



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

## AGENDA

### Village Board - Village of Summit Thursday, March 14, 2024 at 6:30 p.m. At the Summit Village Hall, 37100 Delafield Road

1. CALL TO ORDER
2. ROLL CALL AND CONFIRM POSTING
3. PLEDGE OF ALLEGIANCE
  
4. PUBLIC COMMENT
  
5. **ANNOUNCE EXECUTIVE SESSIONS**, pursuant to Section 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved: *Property Violation: 34339 N. Venice Beach Road*  

\*The Board may return to open session following this discussion
  
6. CONSENT AGENDA - Items listed under the Consent Agenda are considered in one motion unless a Village Board Member requests that an item be removed from the Consent Agenda
  - A. Minutes of February 8, 2024 regular and March 7, 2024 special meetings
  - B. February 2024 payables
  
7. PLANNING DEPARTMENT
  - A. Discussion and action on request of Dennis & Gina Krueger to combine two lots by Certified Survey Map on property owned by Dennis & Gina Krueger, located at 1920 N. Oak Grove Road (SUMT0669109), and the adjacent property to the south (SUMT0669110) owned by Dennis W Krueger and Christine E Garlock Et. Al.
  - B. Discussion and action on request from Christopher and Jessica Kadow, property owners at 740 N. Griffith Road, to adopt an ordinance that amends the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow commercial vehicle parking on properties zoned in the A-2 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to modify Section 111-431 Definitions, add Section 111-358(d)(2) Conditional uses in the A-2 Agricultural District, and modify Section 111-321 Conditional uses permitted.
  - C. Discussion and action on request from Rebecca Carsey on behalf of White Stag 1894 to adopt an ordinance that amends the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow the rental of agricultural buildings in the A-1 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to create Section 111-357(d)(3) to allow rental of agricultural buildings for activities or events in the A-1 Agricultural District as a Conditional Use and create Section 111-321(7) to provide the standards and conditions that must be met in order for the rental of agricultural buildings to be considered.

- D. Notification of Public Hearings before the City of Delafield Plan Commission to consider text amendments to Chapter 52 of Municipal Code related to nonconforming uses, structures, lots and permits and boathouses

8. PUBLIC WORKS DEPARTMENT

- A. Monthly Administrative Report
- B. Discussion and action on proposal to vacate a portion of N. Venice Beach Road
- C. Discussion and action on 2024 Road Paving program bid documents and advertisement for proposals
- D. Discussion and action on request from Village resident to require removal of landscaping encroaching public right-of-way adjacent to 1920 N Oak Grove Road
- E. Discussion and action on negotiation for Village Hall Cleaning services
- F. Discussion and action on 2024-2025 WisDOT salt contract
- G. Discussion and action on address number and street naming policy
- H. Discussion and action on request for a canoe/kayak launch on Bark River at Genesee Lake Road

9. POLICE DEPARTMENT

- A. Monthly Report

10. WESTERN LAKES FIRE DISTRICT

- A. Monthly Report

11. VILLAGE BOARD

- A. Discussion and action on proposed update of building permit fees
- C. Discussion and action on minor revisions to the Construction Code Ordinance
- D. Discussion and action to set items for April 11, 2024 regular Village Board meeting

- 12. *MOTION TO GO INTO EXECUTIVE SESSION*, pursuant to Section 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved: *Property Violation: 34339 N. Venice Beach Road*

13. ROLL CALL VOTE

\*The Board may return to open session following this discussion

- 14. Discussion and action on property violation at 34339 N. Venice Beach Road

15. ADJOURN VILLAGE BOARD MEETING

Respectfully Submitted,

Debra J. Michael, WCMC  
Village Administrator-Clerk/Treasurer

**Next Regular Meeting: April 11, 2024**

**Posted: March 8, 2024**

\*\*\*\* Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service contact

the Village Hall at 567-2757.

It is possible that members of and possible a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any other governmental body except by the Village Board noticed above.

VILLAGE OF SUMMIT  
 Payables Report for  
 March 14, 2024 Meeting  
 Prepared by Debbie Michael

**Summary of February, 2024 Payables**

**Paid Check Batches:**

\$ Amount	Description
4,142,125.82	February Tax Settlements

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 Total \$ 4,142,125.82

**Batches For Payment:**

\$ Amount	Description
1,117,961.20	February Payables
9,789.22	Credit Card

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 Total \$ 1,127,750.42

**Total February Payables for Approval: \$ 5,269,876.24**

Approved by the Summit Village Board on this the 14th day of March, 2024

<b>Engineering/Planning</b>	<b>\$ 14,514.20</b>
Village	3,470.00
Planner	3,690.00
Shoreland	3,780.00
Billed	3,574.20
<b>Legal</b>	<b>\$ 7,026.40</b>
Village	5,885.20
Billed	1,141.20

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ACCT

Dated From: 2/15/2024 From Account:  
Thru: 2/15/2024 Thru Account:

Check Nbr	Check Date	Payee	Amount
408030	2/15/2024	CITY OF OCONOMOWOC 2023 TAXES	
100-00-24530-000-000		PABST FARM STORMWATER UTILITY 2023 TAXES	7,830.54
		FEB SETTLMNT	
		Total	7,830.54
408031	2/15/2024	CITY OF OCONOMOWOC UTILITIES 2023 TAXES DELQ SUD3	
100-00-25251-000-000		DUE TO UTILITY DIST #3 2023 TAXES DELQ SUD3	130.77
		FEB SETTLMNT	
		Total	130.77
408032	2/15/2024	CIVIC PLUS LLC MUNICODE SUPPORT	
100-00-51600-320-000		VILLAGE HALL IT SUBSCRIPTIONS MUNICODE SUPPORT	250.00
		277691	
		Total	250.00
408033	2/15/2024	GLOBE LIFE ACCT 31354 SUPP INS	
100-00-13101-000-000		ACCOUNTS RECEIVABLE OTHER ACCT 31354 SUPP INS	659.18
		FEB 2024	
		Total	659.18
408034	2/15/2024	KETTLE MORAINNE SCHOOL DISTRICT 2023 TAXES	
100-00-24600-000-000		SCHOOL TAX DUE DISTRICT 2023 TAXES	917,507.97
		FEB SETTLMNT	
		Total	917,507.97
408035	2/15/2024	LOWER GENESEE LAKE MANAGEMENT DISTRICT 2023 TAX	
100-00-24510-000-000		LOWER GENESEE LAKE MNGNT DIST 2023 TAX	2,305.00
		FEB SETTLMNT	
		Total	2,305.00
408036	2/15/2024	MIDDLE GENESEE LAKE MANAGEMENT DISTRICT 2023 TAXES	
100-00-24520-000-000		MIDDLE GENESEE LAKE MGMTN DIST 2023 TAXES	4,445.00
		FEB TAX SETTLEMENT	

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Dated From: 2/15/2024 From Account:  
Thru: 2/15/2024 Thru Account:

Check Nbr	Check Date	Payee	Amount
Total			4,445.00

408037 2/15/2024 OCONOMOWOC AREA SCHOOL DISTRICT  
2023 TAXES

100-00-24600-000-000		SCHOOL TAX DUE DISTRICT	2,138,427.28
		2023 TAXES	
		FEB SETTLMNT	
Total			2,138,427.28

408038 2/15/2024 SECURIAN FINANCIAL GROUP INC  
UNIT 056302

100-00-52100-132-000		POLICE INSURANCE	145.66
		LIFE INS	
		MAR 2024	
100-00-53300-132-000		PUBLIC WORKS INSURANCE	69.89
		LIFE INS	
		MARCH 2024	
100-00-51420-132-000		ADMIN C/T INSURANCE	15.84
		LIFE INS	
		MARCH 2024	
100-00-51422-132-000		VILLAGE OFFICE INSURANCE	10.82
		LIFE INS	
		MARCH 2024	
100-00-13101-000-000		ACCOUNTS RECEIVABLE OTHER	78.80
		SUPPLEMENTAL LIFE INS	
		MARCH 2024	
Total			321.01

408039 2/15/2024 SILVER LAKE MANAGEMENT DISTRICT  
2023 TAXES

100-00-25211-000-000		SILVER LAKE MANAGEMENT DIST	1,473.33
		2023 TAXES	
		FEB TAX SETTLEMENT	
Total			1,473.33

408040 2/15/2024 SILVER LAKE UTILITY DISTRICT  
2023 DELINQUENTS

100-00-25209-000-000		SILVER LAKE UTILITY DIST	4,695.15
		2023 DELINQUENTS	
		FEB TAX SETTLEMENT	
100-00-25209-000-000		SILVER LAKE UTILITY DIST	2,630.94
		2023 TAXES	
		FEB TAX SETTLEMENT	
Total			7,326.09

408041 2/15/2024 SUMMIT UTILITY DISTRICT #2  
2023 SUD2 TAX

100-00-25207-000-000		SANITARY DISTRICT #1	159,546.89
		2023 SUD2 TAX	
		FEB TAX SETTLEMENT	

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Check Nbr	Check Date	Payee	Amount
100-00-25207-000-000		SANITARY DISTRICT #1	8,003.51
		2023 DELINQUENTS	
		FEB TAX SETTLEMENT	
		Total	167,550.40
408042	2/15/2024	UPPER NEMAHBIN LAKE MANAGEMENT DISTRICT	
		2023 TAXES	
100-00-25205-000-000		NEMAHBIN LAKE MGMT	10,165.16
		2023 TAXES	
		FEB TAX SETTLEMENT	
		Total	10,165.16
408043	2/15/2024	WAUKESHA COUNTY CLERK'S OFFICE	
		2023 DOGS	
		Previous Year Expense	
100-00-52900-000-000		DOG POUND EXP	2,105.75
		2023 DOGS	
		VSUMMIT2024	
		Total	2,105.75
408044	2/15/2024	WAUKESHA COUNTY TECHNICAL COLLEGE	
		LIPOVSEK TRAINING	
100-00-52100-312-000		POLICE TRAINING & SUPPLY	125.00
		LIPOVSEK TRAINING	
		S0822574	
		Total	125.00
408045	2/15/2024	WAUKESHA COUNTY TECHNICAL COLLEGE	
		2023 TAXES	
100-00-24600-000-000		SCHOOL TAX DUE DISTRICT	119,832.47
		2023 TAXES	
		FEB SETTLMNT	
		Total	119,832.47
408046	2/15/2024	WAUKESHA COUNTY TREASURER	
		2023 TAXES	
100-00-24310-000-000		COUNTY AND STATE TAX	761,653.40
		2023 TAXES	
		FEB SETTLMNT	
100-00-24310-000-000		COUNTY AND STATE TAX	17.47
		MANAGED FOREST 2023 TAXES	
		FEB SETTLMNT	
		Total	761,670.87
Grand Total			4,142,125.82

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Thru Account:

Amount

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Total Expenditure from Fund # 100 - GENERAL FUND

4,142,125.82

Total Expenditure from all Funds

4,142,125.82

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Dated From: 3/15/2024 From Account:  
Thru: 3/15/2024 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
	3/15/2024	10-33 VEHICLE SERVICES LLC	
		SQUAD SET UP	
100-00-57400-000-000		CAPITAL PURCHASE	7,678.36
		SQUAD SET UP 3164	
		Total	7,678.36
	3/15/2024	AVI-SPL LLC	
		SERVICE CALL AV EQUIP	
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	770.00
		SERVICE CALL AV EQUIP 2150075	
		Total	770.00
	3/15/2024	BLAIR COMMERCIAL PAINTING	
		STAINING	
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	500.00
		STAINING 20094	
		Total	500.00
	3/15/2024	BRIAN WRAALSTAD	
		MILEAGE DELIVER CANINE TO MADISON	
100-00-52100-390-000		POLICE EXPENSE	174.20
		MILEAGE DELIVER CANINE TO MADISON IR 24-00346	
		Total	174.20
	3/15/2024	CITY OF OCONOMOWOC	
		2024 SUD3 LIC FEES	
240-00-53710-000-000		SUD#3 SEWER/WATER FEES TO CITY	177,334.08
		2024 SUD3 LIC FEES INV02421	
		Total	177,334.08
	3/15/2024	COMPASS MINERALS AMERICA INC	
		SEASONAL FILL ROAD SALT	
100-00-53300-340-000		PUBLIC WORKS ICE & SNOW	8,391.56
		SEASONAL FILL ROAD SALT 1292851	
		Total	8,391.56
	3/15/2024	CONLEY MEDIA LLC	
		WHITE STAG PH	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	92.00
		WHITE STAG PH 6330860224-2	

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Voucher Nbr	Check Date	Payee	Amount
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	152.97
		WOLF PH 6330860124-2	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	17.32
		PANGA LIQ LICENSE 6330860124-2	
Total			262.29

3/15/2024 CONSOLIDATED DOORS INC  
REPAIR PD OVERHEAD DOORS

100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	716.00
		REPAIR PD OVERHEAD DOORS 537935	
Total			716.00

3/15/2024 COREY OIL LTD  
WINDSHIELD WASHER

100-00-52100-260-000		POLICE SQUAD REP & MAINT	110.70
		WINDSHIELD WASHER 539749	
Total			110.70

3/15/2024 DIVERSIFIED BENEFIT SERVICES INC  
FEB RUN OUT & FEB ADMIN

100-00-51600-210-000		VILLAGE HALL 3RD PARTY ADMIN	122.30
		FEB RUN OUT & FEB ADMIN 403380	
Total			122.30

3/15/2024 DOUSMAN AREA CHAMBER OF COMMERCE  
CHIEF ANNUAL DUES

100-00-52100-390-000		POLICE EXPENSE	60.00
		CHIEF ANNUAL DUES 2024 DUES	
Total			60.00

3/15/2024 EH WOLF & SONS INC  
333.8 GAL GAS

100-00-52100-250-000		POLICE FUEL	907.76
		333.8 GAL GAS 722480	
100-00-52100-250-000		POLICE FUEL	1,073.31
		363 GAL GAS 732515	
100-00-52100-250-000		POLICE FUEL	713.18
		279.8 GAL GAS 709878	
100-00-52100-250-000		POLICE FUEL	236.77
		96.5 GAL GAS 708698	

Dated From: 3/15/2024 From Account:  
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Voucher Nbr	Check Date	Payee	Amount
100-00-53300-250-000		PUBLIC WORKS FUEL	268.06
		98.4 GAL DIESEL	695782
100-00-53300-250-000		PUBLIC WORKS FUEL	574.17
		180.8 GAL DIESEL	731594
Total			3,773.25

3/15/2024 GFL ENVIRONMENTAL

FEB 2276 HH

100-00-53620-000-000		GARBAGE & RECYCLING	41,809.88
		FEB 2276 HH	187648
100-00-53620-000-000		GARBAGE & RECYCLING	38,257.24
		JAN 2270 HH	183712
Total			80,067.12

3/15/2024 GLOBE LIFE

ACCT 31354 SUPP INS

100-00-13101-000-000		ACCOUNTS RECEIVABLE OTHER	659.18
		ACCT 31354 SUPP INS	MAR 2024
Total			659.18

3/15/2024 ITU ABSORB TECH INC

UNIFORMS

100-00-53300-390-000		PUBLIC WORKS EXPENSE	14.28
		UNIFORMS	8293299
100-00-53300-390-000		PUBLIC WORKS EXPENSE	13.47
		UNIFORMS	8269110
100-00-53300-390-000		PUBLIC WORKS EXPENSE	14.28
		UNIFORMS	8277239
100-00-53300-390-000		PUBLIC WORKS EXPENSE	14.28
		UNIFORMS	8281286
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	116.29
		MATS/TOWELS	8281286
100-00-51600-240-000		VILLAGE HALL REPAIRS & MAINT	17.72
		MATS/TOWELS	8289303
100-00-53300-390-000		PUBLIC WORKS EXPENSE	14.28
		UNIFORMS	8289303
Total			204.60

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Voucher Nbr	Check Date	Payee	Amount
3/15/2024 KLEANLINE LLC			
MAR 2024			
100-00-51600-280-000		VILLAGE HALL CLEANING	600.00
		MAR 2024 75754692	
Total			600.00
3/15/2024 KONTNEY COMPUTER GROUP			
COMPUTER/SERVER UPGRADES			
100-00-57400-000-000		CAPITAL PURCHASE	300.00
		COMPUTER/SERVER UPGRADES 24979	
100-00-51600-390-000		VILLAGE HALL EXPENSE	300.00
		UPDATES TO FIRMWARE ON ROUTER 24979	
Total			600.00
3/15/2024 LANGE ENTERPRISES INC			
TRAFFIC SIGN			
100-00-53300-370-000		PUBLIC WORKS ROAD MAINTENANCE	61.87
		TRAFFIC SIGN 86566	
100-00-53300-370-000		PUBLIC WORKS ROAD MAINTENANCE	75.30
		U CHANNEL POSTS 86635	
100-00-53300-370-000		PUBLIC WORKS ROAD MAINTENANCE	38.70
		ADDRESS SIGN 86763	
Total			175.87
3/15/2024 LEE RECREATION LLC			
PLAYGROUND EQUIPMENT			
100-00-57400-000-000		CAPITAL PURCHASE	53,384.00
		PLAYGROUND EQUIPMENT 16166-24	
Total			53,384.00
3/15/2024 LEITZKE PRINTING			
VICTIM NOTIFICATION & CITATION FORMS			
100-00-52100-390-000		POLICE EXPENSE	468.00
		VICTIM NOTIFICATION & CITATION FORMS 36413	
Total			468.00
3/15/2024 MUNICIPAL INSPECTORS LLC			
BUILDING PERMITS			
100-00-52400-290-000		BUILDING INSPECT O/S SERVICES	15,958.72
		BUILDING PERMITS FEB 2024	

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Voucher Nbr	Check Date	Payee	Amount
Total			15,958.72

3/15/2024 MUNICIPAL LAW & LITIGATION GROUP SC

JAN LEGAL

100-00-51300-290-000	LEGAL EXPENSE O/S SERVICES		4,355.20
	JAN LEGAL	11570	
100-00-51300-290-000	LEGAL EXPENSE O/S SERVICES		1,530.00
	TRAFFIC	11570	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		138.00
	LAKE COUNTRY CLASSICAL ACADEMY	11570	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		384.00
	OLES	11570	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		348.00
	ESCHWEILER	11570	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		103.20
	OABC	11570	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		168.00
	MCNULTY	11570	
Total			7,026.40

3/15/2024 PLANNING & ZONING LLC

FEB PLANNER HOURS

100-00-56301-290-000	VILLAGE PLANNER O/S SERVICES		3,690.00
	FEB PLANNER HOURS	3	
100-00-56401-290-000	SHORELAND ZONING ADMIN O/S SVC		3,780.00
	FEB SHORELAND ZONING	4	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		120.00
	KADOW PLANNER FEB	5	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		240.00
	WHITE STAG PLANNER FEB	5	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		90.00
	WHITE STONE PLANNER FEB	5	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		120.00
	DANCE STUDIO PLANNER FEB	5	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		180.00
	ESCHWEILER PLANNER FEB	5	
100-00-13100-000-000	CUSTOMER ACCOUNTS RECEIVABLE		150.00
	KRUEGER CSM PLANNER FEB	5	

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Dated From: 3/15/2024 From Account:  
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Voucher Nbr	Check Date	Payee	Amount
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	300.00
		HOGG ALLEY PLANNER FEB	5
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	60.00
		OABC PLANNER FEB	5
Total			8,730.00

3/15/2024 PROPHOENIX  
ANNUAL MAINT/SUPPORT SOFTWARE

100-00-52100-390-000		POLICE EXPENSE	6,853.14
		ANNUAL MAINT/SUPPORT SOFTWARE	2024141
Total			6,853.14

3/15/2024 SECURIAN FINANCIAL GROUP INC

LIFE INS

100-00-52100-132-000		POLICE INSURANCE	145.66
		LIFE INS	APR 2024
100-00-53300-132-000		PUBLIC WORKS INSURANCE	69.89
		LIFE INS	APR 2024
100-00-51420-132-000		ADMIN C/T INSURANCE	15.84
		LIFE INS	APR 2024
100-00-51422-132-000		VILLAGE OFFICE INSURANCE	10.82
		LIFE INS	APR 2024
100-00-13101-000-000		ACCOUNTS RECEIVABLE OTHER	78.80
		SUPPLEMENTAL LIFE INS	APR 2024
Total			321.01

3/15/2024 SECURIAN LIFE INSURANCE COMPANY

SUPP ACCIDENT INS

100-00-13101-000-000		ACCOUNTS RECEIVABLE OTHER	18.08
		SUPP ACCIDENT INS	MAR 2024
Total			18.08

3/15/2024 SHORT ELLIOTT HENDRICKSON INC

ANNUAL PAVING PROGRAM

100-00-57400-000-000		CAPITAL PURCHASE	610.00
		ANNUAL PAVING PROGRAM	462075
100-00-53101-000-000		ENGINEERING O/S SERVICES	1,002.50
		GEN ENG	462091

Dated From: 3/15/2024 From Account:  
Thru: 3/15/2024 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
100-00-53300-345-000		PUBLIC WORKS MS4	1,857.50
		MS4 462091	
100-00-53101-000-000		ENGINEERING O/S SERVICES	336.00
		ADMIN TIME FOR SETTING UP NEW YEAR 462000	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	300.00
		OLES 462000	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	832.50
		ESCHWEILER 462000	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	289.20
		LAKE COUNTRY VILLAGE 462000	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	50.00
		HOGG ALLEY 462000	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	480.00
		LAKE COUNTRY CLASSICAL ACADEMY 462000	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	100.00
		MCNULTY CSM 462000	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	50.00
		OABC 462000	
100-00-13100-000-000		CUSTOMER ACCOUNTS RECEIVABLE	212.50
		WHITE STONE CHURCH 462000	
<b>Total</b>			<b>6,120.20</b>

3/15/2024 SOMAR TEX LLC/SOMAR ENTERPRISES

40 NOTEBOOKS

100-00-52100-390-000		POLICE EXPENSE	143.60
		40 NOTEBOOKS 103218	
<b>Total</b>			<b>143.60</b>

3/15/2024 STANDARD INSURANCE COMPANY RC

LTD STD INS

100-00-52100-132-000		POLICE INSURANCE	760.53
		LTD STD INS MAR 2024 144067	
100-00-53300-132-000		PUBLIC WORKS INSURANCE	232.04
		LTD STD INS MAR 2024 144067	
100-00-51422-132-000		VILLAGE OFFICE INSURANCE	31.93
		LTD STD INS MAR 2024 144067	
100-00-51420-132-000		ADMIN C/T INSURANCE	83.49
		LTD STD INS MAR 2024 144067	

3/08/2024 11:33 AM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
WSB CHECKING

Page: 8  
ACCT

Dated From: 3/15/2024 From Account:  
Thru: 3/15/2024 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<b>Total</b>			<b>1,107.99</b>
3/15/2024 STREICHER'S			
WRAALSTAD \$492.50 TO BE REIMB			
100-00-52100-313-000		POLICE CLOTHING ALLOW	1,008.98
		WRAALSTAD \$492.50 TO BE REIMB I1672644	
100-00-52100-313-000		POLICE CLOTHING ALLOW	80.98
		WRAALSTAD I1684189	
<b>Total</b>			<b>1,089.96</b>
3/15/2024 TACTICAL SOLUTIONS			
LASER/RADAR CERTIFICATIONS			
100-00-52100-390-000		POLICE EXPENSE	225.00
		LASER/RADAR CERTIFICATIONS 9981	
<b>Total</b>			<b>225.00</b>
3/15/2024 VILLAGE OF HARTLAND POLICE DEPARTMENT			
MAJOR INVESTIGATIONS UNIT			
100-00-52100-312-000		POLICE TRAINING & SUPPLY	500.00
		MAJOR INVESTIGATIONS UNIT MIU 2024	
<b>Total</b>			<b>500.00</b>
3/15/2024 WAUKESHA COUNTY PUBLIC WORKS ASSOCIATION			
KAMRON NASH DUES			
100-00-53300-321-000		PUBLIC WORKS DUES & TRAINING	80.00
		KAMRON NASH DUES 2024 MEMBER DUES	
<b>Total</b>			<b>80.00</b>
3/15/2024 WESTERN LAKES FIRE DISTRICT			
2023 TAXES FINAL			
100-00-24540-000-000		FIRE TAX DUE DISTRICT	733,379.59
		2023 TAXES FINAL 5750	
<b>Total</b>			<b>733,379.59</b>
3/15/2024 WISCONSIN PROFESSIONAL POLICE ASSOCIATION INC			
MAR UNION DUES			
100-00-13101-000-000		ACCOUNTS RECEIVABLE OTHER	356.00
		MAR UNION DUES 19958/20570	
<b>Total</b>			<b>356.00</b>

3/08/2024 11:33 AM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
WSB CHECKING

Page: 9  
ACCT

Dated From: 3/15/2024

From Account:

Thru: 3/15/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<b>Grand Total</b>			<b>1,117,961.20</b>

3/08/2024 11:33 AM

In Progress Checks - Full Report - Regular  
ALL Checks by Payee  
WSB CHECKING

Page: 10  
ACCT

Dated From: 3/15/2024 From Account:  
Thru: 3/15/2024 Thru Account:

Amount

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Total Expenditure from Fund # 100 - GENERAL FUND	940,627.12
Total Expenditure from Fund # 240 - SUMMIT UD #3	177,334.08
Total Expenditure from all Funds	1,117,961.20



U.S. BANK  
P.O. BOX 6343  
FARGO ND 58125-6343



**ACCOUNT NUMBER**  
**STATEMENT DATE** 02-26-2024  
**AMOUNT DUE** \$9,789.22  
**NEW BALANCE** \$9,789.22  
PAYMENT DUE ON RECEIPT

000017895 01 SP 106481971669609 P  
VILLAGE OF SUMMIT  
ATTN KATHY STREBE  
37100 DELAFIELD RD  
SUMMIT WI 53066-9101

**AMOUNT ENCLOSED**  
\$

Please make check payable to  
U.S. BANK

U.S. BANK  
P.O. BOX 790428  
ST. LOUIS, MO 63179-0428

Please tear payment coupon at perforation.

**CORPORATE ACCOUNT SUMMARY**

VILLAGE OF SUMMIT	Previous Balance	Purchases And Other Charges	Cash Advances	Cash Advance Fees	Late Payment Charges	Credits	Payments	New Balance
Company Total	\$5,086.85	\$9,832.39	\$0.00	\$0.00	\$0.00	\$43.17	\$5,086.85	\$9,789.22

**CORPORATE ACCOUNT ACTIVITY**

Post Date	Tran Date	Reference Number	Transaction Description	Amount
02-15	02-15		AUTO PAYMENT DEDUCTION	5,086.85 CR

**TOTAL CORPORATE ACTIVITY**  
\$5,086.85 CR

**NEW ACTIVITY**

Post Date	Tran Date	Reference Number	Transaction Description	Amount
02-01	01-31	24430994031083003409920	CDW GOVT #PJ58866 800-808-4239 IL	1,280.63
02-06	02-04	24325454036900012443038	KALAHARI RESORT - WI WISCONSIN DEL WI RM2CX7B63 ARRIVAL: 02-04-24	198.00
02-09	02-07	24137464039500783666769	CRACKER BARREL #444 LAKE BARABOO WI	17.58
02-12	02-11	24204294042001660188047	DRICRASHPLAN 952-9084039 MN	19.98
02-12	02-08	24639234040900016300326	SIRCHIE ACQUISITION COMPA 919-5542244 NC	63.00

**CREDITS** \$23.34    **PURCHASES** \$2,085.73    **CASH ADV** \$0.00    **TOTAL ACTIVITY** \$2,062.39

**CUSTOMER SERVICE CALL**

800-344-5696

**ACCOUNT NUMBER**

**STATEMENT DATE**  
02/26/24

**DISPUTED AMOUNT**  
.00

**ACCOUNT SUMMARY**

PREVIOUS BALANCE	5,086.85
PURCHASES & OTHER CHARGES	9,832.39
CASH ADVANCES	.00
CASH ADVANCE FEES	.00
LATE PAYMENT CHARGES	.00
CREDITS	43.17
PAYMENTS	5,086.85
<b>ACCOUNT BALANCE</b>	<b>9,789.22</b>

**SEND BILLING INQUIRIES TO:**

U.S. BANK  
P.O. Box 6335  
Fargo, ND 58125-6335

**AMOUNT DUE**

**9,789.22**



Company Name: VILLAGE OF SUMMIT
Corporate Account Number
Statement Date: 02-26-2024

**NEW ACTIVITY**

Post Date	Tran Date	Reference Number	Transaction Description	52100	Amount
02-19	02-16	24492164048000013027894	RING YEARLY PLAN HTTPSRING.COM CA	390	23.34 CR
02-21	02-20	24692164051109524290735	IN *COMPETITOR AWARDS & E HARTLAND WI	390	56.50
02-22	02-21	24692164052100234725523	AMZN MKTP US*R17XJ7DW1 AMZN.COM/BILL WA	390	130.00
02-22	02-21	24692164052100271714554	AMZN MKTP US*R16LW2SV1 AMZN.COM/BILL WA	390	89.00
02-26	02-23	24430994054400819078016	MSFT * E0400QWU7B MSBILL.INFO WA	390	128.00
02-26	02-25	24692164056103460854351	AMZN MKTP US*RW9NM5262 AMZN.COM/BILL WA	51600-240	103.04

<b>DEBRA J MICHAEL</b>	<b>CREDITS</b>	<b>PURCHASES</b>	<b>CASH ADV</b>	<b>TOTAL ACTIVITY</b>
	\$0.00	\$159.90	\$0.00	\$159.90

Post Date	Tran Date	Reference Number	Transaction Description	51600-320	Amount
02-23	02-22	24011344053000054244913	ZOOM.US 888-799-9666 WWW.ZOOM.US CA		159.90

<b>DEPT OF PUBLIC WORKS</b>	<b>CREDITS</b>	<b>PURCHASES</b>	<b>CASH ADV</b>	<b>TOTAL ACTIVITY</b>
	\$0.00	\$265.06	\$0.00	\$265.06

Post Date	Tran Date	Reference Number	Transaction Description	51440-390	Amount
01-29	01-26	24941664026838000508422	FLEET FARM 5000 OCONOMOWOC WI	51440-390	22.00
01-30	01-29	24435654030081148071007	PRICE ENGINEERING CO. 262-369-2162 WI	53300-350	114.89
01-31	01-30	24122594030030017340197	TIMS AUTO PARTS OCONOMOWOC WI	350	21.25
02-01	01-30	24707804031030041570681	PROVEN POWER- OCONOMOWOC OCONOMOWOC WI	350	77.50
02-09	02-08	24941664039838001492308	FLEET FARM 5000 OCONOMOWOC WI	370	27.98
02-12	02-09	24941664040838001600493	FLEET FARM 5000 OCONOMOWOC WI	370	1.44

<b>VILLAGE OF SUMMIT</b>	<b>CREDITS</b>	<b>PURCHASES</b>	<b>CASH ADV</b>	<b>TOTAL ACTIVITY</b>
	\$19.83	\$6,771.70	\$0.00	\$6,751.87

Post Date	Tran Date	Reference Number	Transaction Description	51600-390	Amount
01-26	01-24	24137464025100389454318	OFFICEMAX/DEPOT 6869 800-463-3768 IL	51600-390	48.65
01-29	01-25	74137464026100487497163	OFFICEMAX/DEPOT 6536 DELAFIELD WI	390	19.83 CR
01-29	01-25	24137464026100448471674	OFFICEMAX/DEPOT 6536 DELAFIELD WI	390	18.74
01-29	01-25	24325454026900010300018	LEAGUE WI MUNICIPALITIES 608-2672380 WI	51100-321	4,887.47
01-29	01-27	24692164027103349955748	SPECTRUM 855-707-7328 MO	51600-220	79.98
02-01	01-31	24430994031400810025576	MSFT * E0800QRSRL MSBILL.INFO WA	320	152.00
02-01	02-01	24492164032000021551248	TOWN WEB DESIGN, LLC HTTPSWWW.TOWN CA	320	550.00
02-02	02-01	24116414032067441326662	WISCUNCLERKS 920-568-9278 WI	51442-321	65.00
02-06	02-05	24692164036100309798828	VZWRLLS*APOCC VISB 800-922-0204 FL	52100-270	190.05
02-12	02-11	24692164042102055249677	AMZN MKTP US*RB5BS2KB2 AMZN.COM/BILL WA	51600-240	89.97
02-16	02-15	24692164046105293192027	SPECTRUM 855-707-7328 MO	51600-220	515.00
02-22	02-21	24692164052109984507783	SPECTRUM 855-707-7328 MO	220	134.84
02-26	02-23	24717054054270546130589	DSPS POS PROGRAM 2 MADISON WI	220	40.00
				52402	

<b>BRIAN M WRAALSTAD</b>	<b>CREDITS</b>	<b>PURCHASES</b>	<b>CASH ADV</b>	<b>TOTAL ACTIVITY</b>
	\$0.00	\$550.00	\$0.00	\$550.00



Company Name: VILLAGE OF SUMMIT
Corporate Account Number:
Statement Date: 02-26-2024

**NEW ACTIVITY**

Post Date	Tran Date	Reference Number	Transaction Description	52100	Amount
02-05	02-02	24207854034164601793214	WISCONSIN CHIEFS OF POLIC 920-9673500 WI	390	100.00
02-19	02-18	24692164049107853223496	SQ *LAW ENFORCEMENT TRAIN 877-417-4551 WI	312	450.00

Department: 00000 Total: \$9,789.22  
Division: 00000 Total: \$9,789.22





Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

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Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

**MEMORANDUM**

To: Village Board

From: Amy Barrows, Planner

Date: March 14, 2024

Re: **Certified Survey Map Request**

Dennis & Gina Krueger/Dennis W Krueger and Christine E Garlock Et. Al.  
1920 N. Oak Grove Road, SUMT0669109 & SUMT0669110

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**BACKGROUND:** The applicant is proposing to combine two lots of record, including Lot 5 and Lot 6 in Map of Oak Grove Subdivision. One of the existing lots is inclusive of all of Lot 5 and a part of Lot 6 (0.32 acre) and the other lot is inclusive of the remaining part of Lot 6 (0.1 acre). Since the Plan Commission meeting, it was determined that the CSM should include a road dedication that results in 33 ft. from the centerline of the platted road right-of-way being removed from the property. The road dedication results in a loss of 2,570 sq. ft. of land owned by the applicant. The new lot will be 16,074 sq. ft. (0.37 acres).

