EROSION & SEDIMENTATION CONTROL MEASURES PER PLAN (IF APPLICABLE).
4. MILL EXISTING ASPHALT SURFACE (N. DEKOVEN DR AND DELAFIELD RD) AND RUBBLIZE CONCRETE PAVEMENT (DELAFIELD RD).
5. COMPLETE ROADWAY EXCAVATION FOR WIDENING (N. DEKOVEN DR).
6. PROOF-ROLL SUBGRADE AND REPAIR BASE AS NEEDED.
7. PLACE BASE COURSE GRAVEL AND FINAL GRADE ROADWAY AND DRIVES (N. DEKOVEN DR).
8. PLACE ASPHALT PAVEMENT.
9. FINAL RESTORATION OF THE REMAINING DISTURBED AREAS.
10. ONCE VEGETATION HAS BEEN ESTABLISHED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER OBTAINING APPROVAL FROM ENGINEER.

**GENERAL PAVING NOTES:**

1. STANDARD SPECIFICATIONS: ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF:
  - A. STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND REVISIONS, TO DATE, OR UNLESS OTHERWISE SPECIFIED IN THE VILLAGE OF SUMMIT SPECIFICATIONS.
2. PREPARE THE FOUNDATION BY GRADING TO THE CROSS SECTION SHOWN ON THE PLANS. REMOVE ALL UNSUITABLE MATERIAL AND COMPACT SUB-GRADE & CRUSHED STONE AGGREGATE BASE COURSE TO A FIRM, TRUE SURFACE.
3. PRIOR TO THE PLACEMENT OF ANY PAVEMENT, BOTH THE SUBGRADE AND CRUSHED AGGREGATE BASE COURSE MUST BE PROOF ROLLED AS REQUIRED, WITH A FULLY LOADED DUAL-AXLE DUMP TRUCK TO VERIFY SUBGRADE STABILITY. ANY AREAS NOT PASSING A PROOF ROLL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12" AND REPLACED WITH NEW CRUSHED BASE AGGREGATE UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
4. CRUSHED AGGREGATE BASE COURSE:
  - A. BASE COURSE THICKNESS AND COMPOSITION SHALL BE AS SHOWN ON THE TYPICAL SECTION STANDARD DETAILS.
  - B. CRUSHED LIMESTONE MAY BE SUBSTITUTED FOR CRUSHED GRAVEL ONLY UPON APPROVAL OF THE VILLAGE ENGINEER.
5. HOT MIX ASPHALT PAVEMENT:
  - A. BINDER COURSE SHALL BE TYPE 3 LT 58-28 S, UNLESS OTHERWISE SPECIFIED.
  - B. SURFACE COURSE SHALL BE TYPE 5 LT 58-28 S, UNLESS OTHERWISE SPECIFIED.
  - C. MINIMUM REQUIRED DENSITY SHALL BE IN ACCORDANCE WITH CHAPTER 460 OF THE WISDOT STANDARD SPECIFICATIONS.
  - D. TACKCOAT NOT REQUIRED IF BINDER AND SURFACE COURSES ARE PLACED IN THE SAME DAY.

DATE: 3/5/2025 1:42 PM

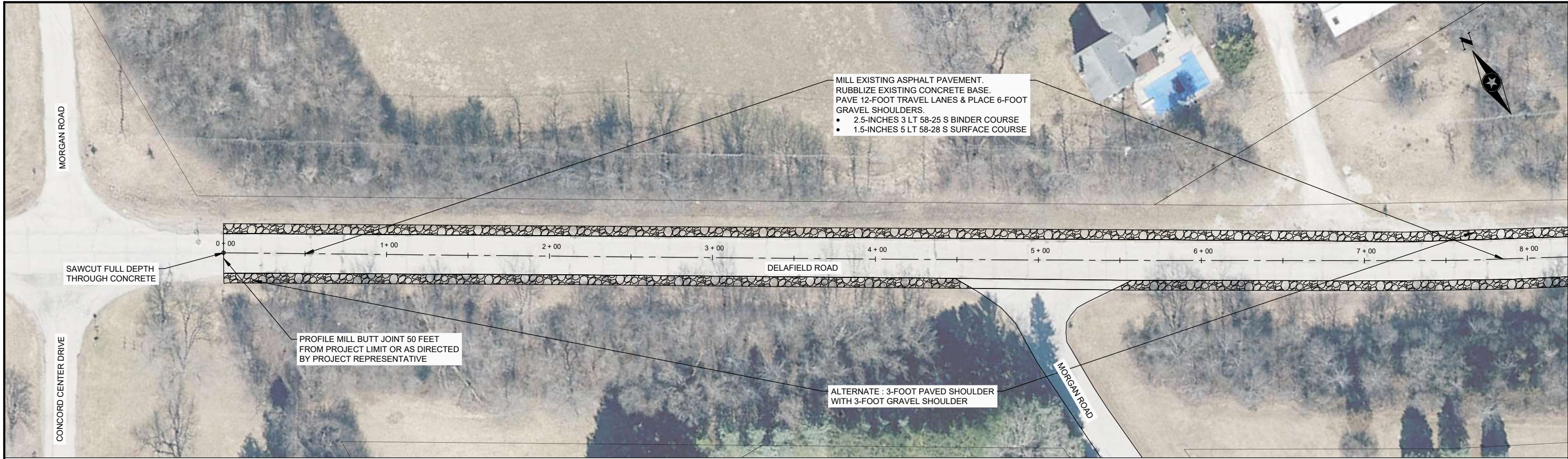
Save: 3/5/2025 1:43 PM ohanson Plot: 3/5/2025 1:52 PM X:\PT\S\SUMMIT\1831605-final-dsgm151-drawings\10-Civil\cadd\dwg\sheet\SUMMV\_182684\_Title & Details.dwg

SEH Project	183160	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	OH						
Designed By	RM						
Checked By	RM						



**2025 ROAD PROGRAM**  
VILLAGE OF SUMMIT, WI

**CONSTRUCTION DETAILS**



DATE: 3/5/2025 2:17 PM

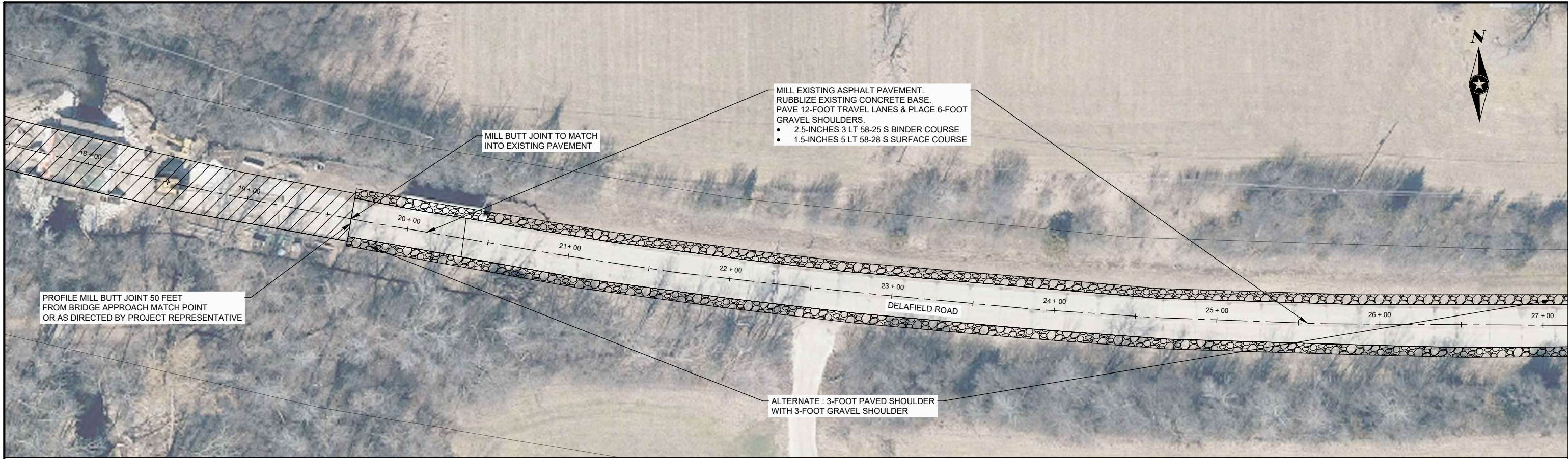
Save: 3/5/2025 2:19 PM ohanson Plot: 3/5/2025 2:21 PM X:\P\T\S\SUMMV\183160\S-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMV\_183160\_SHEETS.dwg

SEH Project	183160	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	OH	#	#	#	#	#	#
Designed By	RM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



2025 ROAD PROGRAM  
VILLAGE OF SUMMIT, WI

PLAN SHEET  
DELAFIELD RD - 1  
STA:0+00 - STA17+50



Save: 3/5/2025 2:19 PM ohanson Plot: 3/5/2025 2:22 PM X:\PTTS\SUMMV\183160\5-final-dwg\sheet\SUMMV\_183160\_SHEETS.dwg

DATE: 3/5/2025 2:17 PM

SEH Project	183160	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	OH	#	#	#	#	#	#
Designed By	RM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



2025 ROAD PROGRAM  
VILLAGE OF SUMMIT, WI

PLAN SHEET  
DELAFIELD RD - 2  
STA:17+50 - STA:36+50

MILL EXISTING ASPHALT PAVEMENT.  
 RUBBLIZE EXISTING CONCRETE BASE.  
 PAVE 12-FOOT TRAVEL LANES & PLACE 6-FOOT GRAVEL SHOULDERS.

- 2.5-INCHES 3 LT 58-25 S BINDER COURSE
- 1.5-INCHES 5 LT 58-28 S SURFACE COURSE

PAVEMENT MARKINGS:

- 4-INCH YELLOW EPOXY 12.5-FOOT SKIPS
- 4-INCH WHITE EPOXY FOG LINES

ALTERNATE : 3-FOOT PAVED SHOULDER  
 WITH 3-FOOT GRAVEL SHOULDER



MILL EXISTING ASPHALT PAVEMENT.  
 RUBBLIZE EXISTING CONCRETE BASE.  
 PAVE 12-FOOT TRAVEL LANES & PLACE 6-FOOT GRAVEL SHOULDERS.

- 2.5-INCHES 3 LT 58-25 S BINDER COURSE
- 1.5-INCHES 5 LT 58-28 S SURFACE COURSE

ALTERNATE : 3-FOOT PAVED SHOULDER  
 WITH 3-FOOT GRAVEL SHOULDER

PAVEMENT MARKINGS:

- 4-INCH DOUBLE YELLOW EPOXY CENTER LINE
- 4-INCH YELLOW EPOXY 12.5-FOOT SKIPS
- 4-INCH WHITE EPOXY FOG LINES
- 8-INCH WHITE EPOXY CHANNEL DIVIDE

PROFILE MILL BUTT JOINT 50 FEET  
 FROM PROJECT LIMIT OR AS DIRECTED  
 BY PROJECT REPRESENTATIVE

SAWCUT FULL DEPTH  
 THROUGH CONCRETE

Save: 3/5/2025 2:19 PM ohanson Plot: 3/5/2025 2:25 PM X:\PT\SUMMMV\183160\5-final-dsgn\51-drawings\10-Civil\cad\dwg\sheet\SUMMV\_183160\_SHEETS.dwg



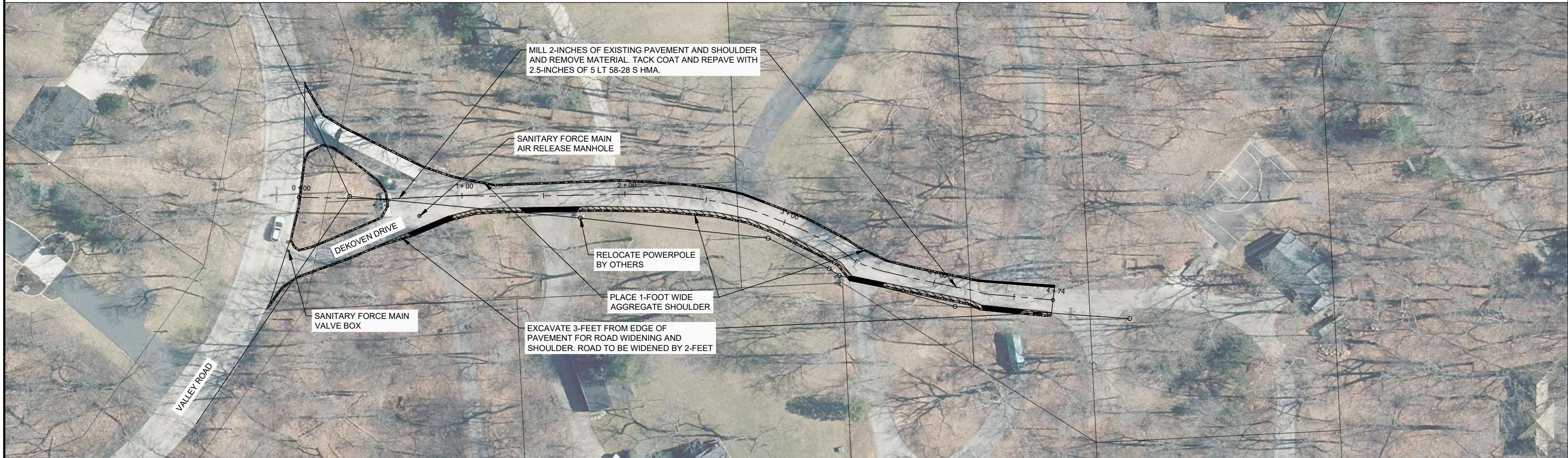
DATE: 3/5/2025 2:17 PM

SEH Project	183160	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	OH	#	#	#	#	#	#
Designed By	RM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



2025 ROAD PROGRAM  
 VILLAGE OF SUMMIT, WI

PLAN SHEET  
 DELAFIELD RD - 3  
 STA:36+50 - STA 53+86



Save: 3/5/2025 2:19 PM ohanson Plot: 3/5/2025 2:26 PM X:\PT\SUMMMV\183160\5-final-dwg-sheet\SUMMV\_183160\_SHEETS.dwg

DATE: 3/5/2025 2:17 PM

SEH Project	183160	Rev.#	Plan Revision Issue Description	Date	Rev.#	Sheet Revision Issue Description	Date
Drawn By	OH	#	#	#	#	#	#
Designed By	RM	#	#	#	#	#	#
Checked By	RM	#	#	#	#	#	#



**2025 ROAD PROGRAM**  
VILLAGE OF SUMMIT, WI

**PLAN SHEET**  
**N. DEKOVEN DR - 1**



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 6, 2025

Re: Discussion and Action on Oconomowoc Area Baseball Club (OABC) Proposal to Construct New Baseball Fields and Batting Cages at Village Park

---

**PURPOSE:**

To review a preliminary proposal from OABC for the addition of two new baseball fields, batting cages, a paved path extension at Genesee Lake Road Park (Village Park) and to determine if the Village Board supports the proposed improvements.

**BACKGROUND:**

At the December 12, 2024 Village Board meeting, staff brought forward a proposal from OABC for the construction of two new baseball fields, batting cages, and a paved path extension at Village Park. This item was brought back to the Village Board at the February 13, 2025 meeting, at which time the Village Board directed staff to continue to work with OABC for a plan for addition of two ball fields in alignment with existing facilities and the new parking lot.

***Initial Analysis***

At the Village's request, SEH investigated the two proposed layouts provided by OABC initially and whether it would be feasible to change the parking lot footprint to accommodate either option (Drawings 1 & 2). They also provided a drawing that placed the two new fields to the south of the new lot and stormwater facilities (Drawing 3).

***Drawings 1 & 2***

SEH determined that moving the alignment of the parking lot footprint to accommodate the two options provided by OABC would add a significant amount of cost to the project. There is also an existing drainage swale that would need to be filled and rerouted for stormwater with both options, which creates extra work and expense.

***Drawing 3***

The placement of the fields south of the parking lot footprint would push the fields slightly to the south of the existing ball fields. However, there would still be 350 – 375 feet between the southernmost new field and the property line that borders Genesee Lake Farms subdivision. This was determined to be the most feasible option for new fields on the east side of the park, which is the preferred location.

Updated Parking Lot Design

Since the initial analysis, SEH has altered the parking lot design. The lot is now located further to the north, closer to Genesee Lake Road. The rain garden initially proposed between the lot and the road was also eliminated, as stormwater will now be directed to the south rain garden. It is anticipated that there will be excess fill from construction, and this material may be stockpiled in a location south of the rain garden and/or northeast of the existing ball diamonds to the west of the parking lot. Alternatively, the material may be removed from the site if a developer is found in need of clean fill. SEH and staff are reaching out to developers to determine if there is interest.

SEH put together a plan layout that includes two new ball fields to the south of the lot. There is approximately 450-feet between the southern edge of the south ball field and the property line abutting Genesee Lake Farms subdivision.

**RECOMMENDATION:**

The Village Park Master Plan maintains the south section of the park as a “passive” activity area. The two new fields, if located to the south of the new parking lot as proposed, would extend slightly further to the south of the existing large field’s footprint by approximately 65 feet.

If there is support from the Village Board for implementation of the new fields to the south of the new parking lot and stormwater facilities, OABC will continue efforts to design field placement around the new parking lot and petition the Plan Commission for approval.

**ATTACHMENTS:**

Email correspondence from SEH RE: Genesee Lake Road Park New Parking Lot w/ New Ball Fields (incl. attachments: Drawings 1, 2, 3)

Updated Parking Lot Design Drawing w/ New Ball Fields (dated March 6, 2025)

**FISCAL IMPACT:**

OABC would fund the addition of the new ball fields and batting cages fully. There may be opportunity for OABC to cost share a portion of the accessible path from the new lot to the existing ball fields. As part of the license agreement, a credit of \$1,000 would be applied the year following completion of the project.

**RECOMMENDED MOTION:** To be determined, based on Village Board direction.

## Kamron Nash

---

**From:** Robert Malzahn  
**Sent:** Friday, February 21, 2025 12:41 PM  
**To:** Kamron Nash  
**Cc:** Michael Court; Samuel Mickelson  
**Subject:** V Summit.Genesee Lake Road Park Parking Lot - Additional OABC Fields vs Proposed Parking Lot  
**Attachments:** 169760\_GENESEE PARK\_Parking Lot w New Ball Fields Opt 1.pdf; 169760\_GENESEE PARK\_Parking Lot w New Ball Fields Opt 2.pdf; NE PARKING LOT - PRELIMINARY - 02-19-2025.pdf

Hey Kamron:

Following up on the Genesee Lake Road Park Parking Lot.

Three attachments included:

1. OABC Option 1
2. OABC Option 2
3. Preliminary Plans

OABC Option 1: For reference, I scaled the ball fields in with the estimated limits of our project. I also added a narrower parking lot that hugs the east property line (anticipate similar number of stalls). The north diamond would impede on the original parking lot concept and the existing swale that leads to the storm water pond. The existing swale would need to be filled and realigned to redirect stormwater to the pond. These costs could add up quick.

OABC Option 2: Again, for reference I scaled the ball fields in with the estimated limits of our project. I also added a narrower parking lot that hugs the east property line (anticipate similar number of stalls). The north diamond would impede on the original parking lot concept and the existing swale that leads to the storm water pond. The existing swale would need to be filled and realigned to redirect stormwater to the pond. These costs could add up quick.

Preliminary Plans:

- Preliminary plans are based on the original concept, but before adding all the details and callouts I wanted you to take a look.
- Sam also prepared a scaled-out site plan (last page) and added a pair of youth diamonds to show how we could keep the original parking lot concept and not have to relocate the existing swale or storm basin. I this site plan needs to be adjusted a little more, but it shows that it could work.
- Not shown on these plans, I scaled out an 11' path (existing scales 11' width) that connects the existing diamonds to the new parking lot. The path would be approximately 625 ft long, and a culvert would need to be installed to bridge the swale. Anticipated costs would be \$48K.



Take a look at the attachment, and let's talk early next week regarding next steps. Some discussion points likely would be any additional concepts for Village Board and moving forward with current design.

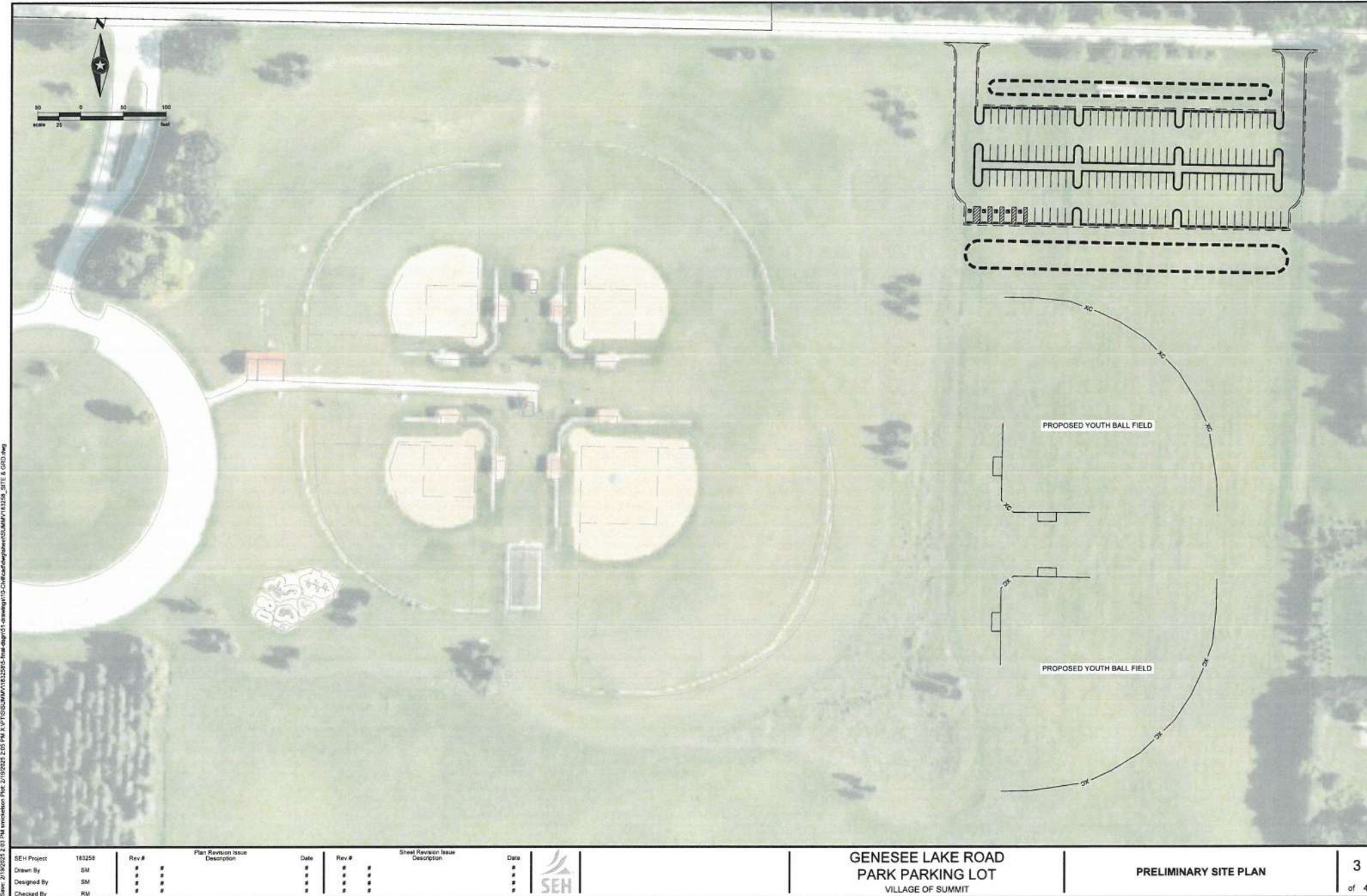
Thanks

Robbie Malzahn, PE (WI)  
Project Engineer (Manager)  
Short Elliott Hendrickson, Inc. (SEH®)

Building a Better World for All of Us®  
**100% Employee Owned**  
Follow [SEH](#) on [LinkedIn](#)







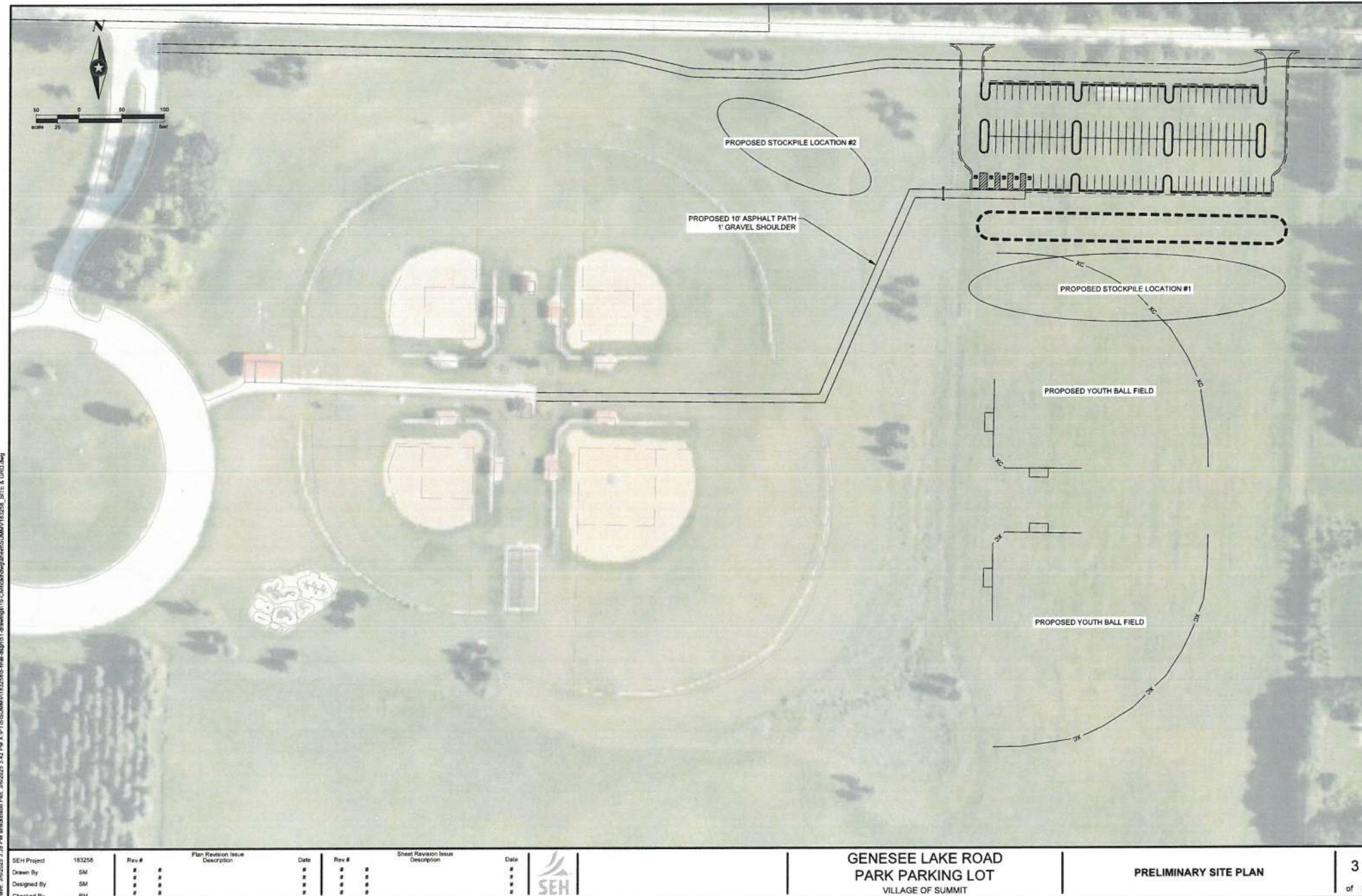
Save: 2/18/2025 2:01 PM ambschler Plot: 2/18/2025 2:58 PM X:\P\GIS\SUMMIT\183258-Stat.dwg\15-Work\GeneseeLakeRoad\183258\_SITE & GRID.dwg

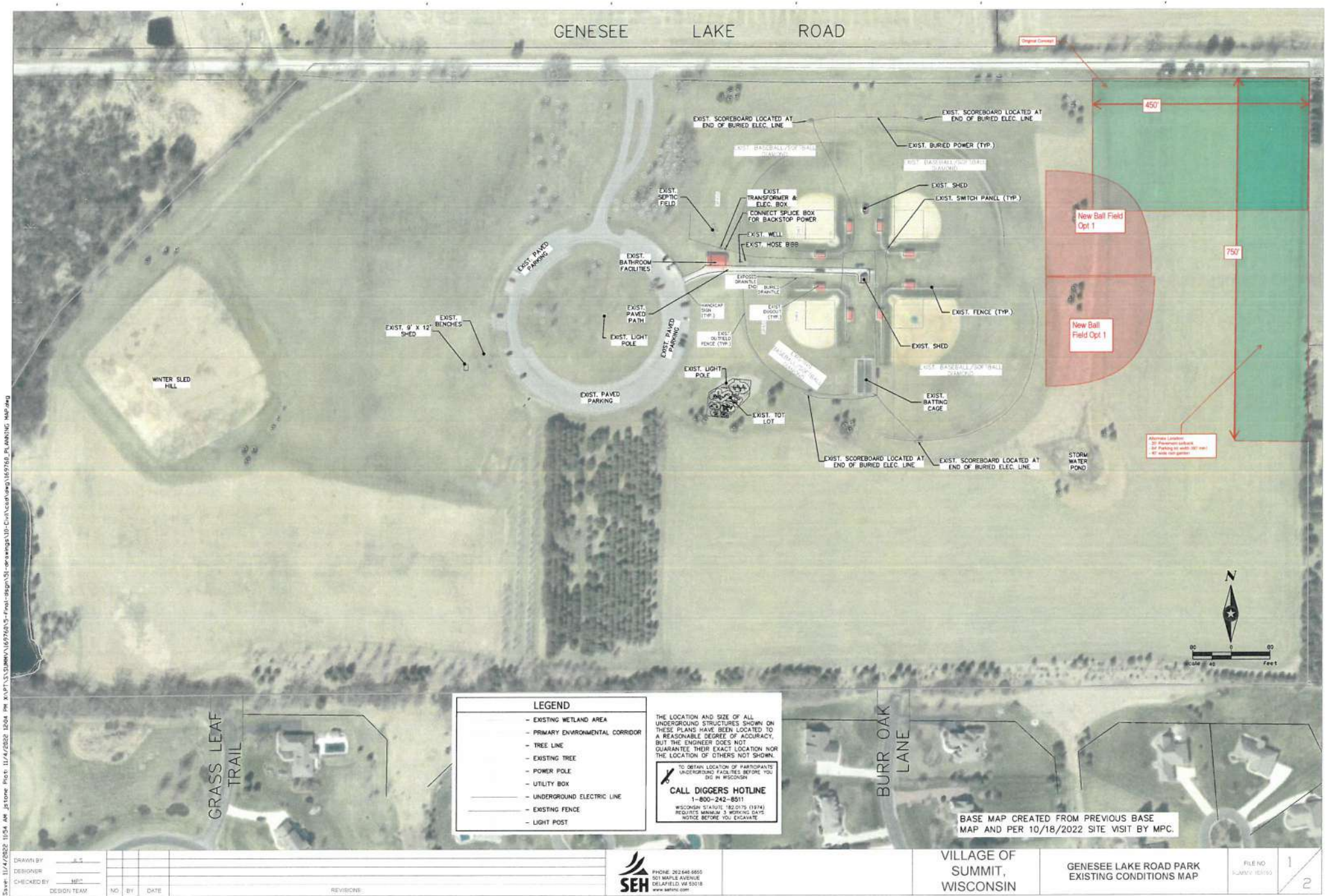
SEH Project	183258	Rev #	Plan Revision Issue Description	Date	Rev #	Sheet Revision Issue Description	Date
Drawn By	SM	•••		•••	•••		
Designed By	SM	•••		•••	•••		
Checked By	RM	•••		•••	•••		

**GENESEE LAKE ROAD  
 PARK PARKING LOT**  
 VILLAGE OF SUMMIT

PRELIMINARY SITE PLAN

Updated Parking Lot Design Drawing





Date: 11/17/2022 11:54 AM Jstone Plot: 11/17/2022 12:04 PM K:\PT\US\SUMMIT\16976613-Final\sgm\11-17-2022\11-17-2022\16976613-Final.dwg  
 Drawn by: J.S.  
 Designer:  
 Checked by: MP  
 Design Team:  
 No. By Date  
 Revisions:

**LEGEND**

- EXISTING WETLAND AREA
- PRIMARY ENVIRONMENTAL CORRIDOR
- TREE LINE
- EXISTING TREE
- POWER POLE
- UTILITY BOX
- UNDERGROUND ELECTRIC LINE
- EXISTING FENCE
- LIGHT POST

THE LOCATION AND SIZE OF ALL UNDERGROUND STRUCTURES SHOWN ON THESE PLANS HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION NOR THE LOCATION OF OTHERS NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
 1-800-242-8811  
 WISCONSIN STATUTE 192.0175 (1974)  
 REQUIRES MINIMUM 3 WORKING DAYS NOTICE BEFORE YOU DIGGATE

BASE MAP CREATED FROM PREVIOUS BASE MAP AND PER 10/18/2022 SITE VISIT BY MPC.

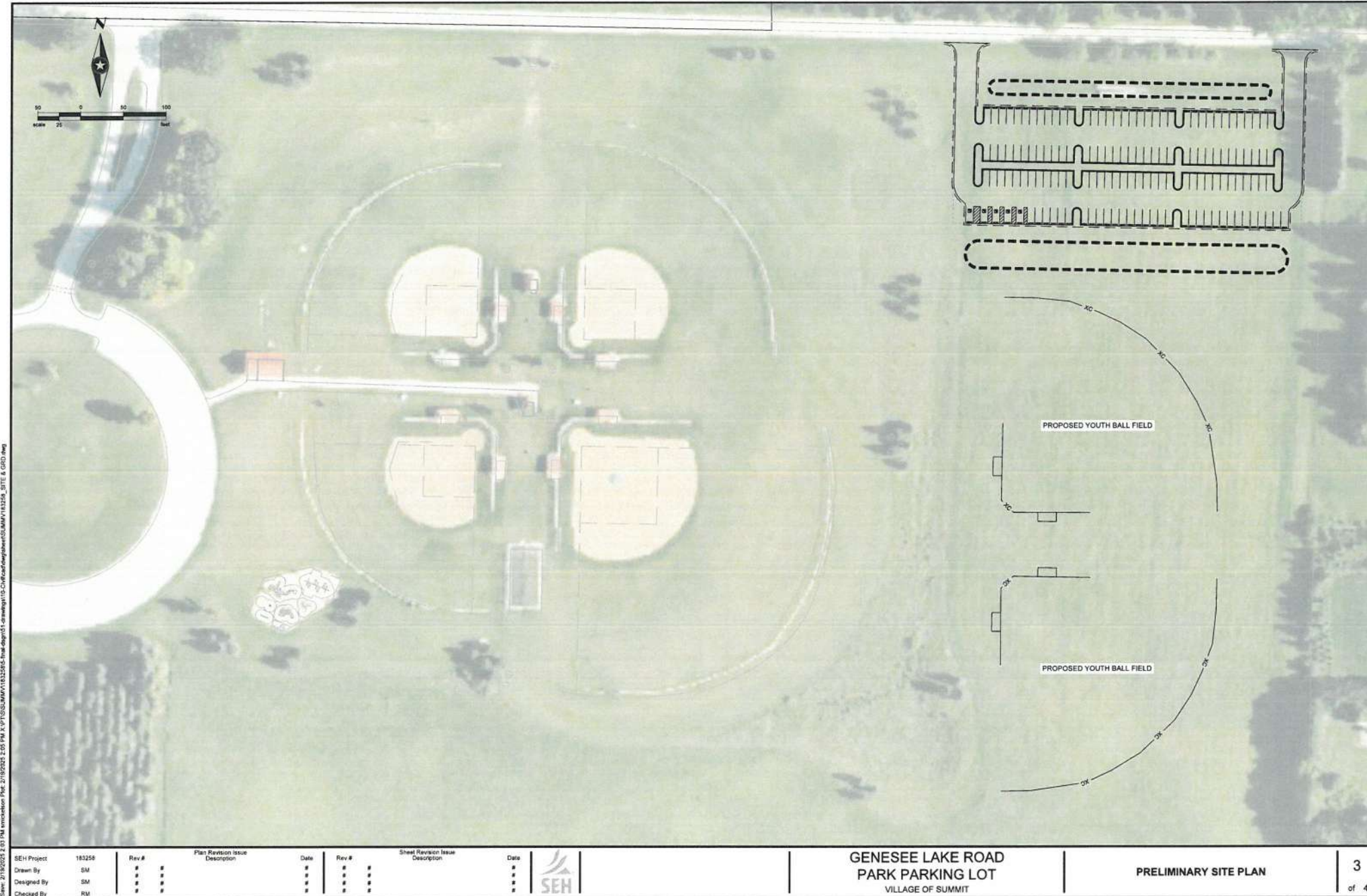


VILLAGE OF SUMMIT, WISCONSIN

GENESEE LAKE ROAD PARK EXISTING CONDITIONS MAP

FILE NO. 16976613  
 1  
 2





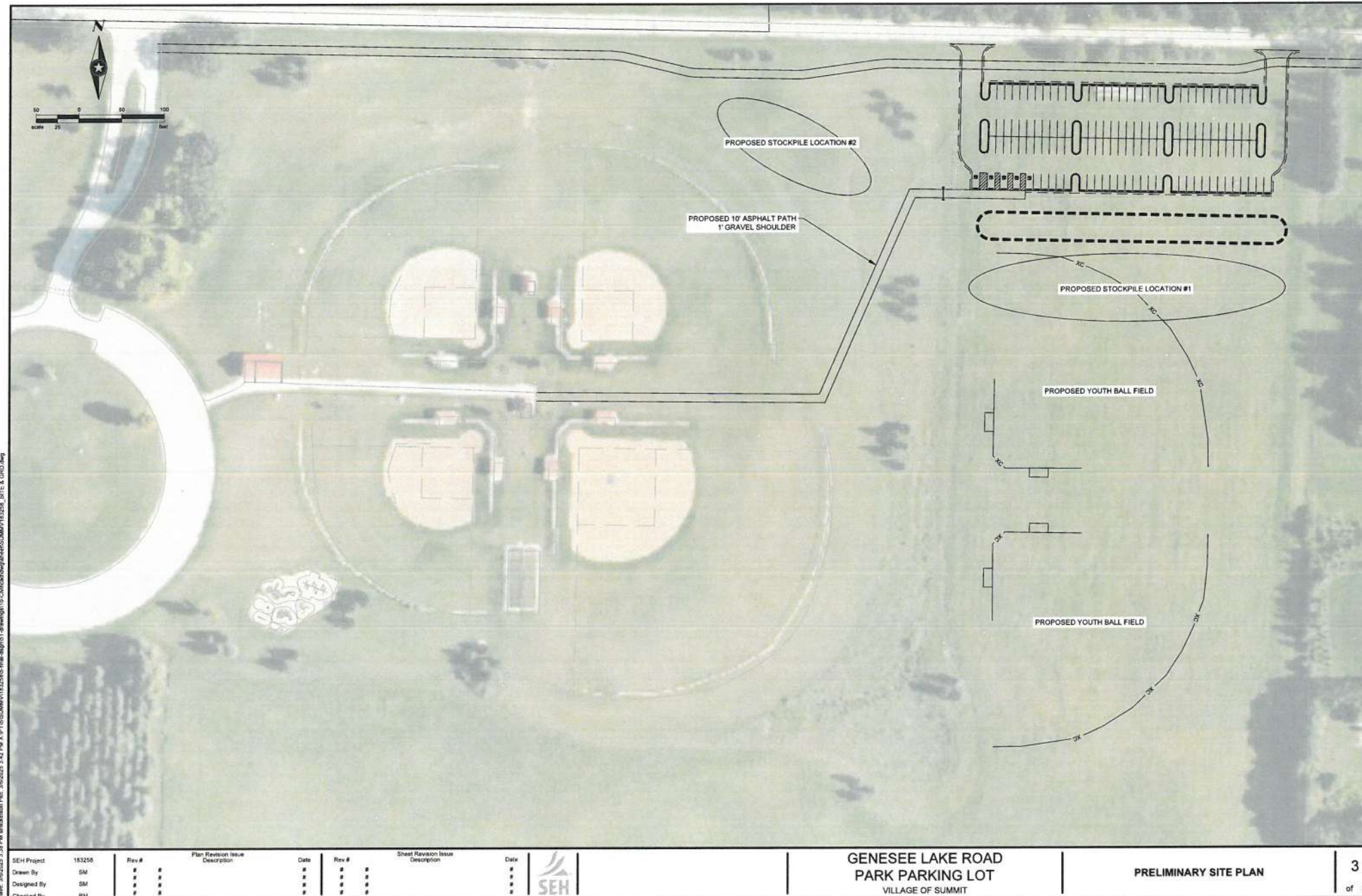
Save: 2/18/2025 2:01 PM s:\mchicken\proj\_2/18/2025 2:05 PM X:\P\GIS\SUMMIT\183258-Stat\app\15-Civil\dwg\genesee\SUMMIT\183258\_SITE & GRID.dwg

SEH Project	183258	Rev #	Plan Revision Issue Description	Date	Rev #	Sheet Revision Issue Description	Date
Drawn By	SM	•••		•••	•••		•••
Designed By	SM	•••		•••	•••		•••
Checked By	RM	•••		•••	•••		•••

**GENESEE LAKE ROAD  
 PARK PARKING LOT**  
 VILLAGE OF SUMMIT

PRELIMINARY SITE PLAN

Updated Parking Lot Design Drawing



Save: 3/6/2023 3:38 PM emkshon Plot\_3/6/2023 3:42 PM X:\PT\SS\MMV\1832566- final.dwg(3) drawings\18-Civil\GeneseeLakePark\SS\MMV\1832566\_SITE & GRD.dwg

SEH Project	183256	Rev #	Plan Revision Issue Description	Date	Rev #	Sheet Revision Issue Description	Date
Drawn By	SM	#		#			
Designed By	SM	#		#			
Checked By	SM	#		#			



**GENESEE LAKE ROAD  
 PARK PARKING LOT**  
 VILLAGE OF SUMMIT

PRELIMINARY SITE PLAN



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 5, 2025

Re: Discussion and Action on N Dousman Road Multi-Use Trail Placement on Genesee Lake Road Park Property

---

**PURPOSE:**

To request approval from the Village Board for the construction of a 10-foot wide, paved, multi-use trail along the northern park boundary of Genesee Lake Road Park as part of the N Dousman Rd Multi-Use Trail project and to authorize staff to provide written concurrence that the proposed trail will not adversely impact the use of the property.