At their meeting on February 15, 2024, the Plan Commission unanimously passed a motion to recommend that Village Board approve the Certified Survey Map subject to the conditions stated in the recommended motion of this report, including compliance with all staff comments. All staff comments have been addressed. The owners will be providing a deed that demonstrates that both lots are owned in common.

***A more detailed assessment of the site conditions and staff comments is included in the February 15, 2024 Plan Commission report. Note: As a result of the road dedication, the total lot area is 16,074 sq. ft. rather than 18,644 sq. ft.***

**ATTACHMENTS:** 2/15/2024 Plan Commission report and attached surveyor comments  
Draft Revised Certified Survey Map – 2/29/2024

**FISCAL IMPACT:** None.

**RECOMMENDED MOTION:**

**Approve the Certified Survey Map subject to the following conditions:**

- A. APPROVALS FROM ALL OBJECTING AND APPROVING BODIES:** Petitioner shall satisfy all comments, conditions and concerns of the Village Engineer, Surveyor, and Planner prior to approval of the final Certified Survey Map. *This condition has been met.*
- B. SUBJECT TO REIMBURSEMENT OF EXPENSES.** As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.
- C. NO BUSINESS OR COMMERCIAL USE.** There shall be no commercial or business use on this lot, except as specifically permitted within or pursuant to the applicable Zoning Code.
- D. ONE YEAR TO SATISFY CONDITIONS.** Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Village Board granting conditional final approval of the CSM.

**CERTIFIED SURVEY MAP REVIEW**  
**2/15/2024 Plan Commission Meeting**  
**Krueger Property – SUMT0669109 & SUMT0669110**

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Staff Report

Village of Summit, Wisconsin

Property Location: 1920 N. Oak Grove Road, SUMT0669109 & SUMT0669110

Property Owner: Dennis & Gina Krueger/Dennis W Krueger and Christine E Garlock Et. Al.

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**Zoning:** R-4 Cottage Residential  
(1 unit per 26,000 sq. ft. density/20,000 sq. ft. lot size)

**Land Use Plan:** SF Residential 0.6-acre density

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**Recommended Motion:**

*Motion to recommend that Village Board approve the Certified Survey Map subject to the following conditions:*

- A. APPROVALS FROM ALL OBJECTING AND APPROVING BODIES: Petitioner shall satisfy all comments, conditions and concerns of the Village Engineer, Surveyor, and Planner prior to approval of the final Certified Survey Map.*
- B. SUBJECT TO REIMBURSEMENT OF EXPENSES. As a condition precedent to this conditional CSM approval taking effect, the Petitioner shall pay all fees, costs, and assessments due and owing to the Village of Summit, and for reimbursement of any expenses, costs and disbursements which have been incurred by the Village of Summit in the drafting, review or enforcement of this conditional CSM approval, including without limitation by reason of enumeration, design, engineering, inspection and legal work.*
- C. NO BUSINESS OR COMMERCIAL USE. There shall be no commercial or business use on this lot, except as specifically permitted within or pursuant to the applicable Zoning Code.*
- D. ONE YEAR TO SATISFY CONDITIONS. Subject to the Petitioner satisfying all of the aforementioned conditions within one year of the Village Board granting conditional final approval of the CSM.*

**Summary:**

The applicant is proposing to combine two lots of record, including Lot 5 and Lot 6 in Map of Oak Grove Subdivision. One of the existing lots is inclusive of all of Lot 5 and a part of Lot 6 (0.32 acre) and the other lot is inclusive of the remaining part of Lot 6 (0.1 acre). The CSM would result in decreasing the nonconformity of the existing lots. The new lot would be approximately 140 ft. wide and 18,644 sq. ft. (.43 acres).

*Krueger CSM*

**Considerations:**

Access and Frontage: The lot will have frontage on N. Oak Grove Road. Accessibility is not changing. The established road right-of-way width was reduced to 30 ft. in 2004.

Total Area: The proposed CSM legally combines two lots into a single lot of record consisting of 18,644 sq. ft. The lot will still be nonconforming to lot size, but the combination results in a significant improvement compared to two nonconforming lots of record.

Sanitary Sewer System available: The property is served by public sewer and is in Utility District #2. The owner is not currently paying any fees associated with a 2<sup>nd</sup> lot. Therefore, no changes to fees or sewer connectivity are required.

Water System Available: The property is served by a private well.

Natural Resources: None.

**Planner Comments:**

- 1) N. Oak Grove Road should be labeled on the vicinity sketch.
- 2) A note shall be added to the CSM that states, "All of Lot 1 is located within the Village of Summit's Shoreland Jurisdictional Boundary."
- 3) The Village Board signature shall be modified to read "Village Board" rather than "Common Council" and the Village President is Jack Riley rather than Sergio Rodriguez.

Surveyor and Engineering Comments: See attached letter dated February 6, 2024.



Building a Better World  
for All of Us®

February 6, 2024

RE: Village of Summit  
Krueger Certified Survey Map  
SEH No. SUMMV 176551 Task 15

Ms. Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

Dear Ms. Barrows:

We have reviewed the Certified Survey Map for Dennis and Gina Krueger, 1920 North Oak Grove Road, Oconomowoc, WI 53066, and offer the following comments:

- 1) The map appears to be located in the NE 1/4 and SE 1/4 of the NE 1/4 of Section 24. The Surveyor shall confirm this and revise the heading on each sheet and the description.
- 2) The width of the right-of-way must be shown.
- 3) Bearings and distances that differ from the original plat shall be identified.
- 4) A graphic scale is required.
- 5) The old line between lots 5 and 6 should not be shown and the label for these two lots removed as they will no longer exist after the map is recoded.
- 6) The sheets of the map must be numbered, and the total amount of sheets depicted.

Please do not hesitate to contact me with any questions or comments at 414.949.8919 or [kkindred@sehinc.com](mailto:kkindred@sehinc.com).

Sincerely,

A handwritten signature in black ink that reads "Keith Kindred".

Keith Kindred, PLS  
Principal, Regional Practice Center Leader  
(Lic. WI, IL)

jw

x:\p\ts\summv176551\task 15 -krueger csm 1920 n oak grove rd\krueger csm review letter\_village of summit\_2024-02-06.docx

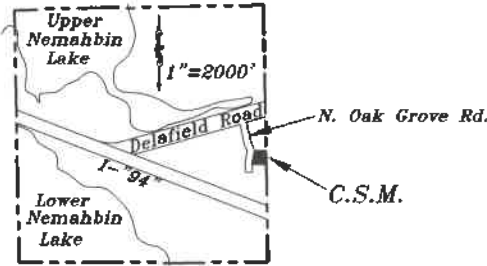
Engineers | Architects | Planners | Scientists

**Short Elliott Hendrickson Inc.**, 501 Maple Avenue, Delafield, WI 53018-9351  
262.646.6855 | 888.908.8166 fax | [sehinc.com](http://sehinc.com)

SEH is 100% employee-owned | Affirmative Action–Equal Opportunity Employer

**CERTIFIED SURVEY MAP NO.**

Being a combination of Lot 5 and Lot 6 in Map of Oak Grove, being a part of the Southeast 1/4 of the Northeast 1/4 of Section 24, Town 7 North, Range 17 East, in the Village of Summit, Waukesha County, Wisconsin.

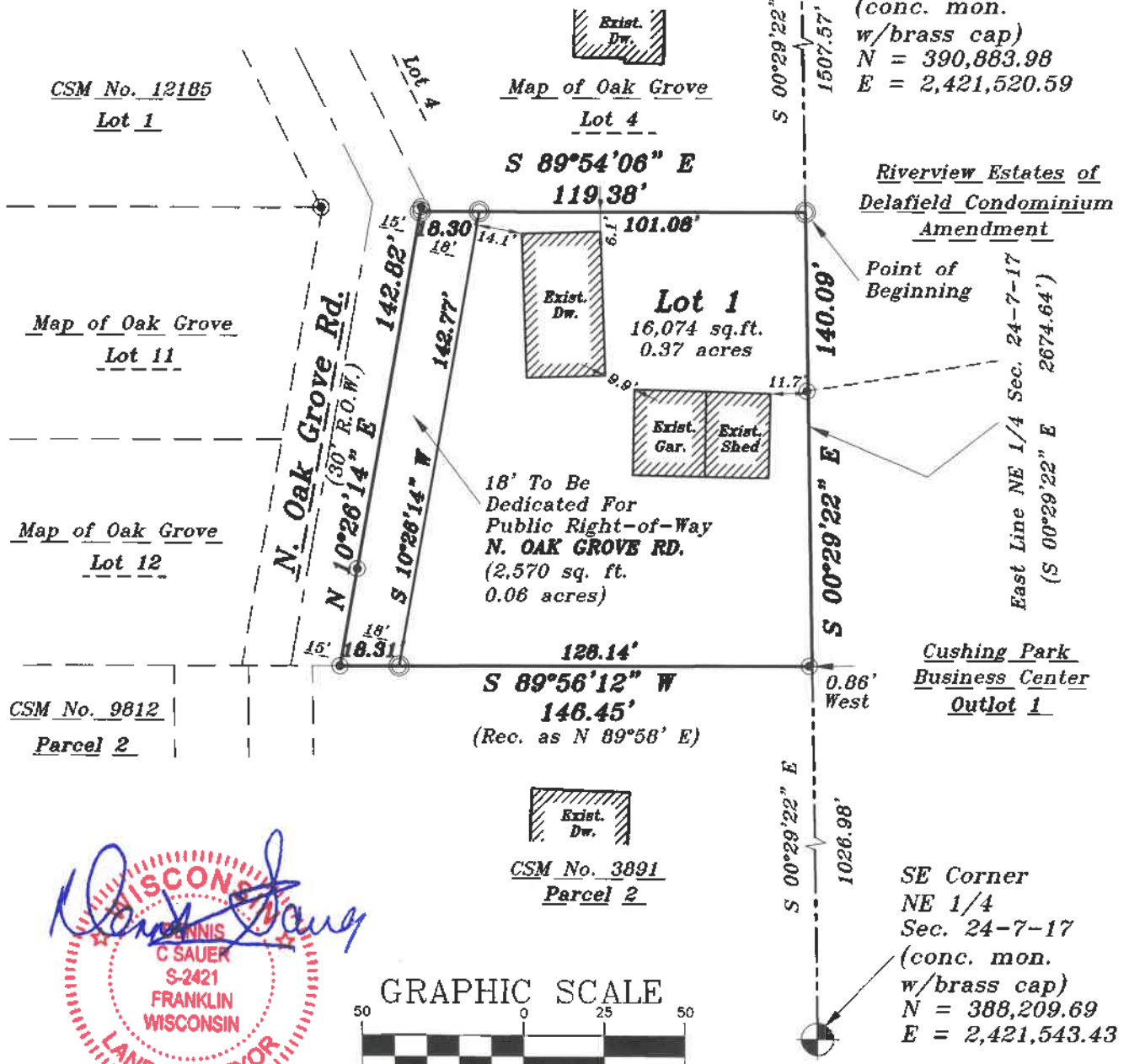


Vicinity Sketch

NE 1/4 Sec. 24-7-17

**NOTE:**

All of Lot 1 of this Certified Survey Map is located within the Village of Summit's Shoreland Jurisdictional Boundary



CSM No. 12185  
Lot 1

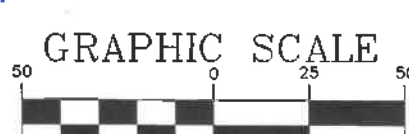
Map of Oak Grove  
Lot 4

Map of Oak Grove  
Lot 11

Map of Oak Grove  
Lot 12

CSM No. 9812  
Parcel 2

CSM No. 3891  
Parcel 2



( IN FEET )  
1 inch = 50 ft.



Map bearings refer to Grid North of the Wisconsin State Plane Co-ordinate System, South Zone, with the East line of the NE 1/4 of Section 24, T7N, R17E having an assumed bearing of N 00°29'22" W. February 2018 Datum

- — Denotes 1"x 24" iron pipe set, (1.05" O.D.), 1.13 lbs per lin. ft.
- ⊙ — Denoted iron pipe found and accepted or set as noted.

This CSM is served by public sanitary sewer and water.

January 19, 2024  
Rev. February 21, 2024  
Rev. February 29, 2024

Prepared for:  
Dennis and Gina Krueger  
1920 North Oak Grove Road  
Oconomowoc, Wisconsin 53066  
email: beautylakeside@gmail.com

Prepared by:  
Dennis C. Sauer RLS 2421  
Metropolitan Survey Service, Inc.  
8482 South 76th Street  
Franklin, WI 53130  
Email: survey@metropolitansurvey.com

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a combination of Lot 5 and Lot 6 in Map of Oak Grove, being a part of the Southeast 1/4 of the Northeast 1/4 of Section 24, Town 7 North, Range 17 East, in the Village of Summit, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
MILWAUKEE COUNTY ) SS

I, Dennis C. Sauer, Professional Land Surveyor, do hereby certify:  
That I have surveyed, divided, dedicated and mapped a combination of Lot 5 and Lot 6 in Map of Oak Grove, being a part of the Southeast 1/4 of the Northeast 1/4 of Section 24, Town 7 North, Range 17 East, in the Village of Summit, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the Northeast corner of said Northeast 1/4; thence S 00°29'22" E, along the East line of said Northeast 1/4, 1507.57 feet to the point of beginning; thence continuing S 00°29'22" E along said East line, 140.09 feet; thence S 89°56'12" W, 146.45 feet to a point on the East right-of-way line of North Oak Grove Road; thence N 10°26'14" E along said East right-of-way line, 142.82 feet; thence S 89°54'06" E, 119.38 feet to the point of beginning.

Said lands containing 18,644 square feet (0.43 acres) including public right-of-way dedication.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have made such survey, land division, combination, dedication and map by the direction of Dennis W. Krueger and Gina M. Krueger, owners of said land.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the requirements of the Village of Summit in surveying, dividing and mapping of the same.

January 19, 2024  
Date  
Rev. February 21, 2024  
Rev. February 29, 2024



\_\_\_\_\_  
Dennis C. Sauer  
Professional Land Surveyor S-2421

PREPARED FOR:  
Dennis and Gina Krueger  
1920 North Oak Grove Road  
Oconomowoc, WI 53066

PREPARED BY:  
Dennis C. Sauer  
Metropolitan Survey Service, Inc.  
8482 South 76<sup>th</sup> Street  
Franklin, WI 53132

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a combination of Lot 5 and Lot 6 in Map of Oak Grove, being a part of the Southeast 1/4 of the Northeast 1/4 of Section 24, Town 7 North, Range 17 East, in the Village of Summit, Waukesha County, Wisconsin.

OWNER'S CERTIFICATE:

Dennis W. Krueger and Gina M. Krueger, as owners, do hereby certify that we have caused the land described on this map to be surveyed, divided, combined and mapped as represented on this map in accordance with Chapter 236.34 of the Wisconsin State Statutes, and the Subdivision Regulations of the Village of Summit.

IN WITNESS WHEREOF, the hand and seal of said owner this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
Dennis W. Krueger

\_\_\_\_\_  
Gina M. Krueger

STATE OF WISCONSIN)  
\_\_\_\_\_ COUNTY) SS

PERSONALLY, came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, Dennis W. Krueger and Gina M. Krueger, Owners, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Print Name: \_\_\_\_\_  
Notary Public-State of Wisconsin  
My Commission Expires: \_\_\_\_\_



January 19, 2024  
Rev. February 21, 2024  
Rev. February 29, 2024

PLAN COMMISSION APPROVAL

APPROVED by the Plan Commission of the Village of Summit on this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
Jim Siepmann, Chairperson  
Village of Summit

\_\_\_\_\_  
Debra Michael, Administrator  
Clerk/Treasurer  
Village of Summit

VILLAGE BOARD APPROVAL

APPROVED by the Village Board of the Village of Summit on this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
Jack Riley, Village President  
Village of Summit

\_\_\_\_\_  
Debra Michael, Administrator  
Clerk/Treasurer, Village of Summit

THIS INSTRUMENT WAS DRAFTED BY:  
Dennis C. Sauer, P.L.S. S-2421



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

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Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

## MEMORANDUM

To: Village Board

From: Amy Barrows, Planner

Date: March 14, 2024 Meeting

Re: Zoning Ordinance Text Amendments Related to Commercial Vehicle Parking allowed as a Conditional Use in the A-2 Agricultural District

---

**BACKGROUND:** The Village of Summit sent the applicant a notice of violation letter in 2022 regarding a potential trees service operation taking place on his personal property. After several meetings and discussions with staff, the applicant decided to apply to amend the text of the zoning ordinance to allow for a tree service operation in the A-2 Agricultural District. After several Plan Commission meetings, a site visit, and feedback/concern regarding the extent of the use, the applicant decided to withdraw his request for a tree service business and removed all tree service operations from his property.

The applicant reapplied to amend the text of the Zoning Ordinance to accommodate commercial vehicle parking in the A-2 Agricultural District. At the December 2023 meeting, Plan Commission scheduled a public hearing for the January 2024 meeting. A public hearing took place at the January meeting. Two neighbors provided their support for the proposed text amendments. The public hearing was adjourned until the February meeting to allow the applicant to address Plan Commission's concern related to the number of vehicles that would be allowed to be stored on the property.

At the February Plan Commission meeting, the applicant presented two options to manage the number of vehicles. The Plan Commission unanimously recommended approval of Option 1, which includes limiting the number of commercial vehicles to six. If four or more commercial vehicles are proposed, two of the vehicles shall not exceed two axles. Equipment is not included in determining the number of commercial vehicles. The Plan Commission report from the February 15, 2024 meeting is enclosed for reference. The two ordinance options

presented at Plan Commission are also included in the packet. There are several other conditions proposed as part of the Conditional Use for commercial vehicle parking, which are all included in the enclosed ordinance.

**ATTACHMENTS:**

- Draft Ordinance
- February 15, 2024 Plan Commission Report
- Public Hearing Record is included in the electronic packet only. It should be noted that the February Plan Commission minutes have not been approved yet and are not included. However, all public comment is summarized in this report.

**FISCAL IMPACT:**

None, other than potential costs associated with the enforcement of a Conditional Use Permit.

**POSSIBLE MOTIONS:**

**Adopt the enclosed ordinance that adds a definition to Section 111-431, repeals and recreates Section 111-321(4) Conditional uses permitted, and creates Section 111-358(d)(2) Conditional uses in the A-2 Agricultural District of the Village of Summit Zoning and Shoreland Ordinance subject to Village Attorney review.**

*OR*

**Deny the proposed text amendments provided in the enclosed ordinance and as presented by the applicant for the following reasons (Village Board insert reasons).**

**ORDINANCE NO. \_\_\_\_\_**

AN ORDINANCE TO AMEND THE TEXT OF CHAPTER 111  
ZONING CODE OF THE VILLAGE OF SUMMIT CODE OF ORDINANCES  
RELATED TO COMMERCIAL VEHICLE PARKING BY ADDING A DEFINITION  
TO SECTION 111-431, REPEALING AND RECREATING SECTION 111-321(4)  
AND CREATING SECTION 111-358(d)(2)

WHEREAS, an application has been filed by Christopher and Jessica Kadow, property owners at 740 N. Griffith Road, (“APPLICANT”), to amend the text of Chapter 111 Zoning Code of the Village of Summit Code of Ordinances, and

WHEREAS, the request was submitted to allow commercial vehicle parking on properties zoned A-2 Agricultural as a Conditional Use Permit subject to certain conditions being met; and

WHEREAS, the Plan Commission considered the Zoning Code text amendments at their meeting on December 21, 2023, and scheduled a public hearing for the January 18, 2024 Plan Commission meeting; and

WHEREAS, upon publication of the required "Notice of Public Hearing" and mailing of said "Notice of Public Hearing" to all parties-in-interest as required by Section 111-387(b) of the Village Code, the Plan Commission for the Village of Summit held a public hearing on January 18, 2024, which was held and adjourned until the February 15, 2024 Plan Commission meeting. The public hearing was continued and closed at the February 15, 2024 Plan Commission meeting. The public hearing was held as required by Section 111-386(b)(4) of the Village Code; and

WHEREAS, at the January and February 2024 public hearing, the Village Planner presented information on the proposed text amendments; and

WHEREAS, following the public hearing that closed on February 15, 2024, the commissioners considered the information presented at the public hearing and a draft Ordinance for review and recommendation; and

WHEREAS, the Plan Commission recommended the Ordinance to the Village Board for consideration; and

WHEREAS, this zoning text amendment was requested and approved by the APPLICANT, evidenced by the Applicant’s signature that will be shown on this Ordinance before the Ordinance can take effect; and

WHEREAS, the Village Board of the Village of Summit, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning text amendments on the health, safety and welfare of the community, hereby determine that the rezoning will not violate the spirit or intent of the Village Code, and will not be contrary to the public health, safety or general welfare of the Village of Summit; and

NOW, THEREFORE, the Village Board of the Village of Summit, Waukesha County, Wisconsin, DO ORDAIN as follows:

SECTION 1: Chapter 111 of the Village of Summit Municipal Code entitled “Zoning and Shoreland Protection,” Article XV entitled “Definitions,” Section 111-431 entitled “Definitions,” the term “Commercial vehicle parking” is hereby inserted in alphabetical order to read as follows:

*Commercial vehicle parking* means parking and storage of commercial or industrial vehicles, such as trucks, construction vehicles, grading equipment, semi-trailers, tractors, and similar vehicles and related equipment. All such vehicles and equipment shall be fully operative and in active use.

SECTION 2: Chapter 111 of the Village of Summit Municipal Code entitled “Zoning and Shoreland Protection,” Article XI entitled “Conditional Uses,” Section 111-321 entitled “Conditional uses permitted,” Subsection (4) is hereby repealed and recreated to read as follows:

(4) *Commercial vehicle parking*. The parking and storage of commercial vehicles shall be permitted as a conditional use upon compliance with all of the following requirements:

- a. The minimum lot area of the parcel utilized for commercial vehicle parking shall be at least 15 acres.
- b. All commercial vehicles shall be owned, or leased and operated by, the owner or occupant of the property.
- c. No more than six commercial vehicles may be stored on the property. If four or more commercial vehicles are proposed, then two commercial vehicles shall not exceed two axles. Trailers, grading equipment, and other equipment related to the conditional use are not included for purposes of determining the number of commercial vehicles.
- d. The boundary of any parcel utilized for commercial vehicle parking shall be within 200 feet of a county highway or state trunk highway.
- e. All commercial vehicles shall be parked or stored in an enclosed structure having flooring that consists of concrete or other impervious surface.

- f. No commercial activity involving a commercial vehicle shall occur on the property in which commercial vehicle are parked or stored.
- g. Parking on the property for up to four employees who operate the commercial vehicles may occur if such parking is screened from view from any public right-of-way or adjacent property by landscaping or architectural means. For purposes of this Subsection, an employee is a person who has no familial relationship with the applicable person that: (i) owns the parcel utilized for commercial vehicle parking; (ii) operates commercial vehicle parking on the subject parcel; or (iii) owns the entity that operates the commercial vehicle parking on the subject parcel.
- h. The conditional use permit shall terminate upon the transfer of ownership of the property utilized for commercial vehicle parking, except that the conditional use permit shall remain in effect upon the transfer involving the owner of the subject parcel, an entity owned by the subject parcel owner, or a trust of the subject parcel owner.

SECTION 3: Chapter 111 of the Village of Summit Municipal Code entitled “Zoning and Shoreland Protection,” Article XII entitled “District Regulations,” Section 111-358 entitled Agricultural District (A-2), Subsection (d) entitled “Conditional Uses”, Subsection (2) is hereby created to read as follows:

(2) Commercial vehicle parking.

SECTION 4. SEVERABILITY.

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of any other provisions, sections or portions thereof of the Ordinance. The remainder of the Ordinance shall remain in full force and effect. Any other Ordinances whose terms are in conflict with the provisions of this Ordinance are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE.

This Ordinance shall be in full force and effect from and after its passage and publication.

Passed and adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

VILLAGE OF SUMMIT

\_\_\_\_\_  
Jack Riley, Village President

ATTEST:

\_\_\_\_\_  
Debra J. Michael, Village Administrator-Clerk/Treasurer

Published and posted this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

APPROVAL OF APPLICANT

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

APPLICANT

\_\_\_\_\_

By: \_\_\_\_\_  
Authorized Signatory

This instrument drafted by  
Amy Barrows, Village Planner

KADOW TEXT AMENDMENT PUBLIC  
HEARING FEBRUARY 15, 2024

# **Review of Zoning Code Amendments related to Uses in the A-2 Agricultural District, Specific to Commercial Vehicle Parking**

12/21/2023 PC Meeting

1/18/2024 PC Meeting

2/15/2024 PC Meeting

## ***Request of Jessica and Christopher Kadow***

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Staff Report

Village of Summit, Wisconsin

**Possible Motions:** *Recommend Village Board adopt the proposed text amendments amending Section 111-431, repealing and recreating Section 111-321(4), and creating Section 111-358(d)(2) of the Village of Summit Zoning and Shoreland Ordinance provided by the applicant in an ordinance form approved by the Village Planner and Village Attorney.*

*OR*

*Recommend Village Board deny the proposed text amendments provided by the applicant for the following reasons: (Plan Commission insert reasons).*

---

### **Summary:**

The applicant owns property located at 740 N. Griffith Road, which is located on the east side of STH 83, on N. Griffith Road. The applicant would like to store commercial vehicles on his property. Therefore, he is proposing that the Village consider amending the text of the Zoning Ordinance to allow him to do so subject to several conditions. Amongst other conditions, the conditions allow limited employee parking. The proposed text amendments are enclosed.

- Section 111-431: The amendments include a new definition for “commercial vehicle parking.”
- Section 111-321(4) provides conditions that would need to be met in order for a commercial vehicle parking conditional use to take place.
- Section 111-358(d)(2): The amendments include commercial vehicle parking as a Conditional Use Permit in the A-2 Zoning District.

Since the proposal would potentially allow the applicant to pursue a Conditional Use request on the applicant’s property, discussion related to the applicant’s proposal should not occur during the meeting. Property specific discussion should occur during the public hearing of such application.

At the December 21, 2024 meeting, the Plan Commission scheduled a public hearing for the January 18, 2024 meeting.

**January 18, 2024 Public Hearing**

A public hearing was held at the January 18<sup>th</sup> Plan Commission meeting. There was public comment in support of the applicant’s proposal. After reviewing the application materials, the Plan Commission requested additional language that would limit the number of commercial vehicles on the property and tabled the hearing until the February Plan Commission meeting.

**February 15, 2024 Continued Public Hearing**

The applicant has revised the proposed text amendments with an attempt to control the number of commercial vehicles. Two options were submitted for consideration:

Option 1: Proposed Section 111-321(4)c. would limit parking to no more than six commercial vehicles. If four or more are proposed, two of the vehicles shall not exceed two axles. Equipment is not included in determining the number of commercial vehicles.

Option 2: Proposed Section 111-321(4)c. would limit parking to no more than six commercial vehicles with two of the commercial vehicles not exceeding two axles. Equipment is not included in determining the number of commercial vehicles.

ALTERNATE 1 FOR FEBRUARY 15, 2024 PUBLIC HEARING

STATE OF WISCONSIN

VILLAGE OF SUMMIT

WAUKESHA COUNTY

Ordinance No. \_\_\_\_\_

**AN ORDINANCE AMENDING SECTION 111-431, REPEALING AND RECREATING SECTION 111-321(4), AND CREATING SECTION 111-358(d)(2) OF THE MUNICIPAL CODE OF THE VILLAGE OF SUMMIT**

---

**NOW, THEREFORE**, the Village Board of the Village of Summit, Waukesha County, Wisconsin does ordain as follows:

**SECTION 1:** Section 111-431 of the Village of Summit Municipal Code is amended by inserting the following term:

*Commercial vehicle parking* means parking and storage of commercial or industrial vehicles, such as trucks, construction vehicles, grading equipment, semi-trailers, tractors, and similar vehicles and related equipment. All such vehicles and equipment shall be fully operative and in active use.

**SECTION 2:** Section 111-321(4) of the Village of Summit Municipal Code is repealed and recreated to read as follows:

(4) *Commercial vehicle parking*. The parking and storage of commercial vehicles shall be permitted as a conditional use upon compliance with all of the following requirements:

- a. The minimum lot area of the parcel utilized for commercial vehicle parking shall be at least 15 acres.
- b. All commercial vehicles shall be owned, or leased and operated by, the owner or occupant of the property.
- c. No more than six commercial vehicles may be stored on the property. If four or more commercial vehicles are proposed, then two commercial vehicles shall not exceed two axles. Trailers, grading equipment, and other equipment related to the conditional use are not included for purposes of determining the number of commercial vehicles.
- d. The boundary of any parcel utilized for commercial vehicle parking shall be within 200 feet of a county highway or state trunk highway.

- e. All commercial vehicles shall be parked or stored in an enclosed structure having flooring that consists of concrete or other impervious surface.
- f. No commercial activity involving a commercial vehicle shall occur on the property in which commercial vehicle are parked or stored.
- g. Parking on the property for up to four employees who operate the commercial vehicles may occur if such parking is screened from view from any public right-of-way or adjacent property by landscaping or architectural means. For purposes of this Subsection, an employee is a person who has no familial relationship with the applicable person that: (i) owns the parcel utilized for commercial vehicle parking; (ii) operates commercial vehicle parking on the subject parcel; or (iii) owns the entity that operates the commercial vehicle parking on the subject parcel.
- h. The conditional use permit shall terminate upon the transfer of ownership of the property utilized for commercial vehicle parking, except that the conditional use permit shall remain in effect upon the transfer involving the owner of the subject parcel, an entity owned by the subject parcel owner, or a trust of the subject parcel owner.

**SECTION 3:** Section 111-358(d)(2) of the Village of Summit Municipal Code is created to read as follows:

- (2) Commercial vehicle parking.

This Ordinance passed this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

VILLAGE OF SUMMIT

By: \_\_\_\_\_  
 Jack Riley, Village President

Attest: \_\_\_\_\_  
 Debra Michael, Village Administrator – Clerk/Treasurer

Published/Posted the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

ALTERNATE 2 FOR FEBRUARY 15, 2024 PUBLIC HEARING

STATE OF WISCONSIN

VILLAGE OF SUMMIT

WAUKESHA COUNTY

Ordinance No. \_\_\_\_\_

**AN ORDINANCE AMENDING SECTION 111-431, REPEALING AND RECREATING SECTION 111-321(4), AND CREATING SECTION 111-358(d)(2) OF THE MUNICIPAL CODE OF THE VILLAGE OF SUMMIT**

---

**NOW, THEREFORE**, the Village Board of the Village of Summit, Waukesha County, Wisconsin does ordain as follows:

**SECTION 1:** Section 111-431 of the Village of Summit Municipal Code is amended by inserting the following term:

*Commercial vehicle parking* means parking and storage of commercial or industrial vehicles, such as trucks, construction vehicles, grading equipment, semi-trailers, tractors, and similar vehicles and related equipment. All such vehicles and equipment shall be fully operative and in active use.

**SECTION 2:** Section 111-321(4) of the Village of Summit Municipal Code is repealed and recreated to read as follows:

(4) *Commercial vehicle parking*. The parking and storage of commercial vehicles shall be permitted as a conditional use upon compliance with all of the following requirements:

- a. The minimum lot area of the parcel utilized for commercial vehicle parking shall be at least 15 acres.
- b. All commercial vehicles shall be owned, or leased and operated by, the owner or occupant of the property.
- c. No more than six commercial vehicles may be stored on the property with two of the commercial vehicles not exceeding two axles. Trailers, grading equipment, and other equipment related to the conditional use are not included for purposes of determining the number of commercial vehicles.
- d. The boundary of any parcel utilized for commercial vehicle parking shall be within 200 feet of a county highway or state trunk highway.