**BACKGROUND:**

The initial layout of the multi-use trail located the trail on the north side of Genesee Lake Rd with a mid-block crossing to Genesee Lake Road Park. At the October 10, 2024 N Dousman Rd Multi-Use Trail Consultant Selection Committee meeting, the owner of the property on the north side of Genesee Lake Rd and committee members collectively agreed that the trail would be better placed on the south side of the roadway adjacent to the park. This placement would provide the following benefits:

- Minimize the impact to the property to the north, as the path already will extend the full length of the property line of the same parcel along N Dousman Rd.
- Eliminate the mid-block crossing on Genesee Lake Rd to the park by placing the crossing at the intersection with N Dousman Rd where there is a stop sign for traffic travelling on Genesee Lake Rd.
- Maintain a wider separation between the trail and the road by moving the trail out of the right-of-way adjacent to Genesee Lake Road Park.

Strand Associates was asked to put together plans that depict the location of the trail along the south side of Genesee Lake Rd (see attached layout). The following considerations were included in the design:

1. Maintain access to the fields behind the planned parking lot along the east property line. The trail will be reinforced at this location to allow for heavy equipment to cross, and grading will allow for an access from the roadway.

2. Avoid existing trees along the right-of-way to maintain screening on the north side of the trail along Genesee Lake Rd.
3. Provide a reinforced trail in the locations where the proposed parking lot access will cross the trail. Plans for the parking lot (once finalized) will be shared with Strand Associates, and plans for the trail have been shared with SEH.

As part of the N Dousman Rd Multi-Use Trail project’s environmental requirements through WisDOT, the Village must provide concurrence that the project will not adversely affect the Genesee Lake Road Park property, per 23 CFR 774.13(g).

**§ 774.13 Exceptions.**

*The Administration has identified various exceptions to the requirement for Section 4(f) approval. These exceptions include, but are not limited to:*

- (g) Transportation enhancement activities, transportation alternatives projects, and mitigation activities, where:*
  - (1) The use of the Section 4(f) property is solely for the purpose of preserving or enhancing an activity, feature, or attribute that qualifies the property for Section 4(f) protection; and*
  - (2) The official(s) with jurisdiction over the Section 4(f) resource agrees in writing to paragraph (g)(1) of this section.*

A letter has been drafted on behalf of the Village by Strand Associates for signature by the Public Works Director upon approval by the Village Board.

**RECOMMENDATION:**

Village staff is requesting approval of the proposed layout of the trail along Genesee Lake Rd on park property, as well as approval to authorize the Public Works Director to provide written concurrence to WisDOT that the project will not adversely affect the Genesee Lake Road Park property.




**ATTACHMENTS:** Proposed N Dousman Rd Multi-Use Trail Park Impacts Drawings (DRAFT)  
Letter to WisDOT RE: Section 4(f) Exception (DRAFT)

**FISCAL IMPACT:** The scope of work related to design of the trail and completion of WisDOT environmental requirements are included in the approved contract between the Village of Summit and Strand Associates.

**RECOMMENDED MOTIONS:** **Motion to approve the proposed layout of the multi-use trail on the south side of Genesee Lake Rd with construction on Genesee Lake Road Park property.**  
**Motion to authorize the Public Works Director to sign the written agreement concurring that the project will not adversely affect the Genesee Lake Road Park property, per 23 CFR 774.13(g).**



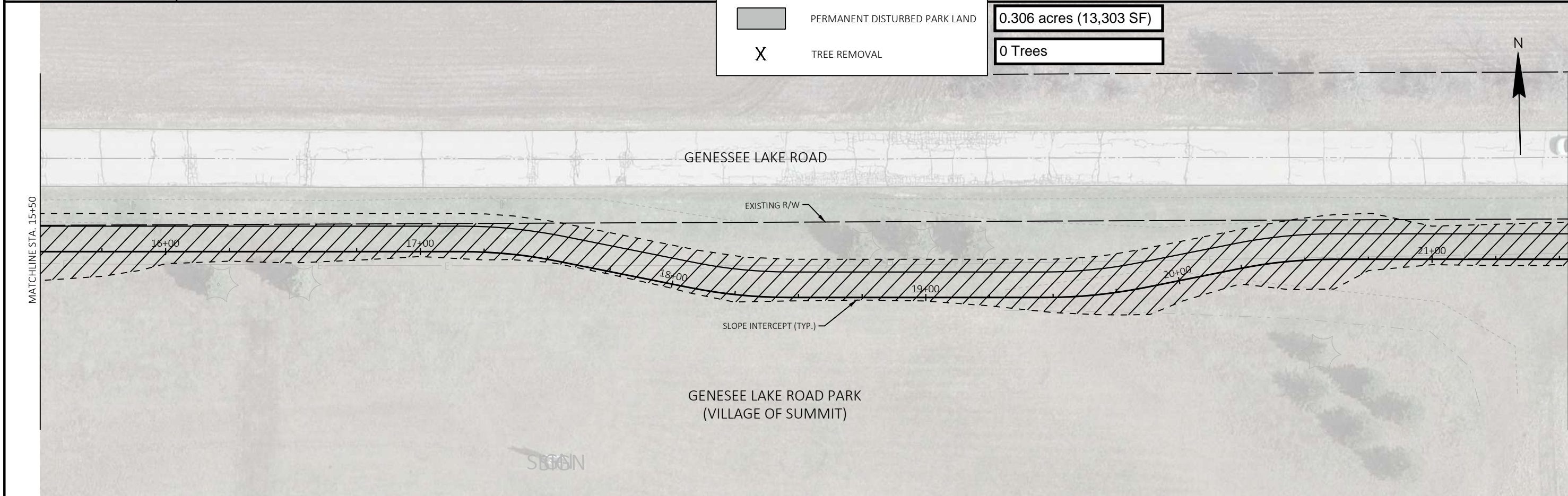
**LEGEND**

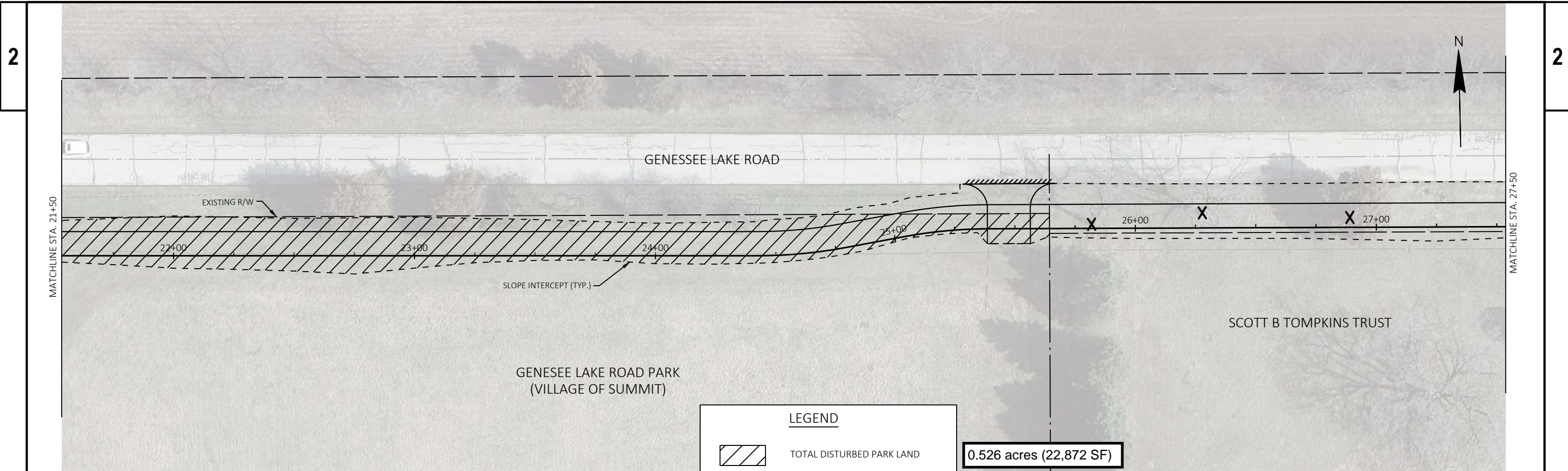
-  TOTAL DISTURBED PARK LAND
-  PERMANENT DISTURBED PARK LAND
-  TREE REMOVAL




0.526 acres (22,872 SF)

0.306 acres (13,303 SF)

0 Trees





LEGEND	
	TOTAL DISTURBED PARK LAND
	PERMANENT DISTURBED PARK LAND
	TREE REMOVAL

0.526 acres (22,872 SF)
0.306 acres (13,303 SF)
0 Trees



Village Hall, 262 567-2757  
Fax, 262 567-4115  
Highway Dept., 262 567-2422  
Police Dept., 262 446-5070  
Building Inspector, 262 490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

Ms. Kamron Nash, P.E., Public Works Director  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Re: Section 4(f) Exception  
Genesee Lake Road Park  
Village of Summit (Summit)  
North Dousman Road Multi-Use Trail  
WisDOT Project ID 3853-05-00

Dear Mr. Jelacic:

Summit is the agency with jurisdiction over Genesee Lake Road Park located at 37505 Genesee Lake Road. Genesee Lake Road Park is a 77-acre park bordered by Genesee Lake Road to the north and privately-owned parcels to the west, east and south. The park is used for recreation and includes athletic fields and a playground. The park is shown on the enclosed parcel map.

Summit agrees that the North Dousman Road Multi-Use Trail project (Project ID 3853-05-00), will not adversely impact the use of property. Impacts to Genesee Lake Road Park include grading on approximately 0.5 acres of the park property for the construction of a 10-foot-wide, paved, multiuse path. The path will be constructed along the northern park boundary from the park entrance to the eastern limit of the park. Summit will retain ownership of the land and will be responsible for maintenance of the path. The paved area will be approximately 0.3 acres. The path and park impacts are shown on the enclosed plan sheets.

After reviewing the scope of work, Summit agrees the proposed action does not constitute a use within the meaning of Section 4(f). In accordance with 23 CFR 774.13 (g), Summit agrees the use of the Section 4(f) property is solely for the purpose of preserving or enhancing an activity, feature, or attribute that qualifies the property for Section 4(f) protection.

Sincerely,

---

Kamron Nash, P.E., Public Works Director

Enclosure

c/enc.: Joe Jelacic, P.E., WisDOT SE Region  
Scott Lee, WisDOT SE Region  
Eric Anderson, P.E., Strand Associates, Inc.



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 5, 2025

Re: Discussion and Action on Donation Request from Kettle Moraine Rec Sports

---

**PURPOSE:**

To request consideration from the Village Board to approve a donation to the Kettle Moraine Rec Sports organization using funding that was reimbursed to the Village by Kettle Moraine Recreation Association (KMRA) in early 2025.

**BACKGROUND:**

For the past several years, the Village has contributed funds annually to KMRA, a non-profit volunteer organization that coordinates rec level, co-ed T-ball, coach pitch, and baseball programs. In late 2024, the Village was informed that KMRA would be dissolving their association. No revenue was included in the 2025 budget as a result of this notification.

The three supporting communities (Summit, Dousman, and Ottawa) received a reimbursement of funds from KMRA in January in the amount of \$3,000 each. The remaining funds will be split amongst the three communities once they have completed their dissolution. All sporting equipment will be donated to KM Rec Sports, which is a new organization that has been created to take the place of KMRA.

KM Rec Sports has made a request that the Village consider donating the reimbursed funds to their organization. A representative from KM Rec Sports spoke at a Village Board meeting in late 2024 to advise of their intent to form a new organization and to request consideration of future donations.

**RECOMMENDATION:**

In the past, the Village has supported the efforts of KMRA with annual contributions towards their program since the Village does not have any formal recreation program. In the event that the Village Board would like to continue to support this type of program for youth in our area, it would be appropriate to contribute to the newly formed KM Rec Sports.

**ATTACHMENTS:**

Letter from KMRA President, Michael Jones RE: Reimbursement of Funding (dated January 21, 2025)

Email from Kevin Harrison, KM Rec Sports RE: Request for donation and publishing information on Village website (dated February 10, 2025)

Email from Melissa Shearer, KM Rec Sports Director of Marketing RE: Request to public information on Village website (dated January 21, 2025)

FISCAL IMPACT:

Request for funding that was previously reimbursed by KMRA in the amount of \$3,000, with potential for additional support with future reimbursement (amount TBD).

RECOMMENDED MOTION:

**Motion to approve the donation of \$3,000 to Kettle Moraine Rec Sports, utilizing funding that was reimbursed to the Village by the Kettle Moraine Recreation Association in early 2025.**

Dated 1/21/2025

Dear Jack Riley (Village of Summit President),

The KMRA Inc (KMRec) board has met and agreed on several items I would like to bring to your attention.


1. It is in the best interest of the Communities for KMRec to dissolve prompting other parents to step forward and start a youth organization supporting our community of kids. KMRec tried for years to encourage other parent to join KMRec and take over the reins, unsuccessfully.
2. KMRec will be donating all sports equipment to **KMRec Sports** (currently being created by Mike Anderson).
3. KMRec will be sending each of the 3 supporting communities (Dousman, Ottawa & Summit) \$3,000 now and splitting the remaining funds amongst those same communities following the completion of our disillusionment.

KMRec would like to thank your community for supporting us with financial assistance over the past 36 years.

KMRec decided to send an initial \$3,000 out to each of the communities now realizing "KMRec Sports" would be approaching you for possible 2025 support. We realize you would not have budgeted anything since we told you earlier that we would be dissolving KMRec. We realize it's your decision and "KMRec Sports" needs to come talk to you, we didn't want budgeted \$\$\$ to be a stumbling block.

Thanks again for you years of support.

Sincerely,

  
Michael Jones - KMRec President

Rec'd CR #2177  
\$3,000.00  
1/27/25  
am.

## Kamron Nash

---

**From:** Kamron Nash  
**Sent:** Monday, February 10, 2025 3:30 PM  
**To:** Debbie Michael  
**Cc:** Sarah LaValliere  
**Subject:** RE: Feedback via the Village of Summit - Contact/Comment Form [#761]

Hi, Debbie.

I agree that this should go to Village Board. I believe Kevin or another member of the organization already spoke to the Village Board late last year to explain their intent to start a new group and ask for funding once it was up and going. I will respond back to Kevin and let him know that we will add it to the Village Board agenda for March.

Thank you,

Kamron E. Nash, P.E.  
Public Works Director  
Village of Summit  
37100 Delafield Road | Summit, WI 53066  
262-567-2757 main | [pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)  
<https://summitvillage.org/>  
*Pronouns: she/her/hers*



**From:** Debbie Michael <[administrator@summitvillage.org](mailto:administrator@summitvillage.org)>  
**Sent:** Monday, February 10, 2025 2:34 PM  
**To:** Sarah LaValliere <[deputyclerk@summitvillage.org](mailto:deputyclerk@summitvillage.org)>; Kamron Nash <[pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)>  
**Subject:** RE: Feedback via the Village of Summit - Contact/Comment Form [#761]

Kamron –

The Village Board would need to take action to use the refunded money for another purpose so I think this would have to go to them. What are your thoughts?

Debbie Michael, WCMC  
Village Administrator-Clerk/Treasurer  
Village of Summit

37100 Delafield Road  
Summit, WI 53066  
262-567-2757  
262-567-4115 Fax  
E-Mail: [administrator@summitvillage.org](mailto:administrator@summitvillage.org)  
Website: [www.summitvillage.org](http://www.summitvillage.org)  
Population: 5,202

[Get Connected HERE](#)

**Elected Officials and Members of Village Committees: in order to comply with the Open Meetings Act requirements, please limit any reply to only the sender of this electronic communication.**

*This message originates from the Village of Summit . It contains information that may be confidential or privileged and is intended only for the individual named above. It is prohibited for anyone to disclose, copy, distribute or use the contents of this message without permission, except as allowed by the Wisconsin Public Records Laws. If this message is sent to a quorum of a governmental body, my intent is the same as though it were sent by regular mail and further distribution is prohibited. All personal messages express views solely of the sender, which are not attributed to the municipality I represent, and may not be copied or distributed without this disclaimer. If you receive this message in error, please notify me immediately.*



**From:** Sarah LaValliere <[deputyclerk@summitvillage.org](mailto:deputyclerk@summitvillage.org)>  
**Sent:** Monday, February 10, 2025 2:22 PM  
**To:** Debbie Michael <[administrator@summitvillage.org](mailto:administrator@summitvillage.org)>; Kamron Nash <[pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)>  
**Subject:** FW: Feedback via the Village of Summit - Contact/Comment Form [#761]

OK Kamron & Debbie,  
Please check out below. I have no clue 😊  
Cheers,  
S



Sarah LaValliere  
Deputy Clerk/ Deputy Treasurer  
Village of Summit WI  
Pop. 5,202

37100 Delafield Rd \* Summit WI 53066 ☎ 262.567.2757 📧 [deputyclerk@summitvillage.org](mailto:deputyclerk@summitvillage.org)

[Get Connected HERE](#)

**Elected Officials and Members of Village Committees: in order to comply with the Open Meetings Act requirements, please limit any reply to only the sender of this electronic communication.**

*This message originates from the Village of Summit . It contains information that may be confidential or privileged and is intended only for the individual named above. It is prohibited for anyone to disclose, copy, distribute or use the contents of this message without permission, except as allowed by the Wisconsin Public Records Laws. If this message is sent to a quorum of a governmental body, my intent is the same as though it were sent by regular mail and further distribution is prohibited. All personal messages express views solely of the sender, which are not attributed to the municipality I represent, and may not be copied or distributed without this disclaimer. If you receive this message in error, please notify me immediately.*



**From:** [burst@emailmeform.com](mailto:burst@emailmeform.com) <[burst@emailmeform.com](mailto:burst@emailmeform.com)>  
**Sent:** Monday, February 10, 2025 2:02 PM  
**To:** Sarah LaValliere <[deputyclerk@summitvillage.org](mailto:deputyclerk@summitvillage.org)>  
**Subject:** Feedback via the Village of Summit - Contact/Comment Form [#761]

**Name\*:** Kevin Harrison

**Email\*:**

**Address\*:**

**Contact  
Number\*:**

**Subject\*:** Kettle Moraine Rec Sports

**Message\*:**

Hi, my name is Kevin Harrison. I am a board member of Kettle Moraine Rec Sports. We are a newly formed 501 (c) (3) that is providing recreational t-ball, baseball, and girls fastpitch softball in the Summit, Dousman, and Ottawa communities. This service was previously provide by Kettle Morraine Recreation Association, led by Mike Jones. Mr. Jones informed the Village of Summit, the other communities, and the parents and coaches, of his intent to disband KMRA in October of 2024. Since then, we have created the new KMRS, registered at the state and federal level, organized a great team of volunteers, created a website, secured ball fields for the summer of 2025, and opened registration for the season. Mike Anderson, our president, introduced our organization to the Village of Summit board during the public comments of your November meeting.

I have two requests I would like to humbly make on behalf of KMRS.

1. It is our understanding that KMRA has refunded its bank account balance to the three supporting communities. We would greatly appreciate your consideration to donate that refund to KMRS to continue the long-standing, and growing tradition of rec t-ball, baseball, and girls fastpitch softball in the area.
2. Would it be possible to publish a ling to our website and/or contact information for KMRS on the Village of Summit website (on the Parks and Rec page)?

Please let me know if you need any further information or if there is any need for our participation in future board meetings.

Regards,

Kevin

P.S. I apologize if this request is a duplicate. I had a very similar message mostly complete and I hit a wrong button and lost it.

## Debbie Michael

---

**From:** Sarah LaValliere  
**Sent:** Tuesday, January 21, 2025 3:28 PM  
**To:** Debbie Michael  
**Subject:** FW: KM Rec Sports Baseball Registration Now Open  
**Attachments:** 2025 Registration Open.png; KM Rec Sports Logo-recreation-01.png

See below?

S



Sarah LaValliere  
Deputy Clerk/ Deputy Treasurer  
Village of Summit WI  
Pop. 5,202

37100 Delafield Rd \* Summit WI 53066 ☎ 262.567.2757 ✉ [deputyclerk@summitvillage.org](mailto:deputyclerk@summitvillage.org)

[Get Connected HERE](#)

**Elected Officials and Members of Village Committees: in order to comply with the Open Meetings Act requirements, please limit any reply to only the sender of this electronic communication.**

*This message originates from the Village of Summit. It contains information that may be confidential or privileged and is intended only for the individual named above. It is prohibited for anyone to disclose, copy, distribute or use the contents of this message without permission, except as allowed by the Wisconsin Public Records Laws. If this message is sent to a quorum of a governmental body, my intent is the same as though it were sent by regular mail and further distribution is prohibited. All personal messages express views solely of the sender, which are not attributed to the municipality I represent, and may not be copied or distributed without this disclaimer. If you receive this message in error, please notify me immediately.*



**From:** Melissa Shearer  
**Sent:** Tuesday, January 21, 2025 3:21 PM  
**To:** Sarah LaValliere <[deputyclerk@summitvillage.org](mailto:deputyclerk@summitvillage.org)>  
**Subject:** KM Rec Sports Baseball Registration Now Open

Hello,

I am with Kettle Moraine Rec Sports, the organization continuing the rec-level baseball program from KM Rec Assn.