- e. All commercial vehicles shall be parked or stored in an enclosed structure having flooring that consists of concrete or other impervious surface.
- f. No commercial activity involving a commercial vehicle shall occur on the property in which commercial vehicle are parked or stored.
- g. Parking on the property for up to four employees who operate the commercial vehicles may occur if such parking is screened from view from any public right-of-way or adjacent property by landscaping or architectural means. For purposes of this Subsection, an employee is a person who has no familial relationship with the applicable person that: (i) owns the parcel utilized for commercial vehicle parking; (ii) operates commercial vehicle parking on the subject parcel; or (iii) owns the entity that operates the commercial vehicle parking on the subject parcel.
- h. The conditional use permit shall terminate upon the transfer of ownership of the property utilized for commercial vehicle parking, except that the conditional use permit shall remain in effect upon the transfer involving the owner of the subject parcel, an entity owned by the subject parcel owner, or a trust of the subject parcel owner.

**SECTION 3:** Section 111-358(d)(2) of the Village of Summit Municipal Code is created to read as follows:

- (2) Commercial vehicle parking.

This Ordinance passed this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

VILLAGE OF SUMMIT

By: \_\_\_\_\_  
 Jack Riley, Village President

Attest: \_\_\_\_\_  
 Debra Michael, Village Administrator – Clerk/Treasurer

Published/Posted the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

KADOW TEXT AMENDMENT PUBLIC  
HEARING JANUARY 18, 2024

Kevin Tadych 37736 Sunset Dr - Provided a demonstration on decibels. Hopes it provides clarification on decibel levels.

Applicant Rebecca Carsey 37736 Sunset Dr – Provided input on farming and community and the opportunity to create diverse revenue sources for their farm. Ultimately, proposing the ordinance to allow historic farms and opportunity to diversify income streams and provide the community opportunity to have beautiful places to share life together.

James Hammes Atty for Petitioner - Provided comment on decibels and ordinance for clarity, and in addition commented on private vs public events. Stating a private event would be invitation only, and Public would be an art show that is open to the public to attend.

Michele Randgaard - Asked about enforcement on decibel levels.

Additional questions arise regarding time of use during the summer, and if that is desirable for the neighbors in the summer time.

Additional input from commissioners regarding number of events, enforcement, and revisions that would include a public hearing. There is a straw poll for team to determine attitudes on the Plan Commission or PD receiving the Plan of Operation for public events.

- Petronovich – Plan Commission
- Murray – prefers Plan Commission instead of police chief
- Kaja – Plan Commission
- Katz – Plan Commission

It is recommended to remove public event portion or the text, and revise police involvement for plan of operation.

Attendees and parking and parking surfaces are inquired about. Private is attendee only, and it is recommended to strike section 2 public and take all reference of public event out and only refer to group size.

Michelle Randgaard - Questions “Event Barns” being right next to a subdivision.

Kevin Tadych - Addressed concerns about quantity of events.

MOTION: (Murray, Petronovich) to adjourn the public hearing until February Plan Commission meeting. - Carried

Chairperson Siepmann Announced a Public Hearing to:

**Receive comments regarding a request from Christopher and Jessica Kadow, property owners at 740 N. Griffith Road, to amend the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow commercial vehicle parking on properties zoned in the A-2 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to modify Section 111-431 Definitions, add Section 111-358(d)(2) Conditional uses in the A-2 Agricultural District, and modify Section 111-321 Conditional uses permitted.**

Planner Barrows provided a summary of the request to amend the text of the Village of Summit Zoning and

Shoreland Protection ordinance to allow commercial vehicle parking.

Michael Van Kleunen  
Axley Brynson, LLP, agent for the property owner  
Reviewed the draft Ordinance included in the meeting pack.

There were questions related to 4E: no commercial activity involving a commercial vehicle could be executed on this property.

Conversation is had about number of vehicles and how to properly accommodate vehicles and limit number of vehicles on the property. Applicant is requested to approach and review the number of vehicles on the property.

Christopher Kadow – 740 N Griffith Rd reviewed the inventory of trucks currently part of his business.

- 3-4 Pick up
- 3 Gooseneck Trailer
- 2 Chipper/ Chip Truck

The hearing is opened for public comment:

Cheryl Buth  
937 N Griffith Rd  
Recommend approval of Ordinance to Village Board

Michael Goral  
826 N Griffith Rd  
Recommend approval of Ordinance to Village Board

Additional conversation about the number of parking and employee parking is had and there is conversation about revisions to the text for the amendment and the Plan Commission determines it should adjourn the Public hearing to the February Plan Commission meeting.

MOTION: (Kaja, Murray) Adjourn Public Hearing to February Plan Commission Meeting - Carried

### **REGULAR BUSINESS:**

Discussion and action on request from Devin Wolf, on behalf of property owners, DSL Investments, LLC and Sean P Wolf & 612 Sawyer Rd LLC to amend an existing Conditional Use for a quarry and associated activities to allow for an existing office building located on the east side of N. Sawyer Road to be used for office space unrelated to the quarry use, amend the ownership, and extend the Conditional Use five years. The Conditional Use applies to several properties including, Lot 2 of Certified Survey Map No. 11085, Vol. 108/255, Parcel 1 of Certified Survey Map No. 8561, Vol. 75/151, Lot 1 of Certified Survey Map No. 11648, Vol. 116/283, and part of the SE ¼ of Section 26, T7N, R17E, Village of Summit, Waukesha County, Wisconsin. The properties are known as 410 Summit Avenue (SUMT0680999002) and 612 N. Sawyer Road (SUMT0675988001).

MOTION: (Katz, Petronovich) To approve the proposed Conditional Use Amendment, subject to all signatures being in place. - Carried

# **Review of Zoning Code Amendments related to Uses in the A-2 Agricultural District, Specific to Commercial Vehicle Parking**

12/21/2023 PC Meeting

**1/18/2024 PC Meeting**

## ***Request of Jessica and Christopher Kadow***

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Staff Report

Village of Summit, Wisconsin

**Possible Motions:** *Recommend Village Board adopt the proposed text amendments amending Section 111-431, repealing and recreating Section 111-321(4), and creating Section 111-358(d)(2) of the Village of Summit Zoning and Shoreland Ordinance provided by the applicant in an ordinance form approved by the Village Planner and Village Attorney.*

*OR*

*Recommend Village Board deny the proposed text amendments provided by the applicant for the following reasons: (Plan Commission insert reasons).*

---

### **Summary:**

The applicant owns property located at 740 N. Griffith Road, which is located on the east side of STH 83, on N. Griffith Road. The applicant would like to store commercial vehicles on his property. Therefore, he is proposing that the Village consider amending the text of the Zoning Ordinance to allow him to do so subject to several conditions. Amongst other conditions, the conditions allow limited employee parking. The proposed text amendments are enclosed.

- Section 111-431: The amendments include a new definition for “commercial vehicle parking.”
- Section 111-321(4) provides conditions that would need to be met in order for a commercial vehicle parking conditional use to take place.
- Section 111-358(d)(2): The amendments include commercial vehicle parking as a Conditional Use Permit in the A-2 Zoning District.

At the December 21, 2024 meeting, the Plan Commission scheduled a public hearing for the January 18, 2024 meeting.

Since the proposal would potentially allow the applicant to pursue a Conditional Use request on the applicant’s property, discussion related to the applicant’s proposal should not occur during the meeting. Property specific discussion should occur during the public hearing of such application.



Village Hall, 262-567-2757  
 Fax, 262-567-4115  
 Highway Dept., 262-567-2422  
 Police Dept., 262-567-1134  
 Building Inspector, 262-646-2577

Summit Village Hall • 37100 Delafield Rd • Oconomowoc, WI 53066

## Application to Appear Village Plan Commission

Based on Chapter 235 Section 55 of the Code of the Village of Summit

Please read and complete this application carefully. All applications must be signed and dated.

1. OWNER Christopher + Jessica AGENT \_\_\_\_\_  
Kadow \_\_\_\_\_

Phone # \_\_\_\_\_ Phone # ( ) \_\_\_\_\_

2. Property Address: 740 N Griffith Rd Ocon. 53066

3. Tax Key Number: SUMT 0678 994 602

4. I/We would like to appear before the Plan Commission on the following application:

- |  |   |
|--|---|
| <input type="checkbox"/> Conceptual Plan Review          | <input type="checkbox"/> Site and Architectural Plan Review (*) |
| <input type="checkbox"/> Preliminary Plat Review (*)     | <input type="checkbox"/> Final Plat Review (*)                  |
| <input type="checkbox"/> Conditional Use Permit (*)      | <input type="checkbox"/> Certified Survey Map Review (*)        |
| <input checked="" type="checkbox"/> Zoning Amendment (*) | <input type="checkbox"/> Master Plan Amendment                  |
| <input type="checkbox"/> Other _____                     |   |

(\*) items require application fees in addition to Reimbursement Agreement

5. Attach signed Professional Services Reimbursement Notice

6. Attach any plans or information relating to the application to this form.

7. **ALL APPLICATIONS MUST BE SIGNED BY THE PROPERTY OWNER**

Chris Kadow date \_\_\_\_\_ CK Property Owner 12/15/23 date

Use this space to further describe the proposal, or detail points from above

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Ordinance No. \_\_\_\_\_

**AN ORDINANCE AMENDING SECTION 111-431, REPEALING AND RECREATING SECTION 111-321(4), AND CREATING SECTION 111-358(d)(2) OF THE MUNICIPAL CODE OF THE VILLAGE OF SUMMIT**

---

**NOW, THEREFORE**, the Village Board of the Village of Summit, Waukesha County, Wisconsin does ordain as follows:

**SECTION 1:** Section 111-431 of the Village of Summit Municipal Code is amended by inserting the following term:

*Commercial vehicle parking* means parking and storage of commercial or industrial vehicles, such as trucks, construction vehicles, grading equipment, semi-trailers, tractors, and similar vehicles and related equipment. All such vehicles and equipment shall be fully operative and in active use.

**SECTION 2:** Section 111-321(4) of the Village of Summit Municipal Code is repealed and recreated to read as follows:

(4) *Commercial vehicle parking*. The parking and storage of commercial vehicles shall be permitted as a conditional use upon compliance with all of the following requirements:

- a. The minimum lot area of the parcel utilized for commercial vehicle parking shall be at least 15 acres.
- b. All commercial vehicles shall be owned, or leased and operated by, the owner or occupant of the property.
- c. The boundary of any parcel utilized for commercial vehicle parking shall be within 200 feet of a county highway or state trunk highway.
- d. All commercial vehicles shall be parked or stored in an enclosed structure having flooring that consists of concrete or other impervious surface.
- e. No commercial activity involving a commercial vehicle shall occur on the property in which commercial vehicle are parked or stored.
- f. Parking on the property for up to four employees who operate the commercial vehicles may occur if such parking is screened from view from any public right-of-way or adjacent property by landscape or

architectural means. For purposes of this Subsection, an employee is a person who has no familial relationship with the applicable person that: (i) owns the parcel utilized for commercial vehicle parking; (ii) operates commercial vehicle parking on the subject parcel; or (iii) owns the entity that operates the commercial vehicle parking on the subject parcel.

- g. The conditional use permit shall terminate upon the transfer of ownership of the property utilized for commercial vehicle parking, except that the conditional use permit shall remain in effect upon the transfer between the owner of the subject parcel and an entity owned or trust by such person.

**SECTION 3:** Section 111-358(d)(2) of the Village of Summit Municipal Code is created to read as follows:

- (2) Commercial vehicle parking.

This Ordinance passed this \_\_\_\_ day of \_\_\_\_\_, 2023.

VILLAGE OF SUMMIT

By: \_\_\_\_\_  
Jack Riley, Village President

Attest: \_\_\_\_\_  
Debra Michael, Village Administrator – Clerk/Treasurer

Published/Posted the \_\_\_\_ day of \_\_\_\_\_ 2023.



Village Hall, 262-567-2757  
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[www.summitvillage.org](http://www.summitvillage.org)

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Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

## MEMORANDUM

To: Village Board

From: Amy Barrows, Planner

Date: March 14, 2024 Meeting

Re: Zoning Ordinance Text Amendments Related to the Rental of Agricultural Buildings allowed as a Conditional Use in the A-1 Agricultural District

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### BACKGROUND:

The applicant is proposing a text amendment to Section 111-357(d)(3) that would allow the rental of agricultural buildings for activities or events in the A-1 Agricultural District as a Conditional Use. Specifically, the proposed text amendment presented by the applicant includes “Rental of Agricultural Buildings for activities or events” as a listed Conditional Use in the A-1 Agricultural District.

The application also includes a list of criteria that must be met in order for the use to occur as a Conditional Use Permit. The conditions are proposed to be added to Section 111-321(7), which is the Conditional Uses Permitted section of the ordinance. The use would only be allowed in agricultural buildings that exist as of September 1, 2023. All of the proposed criteria are listed in the enclosed ordinance, which consists of language prepared by the applicant. Based on the proposed required minimum lot size of 150 acres and proposed requirement that the property have direct access to a State Trunk or U.S. highway, there is only one property that would meet the criteria. The property is located north of US-18 and west of the Still Waters Subdivision.



Text amendments to allow Event Barn/Facilities have been proposed two other times, once in 2017 and once in 2020. The amendment in 2017 was proposed by a previous property owner of the parcel illustrated above. Both proposed text amendments were ultimately denied.

Since the applicant's proposal would potentially allow the applicant to pursue a Conditional Use request, discussion related to the applicant's proposed operation should not occur during the meeting. Property specific discussion should occur during the public hearing of such Conditional Use application.

### **November 16, 2023 Public Hearing**

A public hearing was held at the November 16<sup>th</sup> Plan Commission meeting. However, the applicant requested changes to the text amendment that were not available to the public at time of public notification. Therefore, the plan commission did not close the public hearing and re-noticed the hearing for the December meeting to ensure the public had access and time to review the revised application materials.

### **December 21, 2023 Continued Public Hearing**

A continuation of the public hearing was held at the December 21<sup>st</sup> Plan Commission meeting. After considering comments from the public and reviewing the application materials, the Plan Commission had the following recommendations and tabled the hearing until the January Plan Commission meeting:

- 24 consecutive hours may be too long for an activity/event, also consider set up and take down limitations
- Consider separate provisions for public activities/events specific to managing the # of people and parking
- Conditions 10 and 15 should be consolidated to avoid

confusion

- Conditions 13 and 16 should be consolidated to avoid confusion. Consider defining the area and use of the tents. Consider excluding parties of a certain size.

The public provided the following comments and concerns:

- Noise should not reach the level of a nuisance as specified in the ordinance
- Tents should be regulated so that there is not a lot of outside noise
- In favor of use. However, provisions should be applied consistently throughout village
- Sprinkler system requirements should be considered
- Proper waste disposal should be considered
- Parking should be on pavement
- Supportive of existing language that prevents a full-time business
- Proposed ordinance may provide too much latitude to have a party, not supportive of weddings

### **January 18, 2024 Continued Public Hearing**

A continuation of the public hearing was held at the January 18<sup>th</sup> Plan Commission meeting. The applicant attempted to address the comments and concerns of the Plan Commission and public with revised proposed text amendments. Plan Commission was still concerned with the distinction between private and public events, including hours, attendees, and limits on parking spaces, and having the police department review the site details rather than the Plan Commission. There was also discussion about the timing and number of events during the summer. There was additional public comment provided, which is summarized in the meeting minutes. A majority of the comments related to noise and number of events.

The Plan Commission tabled the public hearing until the February Plan Commission meeting and requested the applicant to modify the proposed text amendments to address their concerns.

### **February 15, 2024 Continued Public Hearing (Closed)**

A continuation of the public hearing was held at the February 15<sup>th</sup> Plan Commission meeting. The applicant revised the proposed text amendments by removing public events and reducing the number of attendees for a percentage of events. After receiving public comment and further discussion, the Plan Commission closed the public hearing.

A summary of public comments from the February meeting are as follows:

- Lack of details regarding type of events, how many events and who is responsible for events.
- Lake Country currently offers a quiet environment.
- Event facilities should be in commercial zoned lands and never on properties adjacent to a neighborhood area.
- Greater restrictions should be placed on number of events including more than 75 ft. and events after 5 pm. There should be no more than 2 events per month and a maximum of 6 per year.
- Decibel limit to high.
- Sound amplification condition should apply to all types of sound.
- Total tent area should be restricted to 20 ft. x 40 ft. with no amplification in tents.
- Changes associated with the enforcement of event facilities.

Two emails were provided as part of the record with additional public comment. Those emails are included in the electronic packet.

The property owner provided his personal evidence regarding decibels and lack of impact to neighbors.

The Plan Commission voted in favor of the proposed text amendments with a 4-3 vote.

**ATTACHMENTS:**

- Draft Ordinance
- February 15, 2024 Plan Commission Report
- Public Hearing Record from Nov-Feb is included in the electronic packet only. It should be noted that the February Plan Commission minutes have not been approved yet and are not included. However, public comment is summarized in this report and supplemented with meeting minutes.

**FISCAL IMPACT:** None, other than potential costs associated with the enforcement of a Conditional Use Permit.

**POSSIBLE MOTIONS:**

**Adopt the enclosed ordinance regarding the rental of agricultural buildings for activities or events that creates Section 111-321(7) Conditional uses permitted, and creates Section 111-357(d)(3) Conditional uses in the A-1 Agricultural District of the Village of Summit Zoning and Shoreland Ordinance subject to Village Attorney review.**

*OR*

**Deny the proposed text amendments provided in the enclosed ordinance and as presented by the applicant for the following reasons (Village Board insert reasons).**

**ORDINANCE NO. \_\_\_\_\_**

AN ORDINANCE TO AMEND THE TEXT OF CHAPTER 111  
ZONING CODE OF THE VILLAGE OF SUMMIT CODE OF ORDINANCES  
RELATED TO THE RENTAL OF AGRICULTURAL BUILDINGS FOR ACTIVITIES  
OR EVENTS BY CREATING SECTION 111-321(7) AND CREATING SECTION 111-  
357(d)(3)

WHEREAS, A written request was filed by Rebecca Carsey, on behalf of White Stag 1894, (“APPLICANT”), to amend the text of Chapter 111 Zoning Code of the Village of Summit Code of Ordinances, and

WHEREAS, the request was submitted to allow the rental of agricultural buildings for activities or events on properties zoned A-1 Agricultural as a Conditional Use Permit subject to certain conditions being met; and

WHEREAS, the Plan Commission considered the Zoning Code text amendments at their meeting on October 19, 2023, and scheduled a public hearing for the November 16, 2023 Plan Commission meeting; and

WHEREAS, upon publication of the required "Notice of Public Hearing" and mailing of said "Notice of Public Hearing" to all parties-in-interest as required by Section 111-387(b) of the Village Code, the Plan Commission for the Village of Summit held a public hearing on November 16, 2023, which was held and continued at the December 20, 2023, January 18, 2024, and February 15, 2024 Plan Commission meetings. The public hearing closed at the February 15, 2024 Plan Commission meeting. The public hearing was held as required by Section 111-386(b)(4) of the Village Code; and

WHEREAS, at each of the Plan Commission meeting dates listed in the previous clause, the Village Planner presented information on the proposed text amendments; and

WHEREAS, following the public hearing that closed on February 15, 2024, the commissioners considered the information presented at the public hearing and a draft Ordinance for review and recommendation; and

WHEREAS, the Plan Commission recommended the Ordinance to the Village Board for consideration; and

WHEREAS, this zoning text amendment was requested and approved by the APPLICANT, evidenced by the Applicant’s signature that will be shown on this Ordinance before the Ordinance can take effect; and

WHEREAS, the Village Board of the Village of Summit, having determined that all procedural requirements and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning text amendments on the health, safety and welfare of the community, hereby determine that the rezoning will not violate the spirit or intent of the Village Code, and will not be contrary to the public health, safety or general welfare of the Village of Summit; and

NOW, THEREFORE, the Village Board of the Village of Summit, Waukesha County, Wisconsin, DO ORDAIN as follows:

SECTION 1: Chapter 111 of the Village of Summit Municipal Code entitled “Zoning and Shoreland Protection,” Article XI entitled “Conditional Uses,” Section 111-321 entitled “Conditional uses permitted,” Subsection (7) is hereby created to read as follows:

- (7) Rental of Agricultural Buildings.
  - a. *Definitions.*
    1. Agricultural Buildings shall mean one (1) or more of existing Agricultural Buildings originally constructed prior to September 1, 2023 for agricultural uses as that term is defined in Section 91.01(2), Wis. Stats., and either presently part of activities conducted on the property in accordance with the A1 Agricultural Zoning designation of this Code, or remaining buildings on the property following termination or reduction in such activities.
    2. Rental of Agricultural Buildings for activities or events shall mean a rental by the property owner of Agricultural Buildings to individuals or groups, for a rental fee or other form of remuneration, to accommodate private functions, gatherings and/or celebrations including, but not limited to, meetings, banquets, social gatherings, educational or other scientific seminars or presentations.
  - b. *Conditional Use Permit.* A Conditional Use Permit authorizing the rental of Agricultural Buildings for private activities or events shall be issued subject to the following conditions:
    1. The minimum area of the property shall be not less than 150 acres.
    2. The property must have direct access to a State Trunk Highway or U.S. Highway.
    3. No Agricultural Building, structure, or outdoor use associated with any activity or event shall be located less than 100 feet from any adjacent lot line permitting a residential use.
    4. No parking shall be located less than 50 feet from any adjacent lot line permitting a residential use. No Agricultural Building, structure, outdoor use or parking associated with the activity or event shall be located less than 250 feet from any residence not owned by the property owner.
    5. The rental of Agricultural Buildings for activities or events shall be permitted between May 1st and October 31st. Activities or events shall not

begin prior to 8:00 am or continue past 11:59 pm on Friday and Saturday and shall not begin prior to 8:00 am or continue past 10:00 pm Sunday through Thursday.

6. Activities or events shall be limited to not more than three (3) rentals per calendar week beginning with Sunday of any given week.
7. There shall be no more than 300 attendees at any private activity or event. For purposes of this subparagraph, the term “attendees” shall include staff and caterers associated with the private activity or event. One-third (1/3) of activities or events in any calendar year may allow 300 attendees, but the remaining two-thirds (2/3) of the activities or events in any calendar year shall be limited to not more than 225 attendees.
8. The rental and use of any Agricultural Building rented for an activity or event shall comply with all federal, state and local fire and building code regulations, as well as all federal, state and local health sanitation regulations.
9. Alcohol shall not be served past 11:00 pm on Friday and Saturday and 9:00 pm on Sunday through Thursday. The sale of alcohol shall be subject to issuance of an alcohol beverage license or permit, as may be required, by the Village of Summit.
10. Exterior lighting to be used in association with activities or events shall not exceed fifteen (15) feet in height above the ground and light sources shall not be visible from the lot lines measured five (5) feet above the lot line.
11. The number of parking spaces shall be equal to one (1) parking space per three (3) attendees at any private activity or event. Parking areas shall be clearly defined and designed with appropriate surface materials as described on the Site Plan and Plan of Operation, and taking into consideration topography, drainage, and potential for dust.
12. Outdoor tents may be used for any activity or event, provided however, that any outdoor tent used for any activity or event must be removed within twenty-four (24) hours following the conclusion of the activity or event. Permanent outdoor tents are not permitted. The location of outdoor tents shall be depicted on the Site Plan submitted to and approved by the Plan Commission.
13. The exterior of Agricultural Buildings to be used for an activity or event may be repaired or refurbished but shall not be substantially modified as to significantly alter the character of the Agricultural Buildings as of the approval of the Conditional Use Permit.
14. There shall be no outdoor amplified music permitted by any activity or event.
15. In accordance with the requirements of Section 18-6 of the Village Code, the sound level and decibels determined at the property line shall be limited to the decibel level permitted for residential uses. Noise rating daytime levels shall not exceed 77, and noise rating nighttime levels shall not exceed 60.

SECTION 2: Chapter 111 of the Village of Summit Municipal Code entitled “Zoning and Shoreland Protection,” Article XII entitled “District Regulations,” Section 111-357 entitled Agricultural District (A-1), Subsection (d) entitled “Conditional Uses”, Subsection (3) is hereby created to read as follows:

(3) Rental of Agricultural Buildings for activities or events.

SECTION 4. SEVERABILITY.

The several sections of this Ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of any other provisions, sections or portions thereof of the Ordinance. The remainder of the Ordinance shall remain in full force and effect. Any other Ordinances whose terms are in conflict with the provisions of this Ordinance are hereby repealed as to those terms that conflict.

SECTION 5. EFFECTIVE DATE.

This Ordinance shall be in full force and effect from and after its passage and publication.

Passed and adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

VILLAGE OF SUMMIT

\_\_\_\_\_  
Jack Riley, Village President

ATTEST:

\_\_\_\_\_  
Debra J. Michael, Village Administrator-Clerk/Treasurer

Published and posted this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

APPROVAL OF APPLICANT

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

APPLICANT

\_\_\_\_\_

By: \_\_\_\_\_  
Authorized Signatory

This instrument drafted by  
Amy Barrows, Village Planner

WHITE STAG TEXT AMENDMENT PUBLIC  
HEARING FEBRUARY 15, 2024

# Zoning Ordinance Text Amendment – Rental of Agricultural Buildings

11/16/2023 Plan Commission Meeting  
12/20/2023 Plan Commission Meeting  
1/18/2024 Plan Commission Meeting  
**2/15/2024 Plan Commission Meeting**

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Staff Report

Village of Summit, Wisconsin

Applicant: Rebecca Carsey, White Stag 1894, LLC

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## **Possible Motions:**

*Recommend Village Board adopt the proposed revised text amendments creating Sections 111-357(d)(3) and 111-321(7) of the Village of Summit Zoning and Shoreland Ordinance provided by the applicant in an ordinance form approved by the Village Planner and Village Attorney.*

*OR*

*Recommend Village Board deny the proposed text amendments provided by the applicant for the following reasons: (Plan Commission insert reasons).*

## **Summary:**

The applicant is proposing a text amendment that would allow the rental of agricultural buildings for activities and events in the A-1 Agricultural District only as a Conditional Use. The proposed text amendment presented by the applicant includes “Rental of Agricultural Buildings for activities or events” as a listed Conditional Use in the A-1 Agricultural District.

The application also includes a list of criteria that must be met in order for the use to occur as a Conditional Use Permit. The use would only be allowed in agricultural buildings that exist as of September 1, 2023. All of the criteria are listed in the revised draft ordinance prepared by the applicant included in the packet. Based on the proposed required minimum lot size of 150 acres and proposed requirement that the property have direct access to a State Trunk or U.S. highway, there is only one property that would meet the criteria. The property is located north of US-18 and west of the Still Waters Subdivision.



Text amendments to allow Event Barn/Facilities have been proposed two other times, once in 2017 and once in 2020. The amendment in 2017 was proposed by a previous property owner of the parcel illustrated above. Both proposed text amendments were ultimately denied.

Since the applicant's proposal would potentially allow the applicant to pursue a Conditional Use request, discussion related to the applicant's proposed operation should not occur during the meeting. Property specific discussion should occur during the public hearing of such Conditional Use application.

### **November 16, 2023 Public Hearing**

A public hearing was held at the November 16<sup>th</sup> Plan Commission meeting. However, the applicant requested changes to the text amendment that were not available to the public at time of public notification. Therefore, the plan commission did not close the public hearing and re-noticed the hearing for the December meeting to ensure the public had access and time to review the revised application materials.

### **December 21, 2023 Continued Public Hearing**

A continuation of the public hearing was held at the December 21<sup>st</sup> Plan Commission meeting. After considering comments from the public and reviewing the application materials, the Plan Commission had the following recommendations and tabled the hearing until the January Plan Commission meeting:

- 24 consecutive hours may be too long for an activity/event, also consider set up and take down limitations
- Consider separate provisions for public activities/events specific to managing the # of people and parking
- Conditions 10 and 15 should be consolidated to avoid confusion
- Conditions 13 and 16 should be consolidated to avoid confusion. Consider defining the area and use of the tents. Consider excluding parties of a certain size.

The public provided the following comments and concerns:

- Noise should not reach the level of a nuisance as specified in the ordinance
- Tents should be regulated so that there is not a lot of outside noise
- In favor of use. However, provisions should be applied consistently throughout village
- Sprinkler system requirements should be considered
- Proper waste disposal should be considered
- Parking should be on pavement
- Supportive of existing language that prevents a full-time business
- Proposed ordinance may provide too much latitude to have a party, not supportive of weddings

**January 18, 2024 Continued Public Hearing**

A continuation of the public hearing was held at the January 18<sup>th</sup> Plan Commission meeting. The applicant attempted to address the comments and concerns of the Plan Commission and public with revised proposed text amendments. Plan Commission was still concerned with the distinction between private and public events, including hours, attendees, and limits on parking spaces, and having the police department review the site details rather than the Plan Commission. There was also discussion about the timing and number of events during the summer. There was additional public comment provided, which is summarized in the meeting minutes. A majority of the comments related to noise and number of events.

The Plan Commission tabled the public hearing until the February Plan Commission meeting and requested the applicant to modify the proposed text amendments to address their concerns.

**February 15, 2024 Continued Public Hearing**

The applicant has revised the proposed text amendments with an attempt to delete public events and reduce the number of attendees for a percentage of events.



JAMES W. HAMMES  
(262) 409-2298  
jhammes@axley.com

January 25, 2024

*Via Email Only [planner@summitvillage.org]*

Amy Barrows, Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, WI 53066

RE: Village of Summit Zoning Code  
Our Client: Rebekah M. Carsey, White Stag 1894  
Axley File No. 102381

Dear Amy:

Attached is a copy of what is, hopefully, the final draft of the Ordinance creating a conditional use permit for private activities and events.

In reviewing this revised draft, please note:

1. I have deleted the “public” from section (7)a.2.
2. I’ve added the word “private” to describe activities or events permitted in (7)b.

I have modified paragraph (7)b.7. to address the issue or concern regarding the number of attendees at any private event. This revised draft would allow 300 attendees at only one-third (1/3) of the activities or events, and would reduce the number of attendees at the remaining two-thirds (2/3) of the activities or events to not more than 225 attendees, including staff and caterers associated with the private activity or event.

I trust these revisions address all of the concerns raised at the last Plan Commission meeting, and that we can move forward with a recommendation at the next Plan Commission meeting.

Very truly yours,

AXLEY BRYNELSON, LLP

*James W. Hammes*

James W. Hammes  
JWH:dkw

Enclosure

cc: Rebekah Carsey (via email only)

ORDINANCE NO. \_\_\_\_\_

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AN ORDINANCE CREATING SECTIONS 111-357(d)(3) and 111-321(7)  
OF THE ZONING CODE OF THE VILLAGE OF SUMMIT

---

THE VILLAGE BOARD OF THE VILLAGE OF SUMMIT DOES ORDAIN AS FOLLOWS:

**SECTION 1:** Section 111-357(d)(3) is hereby created to read as follows:

- (3) Rental of Agricultural Buildings for activities or events.

**SECTION 2:** Section 111-321(7) is hereby created to read as follows:

- (7) Rental of Agricultural Buildings.

a. *Definitions.*

1. Agricultural Buildings shall mean one (1) or more of existing Agricultural Buildings originally constructed prior to September 1, 2023 for agricultural uses as that term is defined in Section 91.01(2), Wis. Stats., and either presently part of activities conducted on the property in accordance with the A1 Agricultural Zoning designation of this Code, or remaining buildings on the property following termination or reduction in such activities.
2. Rental of Agricultural Buildings for activities or events shall mean a rental by the property owner of Agricultural Buildings to individuals or groups, for a rental fee or other form of remuneration, to accommodate ~~public or~~ private functions, gatherings and/or celebrations including, but not limited to, meetings, banquets, social gatherings, educational or other scientific seminars or presentations.

b. *Conditional Use Permit.* A Conditional Use Permit authorizing the rental of Agricultural Buildings for ~~private~~ activities or events shall be issued subject to the following conditions:

1. The minimum area of the property shall be not less than 150 acres.
2. The property must have direct access to a State Trunk Highway or U.S. Highway.
3. No Agricultural Building, structure, or outdoor use associated with any activity or event shall be located less than 100 feet from any adjacent lot line permitting a residential use.
4. No parking shall be located less than 50 feet from any adjacent lot line permitting a residential use. No Agricultural Building, structure, outdoor

use or parking associated with the activity or event shall be located less than 250 feet from any residence not owned by the property owner.

5. The rental of Agricultural Buildings for activities or events shall be permitted between May 1<sup>st</sup> and October 31<sup>st</sup>. Activities or events shall not begin prior to 8:00 am or continue past 11:59 pm on Friday and Saturday and shall not begin prior to 8:00 am or continue past 10:00 pm Sunday through Thursday.
6. Activities or events shall be limited to not more than three (3) rentals per calendar week beginning with Sunday of any given week.
7. There shall be no more than 300 attendees at any private activity or event. For purposes of this subparagraph, the term “attendees” shall include staff and caterers associated with the private activity or event. One-third (1/3) of activities or events in any calendar year may allow 300 attendees, but the remaining two-thirds (2/3) of the activities or events in any calendar year shall be limited to not more than 225 attendees.
8. The rental and use of any Agricultural Building rented for an activity or event shall comply with all federal, state and local fire and building code regulations, as well as all federal, state and local health sanitation regulations.
9. Alcohol shall not be served past 11:00 pm on Friday and Saturday and 9:00 pm on Sunday through Thursday. The sale of alcohol shall be subject to issuance of an alcohol beverage license or permit, as may be required, by the Village of Summit.
10. Exterior lighting to be used in association with activities or events shall not exceed fifteen (15) feet in height above the ground and light sources shall not be visible from the lot lines measured five (5) feet above the lot line.
11. The number of parking spaces shall be equal to one (1) parking space per three (3) attendees at any private activity or event. Parking areas shall be clearly defined and designed with appropriate surface materials as described on the Site Plan and Plan of Operation, and taking into consideration topography, drainage, and potential for dust.
12. Outdoor tents may be used for any activity or event, provided however, that any outdoor tent used for any activity or event must be removed within twenty-four (24) hours following the conclusion of the activity or event. Permanent outdoor tents are not permitted. The location of outdoor tents shall be depicted on the Site Plan submitted to and approved by the Plan Commission.
13. The exterior of Agricultural Buildings to be used for an activity or event may be repaired or refurbished but shall not be substantially modified as to

significantly alter the character of the Agricultural Buildings as of the approval of the Conditional Use Permit.

14. There shall be no outdoor amplified music permitted by any activity or event.
15. In accordance with the requirements of Section 18-6 of the Village Code, the sound level and decibels determined at the property line shall be limited to the decibel level permitted for residential uses. Noise rating daytime levels shall not exceed 77, and noise rating nighttime levels shall not exceed 60.

~~e. *Public Activity or Event.* In addition to the requirements set forth in subparagraph b above, the following additional conditions shall apply to public activities or events, such as art shows, craft fairs and classic automobile shows:~~

- ~~1. The maximum number of public activities or events shall not exceed four (4) in any calendar year.~~
- ~~2. The Permittee is responsible to manage all facets of all activities or events conducted at the site.~~
- ~~3. The Permittee shall at least twenty (20) days prior to any public activity or event, submit to the Village of Summit Police Chief a Site Plan which shall include all areas of the property that would be used for the proposed public activity or event. The Site Plan shall designate all areas of the property which would be used for exhibits or products offered for sale to the general public, as well as the internal policing and public safety procedures to be used for the public activity or event and shall be approved by the Village of Summit Police Chief, or the Police Chief's designee, in writing, not less than ten (10) days prior to the date of the proposed public activity or event. Such approval may include reasonable conditions or requirements imposed by the Police Chief if, in the determination of the Police Chief, such conditions are necessary to ensure public peace and safety.~~
- ~~4. Temporary overflow parking, as depicted on the proposed Site Plan for the public activity or event, shall be permitted, provided however, that at least twenty days (20) days prior to any public activity or event, the Permittee shall submit to the Police Chief a Site Plan designating and defining the areas proposed for any overflow parking. The use of the proposed overflow parking areas shall be contingent upon approval of the Police Chief, in writing, at least ten (10) days prior to the commencement of the proposed public activity or event. Such approval may include reasonable conditions or requirements imposed by the Police Chief if, in the~~

~~determination of the Police Chief, such conditions are necessary to ensure public peace and safety.~~

**SECTION 3:** All ordinances or parts of this ordinance conflicting or violating the provisions of this ordinance are hereby repealed.

**SECTION 4:** This ordinance shall be effective upon passage and publication as required by law.

PASSED AND ADOPTED by the Village Board of the Village of Summit, Waukesha County, Wisconsin this \_\_\_\_ day \_\_\_\_\_, 2024.

VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

ORDINANCE NO. \_\_\_\_\_

---

**AN ORDINANCE CREATING SECTIONS 111-357(d)(3) and 111-321(7)  
OF THE ZONING CODE OF THE VILLAGE OF SUMMIT**

---

THE VILLAGE BOARD OF THE VILLAGE OF SUMMIT DOES ORDAIN AS FOLLOWS:

**SECTION 1:** Section 111-357(d)(3) is hereby created to read as follows:

- (3) Rental of Agricultural Buildings for activities or events.

**SECTION 2:** Section 111-321(7) is hereby created to read as follows:

- (7) Rental of Agricultural Buildings.

a. *Definitions.*

1. Agricultural Buildings shall mean one (1) or more of existing Agricultural Buildings originally constructed prior to September 1, 2023 for agricultural uses as that term is defined in Section 91.01(2), Wis. Stats., and either presently part of activities conducted on the property in accordance with the A1 Agricultural Zoning designation of this Code, or remaining buildings on the property following termination or reduction in such activities.
2. Rental of Agricultural Buildings for activities or events shall mean a rental by the property owner of Agricultural Buildings to individuals or groups, for a rental fee or other form of remuneration, to accommodate private functions, gatherings and/or celebrations including, but not limited to, meetings, banquets, social gatherings, educational or other scientific seminars or presentations.

b. *Conditional Use Permit.* A Conditional Use Permit authorizing the rental of Agricultural Buildings for private activities or events shall be issued subject to the following conditions:

1. The minimum area of the property shall be not less than 150 acres.
2. The property must have direct access to a State Trunk Highway or U.S. Highway.
3. No Agricultural Building, structure, or outdoor use associated with any activity or event shall be located less than 100 feet from any adjacent lot line permitting a residential use.
4. No parking shall be located less than 50 feet from any adjacent lot line permitting a residential use. No Agricultural Building, structure, outdoor

use or parking associated with the activity or event shall be located less than 250 feet from any residence not owned by the property owner.

5. The rental of Agricultural Buildings for activities or events shall be permitted between May 1<sup>st</sup> and October 31<sup>st</sup>. Activities or events shall not begin prior to 8:00 am or continue past 11:59 pm on Friday and Saturday and shall not begin prior to 8:00 am or continue past 10:00 pm Sunday through Thursday.
6. Activities or events shall be limited to not more than three (3) rentals per calendar week beginning with Sunday of any given week.
7. There shall be no more than 300 attendees at any private activity or event. For purposes of this subparagraph, the term “attendees” shall include staff and caterers associated with the private activity or event. One-third (1/3) of activities or events in any calendar year may allow 300 attendees, but the remaining two-thirds (2/3) of the activities or events in any calendar year shall be limited to not more than 225 attendees.
8. The rental and use of any Agricultural Building rented for an activity or event shall comply with all federal, state and local fire and building code regulations, as well as all federal, state and local health sanitation regulations.
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12. Outdoor tents may be used for any activity or event, provided however, that any outdoor tent used for any activity or event must be removed within twenty-four (24) hours following the conclusion of the activity or event. Permanent outdoor tents are not permitted. The location of outdoor tents shall be depicted on the Site Plan submitted to and approved by the Plan Commission.
13. The exterior of Agricultural Buildings to be used for an activity or event may be repaired or refurbished but shall not be substantially modified as to

significantly alter the character of the Agricultural Buildings as of the approval of the Conditional Use Permit.

14. There shall be no outdoor amplified music permitted by any activity or event.
15. In accordance with the requirements of Section 18-6 of the Village Code, the sound level and decibels determined at the property line shall be limited to the decibel level permitted for residential uses. Noise rating daytime levels shall not exceed 77, and noise rating nighttime levels shall not exceed 60.

**SECTION 3:** All ordinances or parts of this ordinance conflicting or violating the provisions of this ordinance are hereby repealed.

**SECTION 4:** This ordinance shall be effective upon passage and publication as required by law.

PASSED AND ADOPTED by the Village Board of the Village of Summit, Waukesha County, Wisconsin this \_\_\_\_ day \_\_\_\_\_, 2024.

VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

2/15/24 Public Hearing on Proposed Ordinance for Rental of Agricultural Buildings

Brian Porter

37500 Stillwater Drive, Oconomowoc, WI

Our family believes that the proposed Use should not be allowed in the Village of Summit unless it is located on a property which is zoned Commercial, and never on a property adjacent to a residential area. We believe that the vast majority of Village residents feel the same way, as evidenced by the rejection of all similar proposals by the Village Board in the past, after consistently hearing serious push-back from many, many residents.

In addition, we believe it would be far better to have Village-wide ordinances, rather than adopting ordinances for individual properties.

However, if Village leadership decides to continue consideration of this proposed ordinance, we request that you consider the following changes to the draft ordinance:

1. Consider addressing the matters listed in my email to the Village Planner dated 2/11/24 within the ordinance, to provide clarity for all concerned. Wisconsin Act 67 makes it very difficult to add conditions and requirements during the CUP process. It would seem that this would be even more difficult when a new ordinance is passed that only pertains to a single property, and the characteristics of that property are known when the ordinance is developed.
2. Restrict the number of events which include more than 75 total people on the property after 5 p.m. to no more than 2 events per month and no more than 6 events per year.
3. Limit the allowed decibel levels during events to 70 decibels after 5 p.m. on any day, as measured at the lot line per methods described in Village of Summit ordinance 18-6.
4. Modify the restriction on use of sound amplification to include all "sound", not just "music".
5. Restrict the total square footage of all tents to be used for an event to no more than 400 square feet and state that amplified sound cannot be used in tents.

## Amy Barrows

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**From:** Amy Barrows  
**Sent:** Tuesday, February 13, 2024 12:10 PM  
**To:** Brian Porter; Jim Petronovich; Jim Siepmann; Jay Obenberger; Paul Schmitter; Sandra Murray; Annette Kaja; Joan Gucciardi; Matthew Katz  
**Cc:** Debbie Michael  
**Subject:** RE: Questions on proposed ordinance for rental of agricultural buildings

Brian,

See below for answers to your questions.

Plan Commissioners – Please do not engage in a conversation with each other or the public regarding the matter outside of the Public Hearing.

Thanks.

Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, Wisconsin 53066  
262-567-2757  
[planner@summitvillage.org](mailto:planner@summitvillage.org)  
*Hours: Monday, Tuesday, Thursday from 12-3*

**From:** Brian Porter <skibuoy@yahoo.com>  
**Sent:** Sunday, February 11, 2024 10:58 PM  
**To:** Amy Barrows <planner@summitvillage.org>; Jim Petronovich <trustee3@summitvillage.org>; Jim Siepmann <planchair@summitvillage.org>; Jay Obenberger <plan5@summitvillage.org>; Paul Schmitter <plan6@summitvillage.org>; Sandra Murray <plan1@summitvillage.org>; Annette Kaja <plan2@summitvillage.org>; Joan Gucciardi <plan3@summitvillage.org>; Matthew Katz <plan4@summitvillage.org>  
**Subject:** Questions on proposed ordinance for rental of agricultural buildings

This email is primarily addressed to Amy Barrows as the Village Planner. However, I am also including the Planning Commission members as well for informational purposes.

In reading the latest draft of the proposed ordinance I have come up with a few questions and identified what seem to be important gaps in the ordinance. I have done my best to keep it specific to the ordinance (and not the specific property or applicant), please forgive me if I stray from that.

In Section 2, (7) a 1:

The ordinance specifically applies to properties in A1 zoning. It seems likely that the volume, size and types of events suggested in this ordinance could create quite a large revenue stream. Some municipalities have rules that non-agricultural activities cannot produce revenues of more than 50% of the total revenues for a property in Agricultural zones. Does the Village have such a requirement?

No

Given the A1 zoning requirement, the ordinance obviously applies to properties containing barns, equipment, animals and other farming related characteristics. This means that "events" with hundreds of people (including children) will be taking place on farms which can contain a number of risks for people (some under the influence of alcohol) attending these events. This ordinance lacks any requirements that tractors, farm implements, fuel storage tanks, portable sawmills, farm animals, water filled ditches or ponds and other inherent risks on farms and agriculture operations are property secured in locked buildings, behind fences or other means to reduce the risk of injury.

In Section 2, (7) b:

item 1 states that the property must be at least 150 acres. The reality is that this means it is quite likely that such a property, and adjacent properties, are being utilized for hunting and other activities involving firearms. There are several hunting seasons open during the period that operations will be allowed. Further, it seems likely that many of the visitors will not be knowledgeable about how to avoid such risks. This ordinance lacks any mention of the possible conflict between those activities and 100's of people (including children) being on the permitted property.

Item 2 states the property must front on certain types of roads. Would Village, County or State regulations require Accel/Decel lanes for this type of an operation for those roadways, with hundreds of vehicles or more coming to an event and often departing in the dark?

Proper access and driveway requirements would be reviewed at time of a specific application for an event facility. Requirements would be dependent on items such as the type of facility and anticipated traffic.

Items 4 and 11 describe parking requirements. There is no mention of paved areas or other requirements for Handicapped parking. Do other Village ordinances address that topic for this type of operation and zoning?

Again, this is reviewed at time of a specific application for an event facility. If State Approved Plans are required for the proposed use, accessible parking is typically part of the State's requirements.

Item 5 describes dates and hours of operations. Does that portion of the ordinance limit the total duration of an "event" to 14 hours on Sun-Thurs and 16 hours on Friday and Saturday? I am asking because the ordinance no longer includes a term that limits an "event" to 24 hours.

Yes, that is what the applicant is proposing. By removing the 24-hr. duration, the condition became more restrictive.

Item 8 refers to various codes an applicant would have to follow. For this type of operation, does this include ADA rules for any building used for the event?

Again, this would be reviewed at time of a specific application for an event facility. Any construction or use in the Village is required to comply with Village, State, and Federal requirements.

Item 9 refers to alcohol sales. Do you see any conflicts between these terms and the new State law regarding sales of alcohol by these types of operations?

Any proposal to sell alcohol would require a license from the Village and State laws would need to be met. Again, reviewed at time of application.

The ordinance does not address driveway lengths or widths. I am wondering if the Village already has an ordinance in place addressing things like a width that allows emergency vehicles to pass by each other, for driveways of a certain length. (When we built Stillwaters subdivision we were required to address this matter for one lot which had a fairly long driveway.)

This would be reviewed at time of a specific application for an event facility.

[ARTICLE VI. - PARKING, TRAFFIC, LOADING AND ACCESS REQUIREMENTS | Code of Ordinances | Summit, Waukesha Co, WI | Municode Library](#)

This ordinance does not have any information about signage that would be allowed or required. Do other Village ordinances take care of that matter for this type of operation?

They would need to comply with the sign ordinance, unless otherwise specified in the CU section of the code.

[Chapter 23 - SIGNS | Code of Ordinances | Summit, Waukesha Co, WI | Municode Library](#)

Does the ordinance only apply to land actually owned by a CUP applicant? Or would rented or leased land also be covered? E.g. if someone owned 100 acres, and then rented an adjoining 50 acres, would this ordinance allow the described activities on the combined 150 acres?

The way the applicant is proposing the text, the property must be 150 acres. There is no mention of the ability to lease additional acreage.

The ordinance does not have any requirements related to toilet facilities such as requirements for indoor plumbing vs. rental toilets. Do other Village ordinances address this topic?

This would be reviewed at time of a specific application for an event facility. Any facility must meet all sanitary regulations (see proposed condition 8).

The ordinance is titled rental of agricultural buildings. However, it also states that tents can be used for any purpose, with no restriction on tent size. Would someone be able to host an event under this ordinance using exclusively tents, at a time when no "agricultural buildings" meet the necessary codes? Or, if a small building was up to code, would this ordinance allow a large gathering of people that would not legally be allowed in the small building due to capacity limitations?

The proposed ordinance does not specify.

This ordinance does not reflect any ability for the Village to collect taxes on what is a commercial operation. Do other ordinances support taxing of this type of operation?

I cannot answer this question. The assessor would need to comment.

The ordinance does not address use of fireworks or bonfires, which are often used at weddings or other celebratory gatherings. Does the Village have an ordinance that would address use of fireworks and bonfires in this type of commercial operation? (I think we probably all recall a huge wildfire out west a few years ago due to fireworks used at a baby gender reveal party and the disaster and legal actions that followed.)

Fireworks are prohibited. You can contact the Police Chief for more questions.

Bonfires are regulated by Section 12-21(3)

[Chapter 12 - ENVIRONMENT AND NATURAL RESOURCES | Code of Ordinances | Summit, Waukesha Co, WI | Municode Library](#)

The ordinance is silent on any requirements for food preparation. Certainly events such as those described in the ordinance will involve preparation of food. Do other Village ordinances address this topic?

Any food service requires a permit from Waukesha County Environmental Health. I believe caterers are already regulated and additional permits are not required. However, Waukesha County would need to verify. Again, reviewed at time of application.

The ordinance does not address insurance requirements. I would guess that the Village would want some protection from situations involving injuries or other legal issues? Further, as mentioned above, this type of operation with large numbers of people involved (including children) present some risk that they will trespass onto neighboring properties containing water filled ditches, farm equipment, hunting tree stands and other items that represent risk. Would some type of liability insurance be required by the owner/operator to address these risks?

The argument of risk could be made for any use in the ordinance. Insurance requirements have been made a condition of approval on certain use permits at time of application. To be reviewed at time of application.

The ordinance does not address monitoring or enforcement of the terms of the ordinance or future CUP. Is the Village going to rely on neighbors or visitors to register complaints to the Village to identify problems? This approach does not seem to support harmony or safety within the Village.

The Village operates on a complaint driven basis. A violation of a use permit can result in the revocation of the use. [https://library.municode.com/wi/summit%2C\\_waukesha\\_co/codes/code\\_of\\_ordinances?nodeId=PTIILADE\\_CH111ZOSH\\_PR\\_ARTXIVENPE](https://library.municode.com/wi/summit%2C_waukesha_co/codes/code_of_ordinances?nodeId=PTIILADE_CH111ZOSH_PR_ARTXIVENPE)

I understand that ordinances which anticipate the need for a Conditional Use Permit often specify the required contents of the expected CU Operational Plan, so that the municipality and the future CU applicant have a clear (and preplanned) expectation of what such a plan must include. This ordinance does not include such specifications. Do other Village ordinances specify such details for an operation such as this?

I'm not sure I understand this question. The operational details are typically reviewed as part of a Site Development and Business Plan of Operation Permit. You would only include them in an ordinance if you want the condition to apply under all circumstances for that use. The hours of operation for an event facility that are proposed would be an example.

Clearly there are many complexities and requirements to be satisfied if this ordinance were to be approved and CUP's were to be issued. This ordinance does not address the costs which the Village will incur to review, approve and enforce the ordinance or CUP requirements, as well as to monitor ongoing operations. Certainly if this ordinance is approved, other parties will request similar ordinances. It seems likely that the Village will need to hire more staff or pay additional funds to contractors to support these activities. This ordinance does not state who will pay those costs.

The proposed ordinance would only apply to one property on the Village. The Village Board does consider fiscal impacts when adopting an ordinance.

What happens when another party requests a similar ordinance to be approved by the Village for a property with different characteristics, and new terms are included in that new ordinance, which the Village would like to apply to this current ordinance? Or, what if the Village were to develop its own

ordinance and the terms of the new (Village wide) ordinance are more restrictive or in some way conflict with this one? Would CUP's issued under this current version be grandfathered into the more liberal rules? There are no terms in this ordinance addressing the likely situation that future ordinances will be put into place, and how they will be aligned.

If an ordinance is adopted and a use approved, that use would be considered a legal nonconforming use if the ordinance is later amended. If a future ordinance, is more restrictive, the use would be grandfathered. If the future ordinance is less restrictive, the applicant could modify their proposal to meet the new ordinance.

Amy, I am sure you probably do not have time to research and respond to all of these questions before the next PC meeting. I'm certainly not an expert in all of this, yet I put this list together in a few hours with a bit of help from Google. I'm confident that given an appropriate amount of time and input from other interested parties, you and the PC would come up with a much more complete list of things that ought to be in such an ordinance, but are not present in this draft. This of course begs the question whether the Village is truly ready to put such an ordinance in place at this time, and I would ask you postpone action on this until a Village-wide ordinance can be more thoroughly considered.

Thank you

Brian Porter  
37500 Stillwater Drive  
Oconomowoc, WI, 53066

## Amy Barrows

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**From:** mrandgaard@aol.com  
**Sent:** Monday, February 12, 2024 1:47 PM  
**To:** Jim Siepmann; Annette Kaja; Sandra Murray; Paul Schmitter; Matthew Katz; Joan Gucciardi; Jay Obenberger; Jim Petronovich; Amy Barrows  
**Subject:** 2.15 Plan Commission Meeting - Public Hearing - Zoning Ordinance Text Amendment - Rental of Agricultural Buildings

To: Summit Village Planning Commission

Jim Siepmann - Chairperson  
Matt Katz - Vice Chair  
Sandra Murray - Commissioner  
Jim Petronovich - Commissioner  
Annette Kaja - Commissioner  
Jay Obenberger - Commissioner  
Paul Schmitter - Commissioner  
Joan Gucciardi - Alternate Commissioner  
Amy Barrows - Village Planner

I am not able to attend the February 15th Plan Commission Meeting - Public Hearing to discuss the Zoning Ordinance Text Amendment - Rental of Agricultural Buildings due to being out of town but wanted to address my concerns to the Planning Commission via email.

### Summary

*Receive comments regarding a revised request from Rebecca Carsey, on behalf of White Stag 1894, to amend the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow the rental of agricultural buildings in the A-1 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to create Section 111-357(d)(3) to allow rental of agricultural buildings for activities or events in the A-1 Agricultural District as a Conditional Use and create Section 111-321(7) to provide the standards and conditions that must be met in order for the rental of agricultural buildings to be considered. Planner Barrows provided the Plan Commission the input given at the last Public Hearing for consideration*

**I am asking the Planning Commission to deny the proposed text amendment for the following reasons:**

1. Text Amendments to allow Event Barn/Facilities have been proposed two other times, once in 2017 and once in 2020. The amendment in 2017 was from a previous property owner. Both text amendments were ultimately denied. I ask the planning commission to consider the reasons for previous denial when considering this request.
  1. Traffic and noise considerations to residential area adjacent to the property at 37736 Sunset Drive.
  2. Location of the proposed event venue is in a residential area
2. The location of the White Stag 1894 Farm is right next to the Still Water Subdivision

1. Residents are not in favor of this proposed event venue as you have heard from other residents
3. This is a commercial business, running on zoned agricultural land, if you approve the text amendment, this will apply not only for this applicant, but all over the Village.
  - 1. Conditional Use Permit applications cannot be denied and land owners will not have say under the current proposed ordinance changes.
4. Concerns raised by the planning commission at the January 18, 2024 meeting have not been addressed with this new draft text amendment.
  1. I apologize, but I don't remember exactly which Commissioner raised concerns at the last meeting about 72 events could be held during a 6 month period 3x per week. There was concern about the number of private events allowed under the text amendment and that number has not changed with this new revised proposed text amendment.
  2. (Section 2, #15 - In accordance with the requirements of Section 18-6 of the Village Code, the sound level and decibels determined at the property line shall be limited to the decibel level permitted for residential uses. Noise rating daytime levels shall not exceed 77, and noise rating nighttime levels shall not exceed 60.
    1. Enforcement of this would fall upon the Police department and residents with concerns
    2. The applicant has no responsibility for self monitoring of noise levels
    3. Nothing in the Text Amendment for regulation and penalties if the accordance is violated during any of the events
    4. The "property line" is vague and undefined, difficult to enforce this.

This is decision once made by the Planning Commission there is no turning back. We object to modifications of this text amendment to approve the use of the Rental of Agricultural Buildings for a commercial business in a residential area.

Thank you for your time and consideration.

Michelle and Mark Randgaard  
37477 Still Water Drive  
Oconomowoc, WI 53066  
24 year Village of Summit Residents

WHITE STAG TEXT AMENDMENT PUBLIC  
HEARING JANUARY 18, 2024

**notification to all property owners within 300 ft. of the subject property boundaries. The Conditional Use applies to two properties including Lot 1 of Certified Survey Map No. 11648, Vol. 116/283, and part of the SE ¼ of Section 26, T7N, R17E, Village of Summit, Waukesha County, Wisconsin. The properties are known as 410 Summit Avenue (SUMT0680999002) and 612 N. Sawyer Road (SUMT0675988001).**

Planner Barrows provided a brief history of activities related to this request up to this Public Hearing.

Chairperson Siepmann opened the meeting to public comment.  
There is no public comment.

Chairperson Siepmann Closed this public hearing at: 5:43 pm

Chairperson Siepmann announced a Continued Public Hearing to:

**Receive comments regarding a revised request from Rebecca Carsey, on behalf of White Stag 1894, to amend the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow the rental of agricultural buildings in the A-1 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to create Section 111-357(d)(3) to allow rental of agricultural buildings for activities or events in the A-1 Agricultural District as a Conditional Use and create Section 111-321(7) to provide the standards and conditions that must be met in order for the rental of agricultural buildings to be considered.**

Planner Barrows provided the Plan Commission the input given at the last Public Hearing for consideration.

James Hammes

Representative for White Stag 1894

Reviewed the revised ordinance text; which is consistent with the discussion the Plan Commission had at the last Plan Commission meeting. Referencing paragraph 14 regarding decibel levels and there would be no outdoor amplification and that the noise ordinance decibels are 77 during the day – 66 at night.

There is additional conversation about public and private events and the created sub paragraph C; public and vendor activity. There would be no more than 4 public events per year and the applicant would provide site plan & plan of operation for large events to Police Chief to determine if additional staff is needed.

There are questions from the board regarding hours, attendees, & limits on parking spaces.

Planner Barrows reviewed an e mail that was submitted from Brian Porter to be included into public record. Plan Commission members received a copy of the email in advance of the meeting.

Mr. Porter questioned if there is an opportunity for the applicant to comply with existing code and there were concerns about public events and number of attendees to an event. Number of attendees would be limited by the parking available.

The Public hearing is opened for public comment.

Michelle Randgaard 37477 Still Water Dr- Is concerned about noise, and number of public events, private events and ongoing use of a commercial business in agricultural zoning. Wants to know how Village would monitor decibel levels.

Dave Hotchkiss 37471 Stillwater- Outlined his understanding of the ordinance, and his observation of the intended uses, and concerns about noise. He urges the Plan Commission to reject change to the ordinance.

Kevin Tadych 37736 Sunset Dr - Provided a demonstration on decibels. Hopes it provides clarification on decibel levels.

Applicant Rebecca Carsey 37736 Sunset Dr – Provided input on farming and community and the opportunity to create diverse revenue sources for their farm. Ultimately, proposing the ordinance to allow historic farms and opportunity to diversify income streams and provide the community opportunity to have beautiful places to share life together.

James Hammes Atty for Petitioner - Provided comment on decibels and ordinance for clarity, and in addition commented on private vs public events. Stating a private event would be invitation only, and Public would be an art show that is open to the public to attend.

Michele Randgaard - Asked about enforcement on decibel levels.

Additional questions arise regarding time of use during the summer, and if that is desirable for the neighbors in the summer time.

Additional input from commissioners regarding number of events, enforcement, and revisions that would include a public hearing. There is a straw poll for team to determine attitudes on the Plan Commission or PD receiving the Plan of Operation for public events.

- Petronovich – Plan Commission
- Murray – prefers Plan Commission instead of police chief
- Kaja – Plan Commission
- Katz – Plan Commission

It is recommended to remove public event portion or the text, and revise police involvement for plan of operation.

Attendees and parking and parking surfaces are inquired about. Private is attendee only, and it is recommended to strike section 2 public and take all reference of public event out and only refer to group size.

Michelle Randgaard - Questions “Event Barns” being right next to a subdivision.

Kevin Tadych - Addressed concerns about quantity of events.

MOTION: (Murray, Petronovich) to adjourn the public hearing until February Plan Commission meeting. - Carried

Chairperson Siepmann Announced a Public Hearing to:

**Receive comments regarding a request from Christopher and Jessica Kadow, property owners at 740 N. Griffith Road, to amend the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow commercial vehicle parking on properties zoned in the A-2 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to modify Section 111-431 Definitions, add Section 111-358(d)(2) Conditional uses in the A-2 Agricultural District, and modify Section 111-321 Conditional uses permitted.**

Planner Barrows provided a summary of the request to amend the text of the Village of Summit Zoning and

Shoreland Protection ordinance to allow commercial vehicle parking.

Michael Van Kleunen  
Axley Brynson, LLP, agent for the property owner  
Reviewed the draft Ordinance included in the meeting pack.

There were questions related to 4E: no commercial activity involving a commercial vehicle could be executed on this property.

Conversation is had about number of vehicles and how to properly accommodate vehicles and limit number of vehicles on the property. Applicant is requested to approach and review the number of vehicles on the property.

Christopher Kadow – 740 N Griffith Rd reviewed the inventory of trucks currently part of his business.

- 3-4 Pick up
- 3 Gooseneck Trailer
- 2 Chipper/ Chip Truck

The hearing is opened for public comment:

Cheryl Buth  
937 N Griffith Rd  
Recommend approval of Ordinance to Village Board

Michael Goral  
826 N Griffith Rd  
Recommend approval of Ordinance to Village Board

Additional conversation about the number of parking and employee parking is had and there is conversation about revisions to the text for the amendment and the Plan Commission determines it should adjourn the Public hearing to the February Plan Commission meeting.

MOTION: (Kaja, Murray) Adjourn Public Hearing to February Plan Commission Meeting - Carried

### **REGULAR BUSINESS:**

Discussion and action on request from Devin Wolf, on behalf of property owners, DSL Investments, LLC and Sean P Wolf & 612 Sawyer Rd LLC to amend an existing Conditional Use for a quarry and associated activities to allow for an existing office building located on the east side of N. Sawyer Road to be used for office space unrelated to the quarry use, amend the ownership, and extend the Conditional Use five years. The Conditional Use applies to several properties including, Lot 2 of Certified Survey Map No. 11085, Vol. 108/255, Parcel 1 of Certified Survey Map No. 8561, Vol. 75/151, Lot 1 of Certified Survey Map No. 11648, Vol. 116/283, and part of the SE ¼ of Section 26, T7N, R17E, Village of Summit, Waukesha County, Wisconsin. The properties are known as 410 Summit Avenue (SUMT0680999002) and 612 N. Sawyer Road (SUMT0675988001).

MOTION: (Katz, Petronovich) To approve the proposed Conditional Use Amendment, subject to all signatures being in place. - Carried

# Zoning Ordinance Text Amendment – Rental of Agricultural Buildings

11/16/2023 Plan Commission Meeting

12/20/2023 Plan Commission Meeting

**1/18/2024 Plan Commission Meeting**

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Staff Report

Village of Summit, Wisconsin

Applicant:

Rebecca Carsey, White Stag 1894, LLC

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## **Possible Motions:**

*Recommend Village Board adopt the proposed text amendments creating Sections 111-357(d)(3) and 111-321(7) of the Village of Summit Zoning and Shoreland Ordinance provided by the applicant in an ordinance form approved by the Village Planner and Village Attorney.*

*OR*

*Recommend Village Board deny the proposed text amendments provided by the applicant for the following reasons: (Plan Commission insert reasons).*

## **Summary:**

The applicant is proposing a text amendment that would allow the rental of agricultural buildings for activities and events in the A-1 Agricultural District only as a Conditional Use. The proposed text amendment presented by the applicant includes “Rental of Agricultural Buildings for activities or events” as a listed Conditional Use in the A-1 Agricultural District.

The application also includes a list of criteria that must be met in order for the use to occur as a Conditional Use Permit. The use would only be allowed in agricultural buildings that exist as of September 1, 2023. All of the criteria are listed in the revised draft ordinance prepared by the applicant included in the packet. Based on the proposed required minimum lot size of 150 acres and proposed requirement that the property have direct access to a State Trunk or U.S. highway, there is only one property that would meet the criteria. The property is located north of US-18 and west of the Still Waters Subdivision.



Text amendments to allow Event Barn/Facilities have been proposed two other times, once in 2017 and once in 2020. The amendment in 2017 was proposed by a previous property owner of the parcel illustrated above. Both proposed text amendments were ultimately denied.

Since the applicant's proposal would potentially allow the applicant to pursue a Conditional Use request, discussion related to the applicant's proposed operation should not occur during the meeting. Property specific discussion should occur during the public hearing of such Conditional Use application.

A public hearing was held at the November 16<sup>th</sup> Plan Commission meeting. However, the applicant requested changes to the text amendment that were not available to the public at time of public notification. Therefore, the plan commission did not close the public hearing and re-noticed the hearing for the December meeting to ensure the public had access and time to review the revised application materials.

A continuation of the public hearing was held at the December 21<sup>st</sup> Plan Commission meeting. After considering comments from the public and reviewing the application materials, the Plan Commission had the following recommendations:

- 24 consecutive hours may be too long for an activity/event, also consider set up and take down limitations
- Consider separate provisions for public activities/events specific to managing the # of people and parking
- Conditions 10 and 15 should be consolidated to avoid confusion
- Conditions 13 and 16 should be consolidated to avoid confusion. Consider defining the area and use of the tents. Consider excluding parties of a certain size.