Our website is up and registrations are open.

Is there an opportunity to list Kettle Moraine Rec Sports on the Village Website as a local, rec-level baseball opportunity for 4k thru 8th graders?

I have included a "Registration Open" graphic and our organization's logo for use as applicable.

Simple Message:

KM Rec Sports Rec-Level Baseball Registration is Open!

Sign up now for Summer 2025 season:

T-ball (4k thru 1st grade)

Coach-pitch Baseball (1st thru 2nd grade)

Baseball (2nd thru 8th grade)

\$10 early-bird discount if you register before 03/31!

Register Here: [www.kmrecsports.com](http://www.kmrecsports.com)

Let me know if you have any questions or need any additional information!

Thanks in advance!

Melissa Shearer

Director of Marketing, KM Rec Sports



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 6, 2025

Re: Discussion and Action on Jurisdictional Transfer of Segment of Pabst Farms Blvd within the Village of Summit to the City of Oconomowoc

---

**PURPOSE:**

To revisit a request from the City of Oconomowoc for the Village Board to consider a jurisdictional transfer of the segment of Pabst Farms Blvd within the Village of Summit to the City of Oconomowoc.

**BACKGROUND:**

At the February 7, 2025 Village Board meeting, action was taken to conditionally approve the design and construction of an intersection on Pabst Farms Boulevard that bisects the municipal boundary with shared private roadways/drives that serves four parcels along either side of the municipal boundary between the Village of Summit and the City of Oconomowoc.

Part of the initial request was for the Village to consider a jurisdictional transfer of the segment of Pabst Farms Blvd that is currently the responsibility of the Village to the City. Ultimately, the Village Board determined that they would not approve the transfer at this time and opted to enter into an intermunicipal agreement for the traffic signal maintenance and any additional infrastructure associated with the new intersection.

On February 20<sup>th</sup>, Administrator Michael, President Riley, and City Administrator Frye met at City Hall to discuss a variety of topics. During the meeting, Administrator Frye requested that the Village reconsider the jurisdictional transfer.

The following information was provided at the meeting with regard to the proposed transfer:

*Jurisdictional Transfer of Pabst Farms Blvd within Village*

*There has been some confusion regarding the jurisdiction of the segment of Pabst Farms Blvd in the Village between the City/Village limit and the roundabout at N Sawyer Rd. WisDOT has confirmed that any local segments of roadways that are constructed as part of a state project do not require a formal jurisdiction transfer from WisDOT and that the segment of Pabst Farms Blvd is considered to be under Village of Summit jurisdiction.*

*The City has also expressed interest in taking over jurisdiction of the Village's segment of Pabst Farms Blvd. Currently, the City plows the roadway up to the roundabout. By taking over jurisdiction of this segment, a separate agreement would not be required for traffic signals and other intersection infrastructure at the proposed intersection. In order to accomplish this, a Right-of-Way Jurisdictional Transfer will need to be adopted by the City, Village, and WisDOT. WisDOT technically owns the land upon which the roadway was built, as it was deeded to the Department by Pabst Farms. WisDOT confirmed that this transfer would not require boundary changes for either municipality.*

*The main benefit to maintaining jurisdiction of the roadway by the Village would be to have control over access points to parcels. If the Village Board approves the shared access and intersection construction, this control will not be an issue for the two Village parcels since the access would already be planned and constructed as part of the Parcel XI development. Transfer of jurisdiction to the City would eliminate the need for future maintenance, repair, and resurfacing of the roadway by the Village.*

**RECOMMENDATION:**

Staff believe that the jurisdictional transfer of the segment of Pabst Farms Blvd between the Village/City limit and the CTH P roundabout would benefit the Village by eliminating maintenance, repair, and resurfacing on the roadway. It would also eliminate the need for an intermunicipal agreement related to the infrastructure of the new intersection at the municipal boundary.

**ATTACHMENTS:**

Entrance Exhibits (completed by developer of Parcel XI of SE Development of Pabst Farms Blvd)

Business Park Conceptual Layout Plan

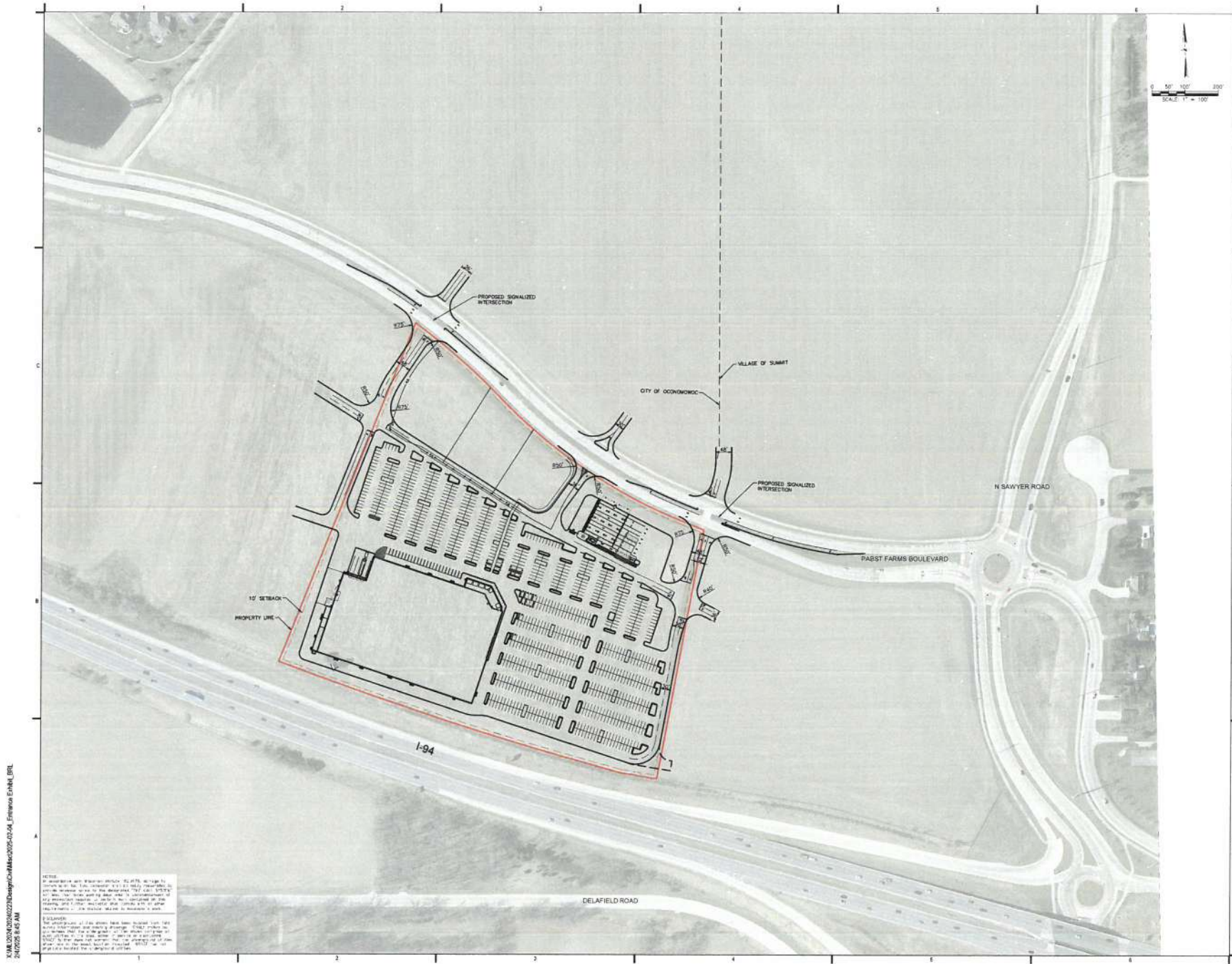
Certified Survey Map for Village of Summit Properties

**FISCAL IMPACT:**

In the event that the Village Board decides to transfer jurisdiction of the segment of Pabst Farms Blvd to the City of Oconomowoc, future road maintenance and repair costs will become the responsibility of the City. There are also legal review fees anticipated for review of ordinance/agreement information.

**RECOMMENDED MOTION:**

**Motion to approve the jurisdictional transfer for the segment of Pabst Farms Boulevard within the Village municipal boundary to the City of Oconomowoc, subject to approval from all objecting and approving bodies, to be completed prior to the completion of all improvements related to the intersection that bisects the municipal boundary with shared private roadways/drives:** The City of Oconomowoc, the Village of Summit, and the Wisconsin Department of Transportation shall approve a jurisdictional transfer of the segment of Pabst Farms Blvd within the Village municipal boundary that transfers jurisdiction of the above described roadway and associated right-of-way to the City of Oconomowoc as required by State Statute.



X:\ML\2024\02\22\240222\CH\240222-02-04\_External\_EPlan\_BRL  
 2/26/25 8:55 AM

**NOTES:**  
 1. THE INFORMATION ON THIS PLAN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.  
 2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEYING INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LEGAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 6. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 7. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 8. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHITECTURAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 9. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LANDSCAPE INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 10. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CIVIL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 11. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ELECTRICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 12. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY MECHANICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 13. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PLUMBING INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 14. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY STRUCTURAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 15. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SPECIALTIES INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 16. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY OTHER INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 17. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LEGAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 18. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 19. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 20. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHITECTURAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 21. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LANDSCAPE INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 22. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CIVIL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 23. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ELECTRICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 24. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY MECHANICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 25. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PLUMBING INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 26. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY STRUCTURAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 27. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SPECIALTIES INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 28. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY OTHER INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 29. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LEGAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 30. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 31. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 32. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHITECTURAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 33. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LANDSCAPE INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 34. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CIVIL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 35. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ELECTRICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 36. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY MECHANICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 37. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PLUMBING INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 38. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY STRUCTURAL INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 39. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SPECIALTIES INFORMATION AND PROVIDING IT TO THE ENGINEER.  
 40. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY OTHER INFORMATION AND PROVIDING IT TO THE ENGINEER.

**GRÄEF**  
 275 West Wisconsin Avenue  
 Suite 300  
 Milwaukee, WI 53203-5316  
 414 / 259 1500

**PROJECT TITLE**  
 OCONOMOWOC, WISCONSIN

**PROJECT INFORMATION**  
 FABST FARMS BLVD  
 OCONOMOWOC, WI

NO.	DATE	REVISIONS	BY

**PROJECT INFORMATION**  
 PROJECT NUMBER: 2024-0223  
 DATE: 02/04/2025  
 DRAWN BY: BRL  
 CHECKED BY: BRL  
 APPROVED BY: BTP  
 SCALE: AS NOTED

**SHEET TITLE**  
 DRIVEWAY EXHIBIT

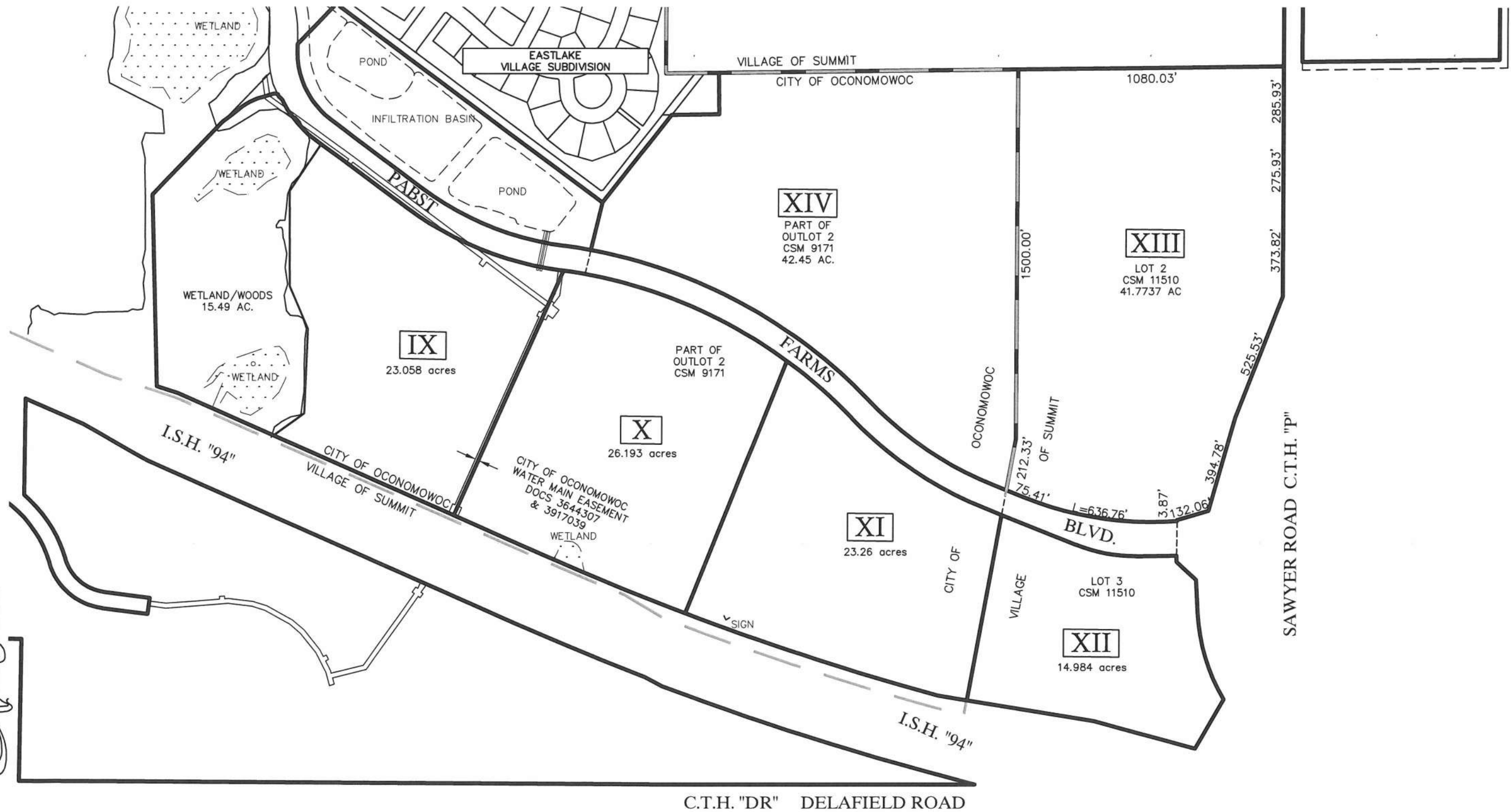
**SHEET NUMBER**  
**EXHIBIT**

PRELIMINARY - NOT FOR CONSTRUCTION

# SOUTHEAST DEVELOPMENT

## PABST FARMS BLVD

For Conceptual Layout  
Purposes Only



GRAPHIC SCALE



( IN FEET )

REC'D MAR 19 2024

4254132



# CERTIFIED SURVEY MAP NO. 11510

BEING A DIVISION OF PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 11, PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 11 AND PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 14, ALL IN TOWNSHIP 7 NORTH, RANGE 17 EAST, IN THE VILLAGE OF SUMMIT, WAUKESHA COUNTY, WISCONSIN.

### PREPARED BY:

TRIO ENGINEERING, LLC  
12660 W. NORTH AVENUE, BLDG. "D"  
BROOKFIELD, WI 53005  
PHONE: 262-790-1480  
FAX: 262-790-1481

### OVERALL DETAIL SHEET

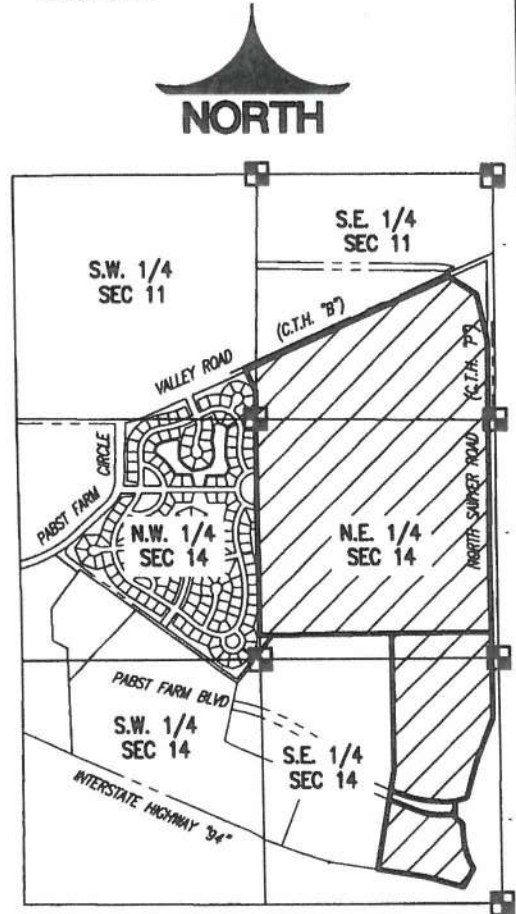
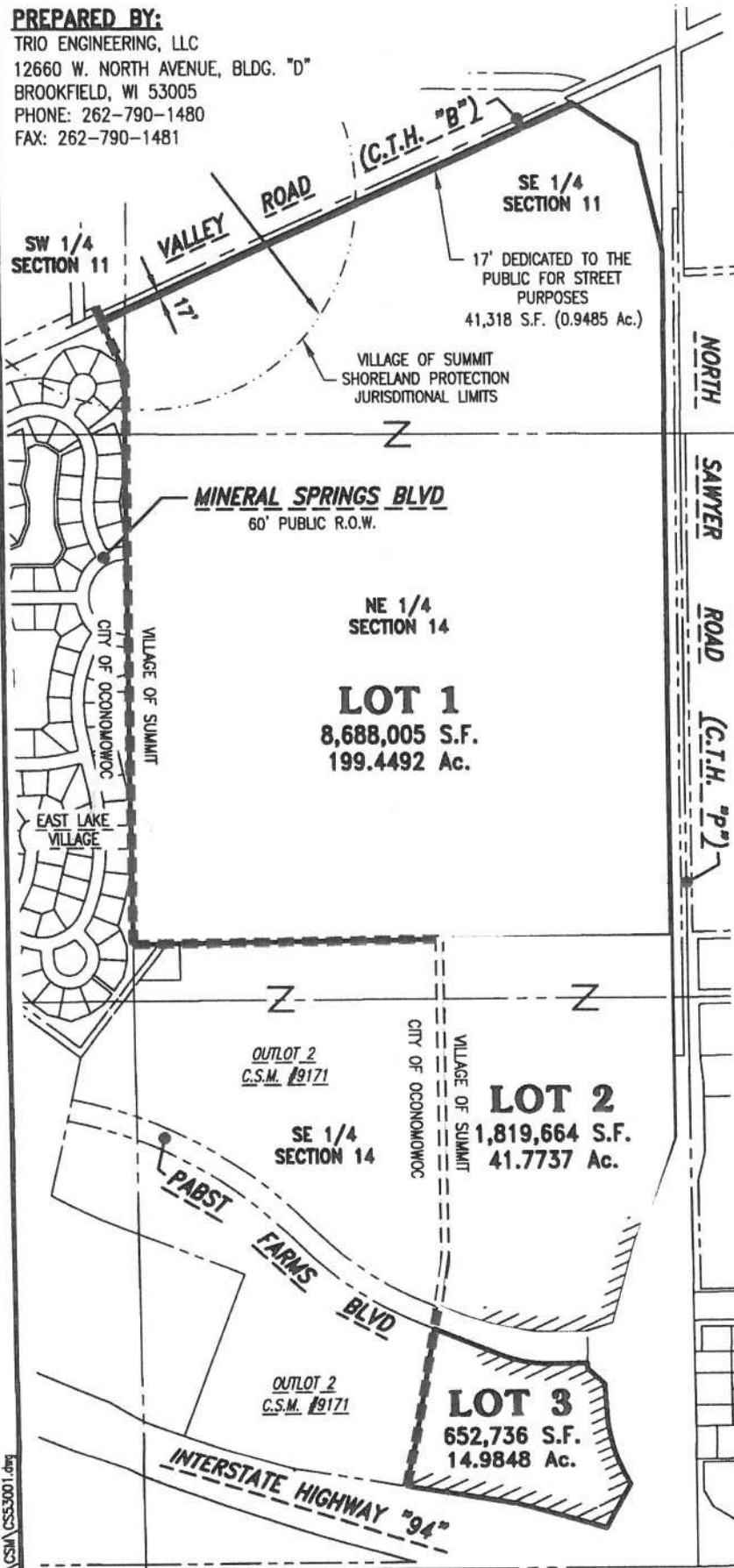
### OWNERS:

PABST FARM LAND COMPANY R, LLC  
P.O. BOX 508  
RICHMOND, IL 60071

PABST FARM LAND COMPANY C, LLC  
BOX 508  
RICHMOND, IL 60071

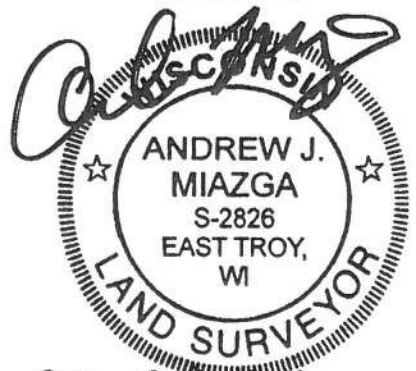
### NOTES:

- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE EAST LINE OF THE N.E. 1/4 OF SECTION 14, TOWN 7 NORTH, RANGE 17 EAST, BEARS N00°05'25"E.