The public provided the following comments and concerns:

- Noise should not reach the level of a nuisance as specified in the ordinance
- Tents should be regulated so that there is not a lot of outside noise
- In favor of use. However, provisions should be applied consistently throughout village
- Sprinkler system requirements should be considered
- Proper waste disposal should be considered
- Parking should be on pavement
- Supportive of existing language that prevents a full-time business
- Proposed ordinance may provide too much latitude to have a party, not supportive of weddings

The applicant has attempted to address the comments and concerns of the Plan Commission and public with the enclosed revised proposed text amendments. Modifications from the December Plan Commission meeting are redlined. Plan Commission will want to consider the following based on their comments at the December meeting:

- Regulations related to outdoor sound amplification devices have been removed
- The applicant removed the provision that "no wedding tents shall be permitted"

- Review of public events is limited to the Police Department. The Plan Commission may want to consider requiring that written notice be sent to all property owners within 300 ft. of the subject property at least 30 days prior to an event taking place and that the site plan also be submitted to Planning Staff and/or Plan Commission for review and approval. Site Plan details for each event should include the location of tents, exhibits, signage, lighting, temporary bathroom facilities, waste disposal facilities, the duration of the event, which should in no case exceed a certain number of days, hours of the event, parking, and security and safety provisions.

## Amy Barrows

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**From:** Debra K. Weber <DWeber@axley.com>  
**Sent:** Thursday, January 4, 2024 12:41 PM  
**To:** Amy Barrows  
**Cc:** Rebekah Carsey; James W. Hammes  
**Subject:** Carsey/White Stag - Village of Summit proposed Ordinance  
**Attachments:** REVISIONS to Ordinance Creating 111-357(d)(3) and 111-321(7) Summit zoning REDLINED (01.04.2024) 4893-7558-1594.1.pdf; REVISIONS to Ordinance Creating 111-357(d)(3) and 111-321(7) Summit zoning CLEAN COPY (01.04.2024) 4880-8720-9370.1.pdf

### *As dictated by James Hammes*

Amy – I’m enclosing a further revision to the proposed Ordinance which would create a Conditional Use Permit allowing the rental of Agricultural Buildings.

In reviewing the latest revisions, I have incorporated the suggested changes made at the last Plan Commission meeting. Note that I have added a new subsection which addresses the conditional use permit as it relates to public activities or events. From a drafting standpoint, I thought it better to address the use of the property for those types of activities or events separately from the private activities or events. You will note that the conditions relating to the private activities or events are incorporated into the provision relating to public activities or events, but that additional requirements including approval of a Site Plan by the Village Police Chief is now included in the section which addresses public activities or events.

Please let me know if you have any additional thoughts or comments prior to this matter being published and placed on the Agenda as my clients would like to get this matter reviewed, approved and a decision made by the Plan Commission at its next meeting so that a conditional use permit application can then be prepared and submitted.

Thank you.

*James W. Hammes*

Deb Weber  
Legal Assistant to James W. Hammes

**Debra Weber**  
Legal Assistant

**AXLEY ATTORNEYS**  
N17W24222 Riverwood Dr. Ste 250 | Waukesha, WI 53188  
Phone: 262.409.2276 | Fax: 262.524.9200  
Email: DWeber@axley.com | axley.com  
AXLEY BRYNELSON, LLP

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Redlined with changes  
since December PCW meeting

ORDINANCE NO. \_\_\_\_\_

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**AN ORDINANCE CREATING SECTIONS 111-357(d)(3) and 111-321(7)  
OF THE ZONING CODE OF THE VILLAGE OF SUMMIT**

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THE VILLAGE BOARD OF THE VILLAGE OF SUMMIT DOES ORDAIN AS  
FOLLOWS:

**SECTION 1:** Section 111-357(d)(3) is hereby created to read as follows:

- (3) Rental of Agricultural Buildings for activities or events.

**SECTION 2:** Section 111-321(7) is hereby created to read as follows:

- (7) Rental of Agricultural Buildings.

a. *Definitions.*

1. Agricultural Buildings shall mean one (1) or more of existing Agricultural Buildings originally constructed prior to September 1, 2023 for agricultural uses as that term is defined in Section 91.01(2), Wis. Stats., and either presently part of activities conducted on the property in accordance with the A1 Agricultural Zoning designation of this Code, or remaining buildings on the property following termination or reduction in such activities.
2. Rental of Agricultural Buildings for activities or events shall mean a rental by the property owner of Agricultural Buildings to individuals or groups, for a rental fee or other form of remuneration, to accommodate public or private functions, gatherings and/or celebrations including, but not limited to, meetings, banquets, social gatherings, ~~and~~ educational or other scientific seminars or presentations.

b. *Conditional Use Permit.* A Conditional Use Permit authorizing the rental of Agricultural Buildings for activities or events shall be issued subject to the following conditions:

1. The minimum area of the property shall be not less than 150 acres.
2. The property must have direct access to a State Trunk Highway or U.S. Highway.
3. No Agricultural Building, structure, or outdoor use associated with any activity or event shall be located less than 100 feet from any adjacent lot line permitting a residential use.
4. No parking shall be located less than 50 feet from any adjacent lot line permitting a residential use. No Agricultural Building, structure, outdoor

use or parking associated with the activity or event shall be located less than 250 feet from any residence not owned by the property owner.

5. The rental of Agricultural Buildings for activities or events shall be permitted between May 1<sup>st</sup> and October 31<sup>st</sup> ~~provided, however, that no activity or event shall exceed twenty-four (24) consecutive hours.~~ Activities or events shall not begin prior to 8:00 am or continue past 11:59 pm on Friday and Saturday and shall not begin prior to 8:00 am or continue past 10:00 pm Sunday through Thursday. ~~These limitations do not apply to set-up and take-down activities associated with an activity or event and the arrival and departure of attendees.~~
6. Activities or events shall be limited to not more than three (3) rentals per calendar week beginning with Sunday of any given week.
7. There shall be no more than 300 attendees at any private per activity or event. For purposes of this subparagraph, the term "attendees" shall include staff and caterers associated with the private activity or event.
8. The rental and use of any Agricultural Building rented for an activity or event shall comply with all federal, state and local fire and building code regulations, as well as all federal, state and local health sanitation regulations.
9. Alcohol shall not be served past 11:00 pm on Friday and Saturday and 9:00 pm on Sunday through Thursday. The sale of alcohol shall be subject to issuance of an alcohol beverage license or permit, as may be required, by the Village of Summit.
10. ~~There shall be no outdoor sound amplification devices used in association with any outdoor activity or event area before 9:00 am or after 10:00 pm.~~
11. Exterior lighting to be used in association with activities or events shall not exceed fifteen (15) feet in height above the ground and light sources shall not be visible from the lot lines measured five (5) feet above the lot line.
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13. ~~Any area occupied by O~~ outdoor tents may be used for any activity or event, provided however, that any outdoor tent used for any activity or event must be removed within twenty-four (24) hours following the conclusion of the activity or event. Permanent outdoor tents are not permitted. ~~shall not exceed the square footage of the Agricultural~~

Buildings. The location of outdoor tents shall be depicted on the Site Plan submitted to and approved by the Plan Commission.

14. The exterior of Agricultural Buildings to be used for an activity or event may be repaired or refurbished but shall not be substantially modified as to significantly alter the character of the Agricultural Buildings as of the approval of the Conditional Use Permit.

15. There shall be no outdoor amplified music permitted by any activity or event.

16. ~~No wedding tents shall be permitted.~~

17. In accordance with the requirements of Section 18-6 of the Village Code, the sound level and decibels determined at the property line shall be limited to the decibel level permitted for residential uses. Noise rating daytime levels shall not exceed 77, and noise rating nighttime levels shall not exceed 60.

c. Public Activity or Event. In addition to the requirements set forth in subparagraph b above, the following additional conditions shall apply to public activities or events, such as art shows, craft fairs and classic automobile shows:

1. The maximum number of public activities or events shall not exceed four (4) in any calendar year.

2. The Permittee is responsible to manage all facets of all activities or events conducted at the site.

3. The Permittee shall at least twenty (20) days prior to any public activity or event, submit to the Village of Summit Police Chief a Site Plan which shall include all areas of the property that would be used for the proposed public activity or event. The Site Plan shall designate all areas of the property which would be used for exhibits or products offered for sale to the general public, as well as the internal policing and public safety procedures to be used for the public activity or event and shall be approved by the Village of Summit Police Chief, or the Police Chief's designee, in writing, not less than ten (10) days prior to the date of the proposed public activity or event. Such approval may include reasonable conditions or requirements imposed by the Police Chief if, in the determination of the Police Chief, such conditions are necessary to ensure public peace and safety.

4. Temporary overflow parking, as depicted on the proposed Site Plan for the public activity or event, shall be permitted, provided however, that at least twenty days (20) days prior to any public activity or event, the Permittee shall submit to the Police Chief a Site Plan designating and defining the areas proposed for any overflow parking. The use of the proposed overflow parking areas shall be contingent upon approval of the Police Chief, in writing, at least

ten (10) days prior to the commencement of the proposed public activity or event. Such approval may include reasonable conditions or requirements imposed by the Police Chief if, in the determination of the Police Chief, such conditions are necessary to ensure public peace and safety.

~~17.~~

**SECTION 3:** All ordinances or parts of this ordinance conflicting or violating the provisions of this ordinance are hereby repealed.

**SECTION 4:** This ordinance shall be effective upon passage and publication as required by law.

PASSED AND ADOPTED by the Village Board of the Village of Summit, Waukesha County, Wisconsin this \_\_\_\_ day \_\_\_\_\_, 2024.

VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

Clean copy - Jan. 18, 2024  
Version

ORDINANCE NO. \_\_\_\_\_

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**AN ORDINANCE CREATING SECTIONS 111-357(d)(3) and 111-321(7)  
OF THE ZONING CODE OF THE VILLAGE OF SUMMIT**

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VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

WHITE STAG TEXT AMENDMENT PUBLIC  
HEARING DECEMBER 20, 2023

Vol. 116/283, and part of the SE ¼ of Section 26, T7N, R17E, Village of Summit, Waukesha County, Wisconsin. The properties are known as 410 Summit Avenue (SUMT0680999002) and 612 N. Sawyer Road (SUMT0675988001).

Planner Barrows provided a review of the information leading up to this public hearing.

Chairperson Siepmann opens the hearing for public comment.

Leonard Jorgensen, 1025 S Squire Ct. – No activity has taken place in the pit in the past 10 years and DSL requests questionable change in ownership. He reported 3 possible violations at the last public hearing in October. After visiting the location following the meeting, he saw the building was vacant and apoloized. Leonard continues to question ownership and conditional use. Mr. Jorgensen makes a request for someone to visit the property in order to properly asses the conditional uses.

Zacahry Rewasiewicz, 34850 Breens Rd -Something has changed on the parcels and last 6 months have noticed increased noise, pounding, excavation dust and traffic. Questions if the conditional use permit is accepted does it mean that activities will continue?

Jason Church, 34954 Breens Rd - Lives across from the quarry. Understands the complaints from the neighbors, and stated the property is zoned A-1 and is trying to bypass zoning and ordinance. Objects to the Conditional use approval and wishes for reconsideration

Planner Barrows reviews conditional and legal non-conforming use currently in place for audience awareness.

Devon Wolf, 716 N Deerfield Lane – Reviews current situation of the quarry and parcels. Claims restoration of the land is what is currently making the bulk of the noise. Devon addresses the quarry heritage and existing activities and name change for the Plan Commission. Stating ownership has not changed only names have for tax purposes. Ultimately the goal is to develop and it would be residential development.

Planner Barrows reads a letter submitted in the mail

Patricia Burns 35008 W Oakshire Dr – (provide copy for minutes) does not agree with changes to conditional use.

Chairperson Siepmann closes the public hearing at 6:00 pm

Chairperson Siepmann then opened the public hearing to:

Receive comments regarding a revised request from Rebecca Carsey, on behalf of White Stag 1894, to amend the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow the rental of agricultural buildings in the A-1 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to create Section 111-357(d)(3) to allow rental of agricultural buildings for activities or events in the A-1 Agricultural District as a Conditional Use and create Section 111-321(7) to provide the standards and conditions that must be met in order for the rental of agricultural buildings to be considered.

Planner Barrows provided a review of the activities that led up to this continuation of public hearing opened in November 2023, and provided a review of the proposed changes to the amendment. Stating that the Village has had 2 other requests for Event Venues and both were denied, and the language looked different each time.

Attorney James Hammes – Provided a review of the conditions/changes requested to the text. Which were also included in the meeting packet.

Tents are questioned by the plan commission and it is agreed this is a loose term that can have many meanings.

Atty Hammes agrees to make modifications to language as requested regarding set up and take down.

Steve Hanke, 37124 Delafield Rd – Addressed the Plan commission by reviewing the restrictions he was subjected to upon his application to the Plan Commission for a proposed Agricultural Event Venue. His application was subject to paving a parking lot, connection to City water and City sewer, and sprinkler system.

Brian Porter, 37005 Stillwater Dr- Addressed the Plan Commission regarding size and frequency of events being a concern and stating some of the items in the ordinance are lacking. He did support that the proposed ordinance should eliminate opportunity for someone to turn this into a full-time business operating year-round.

Dave Hotchkiss, 37471 Stillwater Dr- expressed concerns about weddings and provided that they are very loud. The ordinance language allows for latitude to have a crazy party.

Dave Schleif, 1216 N Laurel Ln - Is concerned about ordinances being too specific only applying to one parcel.

The Plan Commission reviewed the points included in ordinance:

**NOTE:** *This list only a brief overview of the conversation not to be used as a checklist.*

- Time of operation – request for more specific time or operation than 24 hours if continued operation is too long.
- Business Hours and Hours of operation – refinement requested
- 300 attendees – capacity should include staff
- Look at language that addresses event type Private vs Public
- Hours of Alcohol – Village issues Class B License for Alcoholic Beverages on site
- Outdoor sound/ outdoor amplification subject to decibel levels of the nuisance ordinance that the village of summit really has
- Numbers 10 & 15 should be reviewed and adjusted and brought together
- Number 11 Exterior lighting not to exceed 15 ft – no light pollution off of property
- Parking – Surface and materials
- Combine 16 & 13 together – provide tent parameters

Dave Strobel, 37467 Stillwater Dr – Voiced concerns about noise.

Brain Porter, 37005 Stillwater Dr -There is nuisance ordinance for sound, should not let sound levels allowed get to nuisance level.

Dave Schleif, 1216 N Laurel Ln – Noise is important along with light worried about cars on property, parking, and pavement. Site occupancy rate, traffic, stoplight, regulation

Public hearing is held over until next plan commission meeting January 2024

**MOTION:** (Katz, Murray) to adjourn until next month's meeting. – Carried

Chairperson Siepmann closes the public hearing at 7:10 pm

## REGULAR BUSINESS:

Discussion and action on request from Devin Wolf, on behalf of property owners, DSL Investments, LLC and Sean P Wolf & 612 Sawyer Rd LLC to amend an existing Conditional Use for a quarry and associated activities to allow for an existing office building located on the east side of N. Sawyer Road to be used for office space unrelated to the quarry use, amend the ownership, and extend the Conditional Use five years. The Conditional Use applies to several properties including, Lot 2 of Certified Survey Map No. 11085, Vol. 108/255, Parcel 1 of Certified Survey Map No. 8561, Vol. 75/151, Lot 1 of Certified Survey Map No. 11648, Vol. 116/283, and part of the SE ¼ of Section 26, T7N, R17E, Village of Summit, Waukesha County, Wisconsin. The properties are known as 410 Summit Avenue (SUMT0680999002) and 612 N. Sawyer Road (SUMT0675988001).

Plan commission has additional questions for Devon Wolf, Devon Wolf responded for clarification. The pits are currently being utilized for quarry and restoration once restoration is complete there should be no more disturbance.

**MOTION:** (Katz, Murray) Approve the proposed Conditional Use Amendment, subject to the enclosed Conditional Use Order being reviewed by the Village Attorney and subject to all signatures. – Carried

Planner Barrows is recommended to visit the site., and to provide reclamation plan on file at next meeting

Discussion and action on request from Rebecca Carsey on behalf of White Stag 1894 to amend the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow the rental of agricultural buildings in the A-1 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to create Section 111-357(d)(3) to allow rental of agricultural buildings for activities or events in the A-1 Agricultural District as a Conditional Use and create Section 111-321(7) to provide the standards and conditions that must be met in order for the rental of agricultural buildings to be considered.

### **No MOTION for 7b. Public Hearing continued 01/18/2024**

Discussion and action to schedule a public hearing on request of Jessica and Christopher Kadow to amend the text of Chapter 111 Village of Summit Zoning and Shoreland Protection Ordinance, specifically Section 111-431 to define the term “Commercial vehicle parking”, Section 111-358(d)(2) to allow Commercial Truck Parking as a Conditional Use in the A-2 Agricultural District, and other related sections as deemed necessary.

Planner Barrows provided a brief review of the request.

Plan commission requests applicant notify public hearing to his neighbors as well.

**MOTION:** (Katz, Obenberger) Schedule a Public Hearing to consider text amendments that would allow commercial vehicle parking as a Conditional Use Permit subject to certain conditions being met in the A-2 Agricultural District for the next scheduled Plan Commission meeting - Carried

Report Village Board findings regarding request of Jeff Stoll, Stolley’s Hogg Alley, to vacate a portion of Venice Beach Road.

## Amy Barrows

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**From:** Debra K. Web  
**Sent:** Tuesday, November 28, 2023 12:34 PM  
**To:** Amy Barrows  
**Cc:** James W. Hammes; Rebekah Carsey  
**Subject:** FW: Village of Summit - proposed Ordinance (Axley File 102381)  
**Attachments:** FINAL REVISIONS to Ordinance Creating 111-357(d)(3) and 111-321(7) Summit zoning redlined (11.28.2023) 4873-2747-0740.1.pdf; Ordinance Creating 111-357(d)(3) and 111-321(7) Summit zoning - FINAL (11.28.2023) 4866-8004-0852.1.pdf

Amy – per your request, the proposed Ordinance has been revised.

Please see the attached redlined version – updating b.2 and also leaving the year blank as I'm not certain this is going to take place in 2023.

Also attached is a pdf copy of the FINAL proposed Ordinance.

Please let Attorney Hammes know if you have any further questions or concerns.

Thank you.

Deb Weber  
Legal Assistant

**Debra Weber**  
Legal Assistant

**From:** James W. Hammes  
**Sent:** Tuesday, November 28, 2023 10:55 AM  
**To:** Debra K. Weber  
**Subject:** FW: Village of Summit - proposed Ordinance (Axley File 102381)

**James Hammes**  
Attorney

ORDINANCE NO. \_\_\_\_\_

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ATTEST:

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PASSED AND ADOPTED by the Village Board of the Village of Summit, Waukesha County, Wisconsin this \_\_\_\_ day \_\_\_\_\_, 20 \_\_\_\_.

VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

WHITE STAG TEXT AMENDMENT PUBLIC  
HEARING NOVEMBER 16, 2023



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

## MINUTES

### Village of Summit Plan Commission Thursday, November 16, 2023 5:30 p.m.

#### CALL TO ORDER

Chairperson Siepmann called to order the Summit Plan Commission meeting at 5:30 p.m. on Thursday, November 16, 2023 at the Summit Village Hall, 37100 Delafield Road, Summit, Wisconsin.

#### ROLL CALL AND CONFIRM POSTING

Deputy Clerk LaValliere took roll call and confirmed notification to the media as required and requested and posting on the Village of Summit website and posting board.

Commissioners present were: Sandra Murray, Matt Katz, Jim Petronovich, Annette Kaja, Paul Schmitter, and Alternate Joan Gucciardi

Also, present were: Chairperson Jim Siepmann, Planner Amy Barrows, and Deputy Clerk/Deputy Treasurer Sarah LaValliere

#### MINUTES

- October 19, 2023
- October 30, 2023

MOTION: (Petronovich, Schmitter) *To approve October 19, 2023 & October 30, 2023 minutes.* - Carried

Next meeting date – proposed for Thursday, December 21, 2023 at 5:30 p.m.  
All in attendance will be here except Commissioner Schmitter.

#### PUBLIC HEARING

Chairperson Siepmann opened the public hearing at 5:37 pm to:

Receive comments regarding a request from Rebecca Carsey on behalf of White Stag 1894 to amend the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow the rental of agricultural buildings in the A-1 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to create Section 111-357(d)(3) to allow rental of agricultural buildings for activities or events in the A-1 Agricultural District as a Conditional Use and create Section 111-321(7) to provide the standards and conditions that must be met in order for the rental of agricultural buildings to be considered.

Attorney James Hammes provided overview of the meetings had with neighboring properties and requests that the Plan Commission Adjourn the public hearing until December 21 and during that time republish notice regarding Public Hearing with amended information.

Planner Barrows added that if the Plan Commission would have any comments regarding the original application, it would be acceptable to make any statements and recommendations.

ADJOURN the public hearing until December 21, 2023

MOTION: (Katz, Schmitter) *to adjourn the public hearing until December 21, 2023 pending Village of Summit Attorney approval.* - Carried

**REGULAR BUSINESS:**

Discussion and action on request from Rebecca Carsey on behalf of White Stag 1894 to amend the text of the Village of Summit Zoning and Shoreland Protection Ordinance to allow the rental of agricultural buildings in the A-1 Agricultural District as a Conditional Use. Specifically, the applicant is proposing to create Section 111-357(d)(3) to allow rental of agricultural buildings for activities or events in the A-1 Agricultural District as a Conditional Use and create Section 111-321(7) to provide the standards and conditions that must be met in order for the rental of agricultural buildings to be considered.

No motion is made, this is tabled until the next meeting December 21, 2023

Discussion and provide feedback on request of Jessica and Christopher Kadow to amend the text of Chapter 111 Village of Summit Zoning and Shoreland Protection Ordinance to allow tree service operations in the A-2 Agricultural District.

Planner Barrows provided a review of prior events leading up to this meeting.

Michael Van Klunen for the Kadow's proposed conceptual discussion for tonight and turn into feedback and draft ordinance in order to prepare for a public hearing.

Atty. Van Klunen provided a review of the applicable proposed restrictions on this parcel that could be included in the text amendment.

- Dedicating a certain portion or percentage and or location of the property to Tree Cutting Service
- Structure that relates to use and all equipment when not used stored in the structure
- Associated structure attached to a principal structure
- Establish minimum lot area of 5 acres
- Vehicles or associated equipment has to be owned or leased by owner of the property
- Vegetation and tree cutting that would be perhaps generated offsite collected by the owner and processed at an alternate location that is owned by the individual.
- Within a certain number of feet from a county or state trunk highway
- Not looking for excessive commercial activity on site where money is transacted this is ancillary to larger use that is not occurring on the property

As part of the Site plan and plan of operation

Parking for employees would be limited to 8 – screened by fencing or natural buffer

Site plan and plan of operation would be submitted to staff for review.

Feedback is requested from the Plan commission regarding the proposal.

Planner Barrows interjected that one item to consider is a 15-acre minimum which would help restrict and limit it to state highways both will tighten up the number of properties impacted by the amendment.

Additional conversation is had and there is recommendation to reorganize the text amendment and resubmit for the next meeting. An additional recommendation is made to approach neighboring properties and provide feedback and input at the next meeting to gauge response from neighboring properties which can impact the public hearing.

Possible action to schedule a public hearing based on the request of Jessica and Christopher Kadow for an amendment to the text of Chapter 111 Village of Summit Zoning and Shoreland Protection Ordinance to allow tree service operations in the A-2 Agricultural District.

Applicant, requests to bring back an updated amendment/application at the next plan commission meeting. There is no motion made at this time.

Discussion and provide feedback on request of Mackenzy and Megan Raabe, agent, on property owned by Amy Raabe, to divide a property into two properties located at 38758 Genesee Lake Road (SUMT0655992) & to acquire acreage owned by the Village of Summit.

Planner Barrows provided an overview of the information contained in the Plan Commission Pack

The Plan commission provided feedback regarding the applicant's proposal to create a lot that does not properly abut a public road and the request to rezone the property to allow the land division.

Feedback as follows:

- work with petitioner to rezone R-1 & CSM
- If possible, put in a public street
- If no street the property cannot be further divided this should be listed on CSM

Discussion and provide feedback on request of Jeff Stoll, Stolley's Hogg Alley, to install parking at 34311 Venice Beach Road (SUMT0669056).

This topic is skipped since applicant is not present moved to the end of the agenda.

Discussion and provide feedback regarding potential viable uses on property owned by Johns Living Trust-Family Trust located at 2133 N. Sawyer Road (SUMT0670997).

Planner Barrows reviewed information related to the property owned by Johns Living Trust – Family Trust located at 2133 N Sawyer Road (SUMT670997).

The Plan Commission discussed potential and viable uses on the property, and the potential of Tax Incremental Financing.

It is determined the Village Board is the body to consider Tax Incremental Financing if it is determined that it would be brought into consideration.

It is recommended the Planner is involved with discussion with neighboring properties (at the expense of the parcel owner), and have a conversation with DOT about access. Planner Clarified that access would be from County Highway.

Discussion and provide feedback on request of Jeff Stoll, Stolley's Hogg Alley, to install parking at 34311 Venice Beach Road (SUMT0669056).

Planner Barrows reviewed the proposed options provided in the Plan Commission packet.

Jeff Stoll  
Solley's Hogg Alley  
Stated his parking preference would be Option #2

Plan Commission prefers option #2, and makes recommendation to:

- to have Western Lakes fire District look at it right away
- get Village Board position on parking options
- Applicant should get neighbor feedback on options prior to next meeting

**ADJOURN** Plan Commission meeting

MOTION: (Schmitter, Katz) to ADJOURN the Plan Commission meeting at: 7:00 pm

Respectfully submitted,

Sarah LaValliere  
Deputy Clerk/ Deputy Treasurer

**Next meeting date: December 21, 2023**



JAMES W. HAMMES

November 17, 2023

*Via Email Only [jmacy@ammr.net]*

John P. Macy, Esq.  
Municipal Law & Litigation Group

RE: White Stag 1894 – Village of Summit

Dear John:

Following the October 19, 2023 Plan Commission meeting, my client met with neighbors at the request of the Plan Commission. As a result, several changes have been made to the proposed ordinance creating a text amendment allowing rental of agricultural buildings as a conditional use. In addition, the Plan Commission requested another change at the November 16, 2023 meeting. All of these changes would establish more restrictive conditions. I enclose a copy of the revised ordinance (both a redlined version and a clean version) which includes the revision requested by the Plan Commission.

The Plan Commission convened the Public Hearing last evening, and then adjourned the hearing until December 21, 2023 so that the revised ordinance can be posted and notice published advising the public that the Public Hearing has been adjourned and will be reconvened on December 21, 2023.

There is no need to reapply for a CU as no changes have been made to the application. The adjournment and supplemental notice is more than adequate compliance with the notice requirements of the Code and Sec. 62.23, Wis. Stats. However, the motion to adjourn was subject to your confirmation that the process complies with the requirements relating to notice. Please confirm that the Public Hearing can move forward as I have outlined in this correspondence.

Very truly yours,

AXLEY BRYNELSON, LLP

*James W. Hammes*

James W. Hammes  
JWH:dkw

cc: (via email only)  
Amy Barrows [planner@summitvillage.org]  
Rebekah Carsey [rebekah.carsey@gmail.com]

ORDINANCE NO. \_\_\_\_\_

---

AN ORDINANCE CREATING SECTIONS 111-357(d)(3) and 111-321(7)  
OF THE ZONING CODE OF THE VILLAGE OF SUMMIT

---

THE VILLAGE BOARD OF THE VILLAGE OF SUMMIT DOES ORDAIN AS  
FOLLOWS:

**SECTION 1:** Section 111-357(d)(3) is hereby created to read as follows:

- (3) Rental of Agricultural Buildings for activities or events.

**SECTION 2:** Section 111-321(7) is hereby created to read as follows:

- (7) Rental of Agricultural Buildings.

a. *Definitions.*

1. Agricultural Buildings shall mean one (1) or more of existing Agricultural Buildings originally constructed prior to September 1, 2023 for agricultural uses as that term is defined in Section 91.01(2), Wis. Stats., and either presently part of activities conducted on the property in accordance with the A1 Agricultural Zoning designation of this Code, or remaining buildings on the property following termination or reduction in such activities.
2. Rental of Agricultural Buildings for activities or events shall mean a rental by the property owner of Agricultural Buildings to individuals or groups, for a rental fee or other form of remuneration, to accommodate private functions, gatherings and/or celebrations including, but not limited to, meetings, banquets, social gatherings, and educational or other scientific seminars or presentations.

b. *Conditional Use Permit.* A Conditional Use Permit authorizing the rental of Agricultural Buildings for activities or events shall be issued subject to the following conditions:

1. The minimum area of the property shall be not less than 150 acres.
2. The property must abut a State Trunk Highway or a U.S. Highway directly upon, or have direct access to, a State Trunk highway.
3. No Agricultural Building, structure, or outdoor use associated with any activity or event shall be located less than 100 feet from any adjacent lot line permitting a residential use.
4. No parking shall be located less than 50 feet from any adjacent lot line permitting a residential use. No Agricultural Building, structure, outdoor

use or parking associated with the activity or event shall be located less than 250 feet from any residence not owned by the property owner.

5. The rental of Agricultural Buildings for activities or events shall be permitted between May 1<sup>st</sup> and October 31<sup>st</sup> provided, however, that no activity or event shall not exceed twenty-four (24) consecutive hours. Activities or events shall not begin prior to 8:00 am or continue past 11:59 pm on Friday and Saturday and shall not begin prior to 8:00 am or continue past 10:00 pm Sunday through Thursday. These limitations do not apply to set-up and take-down activities associated with an activity or event and the arrival and departure of attendees.
6. Activities or events shall be limited to not more than three (3) rentals per calendar week beginning with Sunday of any given week.
7. There shall be no more than 3500 attendees per activity or event.
8. The rental and use of any Agricultural Building rented for an activity or event shall comply with all federal, state and local fire and building code regulations, as well as all federal, state and local health sanitation regulations.
9. Alcohol shall not be served past 11:00 pm on Friday and Saturday and 9:00 pm on Sunday through Thursday. The sale of alcohol shall be subject to issuance of an alcohol beverage license or permit, as may be required, by the Village of Summit.
10. There shall be no outdoor sound amplification devices used in association with any outdoor activity or event area before 9:00 am or after 10:00 pm.
11. Exterior lighting to be used in association with activities or events shall not exceed fifteen (15) feet in height above the ground and light sources shall not be visible from the lot lines measured five (5) feet above the lot line.
12. The number of parking spaces shall be equal to one (1) parking space per three (3) attendees at any activity or event. Parking areas shall be clearly defined and designed with appropriate surface materials as described on the Site Plan and Plan of Operation, and taking into consideration topography, drainage, and potential for dust.
13. Any area occupied by outdoor tents shall not exceed the square footage of the Agricultural Buildings.
14. The exterior of Agricultural Buildings to be used for an activity or event may be repaired or refurbished but shall not be substantially modified as to significantly alter the character of the Agricultural Buildings as of the approval of the Conditional Use Permit.
15. There shall be no outdoor amplified music permitted by any activity or event.

~~14.16.~~ No wedding tents shall be permitted.

~~15.17.~~ Compliance with Section 18-6 of the Village Code will be required for all activities and events.

**SECTION 3:** All ordinances or parts of this ordinance conflicting or violating the provisions of this ordinance are hereby repealed.

**SECTION 4:** This ordinance shall be effective upon passage and publication as required by law.

PASSED AND ADOPTED by the Village Board of the Village of Summit, Waukesha County, Wisconsin this \_\_\_\_ day \_\_\_\_\_, 2023.

VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

ORDINANCE NO. \_\_\_\_\_

---

AN ORDINANCE CREATING SECTIONS 111-357(d)(3) and 111-321(7)  
OF THE ZONING CODE OF THE VILLAGE OF SUMMIT

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THE VILLAGE BOARD OF THE VILLAGE OF SUMMIT DOES ORDAIN AS FOLLOWS:

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- (7) Rental of Agricultural Buildings.

a. *Definitions.*

1. Agricultural Buildings shall mean one (1) or more of existing Agricultural Buildings originally constructed prior to September 1, 2023 for agricultural uses as that term is defined in Section 91.01(2), Wis. Stats., and either presently part of activities conducted on the property in accordance with the A1 Agricultural Zoning designation of this Code, or remaining buildings on the property following termination or reduction in such activities.
2. Rental of Agricultural Buildings for activities or events shall mean a rental by the property owner of Agricultural Buildings to individuals or groups, for a rental fee or other form of remuneration, to accommodate private functions, gatherings and/or celebrations including, but not limited to, meetings, banquets, social gatherings, and educational or other scientific seminars or presentations.

b. *Conditional Use Permit.* A Conditional Use Permit authorizing the rental of Agricultural Buildings for activities or events shall be issued subject to the following conditions:

1. The minimum area of the property shall be not less than 150 acres.
2. The property must abut a State Trunk Highway or a U.S. Highway.
3. No Agricultural Building, structure, or outdoor use associated with any activity or event shall be located less than 100 feet from any adjacent lot line permitting a residential use.
4. No parking shall be located less than 50 feet from any adjacent lot line permitting a residential use. No Agricultural Building, structure, outdoor use or parking associated with the activity or event shall be located less than 250 feet from any residence not owned by the property owner.