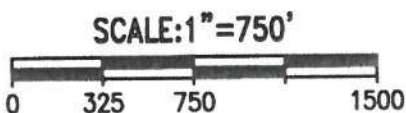


### LOCALITY MAP:

S.E. 1/4 & S.W. 1/4 SEC. 11,  
ALL OF SECTION 14  
T. 7 N., R. 17 E.  
SCALE: 1"=2000'



REV. 12-21-2016



DEMOTES NO ACCESS  
(SEE SHEET 3 OF 10)

DRAFTED THIS 5th DAY OF JULY, 2016  
THIS INSTRUMENT WAS DRAFTED BY ANDREW J. MIAZGA, S-2826

JOB NO. 16-014-953-01  
SHEET 1 OF 10



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

### MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 5, 2025

Re: Discussion and Action on Purchase of Road Salt on WisDOT Bid for 2025 – 2026 Winter Season

---

#### PURPOSE:

To request authorization for the Village to participate in the statewide sodium chloride bid and to enter into a municipal agreement with the WisDOT to purchase road salt for the 2025 – 2026 winter season.

#### BACKGROUND:

For the past several years, the Village has participated in the annual WisDOT sodium chloride bid for road salt. WisDOT will receive a single, combined price to include three categories of delivery services for road salt, including guaranteed early fill, guaranteed seasonal fill, and vendor reserve.

- **Guaranteed early fill** is a service that allows for ordering and delivery of salt to fill storage sheds to capacity prior to the winter season. If we request this amount, we are obligated to order all of the requested salt prior to the end of October.
- **Guaranteed seasonal fill** is a service that will fill our storage shed during the winter season between December and the end of April. All salt that is requested must be purchased and delivered, or penalties may apply.
- **Vendor reserve** is a service that allows for up to 20% of the total guaranteed purchase (e.g. early fill and seasonal fill) to be held in reserve in the event that additional salt is needed. There is no requirement to order this salt.

Based on existing inventory and remaining salt to be delivered this year under the existing agreement, Village staff will likely request the following amounts:

	2023 - 2024	2024 - 2025	2025 - 2026
Guaranteed Early Fill	75 tons	0 tons	<b>0 tons</b>
Guaranteed Seasonal Fill	300 tons	200 tons	<b>300 tons</b>
Vendor Reserve	75 tons	40 tons	<b>60 tons</b>

Note that the agreement will be sent out in mid-March for completion, with a due date of the end of March. Staff are proactively requesting permission to participate in this procurement process, as the due date will occur prior to the next Village Board meeting.

ATTACHMENTS: WisDOT Notice of Upcoming Invitation to Participate on State Contract 25/26 (dated 2/11/2025)

FISCAL IMPACT: TBD based on bid results. \$20,000 was included in the 2025 budget for road salt, of which \$0 has been expended to date. Bid results generally are announced in July, and all costs will be added to the 2026 operating budget for approval.

RECOMMENDED MOTION: **Motion to authorize the Public Works Director to participate in the statewide sodium chloride bid and to enter into a municipal agreement with WisDOT for the 2025 – 2026 winter season.**

## Kamron Nash

---

**To:** DOT Salt  
**Subject:** Upcoming Invitation to participate on State Contract 25/26

**From:** DOT Salt  
**Sent:** Tuesday, February 11, 2025 1:47 PM  
**To:**  
**Cc:** DOT Salt  
**Subject:** Upcoming Invitation to participate on State Contract 25/26

Dear Local Official,

The purpose of this email is to notify you that the invitation to participate in the 2025-2026 road salt contract will be sent to you sometime in March.

Your Unit of Government has previously participated in the Wisconsin DOT road salt contract.

At this time, please send any contact updates as soon as possible (e.g. additional staff, a change of contact over last year, etc.).

**As applicable: If it is required by your Unit of Government, please plan ahead and add the salt contract review to upcoming meeting agenda(s).**

If you have any questions or concerns, please reach out to me at

Please let me know if you have any questions.

Respectfully,

**Christina Thode**

Statewide Salt Coordinator  
Financial Specialist-Senior

Department of Transportation  
Bureau of Highway Maintenance



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 6, 2025

Re: Discussion and Action on CY2024 MS4 Annual Report

---

**PURPOSE:**

To provide a draft of the CY2024 MS4 Annual Report for review and to request Village Board approval for submission to the WI Department of Natural Resources prior to March 31, 2025.

**BACKGROUND:**

The WDNR requires all Municipal Separate Storm Sewer (MS4) permittees to complete an annual report that is due no later than March 31<sup>st</sup> annually. There are several required components that must be addressed in the annual report, including:

- Public Education and Outreach
- Public Involvement and Participation
- Illicit Discharge Detection and Elimination (IDDE)
- Construction Site Pollutant Control
- Post-Construction Stormwater Management
- Pollution Prevention
- Internal (Staff) Education and Communication
- Storm Sewer System Map
- Fiscal Analysis
- MS4 Modeling

In late 2023/early 2024, the Village submitted an updated system map and modeling to prove that the Village is meeting the pollutant removal requirements of the Village's permit. The WDNR provided concurrence that the Village is meeting their MS4 requirements.

**RECOMMENDATION:**

Village staff recommends approval of the draft CY2024 MS4 Annual Report by the Village Board and authorization for the Public Works Director to submit on behalf of the Village.

ATTACHMENTS: CY2024 MS4 Annual Report (DRAFT)

FISCAL IMPACT: No direct financial impact results from approval of this report for submittal to the WDNR. SEH provided erosion control inspection and IDDE inspection reports to the Village, which is included in the Public Works MS4 Compliance operating budget.

RECOMMENDED MOTION: **Motion to approve the Village of Summit CY2024 MS4 Annual Report and to authorize the Public Works Director to submit to the WI Department of Natural Resources prior to March 31, 2025.**

# Submittal of Annual Reports and Other Compliance Documents for Municipal Separate Storm Sewer System (MS4) Permits

NOTE: Missing or incomplete fields are highlighted at the bottom of each page. You may save, close and return to your draft permit as often as necessary to complete your application. After 120 days your draft is **deleted**.

--	--	--	--	--	--	--

Form 3400-224(R8/2021)

## Reporting Information :

Will you be completing the Annual Report or other submittal type?  Annual Report  Other

**Project Name:** 2024 Annual Report

**County:** Waukesha

**Municipality:** Summit, Village

**Permit Number:** S050075

**Facility Number:** 31316

**Reporting Year:** 2024

Is this submittal also satisfying an Urban Nonpoint Source Grant funded deliverable?  Yes  No

## Required Attachments and Supplemental Information

Please complete the contents of each tab to submit your MS4 permit compliance document. The information included in this checklist is necessary for a complete submittal. A complete and detailed submittal will help us review about your MS4 permit document. To help us make a decision in the shortest amount of time possible, the following information must be submitted:

### Annual Report

- Review related web site and instructions for [Municipal storm water permit eReporting](#) [Exit Form]
- Complete all required fields on the annual report form and upload required attachments
- Attach the following other supporting documents as appropriate using the attachments tab above
  - Public Education and Outreach Annual Report Summary
  - Public Involvement and Participation Annual Report Summary
  - Illicit Discharge Detection and Elimination Annual Report Summary
  - Construction Site Pollution Control Annual Report Summary
  - Post-Construction Storm Water Management Annual Report Summary
  - Pollution Prevention Annual Report Summary
    - Leaf and Yard Waste Management
    - Municipal Facility (BMP) Inspection Report
    - Municipal Property SWPPP
    - Municipally Property Inspection Report
    - Winter Road Maintenance
  - Storm Sewer Map Annual Report Attachment
  - Storm Water Quality Management Annual Report Attachment

- TMDL Attachment
  - Storm Water Consortium/Group Report
  - Municipal Cooperation Attachment
  - Other Annual Report Attachment
- 
- Attach the following permit compliance documents as appropriate using the attachments tab above
    - Storm Water Management Program
      - Public Education and Outreach Program
      - Public Involvement and Participation Program
      - Illicit Discharge Detection and Elimination Program
      - Construction Site Pollutant Control Program
      - Post-Construction Storm Water Management Program
      - Pollution Prevention Program
        - Municipal Storm Water Management Facility (BMP) Inventory
        - Municipal Storm Water Management Facility (BMP) Inspection and Maintenance Plan
    - Total Maximum Daily Load documents (*\*If applicable, see permit for due dates.*)
      - TMDL Mapping\*
      - TMDL Modeling\*
      - TMDL Implementation Plan\*
      - Fecal Coliform Screening Parameter \*
      - Fecal Coliform Inventory and Map (*S050075-03 general permittees Appendix B B.5.2 – document due to the department by March 31, 2022*)
      - Fecal Coliform Source Elimination Plan (*S050075-03 general permittees Appendix B - document due to the department by October 31, 2023*)
- 
- Sign and Submit form

**Municipal Contact Information- Complete**

**Notice:** Pursuant to s. NR 216.07(8), Wis. Adm. Code, an owner or operator of a Municipal Separate Storm Sewer System (MS4) is required to submit an annual report to the Department of Natural Resources (Department) by March 31 of each year to report on activities for the previous calendar year ("reporting year"). This form is being provided by the Department for the user's convenience for reporting on activities undertaken in each reporting year of the permit term. Personal information collected will be used for administrative purposes and may be provided to the extent required by Wisconsin's Open Records Law [ss. 19.31-19.39, Wis. Stats.].

**Note:** Compliance items must be submitted using the Attachments tab.

**Municipality Information**

**Name of Municipality:** Summit, Village

**Facility ID # or (FIN):** 31316

**Updated Information:**  Check to update mailing address information

**Mailing Address:** 37100 Delafield Road

**Mailing Address 2:**

**City:** Summit, Village

**State:** WI

**Zip Code:** 53066 xxxxx or xxxxx-xxxx

**Primary Municipal Contact Person (Authorized Representative for MS4 Permit)**

The "Authorized Representative" or "Authorized Municipal Contact" includes the municipal official that was charged with compliance and oversight of the permit conditions, and has signature authority for submitting permit documents to the Department (i.e., Mayor, Municipal Administrator, Director of Public Works, City Engineer).

Select to **create new** primary contact

**First Name:** Kamron

**Last Name:** Nash

Select to **update** current contact information

**Title:** Public Works Dir.

**Mailing Address:** 37100 Delafield Road

**Mailing Address 2:**

**City:** Summit

**State:** WI

**Zip Code:** 53066 xxxxx or xxxxx-xxxx

**Phone Number:** 262-567-2757 Ext: xxx-xxx-xxxx

**Email:** pwdirector@summitvillage.org

**Additional Contacts Information (Optional)**

I&E Program

**Individual with responsibility for:  
(Check all that apply)**

- IDDE Program
- IDDE Response Procedure Manual
- Municipal-wide Water Quality Plan
- Ordinances
- Pollution Prevention Program
- Post-Construction Program
- Winter roadway maintenance

**First Name:** Kamron

**Last Name:** Nash

**Title:** Public Works Dir.

**Mailing Address:** 37100 Delafield Rd

**Mailing Address 2:**

**City:** Summit

**State:** WI

**Zip Code:** 53066      xxxxx or xxxxx-xxxx

**Phone Number:** 262-567-2757      Ext:      xxx-xxx-xxxx

**Email:** pwdirector@summitvillage.org

**Municipal Billing Contact Person (Authorized Representative for MS4 Permit)**

Select to **create new** Billing contact

**First Name:** Debra

**Last Name:** Michael

Select to **update** current contact information

**Title:** Village Administrator-Clerk/Treasurer

**Mailing Address:** 37100 Delafield Rd

**Mailing Address 2:**

**City:** Summit

**State:** WI

**Zip Code:** 53066      xxxxx or xxxxx-xxxx

**Phone Number:** 262-567-2757      Ext:      xxx-xxx-xxxx

**Email:** administrator@summitvillage.org

1. Does the municipality rely on another entity to satisfy some of the permit requirements?

Yes    No

Public Education and Outreach   Waukesha County

Public Involvement and Participation   Waukesha County

Illicit Discharge Detection and Elimination   Short Elliott Hendrickson, Inc.

Construction Site Pollutant Control Short Elliott Hendrickson, Inc.

---

Post-Construction Storm Water Management Short Elliott Hendrickson, Inc.

---

Pollution Prevention

2. Has there been any changes to the municipality's participation in group efforts towards permit compliances (i.e., the municipality has added or dropped consortium membership)?

Yes  No

## Missing Information

Do not close your work until you SAVE.

Note: For the minimum control measures, you must fill out all questions in sections 1 through 7.

Form 3400-224 (R8/2021)

## Minimum Control Measures- Section 1 : Complete

### 1. Public Education and Outreach

- a. Does MS4 conduct any educational efforts or events independently (not with a group)  Yes  No
- b. How many total educational events were held during the reporting year:
- c. Were any of the public education and outreach delivery mechanisms conducted during the reporting year active or interactive?  Yes  No
- d. Please select all storm water topics, target audiences, and delivery mechanisms used in the reporting year

Public Education and Outreach Delivery Mechanisms (Active and Passive)	
Active/Interactive Mechanisms	Passive Mechanisms
<input checked="" type="checkbox"/> Education activities (school presentations, summer camps)	<input checked="" type="checkbox"/> Passive print media (brochures at front desk, posters, etc.)
<input checked="" type="checkbox"/> Information booth at event	<input checked="" type="checkbox"/> Distribution of print media (mailings, newsletters, etc.) via mail or email.
<input checked="" type="checkbox"/> Targeted group training (contractors, consultants, etc.)	<input checked="" type="checkbox"/> Media offerings (radio and TV ads, press release, etc.)
<input checked="" type="checkbox"/> Government event (public hearing, council meeting)	<input checked="" type="checkbox"/> Social media posts
<input checked="" type="checkbox"/> Workshops	<input checked="" type="checkbox"/> Signage
<input checked="" type="checkbox"/> Tours	<input checked="" type="checkbox"/> Website
<input type="checkbox"/> Other: <input type="text"/>	<input type="checkbox"/> Other: <input type="text"/>

Topics Covered	Target Audience
<input checked="" type="checkbox"/> Illicit discharge detection and elimination	<input checked="" type="checkbox"/> General Public
<input checked="" type="checkbox"/> Household hazardous waste disposal/pet waste management/vehicle washing	<input checked="" type="checkbox"/> Public Employees
<input checked="" type="checkbox"/> Yard waste management/pesticide and fertilizer application	<input checked="" type="checkbox"/> Residents
<input checked="" type="checkbox"/> Stream and shoreline management	<input checked="" type="checkbox"/> Businesses
<input checked="" type="checkbox"/> Residential infiltration	<input checked="" type="checkbox"/> Contractors
<input checked="" type="checkbox"/> Construction sites and post-construction storm water management	<input checked="" type="checkbox"/> Developers
<input checked="" type="checkbox"/> Pollution prevention	<input checked="" type="checkbox"/> Industries
<input checked="" type="checkbox"/> Green infrastructure/low impact development	<input type="checkbox"/> Public Officials
<input type="checkbox"/> Other: <input type="text"/>	<input type="checkbox"/> Other: <input type="text"/>

- e. Will additional information/summary of these education events be attached to the annual report?  Yes  No

If no, please provide additional comment in the brief explanation box below. *Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Please refer to the attached 2024 Information and Education Ledger of Activities spreadsheet and the MS4 Annual Report Supporting Documentation Summary document for detailed information.

## Missing Information

**Do not close** your work until you **SAVE**.

**Note:** For the minimum control measures, you must fill out all questions in sections 1 through 7

Form 3400-224 (R8/2021)

## Minimum Control Measures - Section 2 : Complete

### 2. Public Involvement and Participation

**a. Permit Activities.** Select all of the following topics the Permittee did to engage public participation and involvement.

Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
<input checked="" type="checkbox"/> MS4 Annual Report <input type="checkbox"/> Storm Water Management Program <input checked="" type="checkbox"/> Storm Water related ordinance <input type="checkbox"/> Other: <input type="text"/>	<input checked="" type="checkbox"/> General Public <input checked="" type="checkbox"/> Public Employees <input checked="" type="checkbox"/> Residents <input type="checkbox"/> Businesses <input checked="" type="checkbox"/> Contractors <input checked="" type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Public Officials <input type="checkbox"/> Other	101 +	<input type="radio"/> Yes <input checked="" type="radio"/> No

**b. Volunteer Activities.** Select all of the following audiences targeted for volunteer involvement and participation related to storm water.

NA (Individual Permittee)

Topics Covered	Target Audience	Estimated People Reached (Optional)	Regional Effort (Optional)
Volunteer Opportunity	<input checked="" type="checkbox"/> General Public <input type="checkbox"/> Public Employees <input type="checkbox"/> Residents <input type="checkbox"/> Businesses <input type="checkbox"/> Contractors <input type="checkbox"/> Developers <input type="checkbox"/> Industries <input type="checkbox"/> Public Officials <input type="checkbox"/> Other	101 +	<input checked="" type="radio"/> Yes <input type="radio"/> No

**c. Brief explanation on Public Involvement and Participation reporting. *Limit response***

to 250 characters and/or attach supplemental information on the attachments page.

Adopt a Drain residents are asked to clean two times/month and report the quantity of what they remove. Citizen Stream Monitors collect water quality data of local waters. Clam Surveys get residents into local rivers to learn about aquatic life.

## Missing Information

Do not close your work until you **SAVE**.

**Note:** For the minimum control measures, you must fill out all questions in sections 1 through 7

Form 3400-224 (R8/2021)

## Minimum Control Measures - Section 3 : Complete

### 3. Illicit Discharge Detection and Elimination

- |   |                                 |
|---|---------------------------------|
| a. How many total outfalls does the municipality have?  | <input type="text" value="11"/> |
| b. How many major outfalls does the municipality have?  | <input type="text" value="2"/>  |
| c. How many outfalls did the municipality evaluate as part of their routine ongoing field screening program?  | <input type="text" value="10"/> |
| d. From the municipality's routine screening, how many were confirmed illicit discharges?   | <input type="text" value="0"/>  |
| e. How many illicit discharge complaints did the municipality receive?  | <input type="text" value="0"/>  |
| f. From the complaints received, how many were confirmed illicit discharges?  | <input type="text" value="0"/>  |
| g. How many of the identified illicit discharges did the municipality eliminate in the reporting year (from both routine screening and complaints)? | <input type="text" value="0"/>  |
- (If the sum of 3.c. and 3.e. does not equal 3.f., please explain below.)
- h. What types of regulatory mechanisms does the municipality have available to compel compliance with this program? Check all that are available and how many times each were used in the reporting year.
- |   |                                |
|---|--------------------------------|
| <input checked="" type="checkbox"/> Verbal Warning                    | <input type="text" value="0"/> |
| <input checked="" type="checkbox"/> Written Warning (including email) | <input type="text" value="0"/> |
| <input checked="" type="checkbox"/> Notice of Violation               | <input type="text" value="0"/> |
| <input checked="" type="checkbox"/> Civil Penalty/ Citation           | <input type="text" value="0"/> |

Additional Information:

- i. Brief explanation on Illicit Discharge Detection and Elimination reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Please refer to the 2024 SEH IDDE Inspection Summary and Reports and the MS4 Annual Report Supporting Documentation Summary for more detailed information regarding IDDE field screening, reporting, source investigation, and elimination.

## Missing Information

Do not close your work until you **SAVE**.

Note: For the minimum control measures, you must fill out all questions in sections 1 through 7

Form 3400-224 (R8/2021)

## Minimum Control Measures - Section 4 : Complete

### 4. Construction Site Pollutant Control

- a. How many total construction sites with one acre or more of land disturbing construction activity were active at any point in the reporting year?
- b. How many construction sites with one acre or more of land disturbing construction activity did the municipality issue permits for in the reporting year?
- c. How many erosion control inspections did the municipality complete in the reporting year (at sites with one acre or more of land disturbing construction activity)?
- d. What types of regulatory mechanisms does the municipality have available to compel compliance with this program? Check all that are available and how many times each were used in the reporting year.
- |   |                                 |
|---|---------------------------------|
| <input checked="" type="checkbox"/> Verbal Warning                    | <input type="text" value="67"/> |
| <input checked="" type="checkbox"/> Written Warning (including email) | <input type="text" value="10"/> |
| <input checked="" type="checkbox"/> Notice of Violation               | <input type="text" value="1"/>  |
| <input checked="" type="checkbox"/> Civil Penalty/ Citation           | <input type="text" value="0"/>  |
| <input checked="" type="checkbox"/> Stop Work Order                   | <input type="text" value="0"/>  |
| <input checked="" type="checkbox"/> Forfeiture of Deposit             | <input type="text" value="0"/>  |
| <input type="checkbox"/> Other - Describe below                       | <input type="text"/>            |
- e. Brief explanation on Construction Site Pollutant Control reporting . *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Please refer to the MS4 Annual Report Supporting Documentation Summary for detailed information regarding construction site pollutant control.

## Missing Information

Do not close your work until you **SAVE**.

Note: For the minimum control measures, you must fill out all questions in sections 1 through 7

Form 3400-224 (R8/2021)

## Minimum Control Measures - Section 5 : Complete

### 5. Post-Construction Storm Water Management

- a. How many new structural storm water management Best Management Practice (BMP) have received local approval ?   
\*Engineered and constructed systems that are designed to provide storm water quality control such as wet detention ponds, constructed wetlands, infiltration basins, grassed swales, permeable pavement,
- b. Does the MS4 have procedures for inspecting and maintaining private storm water facilities?  Yes  No
- c. If Yes, how many privately owned storm water management facilities were inspected in the reporting year ? Inspections completed by private landowners should be included in the reported number.

- d. Does the municipality utilize privately owned storm water management BMP in its pollutant reduction analysis?  Yes  No
- e. Does MS4 have maintenance authority on these privately owned BMPs?  
 Yes  No

- f. What types of enforcement actions does the municipality have available to compel compliance with the regulatory mechanism? Check all that apply and enter the number of each used in the reporting year.

- |  |                                |
|--|--------------------------------|
| <input type="checkbox"/> Verbal Warning                    | <input type="text"/>           |
| <input type="checkbox"/> Written Warning (including email) | <input type="text"/>           |
| <input checked="" type="checkbox"/> Notice of Violation    | <input type="text" value="0"/> |
| <input type="checkbox"/> Civil Penalty/ Citation           | <input type="text"/>           |
| <input type="checkbox"/> Forfeiture of Deposit             | <input type="text"/>           |
| <input checked="" type="checkbox"/> Complete Maintenance   | <input type="text" value="0"/> |
| <input checked="" type="checkbox"/> Bill Responsible Party | <input type="text" value="0"/> |
| <input type="checkbox"/> Other - Describe below            | <input type="text"/>           |

- g. Brief explanation on Post-Construction Storm Water Management reporting . *If marked 'Unsure' on any questions above, justify your reasoning. Limit your response to 250 characters and/or attach supplemental information on the attachments page.*

Please refer to the BMP Facilities Inventory and the MS4 Annual Report Supporting Documentation Summary for detailed information regarding post-construction storm water management.

### Missing Information

Do not close your work until you **SAVE**.

Note: For the minimum control measures, you must fill out all questions in sections 1 through 7

**Minimum Control Measures - Section 6 : Complete****6. Pollution Prevention**Storm Water Management Best Management Practice Inspections  Not Applicable

- a. Enter the total number of "municipally owned" (i.e., publicly owned BMPs) or operated (i. e., privately owned BMPs) structural storm water management best management practices.
- b. How many new municipally owned storm water management best management practices were installed in the reporting year?
- c. How many municipally owned (public) storm water management best management practices were inspected in the reporting year?
- d. What elements are looked at during inspections (250 character limit)?

BMPs are inspected to determine that they are built to plan. Inspectors visually check for erosion and sediment control, as well as for invasive growth of vegetation and brush.

- e. How many of these facilities required maintenance?
- f. Brief explanation on Storm Water Management Best Management Practice inspection reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Please refer to the MS4 Annual Report Supporting Documentation Summary for detailed information on Storm Water Management Best Management practice inspection reporting.

Public Works Yards & Other Municipally Owned Properties that require a stormwater pollution prevention plan (SWPPP)\*  Not Applicable

- g. How many municipal properties require a SWPPP?
- h. How many inspections of municipal properties have been conducted in the reporting year?
- i. Have amendments to the SWPPPs been made?  
 Yes  No
- j. If yes, describe what changes have been made. Limit response to 250 characters and/or attach supplemental information on the attachment page:

k. Brief explanation on Storm Water Pollution Prevention Plan reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Please refer to the MS4 Annual Report Supporting Documentation summary for detailed information on the Storm Water Pollution Prevention Plan.

\* Any municipally owned property that has the potential to generate stormwater pollution should have a SWPPP. For example, if a municipal property stores compost piles, material storage, yard wastes, etc., outside and can contaminate stormwater runoff—a SWPPP is required.

Collection Services - *Street Sweeping Program*  Not Applicable

- l. Did the municipality conduct street sweeping during the reporting year?  
 Yes  No
- m. If known, how many tons of material was removed?
- n. Does the municipality have a [low hazard exemption](#) for this material?  Yes  No
- o. If street sweeping is identified as a storm water best management practice in the pollutant loading analysis, was street cleaning completed at the assumed frequency?  
 Yes - Explain frequency \_\_\_\_\_  
 No - Explain \_\_\_\_\_  
 Not Applicable

Collection Services - *Catch Basin Sump Cleaning Program*  Not Applicable

- p. Did the municipality conduct catch basin sump cleaning during the reporting year?  Yes  No
- q. How many catch basin sumps were cleaned in the reporting year?
- r. If known, how many tons of material was collected?
- s. Does the municipality have a low hazard exemption for this material?  Yes  No
- t. If catch basin sump cleaning is identified as a storm water best management practice in the pollutant loading analysis, was cleaning completed at the assumed frequency?  
 Yes- Explain frequency \_\_\_\_\_  
 No - Explain \_\_\_\_\_  
 Not Applicable

Collection Services - *Leaf Collection Program*  Not Applicable

- u. Does the municipality conduct curbside leaf collection?  Yes  No
- v. Does the municipality notify homeowners about pickup?  Yes  No
- w. Where are the residents directed to store the leaves for collection?  
 Pile on terrace  Pile in street  Bags on terrace  
 Other - Describe \_\_\_\_\_
- x. What is the frequency of collection?  
11 scheduled collection dates per year.
- y. Is collection followed by street sweeping?  Yes  No
- z. Brief explanation on Collection Services reporting. *Limit response to 250 characters and/or attach supplemental information on the attachments page*

Please refer to the MS4 Annual Report Supporting Documentation Summary for detailed information on Collection Services.

Winter Road Management  Not Applicable

\*Note: We are requesting information that goes beyond the reporting year, answer the best you can.

aa. How many lane-miles of roadway is the municipality responsible for doing snow and ice control? (One mile of a two-way road equals two lane miles.)

ab. Provide amount of de-icing products used by month last winter season?  
Solids (tons) (ex. sand, or salt-sand)

Product	Oct	Nov	Dec	Jan	Feb	Mar
Salt	<input type="text" value="0"/>	<input type="text" value="7"/>	<input type="text" value="24"/>	<input type="text" value="130"/>	<input type="text" value="11"/>	<input type="text" value="14"/>

Liquids (gallons) (ex. brine)

	Oct	Nov	Dec	Jan	Feb	Mar
Brine	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="50"/>	<input type="text" value="200"/>	<input type="text" value="24"/>	<input type="text" value="20"/>

ac. Was salt applying machinery calibrated in the reporting year?  Yes  No

ad. Have municipal personnel attended salt reduction strategy training in the reporting year?  Yes  No

Training Date	Training Name	# Attendance
<input type="text" value="12/5/2024"/>	<input type="text" value="Smart Salting for WI Roads Workshop"/>	<input type="text" value="4"/>

ae. Brief explanation on Winter Road Management reporting. If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page

Please refer to the MS4 Annual Report Supporting Documentation Summary for detailed information regarding Winter Road Management.

Internal (Staff) Education & Communication

af. Has the municipality provided an opportunity for internal training or education to staff implementing the municipality's procedures for each of the pollution prevention program element?  Yes  No

If yes, describe what training was provided (250 character limit):

Stormwater Pollution Prevention for MS4's Training (4 Public Works Dept. Employees); UDC & Commercial Erosion Control Continuing Education (1 Building Inspector).

ag. Describe how the municipality has kept the following local officials and municipal staff aware of the municipal storm water discharge permit programs, procedures and pollution prevention program requirements.

Elected Officials

Elected officials are made aware of the municipal storm water discharge permit programs and requirements through updates at public government meetings.

Municipal Officials

Municipal officials are made aware of the municipal storm water discharge permit programs and requirements through updates at public government meetings.

Appropriate Staff ( such as operators, Department heads, and those that interact

with public)

Village of Summit staff are made aware of permit programs and requirements through public workshops, continuing education programs, Waukesha County, and the Village's engineer (Short Elliott Hendrickson, Inc.).

- ah. Brief explanation on Internal Education reporting. *If you marked Unsure for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Refer to the MS4 Annual Report Supporting Documentation Summary for detailed information regarding Internal Education.

## Missing Information

**Do not close** your work until you **SAVE**.

**Note:** For the minimum control measures, you must fill out all questions in sections 1 through 7

Form 3400-224 (R8/2021)

## Minimum Control Measures - Section 7 : Complete

### 7. Storm Sewer System Map

- a. Did the municipality update their storm sewer map this year?

Yes  No

If yes, check the areas the map items that got updated or changed:

- Storm water treatment facilities  
 Storm pipes  
 Vegetated swales  
 Outfalls  
 Other - Describe below

- b. Brief explanation on Storm Sewer System Map reporting. *If you marked Unsure for an question for any questions above, justify the reasoning. Limit response to 250 characters and/or attach supplemental information on the attachments page.*

Please refer to the MS4 Annual Report Supporting Documentation Summary for detailed information regarding the Storm Sewer System Map.

## Missing Information

Do not close your work until you SAVE.

Form 3400-224 (R8/2021)

## Final Evaluation - Has Missing Items

### Fiscal Analysis

Complete the fiscal analysis table provided below. For municipalities that do not break out funding into permit program elements, please enter the monetary amount to your best estimate of what funding may be going towards these programs.

Annual Expenditure Reporting Year	Budget Reporting Year	Budget Upcoming Year	Source of Funds
-----------------------------------	-----------------------	----------------------	-----------------

**Element:** Public Education and Outreach

1526	1500	1560	<u>General revenue fund</u>
------	------	------	-----------------------------

**Element:** Public Involvement and Participation

1525	1500	1560	<u>General revenue fund</u>
------	------	------	-----------------------------

**Element:** Illicit Discharge Detection and Elimination

385	1500	1500	<u>General revenue fund</u>
-----	------	------	-----------------------------

**Element:** Construction Site Pollutant Control

0	0	0	<u>Permit fee and/or deposit/escrow</u>
---	---	---	---

**Element:** Post-Construction Storm Water Management

345	500	500	<u>General revenue fund</u>
-----	-----	-----	-----------------------------

**Element:** Pollution Prevention

8536	12000	8000	<u>General revenue fund</u>
------	-------	------	-----------------------------

3284	6000	6000	<u>General revenue fund</u>
------	------	------	-----------------------------

12023	5500	5500	<u>General revenue fund</u>
-------	------	------	-----------------------------

**Other (describe)**

DNR Environmental Fee (MS4)

500	500	500	<u>General revenue fund</u>
-----	-----	-----	-----------------------------

**Other (describe)**

DNR Audit Preparation

0

0

5000

General revenue fund

Please provide a justification for a "0" entered in the Fiscal Analysis. *Limit response to 250 characters.*

### Water Quality

**a:** Were there any known water quality improvements in the receiving waters to which the municipality's storm sewer system directly discharges to?

Yes  No  Unsure      If Yes, explain below:

**b:** Were there any known water quality degradation in the receiving waters to which the municipality's storm sewer system directly discharges to?

Yes  No  Unsure      If Yes, explain below:

**c:** Have any of the receiving waters that the municipality discharges to been added to the impaired waters list during the reporting year?

Yes  No  Unsure

**d:** Has the municipality evaluated their storm water practices to reduce the pollutants of concern?

Yes  No  Unsure

### Storm Water Quality Management

**a.** Has the municipality completed or updated modeling in the reporting year (relating to developed urban area performance standards of s. NR 151.13(2)(b)1., Wis. Adm. Code)?  Yes  No

**b.** If yes, enter percent reduction in the annual average mass discharging from the entire MS4 to surface waters of the state as compared to implementing no storm water management controls:

Total suspended solids (TSS) 92.03

Total phosphorus (TP) 93.12

### Additional Information

Based on the municipality's storm water program evaluation, describe any proposed changes to the municipality's storm water program. *If your response exceeds the 250 character limit, attach supplemental information on the attachments page.*

The Village's Rock River TMDL submittals for permit condition A.6.3 were submitted in 2024. Concurrence was received, and no proposed changes to the Village's storm water program are planned at this time.

Do not close your work until you SAVE.

--	--	--	--	--	--	--

Form 3400-224 (R8/2021)

**Requests for Assistance on Understanding Permit Programs**

Would the municipality like the Department to contact them about providing more information on understanding any of the Municipal Separate Storm Sewer Permit programs?

Please select all that apply:

- Public Education and Outreach
- Public Involvement and Participation
- Illicit Discharge Detection and Elimination
- Construction Site Pollutant Control
- Post-Construction Storm Water Management
- Pollution Prevention
- Storm Water Quality Management
- Storm Sewer System Map
- Water Quality Concerns
- Compliance Schedule Items Due
- MS4 Program Evaluation

Do not close your work until you **SAVE**.

Form 3400-224(R8/2021)

## Required Attachments and Supplemental Information

Any other MS4 program information for inclusion in the Annual Report may be attached on here. Use the Add Additional Attachments to add multiple documents.

Upload Required Attachments (15 MB per file limit) - [Help reduce file size and trouble shoot file uploads](#)

\*Required Item

**Note:** To replace an existing file, use the 'Click here to attach file ' link or press the to delete an item.

### Storm Sewer System Map

 File Attachment

[TMDL Modeling & Map Updates - DNR Response 20240331.pdf](#)

### Attach - Other Supporting Documents

#### AR EO

 File Attachment

[2024 Information and Education Ledger of Activities \(Waukesha Co\).pdf](#)

#### AR IDDE

 File Attachment

[2024 SEH IDDE Inspection Summary and Reports.pdf](#)

#### AR MuniSWPPP

 File Attachment

[Stormwater Pollution Prevention Plan - Village of Summit.pdf](#)

#### AR MuniFacInsp

 File Attachment

[2024 SWPPP Annual Inspection Form.pdf](#)

#### AR PP

 File Attachment

[2024 Village of Summit - Catch Basin Cleaning Maps.pdf](#)

#### AR PP

 File Attachment

[2024 Village of Summit - Street Sweeping Maps.pdf](#)

#### AR IP

 File Attachment

[Intergovernmental Agreement for Storm Water Education Program Services \(T Summit & Waukesha Co\).pdf](#)

## AR PCSSW

 File Attachment

[Village of Summit Chapter 105 Construction Site Erosion Management.pdf](#)

## AR Other

 File Attachment

[MS4 Annual Report Supporting Documentation Summary \(CY2024\).pdf](#)

(To remove items, use your cursor to hover over the attachment section. When the drop down arrow appears, select remove item)

## **Attach - Permit Compliance Documents**

### SWQM TMDLModel

 File Attachment

[2024 Rock River TMDL Concurrence.pdf](#)

(To remove items, use your cursor to hover over the attachment section. When the drop down arrow appears, select remove item)

## **Missing Information**

**Draft and Share PDF Report with the permittee's governing body or delegated representatives.**

Press the button below to create a PDF. The PDF will be sent to the email address associated with the WAMS ID that is signed in. After the annual report has been reviewed by the governing body or delegated representative, return to the MS4 eReporting System to submit the final report to the DNR.

[Draft and Share PDF Report](#)

## Complete and Submit Your Application

You have not completed all areas of the application. Please return to the application and complete all missing items.

Contact Information:	Complete
Minimum Control Measures Section 1:	Complete
Minimum Control Measures Section 2:	Complete
Minimum Control Measures Section 3:	Complete
Minimum Control Measures Section 4:	Complete
Minimum Control Measures Section 5:	Complete
Minimum Control Measures Section 6:	Complete
Minimum Control Measures Section 7:	Complete
Attachments:	Complete
Final Evaluation:	Has Missing Items



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

### MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 5, 2025

Re: Discussion and Action on DPW Seasonal Laborer Positions Wage Range

---

#### PURPOSE:

To review the survey of wage ranges for Public Works seasonal employees throughout southern Wisconsin and to receive direction from the Village Board relative to updating the current DPW seasonal laborer wage range.

#### BACKGROUND:

In March 2023, the Village Board approved a wage range for the part-time, DPW General Laborer position at range of \$13.00 - \$17.00/hour. The minimum of \$13.00/hour was not changed, but the maximum was increased from \$15.00/hour.

The DPW has been fortunate to have seasonal laborer employees (one previous and one current) who hold CDLs and who are capable of performing more equipment operations duties. In addition, these employees have continued their employment in the winter months as DPW Winter Seasonal Operators. The Winter Seasonal Operator wage range is \$22.00 - \$25.00/hour.

The difficulty with both seasonal positions in the DPW is that there is a significant wage gap for each, and there is an overlap of the same type of work between seasons for employees who work through the summer/fall and continue as a winter seasonal. In addition, a retired full-time DPW Operator has shown interest in returning in a seasonal capacity provided that a reasonable wage is offered.

To provide more information for the Board to consider, wage information for similar seasonal positions was collected from communities throughout southern Wisconsin through the Southern Wisconsin Association of Public Works Supervisors (SWAPS), the Waukesha County Public Works Association (WCPWA), and current job postings. A table of the results is attached for reference. Note that a survey was completed in 2023, and updates have been shown in the 2025 column to depict changes. Most communities have trended to pay higher wages due to limited interest and difficulty filling positions.

#### RECOMMENDATION:


Village staff believe that there is value in recruiting and retaining seasonal employees with CDLs, as they are capable of assisting with safety-sensitive tasks and continuing employment



### Pay Range Survey for Seasonal Hires

Municipality	2023 Hourly Pay	2025 Hourly Pay	Notes
Village of Albany	\$15.00	-	\$1.00/hr raise after 1st year
Village of Big Bend	\$16.00 - \$18.00	-	Min. age 16 years old
City of Brookfield	\$14.57	\$17.13	Starting wage
City of Burlington	Not reported	\$16.00 - \$18.00	\$1.00 raise for returning employee
City of Columbus	\$12.78	-	
Village of Deforest	\$15.00	-	
City of Delafield	\$15.00	-	\$0.25/hr raise each year for returning employees
City of Delavan	\$12.50 - \$14.00	\$15.00	
Town of Delavan	Not reported	\$20.00	
City of Edgerton	\$12.00	-	\$0.25/hr raise for returning employees
Village of Elm Grove	\$10.00 - \$14.00	\$15.00	
City of Fitchburg	\$18.36 - \$20.27	-	
City of Fort Atkinson	\$11.98 - \$13.41	-	
	\$16.52	-	Retired employee wage
City of Janesville	\$14.00	\$15.30	\$1.00/hr increase after 1st year, \$0.50 raise per year after 2 years
City of Lake Geneva	\$15.64	-	
Village of Menomonee Falls	\$14.00	\$17.00	
Town of Merton	Not reported	N/A	No part time employees
City of Milton	\$14.00	\$16.00	
City of Middleton	\$15.00	\$17.00	\$0.25/hr increases each year
City of Monroe	\$12.50 - \$13.75	\$24.59	2023: LTEs are \$17.39 - \$23.13/hr, more in line with FT DPW duties vs. seasonals; 2025: Park Dept. Part-Time Laborer
Village of Mukwonago	\$17.11	\$11.15 - \$18.58	Starting wage DOE; \$18.58 for returning staff
City of New Berlin	\$15.00	\$15.00 - \$20.00	\$0.25/hr increase each year
City of Oconomowoc	\$13.25	\$15.75	\$0.25/hr raise when returning for another season
Village of Oregon	\$15.00	\$15.79	
City of Pewaukee	\$13.00	\$14.00 - \$14.50	
Village of Pewaukee	\$16.00	\$16.00 - \$17.00	40 hours per week
City of Platteville	\$13.00 - \$15.00	-	
City of Stoughton	\$20.00	\$21.53	Long Term Seasonals (20 wk)
	\$16.64	\$17.97	Short Term Seasonals (16 wk)
Village of Summit	\$13.00 - \$15.00	TBD	\$0.50/hr raise each year for returning employees (cap at \$15.00)
Village of Sussex	\$12.00; \$13.00		Parks seasonal; Mower seasonal
City of Sun Prairie	\$17.00 - \$20.00	\$18.00 - \$20.00	
City of Verona	\$15.00	-	
Village of Wales	\$15.00	\$16.00	
City of Watertown	Not reported	\$15.00 - \$19.00	Engineering intern; \$1/hr increase with each returning year
City of Waukesha	\$15.75; \$16.05	\$16.25; \$16.05	Cemetery seasonal; Parks & Rec seasonal
Village of Waunakee	\$16.00 - \$18.00	-	
City of West Bend	Not reported	\$16.00	
City of Whitewater	\$11.18 - \$17.36	\$12.10 - \$17.92	

\*Waukesha County agencies shaded in green.