5. The rental of Agricultural Buildings for activities or events shall be permitted between May 1<sup>st</sup> and October 31<sup>st</sup> provided, however, that no activity or event shall exceed twenty-four (24) consecutive hours. Activities or events shall not begin prior to 8:00 am or continue past 11:59 pm on Friday and Saturday and shall not begin prior to 8:00 am or continue past 10:00 pm Sunday through Thursday. These limitations do not apply to set-up and take-down activities associated with an activity or event and the arrival and departure of attendees.
6. Activities or events shall be limited to not more than three (3) rentals per calendar week beginning with Sunday of any given week.
7. There shall be no more than 300 attendees per activity or event.
8. The rental and use of any Agricultural Building rented for an activity or event shall comply with all federal, state and local fire and building code regulations, as well as all federal, state and local health sanitation regulations.
9. Alcohol shall not be served past 11:00 pm on Friday and Saturday and 9:00 pm on Sunday through Thursday. The sale of alcohol shall be subject to issuance of an alcohol beverage license or permit, as may be required, by the Village of Summit.
10. There shall be no outdoor sound amplification devices used in association with any outdoor activity or event area before 9:00 am or after 10:00 pm.
11. Exterior lighting to be used in association with activities or events shall not exceed fifteen (15) feet in height above the ground and light sources shall not be visible from the lot lines measured five (5) feet above the lot line.
12. The number of parking spaces shall be equal to one (1) parking space per three (3) attendees at any activity or event. Parking areas shall be clearly defined and designed with appropriate surface materials as described on the Site Plan and Plan of Operation, and taking into consideration topography, drainage, and potential for dust.
13. Any area occupied by outdoor tents shall not exceed the square footage of the Agricultural Buildings.
14. The exterior of Agricultural Buildings to be used for an activity or event may be repaired or refurbished but shall not be substantially modified as to significantly alter the character of the Agricultural Buildings as of the approval of the Conditional Use Permit.
15. There shall be no outdoor amplified music permitted by any activity or event.
16. No wedding tents shall be permitted.

17. Compliance with Section 18-6 of the Village Code will be required for all activities and events.

**SECTION 3:** All ordinances or parts of this ordinance conflicting or violating the provisions of this ordinance are hereby repealed.

**SECTION 4:** This ordinance shall be effective upon passage and publication as required by law.

PASSED AND ADOPTED by the Village Board of the Village of Summit, Waukesha County, Wisconsin this \_\_\_\_ day \_\_\_\_\_, 2023.

VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk



AXLEY BRYNELSON, LLP



JAMES W. HAMMES  
(262) 409-2298  
jhammes@axley.com

October 24, 2023

*Via Email Only [abarrows@sehinc.com]*

Amy Barrows  
Senior Planner, Project Manager  
Short Elliott Hendrickson Inc.

RE: Village of Summit Zoning Code  
Our Client: Rebekah M. Carsey, White Stag 1894  
Axley File No. 102381

Dear Amy:

I enclose a redline and clean copy of the zoning ordinance which incorporates the changes passed at the Planning Commission meeting of October 19, 2023. If there are further changes or modifications needed, please advise.

Thank you.

Very truly yours,

AXLEY BRYNELSON, LLP

*James W. Hammes*

James W. Hammes  
JWH:dkw

Enclosures

cc: Rebekah Carsey (via email only)

ORDINANCE NO. \_\_\_\_\_

---

**AN ORDINANCE CREATING SECTIONS 111-357(d)(~~73~~) and 111-321(7)  
OF THE ZONING CODE OF THE VILLAGE OF SUMMIT**

---

THE VILLAGE BOARD OF THE VILLAGE OF SUMMIT DOES ORDAIN AS FOLLOWS:

**SECTION 1:** Section 111-357(d)(~~73~~) is hereby created to read as follows:

(~~73~~) Rental of Agricultural Buildings for activities or events.

**SECTION 2:** Section 111-321(7) is hereby created to read as follows:

(7) Rental of Agricultural Buildings.

a. *Definitions.*

1. Agricultural Buildings shall mean one (1) or more of existing Agricultural Buildings originally constructed prior to September 1, 2023 for agricultural uses as that term is defined in Section 91.01(2), Wis. Stats., and either presently part of activities conducted on the property in accordance with the A1 Agricultural Zoning designation of this Code, or remaining buildings on the property following termination or reduction in such activities.
2. Rental of Agricultural Buildings for activities or events shall mean a rental by the property owner of Agricultural Buildings to individuals or groups, for a rental fee or other form of remuneration, to accommodate private functions, gatherings and/or celebrations including, but not limited to, meetings, banquets, social gatherings, and educational or other scientific seminars or presentations.

b. *Conditional Use Permit.* A Conditional Use Permit authorizing the rental of Agricultural Buildings for activities or events shall be issued subject to the following conditions:

1. The minimum area of the property shall be not less than ~~200~~150 acres.
2. The property must abut directly upon, or have direct access to, a State Trunk highway.
3. No Agricultural Building, structure, or outdoor use associated with any activity or event shall be located less than 100 feet from any adjacent lot line permitting a residential use.
4. No parking shall be located less than 50 feet from any adjacent lot line permitting a residential use. No Agricultural Building, structure, outdoor

- use or parking associated with the activity or event shall be located less than 250 feet from any residence not owned by the property owner.
5. The rental of Agricultural Buildings for activities or events shall not exceed twenty-four (24) consecutive hours. Activities or events shall not begin prior to 8:00 am or continue past 11:59 pm on Friday and Saturday and shall not begin prior to 8:00 am or continue past 10:00 pm Sunday through Thursday. These limitations do not apply to set-up and take-down activities associated with an activity or event and the arrival and departure of attendees.
  6. Activities or events shall be limited to not more than three (3) rentals per calendar week beginning with Sunday of any given week.
  7. There shall be no more than 350 attendees per activity or event.
  8. The rental and use of any Agricultural Building rented for an activity or event shall comply with all federal, state and local fire and building code regulations, as well as all federal, state and local health sanitation regulations.
  9. Alcohol shall not be served past 11:00 pm on Friday and Saturday and 9:00 pm on Sunday through Thursday. The sale of alcohol shall be subject to issuance of an alcohol beverage license or permit, as may be required, by the Village of Summit.
  10. There shall be no outdoor sound amplification devices used in association with any outdoor activity or event area before 9:00 am or after 10:00 pm.
  11. Exterior lighting to be used in association with activities or events shall not exceed fifteen (15) feet in height above the ground and light sources shall not be visible from the lot lines measured five (5) feet above the lot line.
  12. The number of parking spaces shall be equal to one (1) parking space per three (3) attendees at any activity or event. Parking areas shall be clearly defined and designed with appropriate surface materials as described on the Site Plan and Plan of Operation, and taking into consideration topography, drainage, and potential for dust.
  13. Any area occupied by outdoor tents shall not exceed the square footage of the Agricultural Buildings.
  14. The exterior of Agricultural Buildings to be used for an activity or event may be repaired or refurbished but shall not be substantially modified as to significantly alter the character of the Agricultural Buildings as of the approval of the Conditional Use Permit.

**SECTION 3:** All ordinances or parts of this ordinance conflicting or violating the provisions of this ordinance are hereby repealed.

**SECTION 4:** This ordinance shall be effective upon passage and publication as required by law.

PASSED AND ADOPTED by the Village Board of the Village of Summit, Waukesha County, Wisconsin this \_\_\_\_ day \_\_\_\_\_, 2023.

VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk

ORDINANCE NO. \_\_\_\_\_

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AN ORDINANCE CREATING SECTIONS 111-357(d)(3) and 111-321(7)  
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**SECTION 2:** Section 111-321(7) is hereby created to read as follows:

- (7) Rental of Agricultural Buildings.

a. *Definitions.*

1. Agricultural Buildings shall mean one (1) or more of existing Agricultural Buildings originally constructed prior to September 1, 2023 for agricultural uses as that term is defined in Section 91.01(2), Wis. Stats., and either presently part of activities conducted on the property in accordance with the A1 Agricultural Zoning designation of this Code, or remaining buildings on the property following termination or reduction in such activities.
2. Rental of Agricultural Buildings for activities or events shall mean a rental by the property owner of Agricultural Buildings to individuals or groups, for a rental fee or other form of remuneration, to accommodate private functions, gatherings and/or celebrations including, but not limited to, meetings, banquets, social gatherings, and educational or other scientific seminars or presentations.

b. *Conditional Use Permit.* A Conditional Use Permit authorizing the rental of Agricultural Buildings for activities or events shall be issued subject to the following conditions:

1. The minimum area of the property shall be not less than 150 acres.
2. The property must abut directly upon, or have direct access to, a State Trunk highway.
3. No Agricultural Building, structure, or outdoor use associated with any activity or event shall be located less than 100 feet from any adjacent lot line permitting a residential use.
4. No parking shall be located less than 50 feet from any adjacent lot line permitting a residential use. No Agricultural Building, structure, outdoor

- use or parking associated with the activity or event shall be located less than 250 feet from any residence not owned by the property owner.
5. The rental of Agricultural Buildings for activities or events shall not exceed twenty-four (24) consecutive hours. Activities or events shall not begin prior to 8:00 am or continue past 11:59 pm on Friday and Saturday and shall not begin prior to 8:00 am or continue past 10:00 pm Sunday through Thursday. These limitations do not apply to set-up and take-down activities associated with an activity or event and the arrival and departure of attendees.
  6. Activities or events shall be limited to not more than three (3) rentals per calendar week beginning with Sunday of any given week.
  7. There shall be no more than 350 attendees per activity or event.
  8. The rental and use of any Agricultural Building rented for an activity or event shall comply with all federal, state and local fire and building code regulations, as well as all federal, state and local health sanitation regulations.
  9. Alcohol shall not be served past 11:00 pm on Friday and Saturday and 9:00 pm on Sunday through Thursday. The sale of alcohol shall be subject to issuance of an alcohol beverage license or permit, as may be required, by the Village of Summit.
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  13. Any area occupied by outdoor tents shall not exceed the square footage of the Agricultural Buildings.
  14. The exterior of Agricultural Buildings to be used for an activity or event may be repaired or refurbished but shall not be substantially modified as to significantly alter the character of the Agricultural Buildings as of the approval of the Conditional Use Permit.

**SECTION 3:** All ordinances or parts of this ordinance conflicting or violating the provisions of this ordinance are hereby repealed.

**SECTION 4:** This ordinance shall be effective upon passage and publication as required by law.

PASSED AND ADOPTED by the Village Board of the Village of Summit, Waukesha County, Wisconsin this \_\_\_\_ day \_\_\_\_\_, 2023.

VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk



AXLEY BRYNELSON, LLP

• • • • •

JAMES W. HAMMES  
(262) 409-2298  
jhammes@axley.com

October 5, 2023

*Via Email Only [abarrows@sehinc.com]*

Amy Barrows  
Senior Planner, Project Manager  
Short Elliott Hendrickson Inc.

RE: Village of Summit Zoning Code  
Our Client: Rebekah M. Carsey, White Stag 1894  
Axley File No. 102381

Dear Amy:

The enclosed ordinance, which, if adopted, would establish a Conditional Use Permit for the rental of Agricultural Buildings for activities or events in the A-1 Zoning District.

This ordinance combines the two earlier draft ordinances which were discussed at the recent staff meeting.

I would request that the matter be placed on the Plan Commission Agenda of October 19, 2023 for the purpose of scheduling a public hearing with respect to the proposed adoption of this ordinance.

Very truly yours,

AXLEY BRYNELSON, LLP

*James W. Hammes*

James W. Hammes  
JWH:dkw

Enclosure

cc: Rebekah Carsey (via email only)

ORDINANCE NO. \_\_\_\_\_

---

AN ORDINANCE CREATING SECTIONS 111-357(d)(7) and 111-321(7)  
OF THE ZONING CODE OF THE VILLAGE OF SUMMIT

---

THE VILLAGE BOARD OF THE VILLAGE OF SUMMIT DOES ORDAIN AS  
FOLLOWS:

**SECTION 1:** Section 111-357(d)(7) is hereby created to read as follows:

- (7) Rental of Agricultural Buildings for activities or events.

**SECTION 2:** Section 111-321(7) is hereby created to read as follows:

- (7) Rental of Agricultural Buildings.

a. *Definitions.*

1. Agricultural Buildings shall mean one (1) or more of existing Agricultural Buildings originally constructed prior to September 1, 2023 for agricultural uses as that term is defined in Section 91.01(2), Wis. Stats., and either presently part of activities conducted on the property in accordance with the A1 Agricultural Zoning designation of this Code, or remaining buildings on the property following termination or reduction in such activities.
2. Rental of Agricultural Buildings for activities or events shall mean a rental by the property owner of Agricultural Buildings to individuals or groups, for a rental fee or other form of remuneration, to accommodate private functions, gatherings and/or celebrations including, but not limited to, meetings, banquets, social gatherings, and educational or other scientific seminars or presentations.

b. *Conditional Use Permit.* A Conditional Use Permit authorizing the rental of Agricultural Buildings for activities or events shall be issued subject to the following conditions:

1. The minimum area of the property shall be not less than 200 acres.
2. The property must abut directly upon, or have direct access to, a State Trunk highway.
3. No Agricultural Building, structure, or outdoor use associated with any activity or event shall be located less than 100 feet from any adjacent lot line permitting a residential use.
4. No parking shall be located less than 50 feet from any adjacent lot line permitting a residential use. No Agricultural Building, structure, outdoor

- use or parking associated with the activity or event shall be located less than 250 feet from any residence not owned by the property owner.
5. The rental of Agricultural Buildings for activities or events shall not exceed twenty-four (24) consecutive hours. Activities or events shall not begin prior to 8:00 am or continue past 11:59 pm on Friday and Saturday and shall not begin prior to 8:00 am or continue past 10:00 pm Sunday through Thursday. These limitations do not apply to set-up and take-down activities associated with an activity or event and the arrival and departure of attendees.
  6. Activities or events shall be limited to not more than three (3) rentals per calendar week beginning with Sunday of any given week.
  7. There shall be no more than 350 attendees per activity or event.
  8. The rental and use of any Agricultural Building rented for an activity or event shall comply with all federal, state and local fire and building code regulations, as well as all federal, state and local health sanitation regulations.
  9. Alcohol shall not be served past 11:00 pm on Friday and Saturday and 9:00 pm on Sunday through Thursday. The sale of alcohol shall be subject to issuance of an alcohol beverage license or permit, as may be required, by the Village of Summit.
  10. There shall be no outdoor sound amplification devices used in association with any outdoor activity or event area before 9:00 am or after 10:00 pm.
  11. Exterior lighting to be used in association with activities or events shall not exceed fifteen (15) feet in height above the ground and light sources shall not be visible from the lot lines measured five (5) feet above the lot line.
  12. The number of parking spaces shall be equal to one (1) parking space per three (3) attendees at any activity or event. Parking areas shall be clearly defined and designed with appropriate surface materials as described on the Site Plan and Plan of Operation, and taking into consideration topography, drainage, and potential for dust.
  13. Any area occupied by outdoor tents shall not exceed the square footage of the Agricultural Buildings.
  14. The exterior of Agricultural Buildings to be used for an activity or event may be repaired or refurbished but shall not be substantially modified as to significantly alter the character of the Agricultural Buildings as of the approval of the Conditional Use Permit.

**SECTION 3:** All ordinances or parts of this ordinance conflicting or violating the provisions of this ordinance are hereby repealed.

**SECTION 4:** This ordinance shall be effective upon passage and publication as required by law.

PASSED AND ADOPTED by the Village Board of the Village of Summit, Waukesha County, Wisconsin this \_\_\_\_ day \_\_\_\_\_, 2023.

VILLAGE OF SUMMIT

BY: \_\_\_\_\_  
Village President

ATTEST:

\_\_\_\_\_  
Village Clerk



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
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## MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 7, 2024

Re: Department of Public Works Administrative Report

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### **DPW Crew Activities**

#### ***Cemetery Activity Summary***

- 2 funerals occurred in February.
- 2 grave site sales and two deed transfers occurred in February.
- A Cemetery Board meeting is scheduled for May 17<sup>th</sup> at 9:00 a.m. at Summit Cemetery.

#### ***Equipment Maintenance & Repair***

- Serwe Implement has finally received the Tiger Mowing units, and DPW staff will be dropping the John Deere to the dealer for mounting.
- The Morbark Chipper's electrical/controls issues have not yet been repaired. The motor manufacturer believes that they have identified the issue, and parts have been ordered. In the interim, a loaner unit was provided to the Village in late February so that the DPW crew can catch up with downed tree debris, trimming, and removals.

#### ***Winter Season Activities***

- A summary of the 2023 – 2024 winter weather response activities by the DPW crew is attached for reference.

### **Genesee Lake Road Park Master Plan Update**

A draft master plan was reviewed by the Village Board at the Special Village Board meeting on March 7<sup>th</sup>. Staff will work on markups of the draft map to provide to SEH for a final version based off comments from the meeting.

### **Official Road Right-of-Way Map Update**

Staff continue to work on the Official Road ROW Map updates with SEH and the Village Planner. Text amendments have been completed to Village Municipal Code, and efforts are focused on updating the map.

### **DeLafield Road Bridge Replacement Project**

Village staff continues to participate in weekly progress meetings with WisDOT, the project engineer, and the contractors. A significant amount of progress has been made on the bridge. The new bridge deck was poured on March 1<sup>st</sup>. The contractor is waiting out cure period for

superstructure the week of March 4<sup>th</sup> and intends to begin work on parapets the week of March 11<sup>th</sup>. Backfill and grading will follow in mid to late March. The limiting factor for completion of this project will be paving, which will not occur until asphalt plants begin producing hot mix asphalt.

### **N Dousman Road Multi-Use Trail Extension Project**

A draft agreement was drafted by the consultant and forwarded on to the Village and WisDOT for initial review. The total design cost is approximately \$40,000 higher than estimated, and this additional cost would be covered by Stewardship grant funds. \$35,000 of impact fees were included in the CIP for 2024 for design, and \$120,000 was included for 2025 for construction. The design cost will be split between 2024 and 2025, and construction costs will need to be moved to 2025. Staff will work with WisDOT to ensure that all scope activities listed in the contract are appropriate. A draft contract should be ready for Village Board review at the April regular meeting.

### **MS4 Compliance**

In response to the DNR's request for additional clarificatory information, SEH provided a memorandum and supplemental documentation to satisfy the Village's requirement under our WPDES permit on January 31<sup>st</sup>. The DNR provided an email summary of their review, indicating that they are still not concurring with the modeling results provided because some of the BMPs (filter strip areas) that were included lie on private property that the Village does not have maintenance authority over (e.g., the Village does not have a stormwater maintenance agreement or any other easement with specific language requiring maintenance and inspections). In the past, we were allowed to utilize these areas as part of our modeling. However, the DNR is now taking a stronger stance on maintenance authority for private BMPs. SEH will be required to remove these areas, remodel the watersheds, and analyze the effects of their removal to determine if the Village is meeting pollutant removal requirements. There are a handful of these areas that need to be remodeled, and SEH believes that this should take a few hours of their time to complete.

### **Upper Nemahbin Lake/Bark River Dredging Project**

The engineer for the Upper Nemahbin Lake Management District's dredging project informed the Village that hauling operations should be completed within the next two weeks, weather pending.

### **National Fitness Campaign Status**

The Village has fundraised a total of \$10,500 toward this campaign. No additional funds have been received since the last Village Board update.

### **Village Safety Program Development & Implementation**

#### ***Safety Committee Meeting***

A committee meeting was held on Monday, March 4<sup>th</sup> at 9:00 a.m. The following topics were discussed at the meeting:

- 2<sup>nd</sup> quarter safety training (Severe weather awareness/tornado drill; Fire drill; Ready Rebound program)
- Exterior and interior door numbering at Village Hall and DPW Building
- Status of pending safety plans/policies
- Purchase of first aid kits for Community Room

### **Pabst Farms Joint Stormwater District**

A PFJSD meeting is scheduled for Wednesday, March 13<sup>th</sup> at 5:00 p.m. at Summit Village Hall. Agenda items include:

- **Stormwater management plans for the proposed Pabst Farms Commercial Retail Multi-Tenant Facility** (southwest corner of intersection of Pabst Farm Blvd and Pabst Farms Circle that includes a Dunkin' Donuts, Buffalo Wild Wings To-Go, and two additional undetermined tenant spaces).
- **Stormwater management plans for the proposed Pabst 59 project** (58-acre parcel west of Fleet Farm on Pabst Farms Blvd that will include the development of a private roadway running through the site, mixed use retail, multifamily homes, and tech buildings, and associated utilities and infrastructure).
- **Election of PFJSD commissioners.**

ATTACHMENTS:       None.

**2023 – 2024 Winter Weather Response Summary**

Event Date(s)	Response Type	Snow (in)	Staff Hours					Est. Salt Use (Tons)	Estimated Costs (Labor, Salt)
			Full Time			Part Time			
			Reg	OT	DT	Reg	OT		
11/26 – 11/27/2023	Spot Salt (11/27)	1.50	8.00	-	-	4.00	-	7.00	\$838.91
12/1/2023	Spot Salt/Plow	1.10	-	6.50	-	-	2.00	7.50	\$905.88
12/31/2023	Spot Salt (icy conditions)	0.20	-	-	8.00	-	2.75	16.00	\$1,730.98
1/6/2024	Spot Salt/Plow	1.00	-	9.00	-	-	2.50	13.50	\$1,570.64
1/9 – 1/10/2024	Full Plow/Salt (1/9, 1/10); Spot Salt/Plow	6.70	41.50	28.00	-	26.50	-	19.50	\$4,790.22
1/11/2024	Full Plow/Salt	1.90	19.25	9.00	-	9.25	-	18.50	\$2,694.25
1/12 – 1/13/2024	Various cycles of full plow due to heavy snowfall; Cleanup of roadways after event	15.50	39.00	72.25	-	22.25	17.25	21.50	\$7,500.06
1/18 – 1/19/2024	Full Plow/Salt; Cleanup of drifting and hardpack on roadways	0.50	29.25	6.50	-	4.50	-	13.00	\$2,344.69
1/22 – 1/24/2024	Full Plow/Salt; Significant cleanup of hardpack on roadways (mild temps)	0.20	48.00	5.42	-	12.00	-	43.50	\$5,449.19
2/15/2024	Spot Plow/Salt (slushy snow/rain event)	0.20	8.00	-	-	-	-	2.50	\$442.78
2/23/2024	Spot Salt (icy conditions)	0.70	-	4.50	-	-	-	5.00	\$596.39
2/28/2024	Spot Salt (icy conditions)	0.20	4.50	-	-	2.25	-	3.00	\$435.98
<b>Totals</b>	<b>Responses: 12</b>	<b>30.20</b>	<b>197.50</b>	<b>141.17</b>	<b>8.00</b>	<b>80.75</b>	<b>24.50</b>	<b>170.50</b>	<b>\$29,300</b>

*Note: Fuel costs, pre-event preparations, and post-event equipment maintenance not included.*



Village Hall, 262-567-2757  
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Highway Dept., 262-567-2422  
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## MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 8, 2024

Re: Discussion and Action on Proposal to Vacate a Portion of N Venice Beach Road

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### PURPOSE:

To update the Village Board and residents on the status of a proposal to vacate a portion of N Venice Beach Road.

### BACKGROUND:

In February of 2024, an open house was hosted by the Village to provide information regarding a proposal to vacate a portion of the eastern segment of N Venice Beach Rd adjacent to the Hogg Alley property. There were several concerns expressed at the open house about maintaining access for boats/trailers, as well as for bikes and pedestrians. In addition, there were concerns expressed about emergency services access, adequate street signage, impacts to drainage, installation of a full cul-de-sac in lieu of a "T-turnaround," and unauthorized parking at the dead end of N Venice Beach Rd. Support for the vacation was generally conditional - residents still want a guarantee of some sort of access through this area for various reasons. The feedback received after the open house was generally in opposition of the vacation. A summary of comments is attached for reference.

Village staff discussed this proposal and the feedback at the most recent Plan Staff meeting in early March. Some considerations that were discussed include:

### Benefits

- Potential reduction of business traffic down N Venice Beach Rd
- Create a separation from the business and the residential area
- Provide more parking for Hogg Alley customers

### Disadvantages

- Illegal parking may still occur at dead end of road, blocking access for emergency services vehicles and creating parking enforcement issues for the Police Department
- Access to large delivery trucks, trailers and boats, and pedestrians and bicyclists would be limited/restricted
- Flooding/standing water on N Venice Beach Rd is more of an issue on the east access off of CTH DR

- Snow plowing operations would become more difficult, and storage of snow would be limited
- Planned paving and drainage improvement projects would be delayed (currently planned for 2024)

RECOMMENDATION:

Although the intent of the proposal is to allow more parking and restrict business traffic adjacent to the residential properties on N Venice Beach Rd, staff believes that maintaining this segment of N Venice Beach Rd as a public roadway is in the Village's best interest and recommends that alternatives to privatizing the roadway are considered. Property owners in this area have expressed many concerns, particularly with maintaining some sort of access to CTH DR adjacent to Hogg Alley. Village staff are looking for direction from the Village Board so that staff may provide direction to Mr. and Mrs. Stoll regarding their proposal and to SEH regarding the 2024 road paving program.

ATTACHMENTS:

Public Comments Summary

February 6, 2024 Open House Presentation Slides

FISCAL IMPACT:

To be determined, based on Village Board direction. In general, costs related to the vacation and any related improvements would be the responsibility of the applicant if the vacation is allowed.

RECOMMENDED MOTION:

**Motion to deny the proposal to vacate a portion of N Venice Beach Road and to direct staff to work with the applicant to determine alternate options to provide additional parking for business customers in this area.**

February 6, 2024 Open House Comments

Comments
<p>Lives just north of Hogg Alley. Prefer roadway, but not entirely opposed. Good plan, except for few requested modifications - vacation not extend all the way up to the north end of the LMD property/fire access, but to north end of his property line. Also, prefer a cul-du-sac rather than a hammerhead turnaround (Jeff would need to allow part of his property to do this). Still doesn't understand the chain/gate, why is there a need - plenty of similar roads in Village without.</p>
<p>Owns two properties on N Venice Beach Rd. can't be here, but also lives on N Venice Beach Rd. Would like people here know his concern is that he's opposed to any type of lighting to preserve dark, residential feel of road (e.g. doesn't want to live in a Walmart parking lot). Supports business, but would like as much drainage through culvert under DR as possible.</p>
<p>Generally supports proposal. Couple of general engineering concerns related to emergency access and how it functions. From Village perspective, asks whether No Outlet signage would be placed on other end of road. Questions whether legal access could be allowed for residents to walk through, or to provide access to any large delivery trucks at times when needed. Another Village consideration - parking along DR, will there be more approved? What will happen when lot is full, has safety concerns with parking on DR due to bike trail. Questions how to address issues along DR in general.</p>
<p>Wondering if access for pontoon/trailers that cannot get down road from other end would be allowed - how would this happen? Questions parking in the private road space and still allowing emergency services vehicles and equipment. Would there be a path available down road for pedestrians?</p>
<p>Outside a lot walking on DR, it's really busy with traffic. Would the Village be able to lower the speed limit along this stretch of road? <i>Amy clarified that Waukesha Co Dept. of Public Works has jurisdiction.</i></p>
<p>Generally in favor of what is proposed from a safety standpoint. Up until now, have not seen good law enforcement of illegal parking. Concerned that this hammerhead will create opportunities for parking on dead end. People park right next to No Parking signs currently. Parking has to be enforced, and street signage must be clear along the roadway stating parking restrictions. Also expressed concern with being able to back pontoon boat into their driveway when accessing from the other end of N Venice Beach Rd.</p>
<p>Questions how this proposed plan will impact the timing of new road and drainage improvements. <i>Kamron explained that timing would be impacted, likely pushing into next year. SEH explained drainage improvements project.</i></p>
<p>Seconds issue with backing in with pontoon, stating that he has to come in from the other end of the road. Could access to gate be allowed to every property owner along the roadway? He also has concerns about parking during busy times.</p>
<p>Would like to thank the people with municipality and the engineer - doing a great job. Has a concern regarding timing - drainage was supposed to be completed already. It was his understanding that there is already a plan in place that will improve drainage and roadway, and he is concerned that this proposed project will make situation worse. Cul-du-sac at the end would be necessary, down past the easement. Two of his neighbors mentioned boats and the need to have access through the gate to and turn around boats/trailers. He doesn't want people to be confused by thinking this project is to improve drainage.</p>

**From:** [burst@emailmeform.com](mailto:burst@emailmeform.com) on behalf of  
**To:** [Sarah LaValliere](#)  
**Subject:** Feedback via the Village of Summit - Contact/Comment Form [#601]  
**Date:** Friday, February 9, 2024 10:32:29 AM

---

**Name\*:**

**Email\*:**

**Address\*:**

Oconomowoc, WI 53066

**Contact  
Number\*:**

**Subject\*:** Opposed to Venice Beach Rd Vacation

**Message\*:**

After attending the 2.6.24 meeting on the proposal to vacate a portion of Venice Beach Road and reflecting on the proposal, I would provide the following comments/feedback. (1) Opposed to vacating a portion of Venice Beach Road. (2) Concerned about access to life/property saving services provided by the Village of Summit in case of emergency. (3) Difficulty in trailering/transporting water related equipment on vacated road. (4) Concerned about a potential road flooding situation and accessing my property. (5) Concerned about a safe walking path to the East because of the lack of shoulder on County Road DR. (6) In favor of more parking for Hog Alley customers, and would like to see traffic routed from proposed new parking area to Country Road DR not Venice Beach Road. (7) Concerned about where snow would be plowed if road is vacated.

**From:** [burst@emailmeform.com](mailto:burst@emailmeform.com) on behalf of  
**To:** [Sarah LaValliere](#)  
**Subject:** Feedback via the Village of Summit - Contact/Comment Form [#599]  
**Date:** Friday, February 9, 2024 10:28:20 AM

---

**Name\*:**

**Email\*:**

**Address\*:**

Oconomowoc, WI 53066

**Contact  
Number\*:**

**Subject\*:** Partial Vacation of N. Venice Beach Rd.

**Message\*:**

My wife and I would prefer no changes to the existing street right of way take place leaving it a through roadway.

If by chance a vacation does take place it will be to the great benefit of Jeff Stolls business and of little or no benefit to the neighborhood.

The residents of N. Venice Beach Rd. also pay taxes so we are provided with certain benefits which include the access we have been provided throughout the years.

The proposed vacation can and would probably result in larger crowds and gatherings outside during warm months. Along with more crowds there will be more outside music and drinking creating a noisy and disruptive environment to abutting neighbors .

History has also shown that the Village of Summit Police Department has been very lenient in enforcing regulations broken by Hog Alley and its clientele.

In addition the vacation of the roadway would greatly disrupt the flow of traffic for package delivery, mail, refuse pickup, emergency service, snow removal and maneuvering of boats to and from storage.

**Kamron Nash**

---

**From:** Amy Barrows  
**Sent:** Monday, February 19, 2024 12:49 PM  
**To:** Kamron Nash; Sarah LaValliere  
**Subject:** FW: Village of Summit Open House for a presentation on a proposal to vacate a portion of Venice Beach Road by Jeff Stoll, representative of 2008 N. Venice Beach Road, LLC & 34311 Venice Beach Road, LLC, property owners located at 2008 N. Venice Beach R...

Additional comments related to Venice Beach Road ROW vacation. I think we can add it below the list and reflect the date that the information was provided.

Amy Barrows  
Village Planner  
Village of Summit  
37100 Delafield Road  
Summit, Wisconsin 53066  
262-567-2757  
[planner@summitvillage.org](mailto:planner@summitvillage.org)  
*Hours: Monday, Tuesday, Thursday from 12-3*

**From:**  
**Sent:** Saturday, February 17, 2024 10:58 PM  
**To:** Amy Barrows <[planner@summitvillage.org](mailto:planner@summitvillage.org)>  
**Subject:** RE: Village of Summit Open House for a presentation on a proposal to vacate a portion of Venice Beach Road by Jeff Stoll, representative of 2008 N. Venice Beach Road, LLC & 34311 Venice Beach Road, LLC, property owners located at 2008 N. Venice Beach R...

Hi Amy,

Several of the neighbors let us know that they are opposed to the proposal and gave explanations. We have also learned more information. Based on the above, we are also opposed to the proposal. Such is reflected in our comments below.

Thank you!