 <p><b>Position Description</b></p>	<b>Position Title</b>	Department of Public Works (DPW) Seasonal Laborer		
	<b>Department</b>	Public Works	<b>Date Approved</b>	March 9, 2023
	<b>Full/Part Time</b>	Part Time (Temporary)	<b>Union/Non-Union</b>	Non-Union
	<b>Reports to</b>	Public Works Director	<b>Supervisory Position</b>	No
	<b>FLSA Status</b>	Non-Exempt	<b>Pay Range</b>	\$13.00 - \$17.00

**OBJECTIVE**

This is a seasonal position in the Department of Public Works (DPW) with employment, generally beginning in April and extending through November. The DPW seasonal laborer reports to the Public Works Director and is responsible for essential duties related to the maintenance and operation of the Village’s parks, public facilities and grounds, and cemetery. Additional duties may involve right-of-way maintenance and road maintenance activities. Seasonal employees will work 20 hours per week on average, depending on work load needs.

**RELATIONSHIPS**

Reports to: Public Works Director

Has work contacts with Department Heads, employees, co-workers, contractors, vendors, and the general public.

**ESSENTIAL DUTIES**

*To perform this job successfully, an individual must be able to perform each essential duty satisfactorily. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.*

1. Maintaining clean, attractive, and safe parks, public grounds, and cemetery areas including lawns and natural areas.
2. Assist with public works maintenance and repair activities, including:
  - a. Traffic management (traffic signs, detours and barricading)
  - b. Road maintenance and repair
  - c. Public right-of-way maintenance
  - d. Stormwater system maintenance and repair
3. Safely operates Village trucks, vehicles, and equipment on and off the public roadways.
4. Reports to supervisor daily assignments completed, work activities, and records.
5. Reports any incident, problem, or question to appropriate supervisor.
6. Performs other duties as assigned.
7. Follows all safety regulations, policies, and procedures; reports all unsafe conditions and acts to supervisor; reports all accidents to supervisor immediately whenever possible; follows recognized

safe work practices.

## **MINIMUM REQUIREMENTS**

*The requirements listed below are representative of the knowledge, skill and/or ability required to perform the essential duties of the position.*

### **Education and Experience**

1. 18 years of age or older is required.
2. Possession of a valid state-issued Driver's License in good standing.
3. Preferred candidate will possess experience in grounds and landscape maintenance and equipment care.

*A candidate for this position should have thorough knowledge, skills, and abilities of the following:*

### **Skill in:**

1. Strong written and verbal communication skills.
2. Good organizational, judgement, and problem solving skills.
3. Operations on machinery, such as riding lawn mowers.

### **Ability to:**

1. Ability to follow verbal or written direction/instruction to complete assigned tasks.
2. Ability to interact/respond to citizen inquiries or guide them to the appropriate service.
3. Ability to maintain a positive attitude and professional demeanor at all times; address resident and customer concerns in a helpful, courteous manner.
4. Ability to work independently.
5. Ability to operate Village vehicles and equipment in a safe manner.

## **EQUIPMENT, INSTRUMENTS AND MACHINES:**

Machinery and equipment including pick-up trucks, dump trucks (with valid CDL), trailers, gas-powered and manual post pounders, lawn mowers, gas-powered trimmer and blower, common hand tools, and cell phones.

## **PHYSICAL FACTORS:**

*The physical demands described here are representative of those that must be met by any an employee to successfully perform the essential functions of this job.*

While performing the duties of this job, the employee regularly works in an outdoor environment and will frequently be exposed to adverse weather conditions, including extreme heat and extreme cold, high winds, and wet/humid conditions. The employee will work near moving mechanical parts in precarious places; and is exposed to fumes or airborne particles, toxic or caustic chemicals, dust, and vibration. On

occasion, the employee is exposed to situations which could involve an element of personal risk, requiring compliance with necessary safety procedures. The noise level in the work environment is generally quiet to moderately noisy.

This position exerts continuous physical effort, working with average and heavyweight materials, and frequently walks, stands, stoops, kneels, crouches, and crawls for sustained periods of time. This position can exert up to 100 pounds of force by lifting, carrying, pushing or pulling objects. The employee is frequently required to see/observe, talk/speak, and listen/hear; use their hands to finger, handle, feel, or operate objects and equipment; repetitive arm, wrist, hand, and eye movements are included. There is frequent twisting, reaching, wrist turning, and grasping. The employee may be required to climb or balance. Use of protective equipment is required.

Specific vision abilities required by this job include close vision, distance vision, color vision, peripheral vision, depth perception, and the ability to adjust focus. Hand-eye coordination is necessary to operate computers and various pieces of equipment. Requires the ability to recognize and identify similarities or differences between characteristics of colors, shapes, and sounds associated with job-related objects, materials, or tasks.

**AVAILABILITY:**

The employee must have personal transportation available. No Village vehicles are designated for travel to/from employee's residence. The employee may be requested to respond to emergency situations outside of the normal work schedule.

**DISCLAIMER**

*The above statements are intended to describe the general nature and level of work being performed by people assigned this job. They are not intended to be an exhaustive list of all responsibilities, duties and skills required of personnel so classified. The omission of specific statements of duties does not exclude them from the position if the work is similar, related or a logical assignment to the position, or is responsive to the needs of the Village of Summit.*

*The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements of the job change.*

*The Village of Summit, Wisconsin is an Equal Employment Opportunity Employer. In compliance with the Americans with Disabilities Act, the Village will provide reasonable accommodations to qualified individuals with disabilities and encourages both prospective and current employees to discuss potential accommodations with the employer.*



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

## MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 5, 2025

Re: Discussion and Action on Severe Weather Emergency Response Policy

---

### PURPOSE:

To establish an administrative policy that provides general policies for response to severe weather emergency situations.

### BACKGROUND:

As part of the Village safety plan implementation project, it was identified that the Village does not currently have procedures for tornado drills or other general severe weather response practices. The Village Safety Committee determined that a Severe Weather Emergency Response Policy that addresses general severe weather safety response would help protect the lives of staff and visitors and preserve the property of the Village. This policy will work hand-in-hand with the Village's Emergency Action Plan, which will refer to this specific policy. In addition, a facility map is currently under development that will depict floor plans for various areas of Village Hall facilities and room numbers/descriptions. The draft policy will be reviewed at the March 10, 2025 Village Safety Committee for approval.

### RECOMMENDATION:

Village staff recommends that the Village Board approve the Severe Weather Emergency Response Policy as proposed.

### ATTACHMENTS:


Village of Summit Severe Weather Emergency Response Policy (DRAFT)

### FISCAL IMPACT:

No direct costs are associated with approval of this policy.

### RECOMMENDED MOTION:

**Motion to approve the Village of Summit Severe Weather Emergency Response Policy, as recommended by the Village Safety Committee.**

	<b>Village of Summit Policies &amp; Procedures</b>		
	<b>Subject:</b>	Severe Weather Emergency Response Policy	
	<b>Initial Date:</b>	March 14, 2025	<b>Revised Date:</b>
	<b>Approved By:</b>	Village Board	

### PURPOSE

The Village of Summit is committed to protecting the health and safety of its employees, residents, and visitors to the community in which we operate. A severe weather emergency response policy is necessary to help protect the lives of staff and visitors and preserve the property of the Village of Summit in the event of severe weather.

### POLICY

Natural disasters related to severe weather include tornadoes, floods, earthquakes, or other forms of severe weather (e.g., hail, lightning, extended snow fall, freezing rain/ice storms, and thunderstorms) that result in property damage or serious risk of injury. Weather related emergencies may result in disruption of services or personal risk to employees and citizens. The severe weather emergency response policy addresses the following objectives:

- I. Reduce risk to personal safety through awareness, early decision-making, and advance preparation.
- II. Minimize, to the extent possible, loss or property damage to Village assets.
- III. Position the Village for rapid recovery and resumption of core services to the community.

#### **Severe Weather - General**

Severe weather emergencies include, but are not limited to, the following types of severe weather: blizzards, flooding, hail, lightning, snow, thunderstorms, high or straight-line winds, and tornados.

#### Terminology

It is important to know and understand the terms used by the National Weather Service (NWS) and local weather forecasters for severe weather events.


*Advisory:* An advisory is issued when a hazardous weather or hydrologic event is occurring, imminent, or likely. Advisories are issued to maintain awareness for weather conditions that are below warning criteria which will cause inconveniences; but, if caution is exercised, should not be life-threatening.

*Watch:* A watch is used when the risk of a hazardous weather or hydrologic event has increased significantly, but it's occurrence, location, or timing is still uncertain. It is intended to provide enough lead time to those who need to set their plans in motion can do so. A watch means that hazardous weather is possible.

*Warning:* A warning is issued when a hazardous weather or hydrologic event is occurring, imminent, or likely. A warning means weather conditions pose a threat to life or property. People in the path of a storm need to take protective action.

#### Immediate Emergency Actions

If you see or hear threatening weather or receive notification that a severe weather warning has been issued for your area:

	<b>Village of Summit Policies &amp; Procedures</b>		
	<b>Subject:</b>	Severe Weather Emergency Response Policy	
	<b>Initial Date:</b>	March 14, 2025	<b>Revised Date:</b>
	<b>Approved By:</b>	Village Board	

- Seek shelter and get inside immediately to an interior room or hallway.
- Shut all doors and windows.
- Stay away from exterior windows and doors.
- DO NOT go outside until the storm has passed.
- After the storm has ended, be aware of downed wires and falling objects.

### Lightning

In the event of a thunderstorm, individuals should remain indoors and away from exterior walls and windows until the storm has passed. Computer systems and other sensitive electronic equipment should be turned off (if operations permit), and individuals should refrain from using the telephone unless absolutely necessary.

#### If lightning threatens when you are inside:

- Stay inside and away from open doors or windows, radiators, metal pipes, sinks, and water..
- Refrain from using the telephone unless absolutely necessary, and take off headsets. Turn off, unplug, and stay away from appliances, computers, power tools, and television sets. Lightning may strike exterior electric and phone lines.

#### If lightning strikes when you are outside:


- Plan in advance your evacuation and safety measures. When lightning is first observed or thunder is heard, take shelter in a building or vehicle. If no buildings are available, seek shelter in a ditch or low-lying area. Do not wait for rain to begin to suspend outdoor activities, as lightning often precedes rain.
- When there is no shelter, avoid the highest objects in the area and avoid being the highest object yourself. If only isolated trees are nearby, the best protection is to crouch or lie in the open, keeping at least as far away from the isolated trees as they are high.
- If you are wearing or carrying any thing metal, remove and discard it.
- Thunder travels approximately a mile every five seconds. If lightning occurs and you hear thunder before 30 seconds has elapsed, you are close enough to be in danger. **Move indoors immediately** if you are not already inside a building or roofed vehicle.

#### If someone is struck by lightning directly or indirectly:

- Call 911 immediately and administer first aid if you are qualified to do so. Injured persons do not carry residual electrical charge and can be handled safely.

### Tornado

Tornadoes are violently rotating columns of air that extend from a thunderstorm to the ground. Tornadoes can be capable of destroying buildings, flipping vehicles, and creating deadly flying debris. A tornado can happen anytime and anywhere, bring intense winds of over 200 miles per hour, and look like funnels.

	<b>Village of Summit Policies &amp; Procedures</b>		
	<b>Subject:</b>	Severe Weather Emergency Response Policy	
	<b>Initial Date:</b>	March 14, 2025	<b>Revised Date:</b>
	<b>Approved By:</b>	Village Board	

Terminology: Watch vs. Warning

A **Tornado Watch** means that conditions are right for a tornado to form. Maintain awareness of changing weather conditions and be ready to take shelter.

A **Tornado Warning** means that a funnel cloud or tornado has been radar-indicated or observed by a trained weather spotter in the area. **Take shelter immediately** if the tornado warning includes your area.


Tornado Emergency Procedures

*Tornado Announcement*

If possible, an announcement should be issued to all staff and visitors to Village Hall facilities. A sample announcement is: “A tornado emergency exists. Please proceed to your safe area.” Searchers will proceed through their areas to ensure all employees have evacuated.

***If you are under a tornado or severe weather warning:***

- Go to NOAA Weather Radio and your local news or official social media accounts for updated emergency information. Follow the instructions of state, local, and tribal officials.
- Go to a safe shelter immediately, such as a tornado shelter room, basement, storm cellar, or a small interior room on the lowest level of a sturdy building. The following rooms may be used as tornado shelters at Village facilities:
  - Village Hall
    - Room 103 (Community Room Kitchenette/Serving Room)
    - Room 107 (Community Room Storage)
    - Room 111 (Men’s Lavatory)
    - Room 112 (Women’s Lavatory)
    - Room 122 (PD Dead Files)
    - Room 128 (PD Mechanical)
    - Room 132 (PD Unisex Lavatory)
    - Room 133 (PD Interview/Booking)
    - Room 137/138 (Men’s Locker/Shower)
    - Room 141/142/143 (Women’s Locker/Shower/Lavatory)
    - Room 149 (PD Soft Interview)
    - Room 163 (Dead Files/Vault)
    - Room 164 (Unisex Lavatory)
    - Room 169 (Storage)
  - DPW Garage building
    - Room 103 (Unisex Lavatory)
  - Genesee Lake Road Park
    - Men’s and/or women’s restrooms in restroom building adjacent to parking lot

	<b>Village of Summit Policies &amp; Procedures</b>		
	<b>Subject:</b>	Severe Weather Emergency Response Policy	
	<b>Initial Date:</b>	March 14, 2025	<b>Revised Date:</b>
	<b>Approved By:</b>	Village Board	

- Stay away from windows, doors, and outside walls.
- If you are outside, DO NOT go under an overpass, bridge, or a tree. You will be safer in a low, flat location.
- Watch for flying debris that can cause injury or death. Use your arms to protect your head and neck.
- If you are not home, make plans to go to a public shelter.

***If you are in a tornado:***

- **Immediately go to a safe location that you have identified.**
- **Pay attention to EAS, NOAA Weather Radio, or local alerting systems** for current emergency information and instructions.
- **Protect yourself** by covering your neck and head with your arms and putting materials such as furniture and blankets around or on top of you.
- **If you are in a vehicle:** There is no safe option when caught in a tornado in a vehicle, just slightly less dangerous ones:
  - If the tornado is visible, far away, and the traffic is light, you may be able to drive out of its path by moving at right angles to the tornado.
  - If you are caught by extreme winds or flying debris, park the car as quickly and safely as possible out of traffic lanes.
  - Stay in the car with the seat belt on. Put your head down below the windows and cover your head with your hands and a blanket, coat, or other cushion, if possible.
  - If you can safely get lower than the level of the roadway, leave your car and lie in that area, covering your head with your hands.
  - Avoid seeking shelter under bridges, which can create deadly traffic hazards while offering little protection against flying debris.


**Winter Weather**

Severe winter storms that are accompanied by winds, heavy snow fall, icy conditions, and/or low temperatures must be treated with caution. “White-out” conditions can create dangerous driving conditions and may start and end abruptly without warning. Winds and ice can lead to short- and long-term power outages.

Winter Weather Awareness Terminology

The following terms are uniformly used by the NWS and forecasters for winter weather events:

*Winter Storm Watch:* A winter storm may affect your area. This terminology is used to provide 24 to 48 hours’ notice of a severe winter weather event.

	<b>Village of Summit Policies &amp; Procedures</b>		
	<b>Subject:</b>	Severe Weather Emergency Response Policy	
	<b>Initial Date:</b>	March 14, 2025	<b>Revised Date:</b>
	<b>Approved By:</b>	Village Board	

*Winter Storm Warning:* Severe winter weather is occurring or is imminent. Winter storm warnings are usually reserved for forecasts of heavy snow exceeding 6 inches in 12 hours or less. Freezing rain or sleet may also be mixed in with the snow. A winter storm warning could also be issued if 8 inches or more or accumulations are expected in a 24-hour period. Warnings may also be issued for lesser amounts of snow if the bulk of the snow is expected to fall during the peak rush hour periods or with strong winds of 25 to 34 mph.

*Blizzard Warning:* Sustained winds or frequent gusts of 25 mph will occur in combination with considerable falling and/or blowing snow for a period of at least 3 hours. Visibilities will frequently be reduced to less than ¼ mile in a blizzard.

*Lake-Effect Snow Warning:* Reserved for forecast of localized lake-induced heavy snow showers resulting in accumulations exceeding 6 inches in 12 hours or less, or 8 inches or more in a 24-hour period.

*Snow Squall Warning:* Reserved for forecast of short duration (30 – 60 minutes) intense bursts of snow and wind leading to whiteout visibility and possible flash freezes on roads.

*Ice Storm Warning:* Reserved for forecasts of freezing rain that leave a coating of ice a quarter of an inch thick or more in 12 hours or less.


*Extreme Cold Warning:* Dangerously cold air temperatures or wind chill values are expected or occurring. (note that the terminology “Wind Chill Warning” has been replaced with “Extreme Cold Warning” by the National Weather Service, effective October 1, 2024).

Prior to a winter storm:

- Ensure that fuel tanks are full and windshield wiper fluid reservoirs are topped off. Winter tires with adequate tread should be installed, and a windshield scraper and small shovel should be kept in all vehicles.
- Ensure that building generators are tested and functioning properly.
- Snow and ice control response equipment should be prepped and ready for response.
- Advanced notice should be sent out to Village staff members by the person(s) designated to monitor weather sources, as outlined in the Village of Summit Emergency Action Plan.

During a winter storm:

- Stay indoors and limit travel to only absolutely necessary trips.
- If you need to go outdoors, dress for the weather by wearing several layers of loose fitting, lightweight, warm clothing rather than one layer of heavy clothing. The outer garments should be tightly woven and water repellent.
- Mittens are better than fingered gloves.

	<b>Village of Summit Policies &amp; Procedures</b>		
	<b>Subject:</b>	Severe Weather Emergency Response Policy	
	<b>Initial Date:</b>	March 14, 2025	<b>Revised Date:</b>
	<b>Approved By:</b>	Village Board	

- Wear a hat, as most body heat is lost through the top of the head.
- Cover your mouth with a scarf to protect your lungs.
- Exercise caution while shoveling snow. Over-exertion can bring on a heart attack, which is a major cause of death in the winter.
- Watch for signs of frostbite: loss of feeling and white or pale appearance in extremities such as fingers, toes, ear lobes, or the tip of the nose. If symptoms are detected, seek medical help immediately.
- Watch for signs of hypothermia: uncontrollable shivering, memory loss, disorientation, incoherence, slurred speech, drowsiness, and apparent exhaustion. If symptoms are detected, get the victim to a warm location, remove any wet clothing, warm the center of the body first, and give warm, non-alcoholic beverages if the victim is conscious. Get medical help as soon as possible.
- The following auto/vehicle safety procedures should be followed when vehicles are stranded or become inoperable during severe winter weather events:
  - If you are trapped in your vehicle, turn on hazard lighting and hang a distress flag from the antenna or window. Remain in your vehicle where rescuers are more likely to find you.
  - Run the engine and heater approximately 10 minutes each hour to keep warm. When the engine is running, open the window slightly for ventilation in the event that snow is covering the vehicle exhaust. Periodically clear snow from the exhaust pipe.
  - In extreme cold, use road maps, seat covers, and floor mats for insulation if there are no passengers for huddling together for warmth.
  - Take care not to waste battery power.
  - At night, turn on the inside light so work crews and rescuers can see you.

Employee Attendance and Village Hall Closures

Given the range of essential services provided to the public, Village Hall will remain open in all but the most extreme circumstances. However, all non-emergency staff are urged to use their own discretion in deciding whether they can safely commute to work. If personal health or safety is at issue in that decision, responsible judgement should be used. Lost time due to inclement weather will be managed as stated in the Village of Summit Employee Handbook.

**REVISION HISTORY**

03/14/2025 Initial publication.



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

---

**MEMORANDUM**

To: Village Board  
From: Chief Michael Hartert  
Date: March 6, 2025  
Re: Cameras for Village Hall/DPW

---

**BACKGROUND:** The Village Board approved a 2025 capital expenditure of \$14,000 for upgrading and adding of building cameras. After having site visits from 3 different companies, we believe the best quality for our project would be the mid-priced alternative (originally proposed at \$13,775). After a follow-up visit and some adjustments by myself and Director Nash, the proposal came in at \$18,518. The reason for the increase was primarily the addition of two motorized varifocal cameras that have the ability to capture license plates. Without those cameras, the adjusted price would be \$14,883 (which included some changes within the DPW building).

**ATTACHMENTS:** Proposals; Partial funding mechanism.

**FISCAL IMPACT:** Total - \$18,518; above approved CIP Budget - \$4,518. Or  
\$14,883; above approved CIP Budget - \$883.

**RECOMMENDED:** 1) Motion to approve the revised CIP Camera expenditure with a total project amount of \$18,518.  
2) Motion to approve the revised CIP Camera expenditure with a total project amount of \$14,883.

## Village Hall/Public Works Camera System

### Funding Mechanism

The additional funds needed to finance the camera project is a range from \$883 to \$4,518.

Although the capability to view license plates would be desired, it is not a necessity based upon past activity in our parking lots.

With that in mind, I have about \$1,000 in a donation account from ORBIS. We typically use that money attend training that is above and beyond the routine curriculum. I would propose using \$1,000 from our regular training budget to cover the additional camera cost, and we could utilize the ORBIS training money to supplement the training budget if needed.

The license plate reading cameras could be re-considered in a future budget.