\*\*\*\*\*

We are writing to express our concern and opposition to the proposal of installing a chain across Venice Beach Road in our neighborhood and the Village also vacating a portion of road, which appears to be essentially giving that portion of the road to the proponent with no set compensation.. We believe that this chain will create more problems than it will solve, and that it will negatively affect the safety, convenience, and quality of life of the residents and visitors.

Some of the issues that we foresee with the chain are:

- It will slow down the response time of fire and police services, as they will have to remove the chain in case of an emergency, where minutes and even seconds can count, and such delays can create or worsen dangers and even result in injuries or death with resulting litigation and costs to the Village.

- It will hinder the evacuation of people and vehicles in the event of a flood, as the road is the only evacuation route whereas portions of properties in the subdivision, and other portions of the road, are in floodplain.
- It will block access to the nearby restaurant and bar, which, with improvements, is becoming a popular destination for many people in the area.
- It will make it difficult for people to turn around pontoon and other boats, which are commonly used on the lake, along with equipment, trailers, and trucks including those needed for certain deliveries and/or repairs.
- It will force people who want to go for walks to use the nearby dangerous thoroughfare, which does not have a sidewalk or adequate lighting.
- It will **not** prevent people from the bar from using the road, as they can easily go over or under the chain and park illegally on the road, as they have done in the past.
- It will delay the already planned road improvements that are needed to enhance the safety and appearance of the neighborhood.

Therefore, we urge you to reject this bar's suggestion and listen to the wishes of the nearest neighbors and many others in the subdivision and community who are against placing the chain blocking the road (and the vacating a portion of the road/essentially giving it to the proponent). The chain will serve no real purpose and will only cause inconvenience and potential harm to everyone involved.

A similar plan was considered a long time ago. At that time: 1) there were only limited options to reduce or eliminate standing water on the road, and 2) the bar's appearance was not aesthetically pleasing with a crushed rock parking lot without parking lanes and no planned ingress or egress.

On the first issue, it should be noted that the Village has already expended funds and efforts in successfully obtaining a FEMA floodplain Letter of Map Revision (LOMR) allowed for after the CTH P bridge and weir reconstruction. See, FIRM 21-05-1028P-550663; Eff. date: 11/28/2022 available on the Internet at: <https://map1.msc.fema.gov/mipdata/21-05-1028P-550663.pdf?LOC=09eb8315f2e748377bb8043edb7e94ab>

Such has had, or will have, the effect of reducing some difficulties in making road and drainage improvements, increasing safety and appearance of the neighborhood. Under the current plans, standing water can be eliminated on the south portion of the road. The current plans will also result in decreased/reduced issues in other areas of the road.

The Village has already expended funds for planning and engineering for the road improvements. There is no guarantee that the changes the bar is suggesting will reduce costs or drainage issues and such may actually have the opposite effect in both regards. Any changes to the bar and restaurant and/or the bar owner's other property should be considered separately with assurance that they will not increase drainage issues, increase costs to the village or cause problems with safety and appearance of the neighborhood.

On the second issue, we thank the Village, our representatives with the Village, and Village staff regarding recent oversight concerning the bar and restaurant, where despite substantial reductions in permeable service area, an improved aesthetic situation and improved ingress and egress has been created.

We are thankful again for the logical planning, having already been completed allowing for improvements in drainage issues in the near future. We ask the Village to keep the course in such regard so that delays do not cause a waste of funds, efforts and progress already made.

Related to the above: we have been open to requests for an temporary easement to use our property for staging and use of equipment and for falling of the very large trees (some several feet in circumference) to allow for construction of a drainage pipe or swale at the 20 foot section between the bar property and our property. We understand such is needed to complete the road repairs and drainage improvements. We have been waiting for final plans and for a request, which may have been delayed based on the proposal. We ask that the proposal be rejected and for that project to be expedited so that we can review details and the request for temporary easement for approval. If further assistance is needed in those or other regards, please let us know.

Thank you for your attention and cooperation.

## Amy Barrows

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**From:**  
**Sent:** Sunday, February 11, 2024 9:42 AM  
**To:** Amy Barrows  
**Subject:** Possible Vacation of part N. Venice Beach Rd.  
**Attachments:** 20240211\_091957.jpg

Hello  
Attached is a drawing showing modifications to the proposal by Jeff Stoll for the subject vacation. My wife and I strongly feel these modifications are warranted based on past activity.  
The modified proposal drawing has been submitted to Jeff Stoll for his review.  
This is being submitted for your review as the Village will be making final approval. If you have any questions, please contact me,

LOT 72  
MAP OF VENICE BEACH

LOT 73  
MAP OF VENICE BEACH

LOT 24  
MAP OF VENICE BEACH



NEW LANDSCAPE  
SCREENING  
ADD LIGHT TO  
EXISTING POLE



EXISTING GARAGE TO  
REMAIN

NEW LIGHT  
POLES

(10) PARKING SPACES

(11) PARKING SPACES

(31) TOTAL NEW  
PARKING SPACES

VENICE BEACH ROAD (50' WIDE)

(10) PARKING SPACES

INDICATED LOCATION  
EXISTING SPACES

SYNTHETIC  
TURF

NEW  
ADDITION

72" TALL FENCE  
KITCHEN SCREENING  
REFER TO DETAIL THIS  
PAGE

72" TALL  
ENCLOSURE

DUMPSTER  
PAD

72" TALL  
WOOD  
FENCE

PATIO AT  
PARKING LEVEL  
THIS SIDE

EXISTING UTILITY POLE AND  
TELEPHONE BOX LOCATION  
TO REMAIN. PROTECT WITH  
CONCRETE BOLLARD.

FUTURE ENTRANCE  
SIGN. ON POLE REFER  
TO 1/A.400 PROVIDE  
12" DIA CONCRETE  
BASE

7'-0"  
POLE CENTER

NEW DRIVEWAY ACCESS

REMOVED GARAGE

NEW GARAGE

TURN-AROUND SPACE

CHAIN CLOSURE  
WITH SIGNAGE

N87°00'00"E 150.50'

N87°00'00"E

CONTINUE FENCE

PRIVATE R/W  
MAP OF VENICE BEACH

BUILDING CORNER  
IS ON LOT LINE

(PLATED AS 152')  
152.26'

20.00' BZ  
20.00' BZ  
20.00' BZ

140.38'

NO  
TURF

N63°09'43"W  
33.21'

GRASS

TOWER

GRASS

RIGHT OF WAY

ARC = 189.78°

# Proposal to Vacate a Portion of Venice Beach Road

Village of Summit Open House

2/6/2024



# Village Road Vacation Process

- Applicant will need to complete engineering to ensure that turnaround improvements will not impact drainage
  - Drainage will also be addressed as part of any improvements proposed on private property
- Applicant will need to modify plans to enlarge turnaround area as requested by Fire Department and to provide public road access to all properties, including the lake management district property
- Applicant will need to process the road vacation
  - Resolution introduced at Village Board
  - Review and recommendation of resolution by Plan Commission
  - Public hearing held by Village Board (45-day public notice period and all impacted parties individually notified)
  - Village Board review of Plan Commission report, take action on resolution
  - Record resolution at Waukesha County Register of Deeds

# Village Review Process for Private Property Improvements

- Applicant will be required to combine lots, including area of road vacation, with a Certified Survey Map
  - Requires Plan Commission and Village Board action
- Applicant will need to request a text amendment and rezoning to allow a mix of commercial and residential uses on a single property
  - Requires Plan Commission and Village Board action
  - Village's Land Use Plan already accommodates mixed uses
- Applicant will need Site Development approval for any improvements to property, including parking, lighting, and landscaping
  - Requires Plan Commission approval

# Village Considerations

- Public road access is required to all properties
- Public access required during flooding
- Emergency vehicle access required at all times
- Access will need to meet Village road standards, including 24 ft. wide pavement
- Turnaround will need to accommodate public works and emergency vehicles and necessary snow storage
- Compliance with floodplain regulations required
- Applicant will be required to address drainage concerns and comply with stormwater requirements
- Road vacation could prevent commercial traffic on Venice Beach Road
- Road vacation would reduce costs to the Village for pavement installation and maintenance

# Comments/Feedback

- 1) Verbal Comments during Open House
- 2) Written comments should be submitted prior to February 11th
- 3) Additional opportunity for comments during the formal road vacation process and as part of the application to amend the zoning ordinance.

<https://summitvillage.org/contact-us/>



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

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## MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 8, 2024

Re: Discussion and Action on 2024 Road Paving Program Bid Documents and Advertisement for Proposals

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### PURPOSE:

To request Village Board approval of the bid documents completed by the Village Engineer, SEH, for the 2024 Village of Summit Paving Program and to authorize advertisement for proposals.

### BACKGROUND:

SEH has completed the bid package for the Village's 2024 Road Paving Program. The cost estimates have been updated to more accurately reflect existing conditions of the roadways, as well as costs of recent bid opening results in our area. The Village and SEH are recommending that all roads approved in the 2024 CIP and budget are included in the advertisement for bids as follows:

#### Base Bid:

S Waterville Road (USH 18 to Village limit)  
Elm Street (CTH P to termini), including sewer relocation at 34369 Elm Street (SUD2 budget)  
Sugar Island Road (CTH P to terminus)  
Oak Openings (CTH P to terminus)  
N North Drive (CTH DR to terminus)  
N Peninsula Road (CTH DR to terminus)  
Hartwell Place (CTH P to Mariner Cir)  
Mariner Cir (CTH P to Hartwell Pl)

The construction estimate for these four road segments is \$453,593.44, including a 5% contingency. Note that the sewer relocation on Elm Street will utilize SUD2 funds at an estimated cost of \$25,000, which was included in the 2024 budget for the utility district.

#### Alternate Bid No. 1:

N Venice Beach Road (CTH DR to CTH DR), including drainage improvements

This road and associated drainage improvements have been included in the bid as an alternate. Due to the ongoing consideration of vacation of a portion of this roadway and pending easements for the drainage improvements project, this work may or may not be completed in 2024. The construction estimate for this work is \$155,816.38, including a 5% contingency.

The total updated estimated cost for all work is summarized below:

<b>Description</b>	<b>Estimated Total Cost (Construction &amp; Engineering)</b>	<b>Approved 2024 Budget</b>
Road Improvements (Base Bid)	\$486,123	\$510,000
Road & Drainage Improvements (Alternate Bid No. 1 – N Venice Beach Rd)	\$170,634	\$164,000
<b>Total Borrowed Funds</b>	<b>\$656,757</b>	<b>\$674,000</b>
Sanitary Sewer Relocation – 34369 Elm St	\$25,000	\$25,000
<b>Total SUD2 Operating Funds</b>	<b>\$25,000</b>	<b>\$25,000</b>
<b>Total 2024 Road Program</b>	<b>\$681,757</b>	<b>\$699,000</b>

Village staff recommends that the Village Board approve the bidding documents for the 2024 Road Paving Program as prepared and authorize SEH to advertise for proposals.

**ATTACHMENTS:** Cost Estimate for Village of Summit 2024 Road Paving Program  
Construction Plans for Village of Summit 2024 Road Paving Program  
(electronic packet only)

**FISCAL IMPACT:** To be determined, based on bid results. The 2024 approved budget for this work is \$674,000 in borrowed funds for the paving program and \$25,000 in Summit Utility District No. 2 operating funds for the sanitary relocation work on Elm Street.

**RECOMMENDED MOTION:** **Motion to approve the bidding documents for the 2024 Road Paving Program as prepared by SEH and to authorize SEH to proceed with advertisement for proposals.**



# Construction Cost Estimate

2024 Road Paving Program  
 Village of Summit  
 SEH No.: 176655  
 March 8, 2024

Item No.	Description	Unit	QTY	Unit Price	Total
<b>S. Waterville Road (USH 18 to Village Limit)</b>					
305.0500	Aggregate Shoulders (2') and Drives	LF	2,700	\$ 2.00	\$ 5,400.00
330.0100	Mill (2") Existing Pavement/Shoulder and Remove Material	SY	4,725	\$ 2.75	\$ 12,993.75
455.0600	Tack Coat	SY	4,125	\$ 0.15	\$ 618.75
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	TN	600	\$ 76.00	\$ 45,600.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	TN	25	\$ 125.00	\$ 3,125.00
465.0310	Asphaltic Mountable Curb	LF	100	\$ 2.50	\$ 250.00
643.5000	Traffic Control	LS	1	\$ 1,000.00	\$ 1,000.00
646.1020	Marking Line Epoxy 4-Inch (Yellow)	LF	2,680	\$ 4.00	\$ 10,720.00
<b>Subtotal, S. Waterville Road:</b>					<b>\$ 79,707.50</b>

<b>Elm Street (S. Sawyer Road to Termini)</b>					
305.0500	Aggregate Shoulders (2') and Drives	LF	4,570	\$ 2.00	\$ 9,140.00
330.0100	Mill (1.5") Existing Pavement/Shoulder and Remove Material	SY	7,000	\$ 2.75	\$ 19,250.00
455.0600	Tack Coat	SY	5,975	\$ 0.15	\$ 896.25
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	TN	875	\$ 76.00	\$ 66,500.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	TN	45	\$ 125.00	\$ 5,625.00
465.0315	Asphalt Surface Flume	EA	1	\$ 750.00	\$ 750.00
611.8110	Adjust Manhole Casting	EA	1	\$ 800.00	\$ 800.00
611.8115	Adjust Valve Box	EA	8	\$ 200.00	\$ 1,600.00
643.5000	Traffic Control	LS	1	\$ 1,500.00	\$ 1,500.00
999.1000	SUD2 Sewer Relocation @ 34369 Elm St	LS	1	\$ 25,000.00	\$ 25,000.00
<b>Subtotal, Elm Street:</b>					<b>\$ 131,061.25</b>

<b>Sugar Island Road (S. Sawyer Road to Terminus)</b>					
305.0500	Aggregate Shoulders (2') and Drives	LF	2,080	\$ 2.00	\$ 4,160.00
330.0100	Mill (1.5") Existing Pavement/Shoulder and Remove Material	SY	2,550	\$ 2.75	\$ 7,012.50
455.0600	Tack Coat	SY	2,100	\$ 0.15	\$ 315.00
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	TN	325	\$ 76.00	\$ 24,700.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	TN	15	\$ 125.00	\$ 1,875.00
611.8110	Adjust Manhole Casting	EA	1	\$ 800.00	\$ 800.00
611.8115	Adjust Valve Box	EA	4	\$ 200.00	\$ 800.00
643.5000	Traffic Control	LS	1	\$ 1,500.00	\$ 1,500.00
<b>Subtotal, Sugar Island Road:</b>					<b>\$ 41,162.50</b>



# Construction Cost Estimate

2024 Road Paving Program  
 Village of Summit  
 SEH No.: 176655  
 March 8, 2024

Item No.	Description	Unit	QTY	Unit Price	Total
<b>Oak Openings (S. Sawyer Road to Terminus)</b>					
204.0100	Remove Concrete Driveway	SY	20	\$ 20.00	\$ 400.00
305.0500	Aggregate Shoulders (2') and Drives	LF	1,100	\$ 2.00	\$ 2,200.00
330.0100	Mill (1.5") Existing Pavement/Shoulder & Remove Material	SY	2,200	\$ 2.75	\$ 6,050.00
455.0600	Tack Coat	SY	1,950	\$ 0.15	\$ 292.50
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	TN	300	\$ 76.00	\$ 22,800.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	TN	15	\$ 125.00	\$ 1,875.00
643.5000	Traffic Control	LS	1	\$ 1,000.00	\$ 1,000.00
<b>Subtotal, Oak Openings:</b>					<b>\$ 34,617.50</b>

<b>N Lake Drive (CTH DR to Terminus)</b>					
305.0500	Aggregate Shoulders (1') and Drives	LF	1,070	\$ 2.00	\$ 2,140.00
330.0100	Mill (1.5") Existing Pavement/Shoulder & Remove Material	SY	1,100	\$ 3.00	\$ 3,300.00
455.0600	Tack Coat	SY	925	\$ 0.15	\$ 138.75
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	TN	175	\$ 76.00	\$ 13,300.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	TN	10	\$ 125.00	\$ 1,250.00
611.8110	Adjust Manhole Casting	EA	2	\$ 800.00	\$ 1,600.00
643.5000	Traffic Control	LS	1	\$ 1,000.00	\$ 1,000.00
<b>Subtotal, N Lake Drive:</b>					<b>\$ 22,728.75</b>

<b>N. North Drive (Delafield Road to Terminus)</b>					
305.0500	Aggregate Shoulders (1') and Drives	LF	500	\$ 2.00	\$ 1,000.00
330.0100	Mill (1.5") Existing Pavement/Shoulder & Remove	SY	550	\$ 3.00	\$ 1,650.00
455.0600	Tack Coat	SY	500	\$ 0.15	\$ 75.00
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	TN	100	\$ 76.00	\$ 7,600.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	TN	10	\$ 125.00	\$ 1,250.00
611.8110	Adjust Manhole Casting	EA	1	\$ 800.00	\$ 800.00
643.5000	Traffic Control	LS	1	\$ 1,000.00	\$ 1,000.00
<b>Subtotal, N. North Drive:</b>					<b>\$ 13,375.00</b>

<b>N. Peninsula Road (Delafield Road to Terminus)</b>					
305.0500	Aggregate Shoulders (1') and Drives	LF	950	\$ 2.50	\$ 2,375.00
330.0100	Mill (1.5") Existing Pavement/Shoulder & Remove	SY	825	\$ 2.75	\$ 2,268.75
455.0600	Tack Coat	SY	725	\$ 0.15	\$ 108.75
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	TN	150	\$ 76.00	\$ 11,400.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	TN	15	\$ 125.00	\$ 1,875.00
465.0105	Asphalt Shouldering	LF	35	\$ 10.00	\$ 350.00
611.8115	Adjust Valve Box	EA	8	\$ 200.00	\$ 1,600.00
643.5000	Traffic Control	LS	1	\$ 1,200.00	\$ 1,200.00
646.7520	Marking Stop Line Epoxy 18-Inch (White)	LF	10	\$ 25.00	\$ 250.00
<b>Subtotal, N. Peninsula Road:</b>					<b>\$ 21,427.50</b>



# Construction Cost Estimate

2024 Road Paving Program  
 Village of Summit  
 SEH No.: 176655  
 March 8, 2024

Item No.	Description	Unit	QTY	Unit Price	Total
<b>Hartwell Place (N. Sawyer Road to Mariner Circle)</b>					
305.0500	Aggregate Shoulders (2') and Drives	LF	1,600	\$ 2.00	\$ 3,200.00
330.0100	Mill (1.5") Existing Pavement and Shoulder & Remove	SY	2,400	\$ 2.75	\$ 6,600.00
455.0600	Tack Coat	SY	2,000	\$ 0.15	\$ 300.00
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	TN	315	\$ 76.00	\$ 23,940.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	TN	15	\$ 125.00	\$ 1,875.00
643.5000	Traffic Control	LS	1	\$ 1,000.00	\$ 1,000.00
<b>Subtotal, Hartwell Place:</b>					<b>\$ 36,915.00</b>
<b>Mariner Circle (N. Sawyer Road to Hartwell Place)</b>					
305.0500	Aggregate Shoulders (2') and Drives	LF	2,575	\$ 2.00	\$ 5,150.00
330.0100	Mill (1.5") Existing Pavement/Shoulder & Remove	SY	3,500	\$ 2.75	\$ 9,625.00
455.0600	Tack Coat	SY	2,825	\$ 0.15	\$ 423.75
460.5225	HMA Pavement 5 LT 58-28 S (2.5")	TN	425	\$ 76.00	\$ 32,300.00
460.5225A	HMA Pavement 5 LT 58-28 S - Base Patch	TN	20	\$ 125.00	\$ 2,500.00
643.5000	Traffic Control	LS	1	\$ 1,000.00	\$ 1,000.00
<b>Subtotal, Mariner Circle:</b>					<b>\$ 50,998.75</b>
<b>Total Base Bid</b>					<b>\$ 431,993.75</b>



# Construction Cost Estimate

2024 Road Paving Program  
 Village of Summit  
 SEH No.: 176655  
 March 8, 2024

Item No.	Description	Unit	QTY	Unit Price	Total
<b>Alternate No. 1: N. Venice Beach Road (Delafield Road to Delafield Road)</b>					
201.0100	Clearing & Grubbing	LS	1	\$ 15,000.00	\$ 15,000.00
203.0100	Remove Pipe Culvert	EA	1	\$ 750.00	\$ 750.00
204.0125	Remove Excess Material	CY	80	\$ 25.00	\$ 2,000.00
205.0105	Drainage Excavation	LF	705	\$ 30.00	\$ 21,150.00
205.0110	Base Repair	CY	100	\$ 60.00	\$ 6,000.00
305.0500	Aggregate Shoulders (2') and Drives	LF	1,900	\$ 2.50	\$ 4,750.00
325.0100	Pulverize and Shape Existing Pavement	SY	2,475	\$ 3.00	\$ 7,425.00
455.0605	Tack Coat	SY	2,275	\$ 0.15	\$ 341.25
460.5223	HMA Pavement 3LT 58-28 S	TN	350	\$ 70.00	\$ 24,500.00
460.5225	HMA Pavement 5 LT 58-28 S	TN	210	\$ 80.00	\$ 16,800.00
465.0120	Asphalt Surface for Drives and Approaches	TN	50	\$ 125.00	\$ 6,250.00
521.1012	Apron End Section Steel 12"	EA	2	\$ 500.00	\$ 1,000.00
521.3112	Culvert Pipe Corrugated Aluminized Steel 12-Inch	LF	45	\$ 70.00	\$ 3,150.00
611.3015	Nyloplast Drain Basin 15-Inch	EA	1	\$ 2,500.00	\$ 2,500.00
611.8115	Adjust Valve Box	EA	4	\$ 200.00	\$ 800.00
612.0406	Underdrain Cleanout 6-Inch	EA	3	\$ 1,000.00	\$ 3,000.00
612.0408	Pipe Underdrain Wrapped 6-Inch	LF	335	\$ 25.00	\$ 8,375.00
628.1504	Silt Fence	LF	25	\$ 10.00	\$ 250.00
628.2002	Restoration Class I Type A No. 40 Seed Mix	SY	1015	\$ 6.00	\$ 6,090.00
628.7504	Temporary Ditch Checks - Sediment Logs	LF	40	\$ 13.00	\$ 520.00
632.0101	Trees Arborvitae 5-Foot	EA	20	\$ 350.00	\$ 7,000.00
643.5000	Traffic Control	LS	1	\$ 1,000.00	\$ 1,000.00
999.2000	Privacy Fencing, Cedar Wood	LF	60	\$ 50.00	\$ 3,000.00
<b>Subtotal, Alternate No. 1: N. Venice Beach Road:</b>					<b>\$ 141,651.25</b>

<b>Project Cost Summary:</b>	
Total Road Paving Project Base Bid	\$ 431,993.75
Alternate No. 1 : N. Venice Beach Road Total	\$ 141,651.25
Subtotal of Projects	<u>\$ 573,645.00</u>
Contingency (5%)	\$ 28,682.25
Engineering and Construction Services Road Paving Program	\$ 57,530.00
Engineering and Construction Services for Venice Beach Road	<u>\$ 21,900.00</u>
<b>Overall Project Total</b>	<b>\$ 681,757.25</b>

<b>Village Budget:</b>	
Road Improvements and Storm Sewer Improvements (Venice Beach Rd.)	\$ 674,000.00
Sanitary Sewer Improvements (Elm St.)	<u>\$ 25,000.00</u>
<b>Overall Village Project Budget</b>	<b>\$ 699,000.00</b>

# VILLAGE OF SUMMIT, WI

## CONSTRUCTION PLANS FOR

### 2024 ROAD PAVING PROGRAM

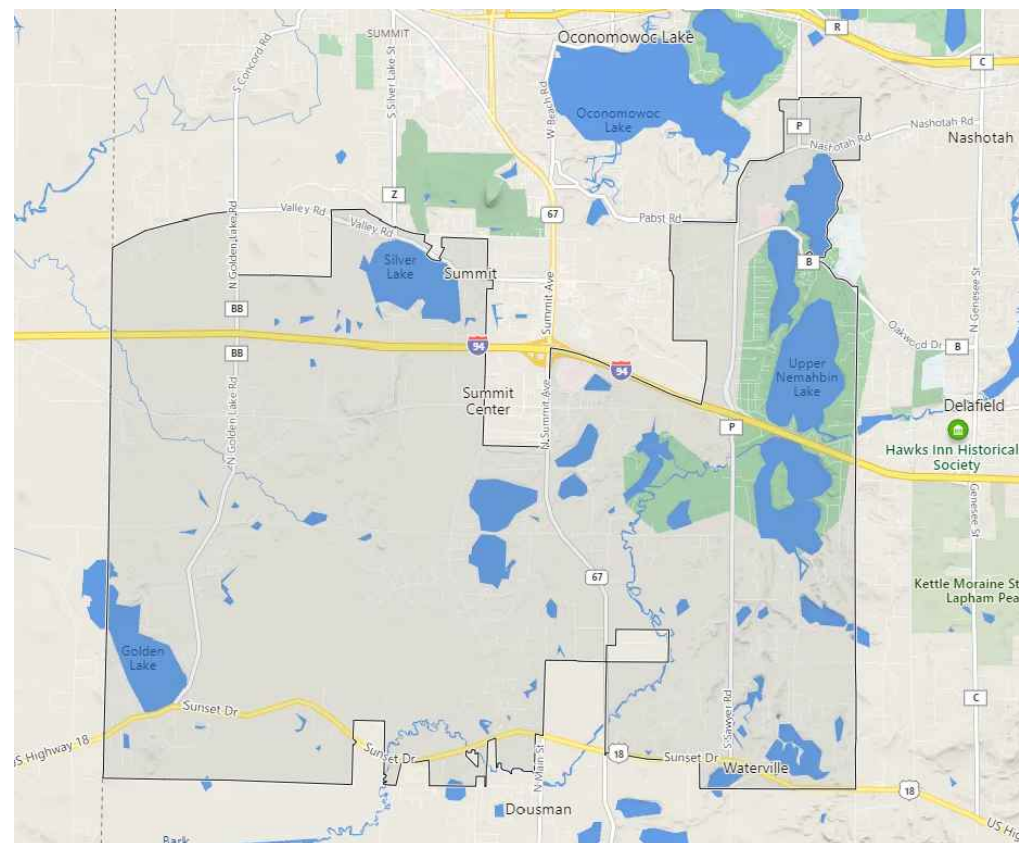
SUMMV176655

## SHEET SET

### INDEX

SHEET NO.	DESCRIPTION
1	TITLE
2	LOCATIONS
3	DETAILS
4	S. WATERVILLE ROAD
5	ELM STREET
6	ELM STREET (2)
7	SUGAR ISLAND ROAD
8	OAK OPENING
9	N. LAKE DRIVE
10	N. NORTH DR. & N. PENINSULA RD.
11	HARTWELL PLACE & MARINERS CIRCLE
12	VENICE BEACH ROAD SITE PLAN
13	VENICE BEACH ROAD PLAN & PROFILE
14	VENICE BEACH ROAD PLAN & PROFILE
15	VENICE BEACH ROAD DETAILS
16	VENICE BEACH ROAD TYPICAL SECTIONS

### PROJECT LOCATION



### EXISTING

- RIGHT OF WAY
- PERMANENT EASEMENT
- PROPERTY LINE
- △<sup>XX</sup> HORIZONTAL CONTROL POINT
- ×<sup>BM</sup> BENCHMARK
- <sup>#</sup> SURVEY MARKER
- SOIL BORING
- SANITARY SEWER AND MANHOLE
- LIFT FORCE MAIN AND LIFT STATION
- SANITARY SEWER SERVICE & CLEANOUT
- WATER MAIN, HYDRANT, VALVE AND MANHOLE
- WATER SERVICE AND CURB STOP BOX
- STORM SEWER, MANHOLE AND CATCH BASIN
- CULVERT AND APRON ENDWALL
- GAS MAIN, VALVE, VENT AND METER
- HANDHOLE
- BURIED FIBER OPTIC CABLE AND MANHOLE
- BURIED PHONE CABLE, PEDESTAL AND MANHOLE
- BURIED TV CABLE, PEDESTAL AND MANHOLE
- BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
- P-OH OVERHEAD WIRE, POLE AND GUY WIRE
- ★ LIGHT POLE
- ⊠ TRAFFIC SIGNAL
- ⊠ STREET NAME SIGN
- ⊠ SIGN (NON STREET NAME)
- ||||| RAILROAD TRACKS
- DECIDUOUS AND CONIFEROUS TREE
- BUSH / SHRUB AND STUMP
- EDGE OF WOODED AREA
- WET WETLAND
- ▭ BUILDING
- × FENCE (UNIDENTIFIED)
- × BARBED WIRE FENCE
- XC CHAIN LINK FENCE
- XE ELECTRIC WIRE FENCE
- XWD WOOD FENCE
- XWW WOVEN WIRE FENCE
- ▭ PLATE BEAM GUARDRAIL
- ▭ CABLE GUARDRAIL
- POST / BOLLARD
- ▭ RETAINING WALL

### PROPOSED

- STREET CENTERLINE
- RIGHT-OF-WAY
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- CONSTRUCTION LIMITS
- SANITARY SEWER, BULKHEAD AND MANHOLE
- FM FORCE MAIN
- CO SANITARY SERVICE AND CLEANOUT
- WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
- WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
- WATER SERVICE AND CURB STOP BOX
- STORM SEWER, MANHOLE AND CATCH BASIN
- CULVERT AND APRON ENDWALL
- DRAIN TILE
- DITCH / SWALE
- RIPRAP
- ⊠ STREET NAME SIGN
- ⊠ SIGN (NON STREET NAME)
- ▭ RETAINING WALL

### CONTACTS

#### WE ENERGIES (ELECT)

EMERGENCIES: 800-662-4797  
 ERIC KICKHAVER 414-944-5917  
 GERARD HEJLIK 262-968-5771

#### WE ENERGIES (GAS)

EMERGENCIES: 800-261-5325  
 JACOB SPENCER 262-968-7009

#### BRIGHTSPEED/CENTURY LINK TELEPHONE

EMERGENCIES: 800-824-2877  
 JAMES WINTER: 262-392-5210

#### SPECTRUM/CHARTER CABLE

EMERGENCIES: 800-644-8328  
 BEAU ABUYA: 414-908-1343  
 NEAL LONG: 414-277-4271

#### AT&T COMMUNICATION

EMERGENCIES: 800-288-2020  
 JOHN MCCHESENEY: 414-678-2455

#### VILLAGE OF SUMMIT

DEPT. OF PUBLIC WORKS  
 KAMRON NASH: 262-567-2757

NOTE:  
 THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

THE CONTRACTOR SHALL CALL THE WISCONSIN ONE CALL SYSTEM AT 811 BEFORE COMMENCING EXCAVATION.



Know what's below.  
 Call before you dig.

SUMMIT, WI

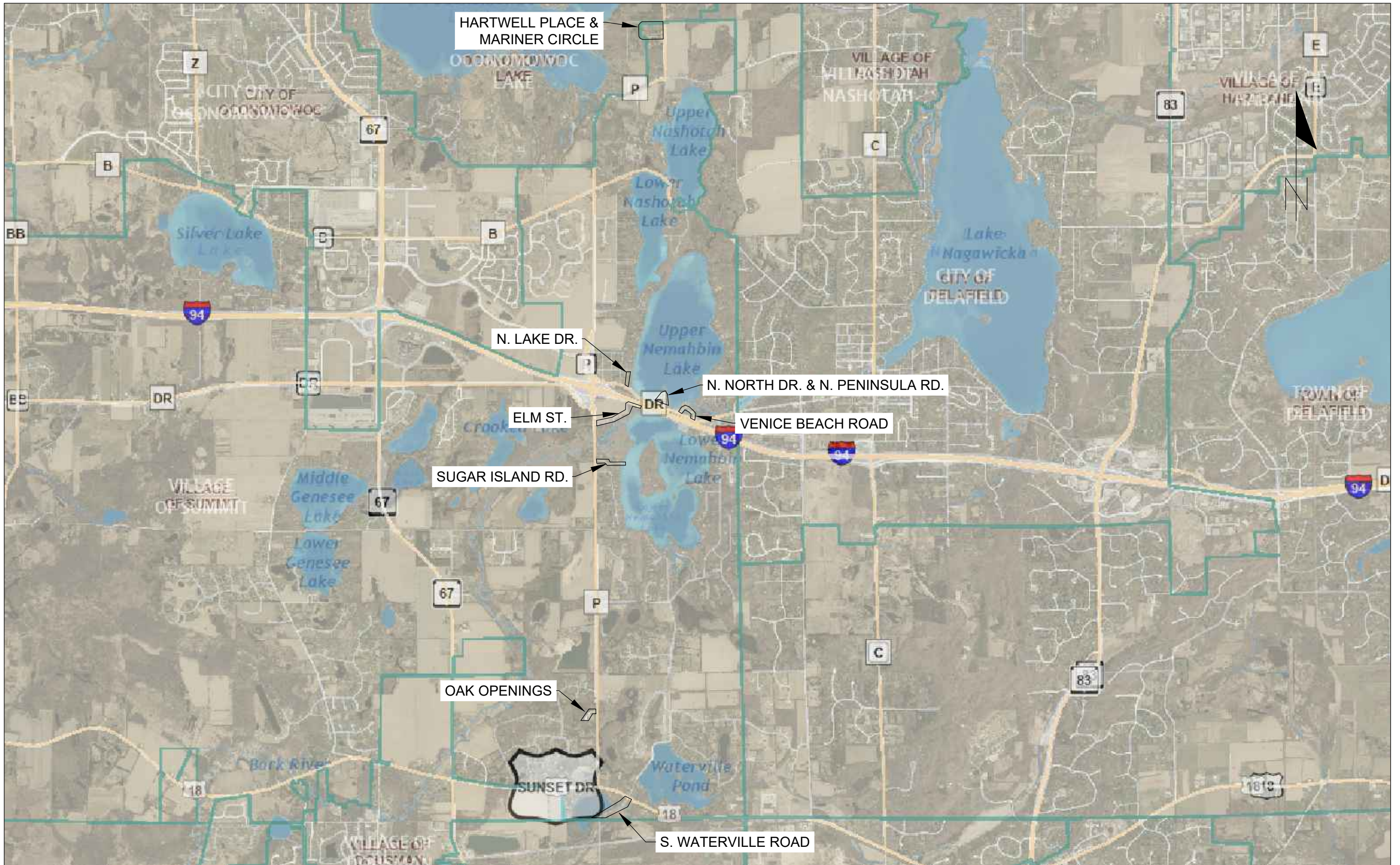


PROJECT NO.