Respectfully submitted,



Michael Hartert

Chief of Police



## Proposal

Subscriber: Summit Police

Date: 3/5/2025

Modification: CCTV system

Job Number:

Total Additional Days Allowed to Complete Work (for schedule change):

Estimated Cost to Project: \$14'883.00 plus applicable tax

### Scope of work:

1. **Install one new 32 channel 12 TB network video recorder.**
  2. **Install two new 4K vandal proof dome style camera with IR's**
    - **Garage side bay/man door**
    - **General garage**
  3. **Install one new 4MP dome style camera with IR's**
    - **Meeting/Public conference room.**
  4. **Install two new 5MP bullet style outdoor cameras with motorized varifocal lens and IR's**
    - **Parking area in front of maintenance shop (also looking at man door)**
    - **General parking area.**
  5. **Remove NVR and camera connections**
  6. **Reconnect existing IP cameras to new NVR**
  7. **Reconnect existing microphone to audio input of new NVR.**
  8. **Install new software on up to six new desktops and five new mobile devices if needed.**
    - **More can be added if required.**
  9. **Clean and adjust cameras.**
- 
- **Centec to provide cabling as needed.**
  - **Centec to provide lift as needed.**
  - **Subscriber to provide electrical outlets as needed.**
  - **Subscriber to provide network connection at new NVR as needed.**
  - **Subscriber to provide POE switch port connection as needed for new cameras in:**
    - **Main IT room**
    - **Garage area**
  - **Proposal good for 15 days from noted date**



## Proposal

Subscriber: Summit Police

Date: 2/18/2025

Modification: CCTV system

Job Number:

Total Additional Days Allowed to Complete Work (for schedule change):

Estimated Cost to Project: \$18'518.00 plus applicable tax

### Scope of work:

1. Install one new 32 channel 12 TB network video recorder.
2. Install two new 4K vandal proof dome style camera with IR's
  - Garage side bay/man door
  - General garage
3. Install one new 4MP dome style camera with IR's
  - Meeting/Public conference room.
4. Install two new 5MP bullet style outdoor cameras with motorized varifocal lens and IR's
  - Parking area in front of maintenance shop (also looking at man door)
  - General parking area.
5. Install two new 2MP bullet style cameras with 5.2mm to 64.2mm long range varifocal lens (zoomed in to look at entry driveway).
  - Main entry drive
  - Maintenance entry drive
6. Remove NVR and camera connections
7. Reconnect existing IP cameras to new NVR
8. Reconnect existing microphone to audio input of new NVR.
9. Install new software on up to six new desktops and five new mobile devices if needed.
  - More can be added if required.
10. Clean and adjust cameras.

- Centec to provide cabling as needed.
- Centec to provide lift as needed.
- Subscriber to provide electrical outlets as needed.
- Subscriber to provide network connection at new NVR as needed.
- Subscriber to provide POE switch port connection as needed for new cameras in:
  - Main IT room
  - Garage area
- Proposal good for 15 days from noted date

From: Waukesha County

1 APPROVE ATV/UTV TEST DISTRICT ON SEGMENTS OF COUNTY TRUNK  
2 HIGHWAYS IN THE TOWN AND VILLAGE OF EAGLE  
3

4 WHEREAS, municipalities within Waukesha County are enacting ordinances for the operation  
5 of All-Terrain Vehicles ("ATVs") and Utility Terrain Vehicles ("UTVs") on their municipal  
6 roads pursuant to sec. 23.33, Wis. Stats.; and  
7

8 WHEREAS, municipalities are requesting that Waukesha County designate segments of County  
9 Trunk Highways ("CTHs") within their municipal boundaries as ATV/UTV routes; and  
10

11 WHEREAS, the sole purpose of this ATV/UTV Test District is to ascertain if Waukesha County  
12 wishes to designate portions of its CTHs as ATV/UTV routes within Waukesha County while  
13 ensuring the safe and controlled use of ATVs and UTVs on CTHs, balancing recreational  
14 opportunities with possible risks to public health and safety, terrain involved, traffic density, and  
15 history of automobile traffic on potential and existing routes; and  
16

17 WHEREAS, the Town and Village of Eagle have requested to be part of a Test District for this  
18 purpose; and  
19

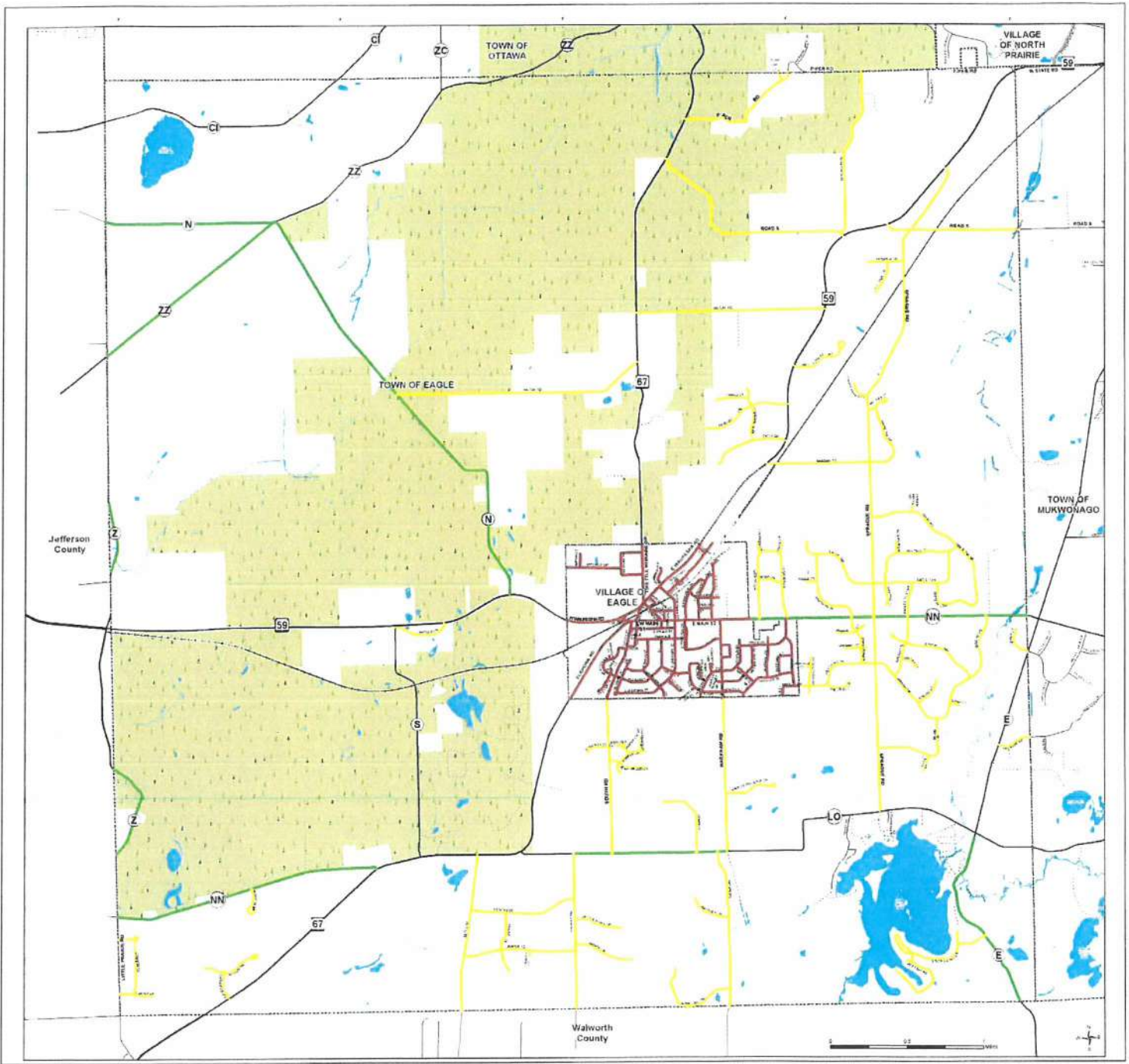
20 WHEREAS, the authority for the creation of this Test District is found in Wisconsin Statutes §  
21 23.33(8)(b)2., Wisconsin Statutes § 59.02. and Wis. Admin. Code § NR.64.12.  
22

23 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS  
24 the approval of an ATV/UTV Test District on segments of County Truck Highways within the  
25 Town and Village of Eagle.  
26

27 BE IT FURTHER ORDAINED that Allison Bussler, Director of the Department of Public  
28 Works is authorized to enter into and sign the Agreement Between Waukesha County, Village of  
29 Eagle and Town of Eagle for an ATV/UTV Test District on County Truck Highways within the  
30 Town and Village of Eagle.  
31

32 IT IS FURTHER ORDAINED that with respect to the portions of CTHs designated as  
33 ATV/UTV routes within the boundaries of the Village and Town and only for the duration of the  
34 ATV/UTV Test District term, Waukesha County Code Section 15-85(a) shall not be enforced by  
35 the Waukesha County Sheriff.  
36

37 IT IS FURTHER ORDAINED that a copy of the enrolled ordinance shall be provided to the  
38 Waukesha County Sheriff's Department and the Village of Eagle Police Department.



# ATV ROAD ACCESS

- ZZZ Out Drain Boundary
- ZZ Inlets/Storm Water Panel
- Dirt
- Gravel
- Major Road
- Local Road
- Paved Road
- County Road
- Town Road
- Major Road





Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

---

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

## MEMORANDUM

To: Village Board

From: Debbie Michael, Village Administrator-Clerk/Treasurer

Date: March 7, 2025

Re: Discussion and action on Waukesha County's agreement with Forest County Potawatomi Community for a portion of CTH BB (N. Golden Lake Road) to be added to the National Tribal Transportation Facility Inventory (NTTFI)

---

**BACKGROUND:** Trustee Arenz asked for this discussion after Waukesha County Supervisor, Wayne Euclide, reached out to him regarding this topic being on the County Board Legislative referrals agenda. Mr. Euclide will provide an update at our March 13 meeting.

Earlier in 2025, Director Nash brought the same agreement to the Village Board for consideration with the following recommendation:

*The Forest County Potawatomi Community has an interest in ensuring that the public roadways that provide access to their property are maintained. The Village would benefit by the addition of Atkins Knoll Road, Indian Mound Road, and Forest Drive into the NTTFI, as it would make them eligible for TTP funding in the future.*

The board did not approve the agreement.

**ATTACHMENTS:** Email from Supervisor Euclide and documents presented to the County Board.

**FISCAL IMPACT:** Potential future funding for Waukesha County when CTH BB does construction.

## Debbie Michael

---

**From:** Wayne Euclide <w >  
**Sent:** Thursday, March 6, 2025 2:30 PM  
**To:** Jack Riley  
**Cc:** Debbie Michael; Kraig Arenz  
**Subject:** Fw: 03-06-25 County Board Legislative Referrals - Proposed Ordinance 179-O-088 Involving Cty HWY BB in VOS and lands located in VOS  
**Attachments:** 03-06-25 Referrals.pdf

Hi President Riley,

I wanted to make you and VOS aware of a proposed ordinance being brought to the County board in March that involves CtyBB in VOS.

I do not have any background info yet, but it appears the Potawatami tribe wants to help support Golden Lake Road maintenance and is asking the county to enter into some type of agreement with the tribe. I am planning to attend your VOS board mtg to share what I know and get any feedback the board may have.

At your service,

Supervisor Euclide  
Wayne Euclide

---

**From:** Wayne Euclide <  
**Sent:** Thursday, March 6, 2025 11:11 AM  
**To:** Kraig Arenz <trustee4@summitvillage.org>  
**Subject:** Fw: 03-06-25 County Board Legislative Referrals

Hi Kraig,

I hope you are well.

2 items of note for VOS in this months cty board legislative referrals that I wanted to share with you for your review/feedback.

1. Town/Village of Eagle ATV/UTV test pilot ordinance. I am assuming something similiar will be done for VOS - I hope sooner than later.
2. Potawatami tribe wanting to help support Golden Lake Road maintenance - thoughts from VOS DPW or board ? Is there someone other than you I should discuss with ?

At your service,

Supervisor Euclide  
Wayne Euclide

1 APPROVE CTH BB ACKNOWLEDGMENT OF PUBLIC AUTHORITY RESPONSIBILITY  
2 WITH FOREST COUNTY POTAWATOMI COMMUNITY  
3

4 WHEREAS, CTH BB (North Golden Lake Road) between US 18 (Sunset Drive) and CTH B  
5 (Valley Road) is important to the Forest County Potawatomi Community in that it serves the  
6 tribal community and tribal land; and  
7

8 WHEREAS, Waukesha County's adopted capital plan currently has a capital project to improve  
9 the pavement and investigate improving shoulders and roadway safety clearance on CTH BB  
10 from US 18 to CTH DR (project #202515), scheduled for construction in 2027; and  
11

12 WHEREAS, an Acknowledgment of Public Authority Responsibility agreement between  
13 Waukesha County and Forest County Potawatomi Community will allow CTH BB between US  
14 18 and CTH B to be added to the National Tribal Transportation Facility Inventory (NTTFI); and  
15

16 WHEREAS, transportation facilities included on the NTTFI are eligible for Tribal  
17 Transportation Program (TTP) funding; and  
18

19 WHEREAS, upon execution of the Acknowledgment of Public Authority Responsibility and  
20 availability of TTP funding, Waukesha County and the Forest County Potawatomi Community  
21 will enter a subsequent agreement to jointly determine the scope of improvements and cost  
22 sharing agreements on CTH BB, Capital Project #202515; and  
23

24 WHEREAS, future capital projects on CTH BB between US 18 and CTH B will be subject to the  
25 terms of the Acknowledgment of Public Authority Responsibility.  
26

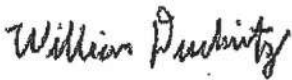
27 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS  
28 the approval of the Acknowledgment of Public Authority Responsibility agreement between  
29 Waukesha County and Forest County Potawatomi Community.  
30

31 BE IT FURTHER ORDAINED the Waukesha County Executive, or his designee, is authorized  
32 to sign the Acknowledgment of Public Authority Responsibility agreement.

FISCAL NOTE

APPROVE CTH BB ACKNOWLEDGMENT OF PUBLIC AUTHORITY RESPONSIBILITY  
WITH FOREST COUNTY POTAWATOMI COMMUNITY

This ordinance authorizes the county to enter into an Acknowledgement of Public Authority Responsibility agreement with the Forest County Potawatomi Community regarding CTH BB (North Golden Lake Road) between US 18 (Sunset Drive) and CTH B (Valley Road). This agreement creates the opportunity for potential future funding for this stretch of county highway (which overlaps with an existing pavement rehabilitation capital project from US 18 to CTH DR, #202515), but there is no definitive fiscal impact at this time. Additional funding will require the county to enter into a subsequent agreement(s) with the Forest County Potawatomi Community and could potentially be used to offset existing planned expenditures or fund additional features (similar to how municipalities contribute to county capital projects to add sidewalks or lighting). Under the acknowledgement approved in this ordinance, the county would still own and be responsible for maintenance of this county highway.



---

William Duckwitz  
Budget Manager  
3/3/2025

**Acknowledgment of Public  
Authority Responsibility**

This Acknowledgment of Public Authority Responsibility is by and between the Forest County Potawatomi Community (TRIBE) and Waukesha County, Wisconsin (COUNTY).

Whereas the route listed below in the COUNTY is important to the TRIBE in that it serves the tribal community, tribal business and/or tribal member's homes.

Waukesha County Routes

ROUTE NAME	NUMBER	SECTION	LENGTH	LATITUDE / LONGITUDE
CTH BB (North Golden Lake Rd)	5401	010	4.1 miles	Beg 43.084561N / 88.520641W End 43.027732N / 88.530457W

And whereas, the above-listed route as depicted on the attached Exhibit A will continue to be owned by the COUNTY and open to the public for travel.

And whereas, the TRIBE has an interest in ensuring this route is maintained and in adequate repair.

Now Therefore, the TRIBE and the COUNTY agree, when and if Tribal Transportation Program (TTP) funding for improvements to the listed route becomes available and the COUNTY's listed route becomes an approved project for the TRIBE, the following will occur:

1. The TRIBE will enter a subsequent agreement with the COUNTY to jointly determine the type, scope, limits, and schedule of improvements that could be implemented on the roadway owned by the COUNTY.
2. If improvements are made to the listed COUNTY route utilizing TTP funding, the COUNTY will continue to own the route and will continue to be responsible for maintenance.
3. This Acknowledgment of Public Authority Responsibility is binding upon the signatories hereto not as individuals, but solely in their capacities as officials in their respective organizations and acknowledges proper action of the COUNTY and the TRIBE to enter into the same.
4. The Acknowledgment of Public Authority Responsibility will become effective upon execution by the COUNTY and TRIBE unless otherwise noted below.

**WAUKESHA COUNTY**

\_\_\_\_\_  
Allison Bussler  
Director of Department of Public Works

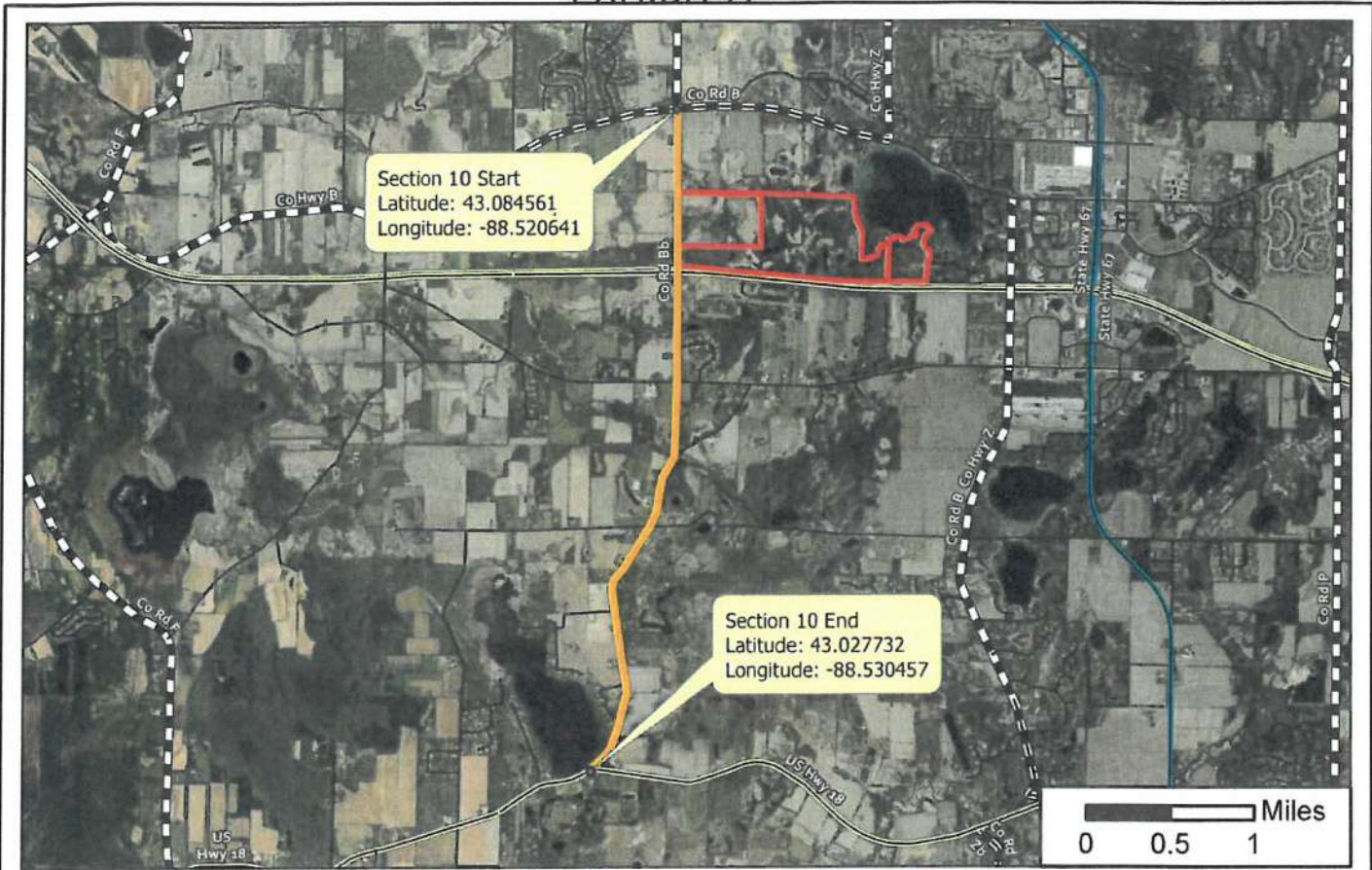
\_\_\_\_\_  
DATE:

**FOREST COUNTY POTAWATOMI COMMUNITY**

\_\_\_\_\_  
James A. Crawford, Chairman  
or Kenneth L. George, Jr., Vice Chairman

\_\_\_\_\_  
DATE:

# EXHIBIT A



Route Location

## Forest County Potawatomi Community #434

### CTH BB(Golden Lake Rd) Route 5401



#### BIA Route Legend

- Tribal Boundary
- Tribal Boundary
- Congressional Districts
- Counties
- Section 10
- Town Road
- State Highway
- County Highway
- US Highway

This is a product of Forest County Potawatomi Community, Land Information Department. The geographic data layers and applications are provided as a resource. While every reasonable effort is made to ensure the accuracy and completeness of the data, Forest County Potawatomi Community makes no warranties, expressed or implied, concerning the accuracy, completeness or suitability of its data, and it should not be construed or used as field-verified information.



Date: 2/6/2025