SUMMV176655

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of 16



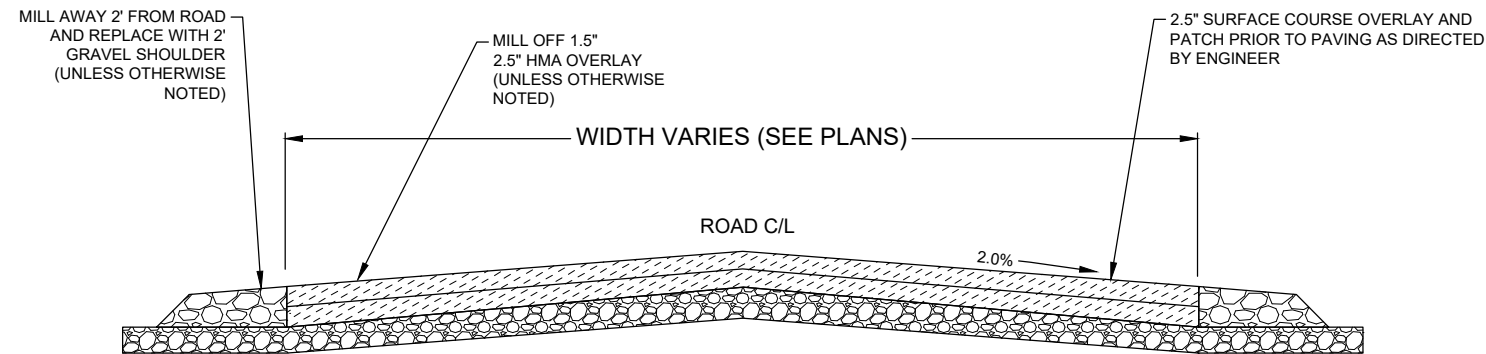
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SEH Project	SUMM176655	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	SMY						
Designed By	RWM						
Checked By	RWM						



**2024 ROAD PAVING PROGRAM**  
VILLAGE OF SUMMIT

**PROJECT LOCATIONS**



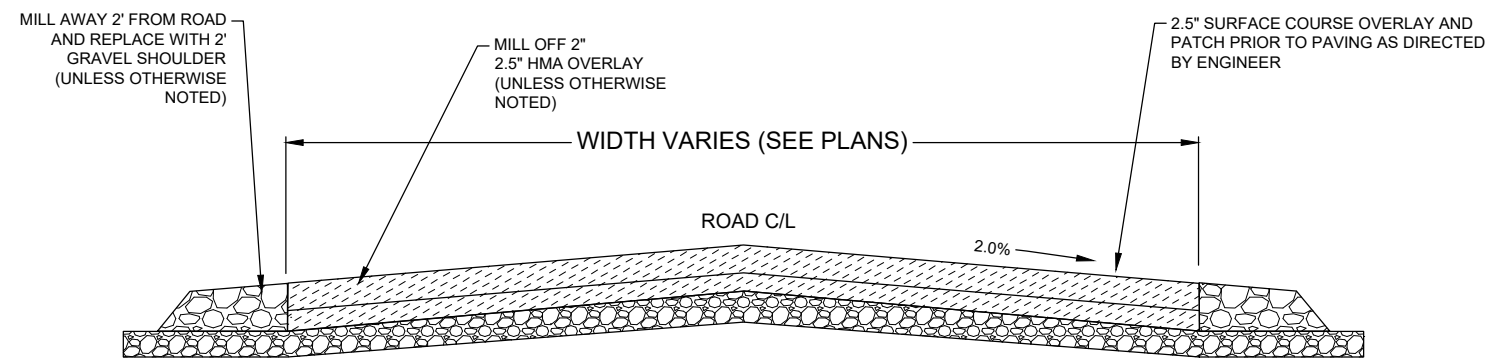
**TYPICAL RURAL CROSS SECTION MILL & OVERLAY**  
 ELM STREET, SUGAR ISLAND ROAD, OAK OPENINGS, N.  
 LAKE DRIVE, N. NORTH DRIVE, N. PENINSULA ROAD,  
 HARTWELL PLACE & MARINER CIRCLE

**GENERAL PAVING NOTES:**

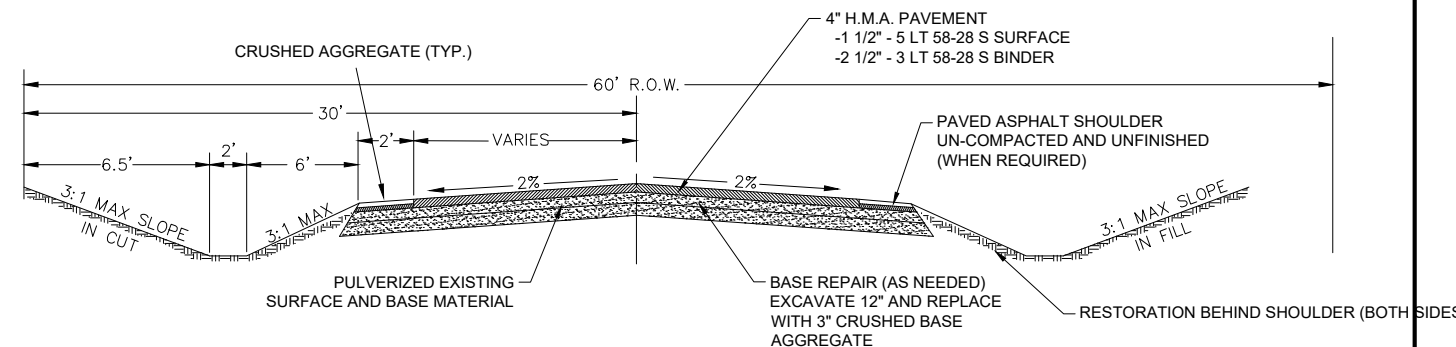
1. STANDARD SPECIFICATIONS: ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF:
  - A. STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND REVISIONS, TO DATE, OR UNLESS OTHERWISE SPECIFIED IN THE VILLAGE OF SUMMIT SPECIFICATIONS.
2. CRUSHED AGGREGATE BASE COURSE:
  - A. BASE COURSE THICKNESS AND COMPOSITION SHALL BE AS SHOWN ON THE TYPICAL SECTION STANDARD DETAILS.
  - B. CRUSHED LIMESTONE MAY BE SUBSTITUTED FOR CRUSHED GRAVEL ONLY UPON APPROVAL OF THE CITY ENGINEER.
5. HOT MIX ASPHALT PAVEMENT:
  - A. SURFACE COURSE SHALL BE TYPE 5 LT 58-28 S, UNLESS OTHERWISE SPECIFIED.
  - B. MINIMUM REQUIRED DENSITY SHALL BE IN ACCORDANCE WITH CHAPTER 460 OF THE WISDOT STANDARD SPECIFICATIONS.
  - C. TACKCOAT IS REQUIRED BEFORE ALL OVERLAYS

**CONSTRUCTION SEQUENCING:**

1. OBTAIN ALL NECESSARY PERMITS AND PRIVATE ACCESS PERMISSION.
2. INSTALL ALL TEMPORARY EROSION & SEDIMENTATION CONTROL MEASURES PER PLAN (IF APPLICABLE).
3. REMOVE EXISTING PAVEMENT VIA SPECIFIED PULVERIZATION OR MILLING METHODS. RESHAPE PULVERIZED ROADWAY.
4. PERFORM ANY PATCHING AS DIRECTED BY THE ENGINEER.
5. PERFORM ADJUSTMENT TO INLETS, MANHOLES, OR VALVE BOXES.
6. COMPLETE ASPHALT PAVEMENT.
7. FINAL RESTORATION OF THE DISTURBED AREAS.
8. ONCE VEGETATION HAS BEEN ESTABLISHED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER OBTAINING APPROVAL FROM COUNTY.



**TYPICAL RURAL CROSS SECTION MILL & OVERLAY**  
 S. WATERVILLE ROAD



**TYPICAL RURAL CROSS SECTION - PULVERIZE (ROAD WIDTH VARIES)**

(NOT TO SCALE)  
 ROADWAY PROPOSED WIDTH  
 VENICE BEACH ROAD VARIES

Save: 2/28/2024 11:15 AM sycos Plot: 2/28/2024 11:20 AM X:\P\T\S\SUMM\176655-1-final-dsgn\151-drawings\10-civil\card\dwg\sheet\SU176655-TL&DET.dwg

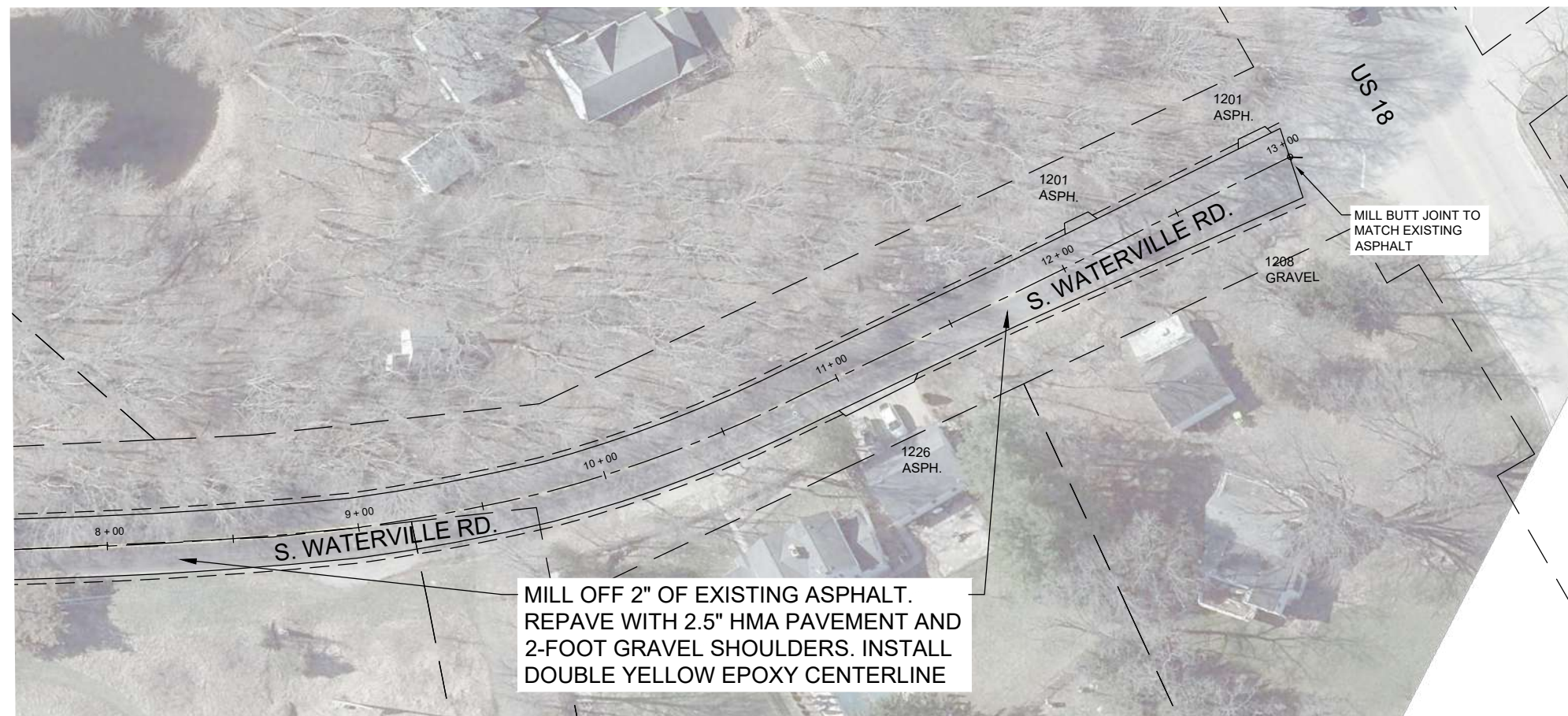
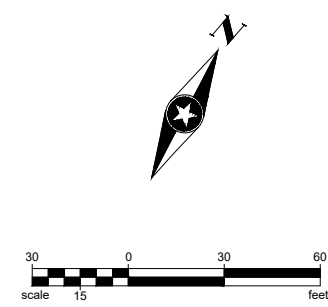
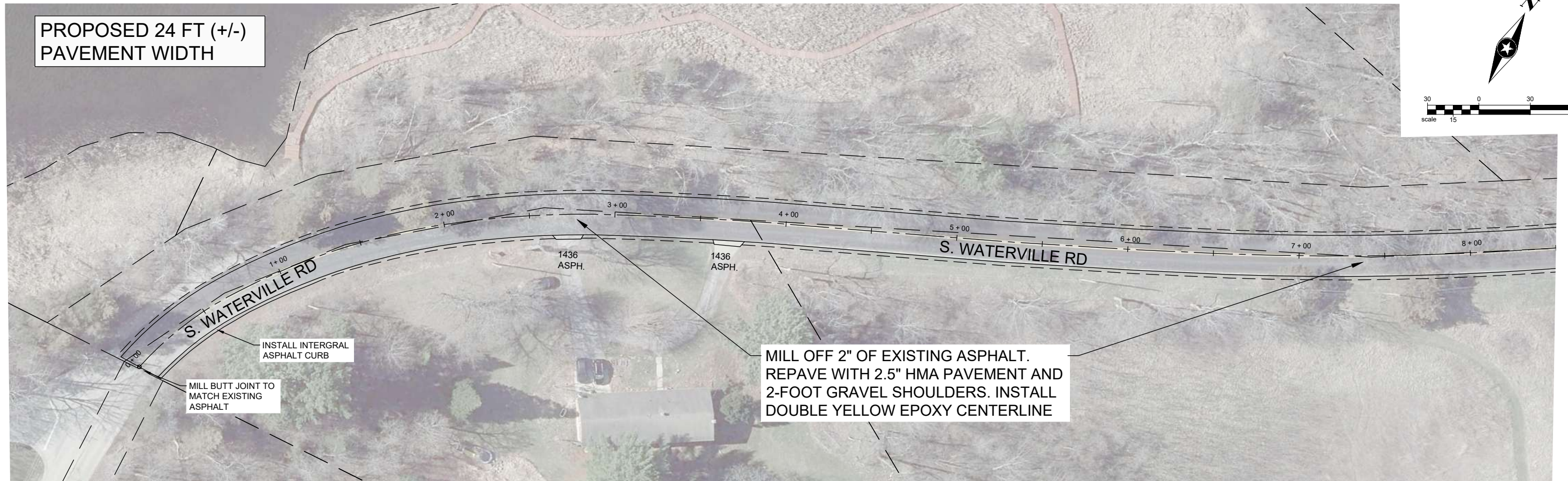
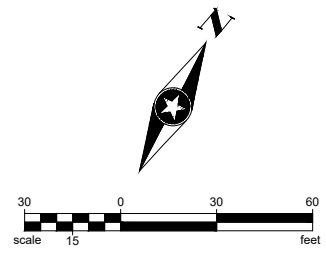
SEH Project	SUMMV176655	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	SMY						
Designed By	RWM						
Checked By	RWM						



2024 ROAD PAVING PROGRAM  
 VILLAGE OF SUMMIT

DETAILS

PROPOSED 24 FT (+/-)  
PAVEMENT WIDTH



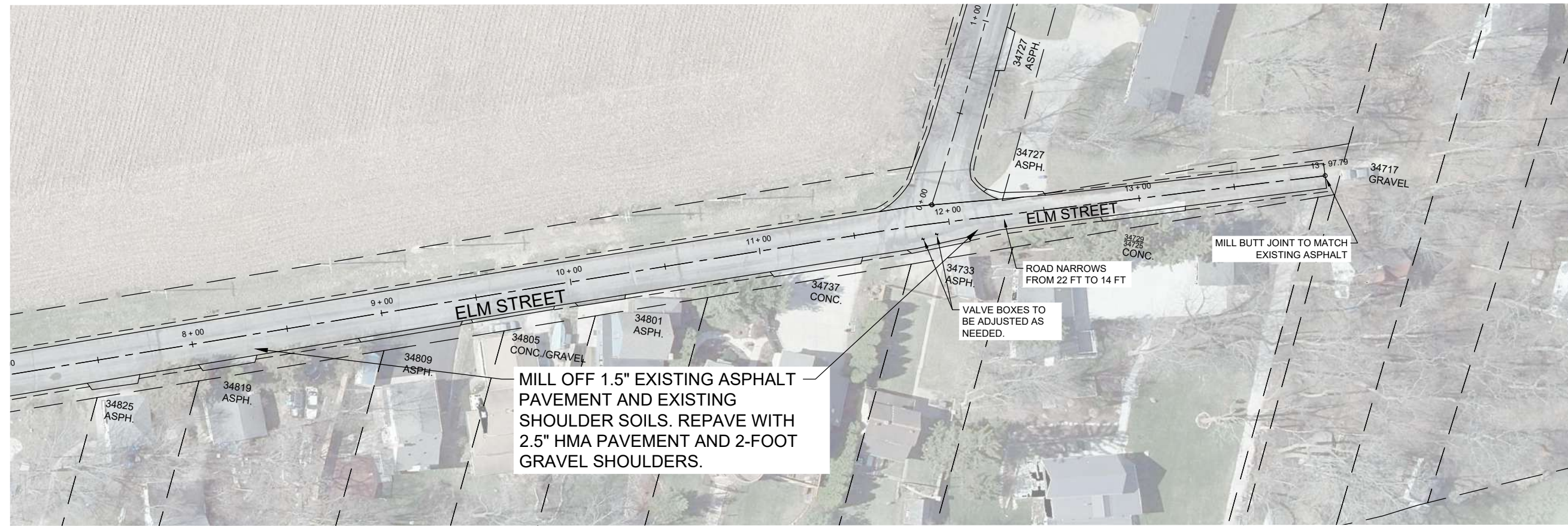
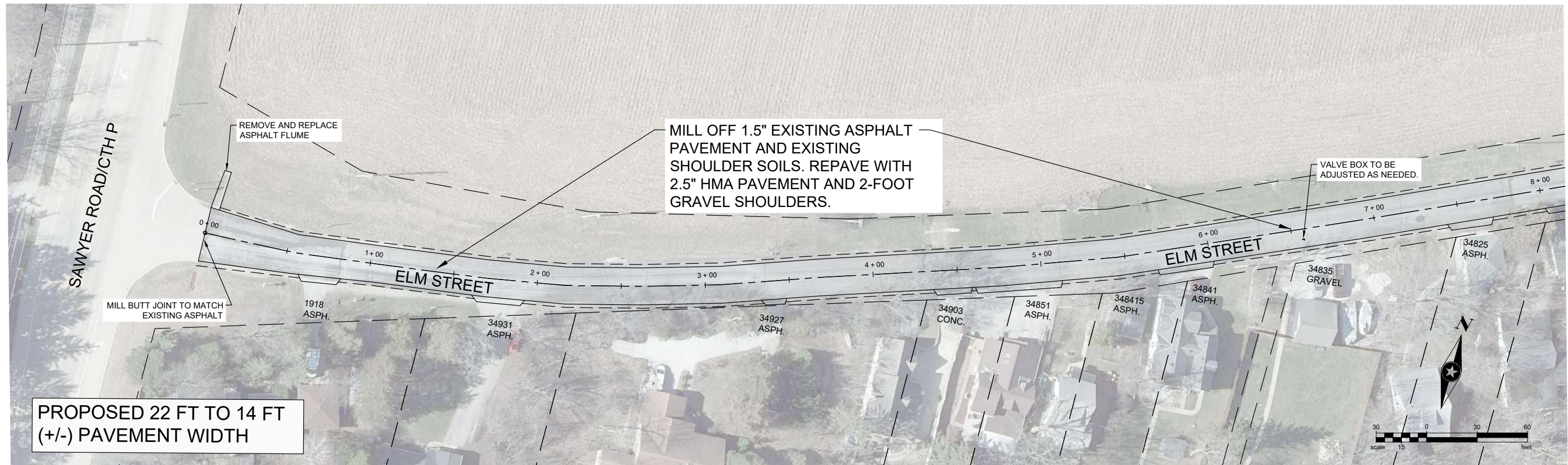
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Designed By	RWM	#	#	#	#	#	#
Checked By	RWM	#	#	#	#	#	#



2024 ROAD PAVING PROGRAM  
VILLAGE OF SUMMIT

S. WATERVILLE RD



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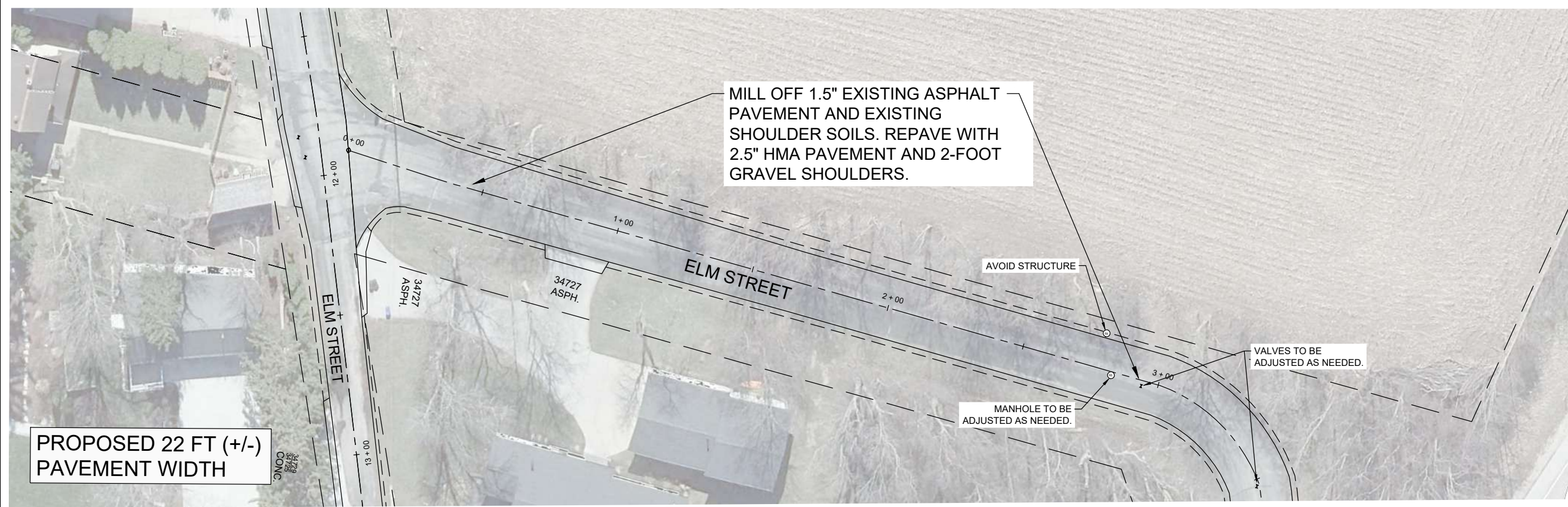
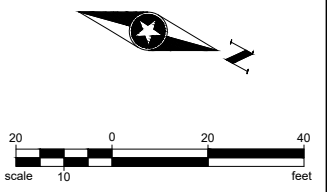


2024 ROAD PAVING PROGRAM  
VILLAGE OF SUMMIT

ELM ST (1)

MILL OFF 1.5" EXISTING ASPHALT PAVEMENT AND EXISTING SHOULDER SOILS. REPAVE WITH 2.5" HMA PAVEMENT AND 2-FOOT GRAVEL SHOULDERS.

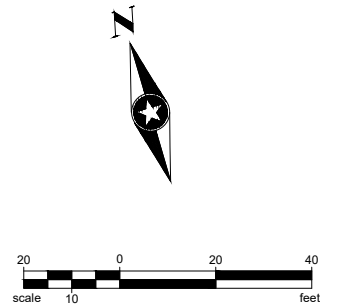
PROPOSED 22 FT (+/-) PAVEMENT WIDTH



MILL OFF 1.5" EXISTING ASPHALT PAVEMENT AND EXISTING SHOULDER SOILS. REPAVE WITH 2.5" HMA PAVEMENT AND 2-FOOT GRAVEL SHOULDERS.

REMOVE EXISTING PRESSURE SEWER CLEANOUT VALVES & VALVE BOXES. REMOVE FROM PROPERTY AND INSTALL NEW VALVES & VALVE BOXES WITHIN ROAD R.O.W.

MILL BUTT JOINT TO MATCH EXISTING ASPHALT



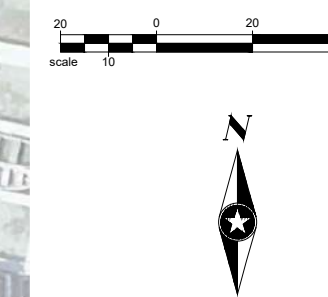
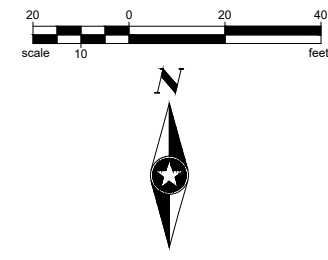
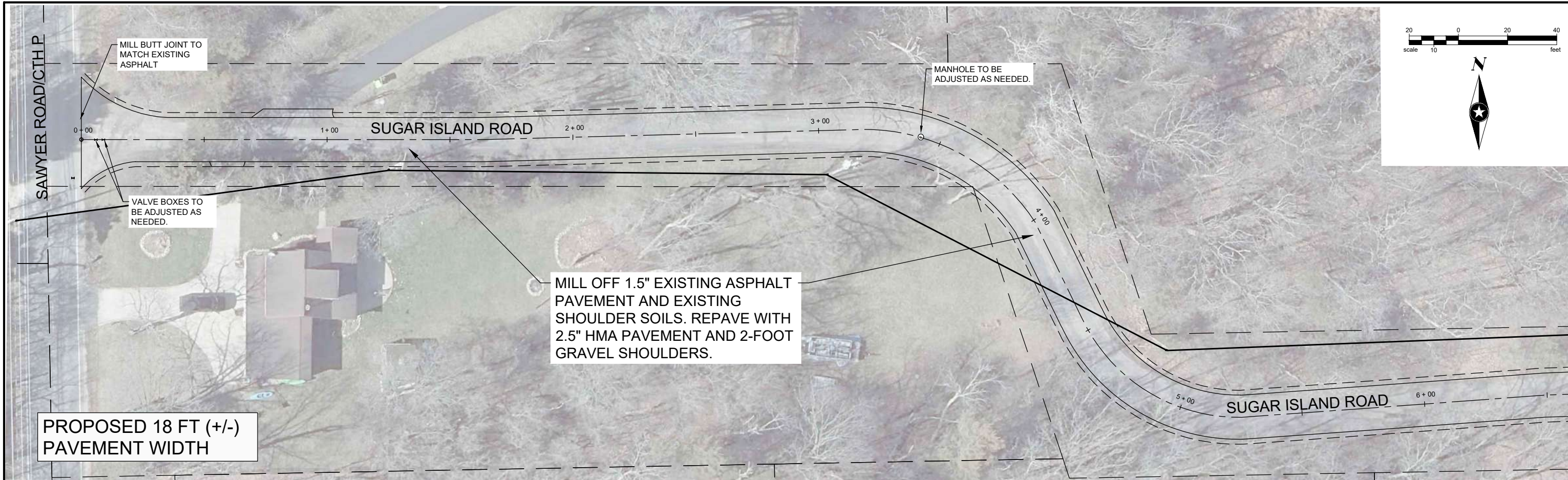
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Drawn By	SMY	#	#	#	#	#	#
Designed By	RWM	#	#	#	#	#	#
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2024 ROAD PAVING PROGRAM  
VILLAGE OF SUMMIT

ELM ST (2)



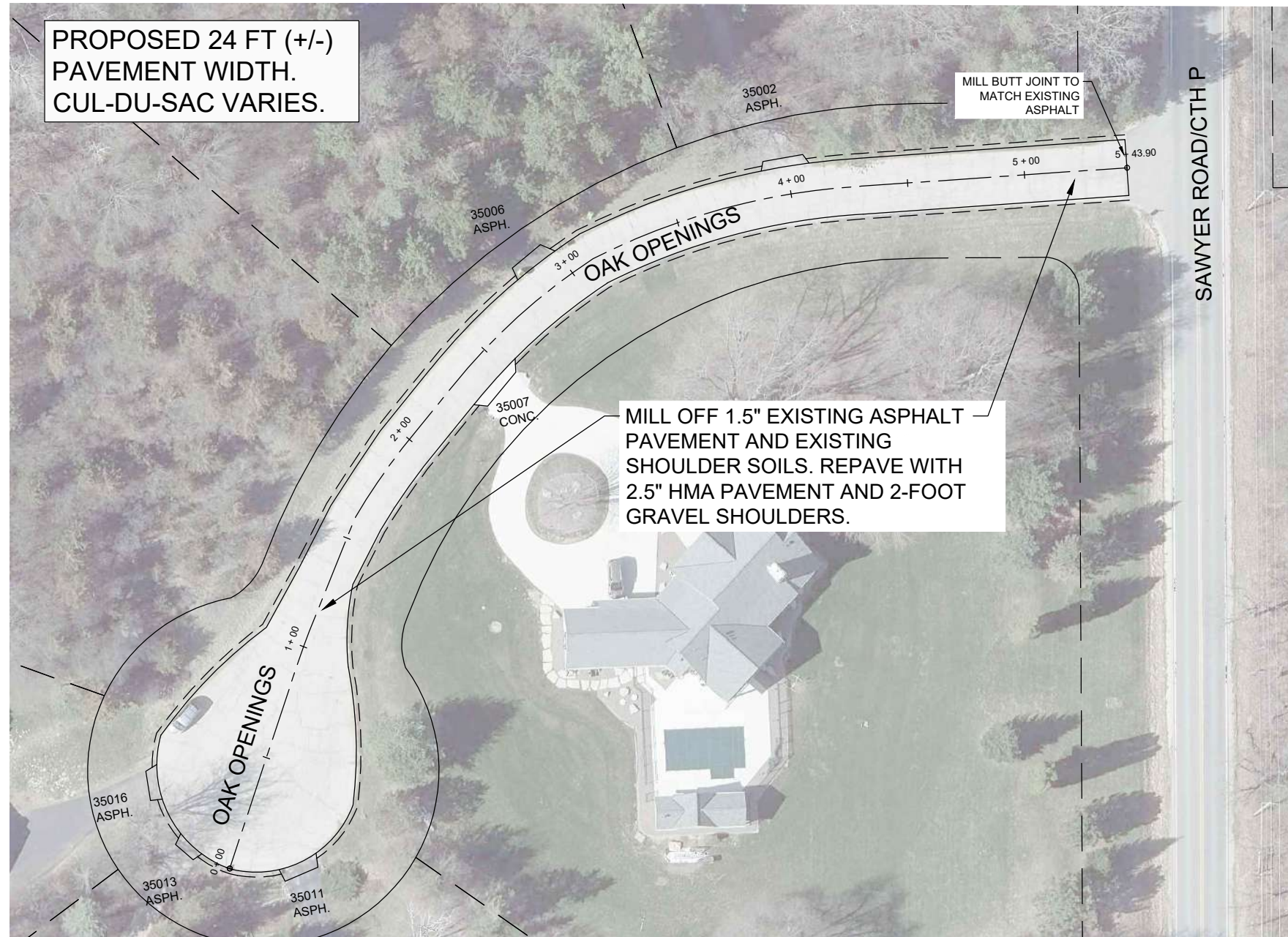
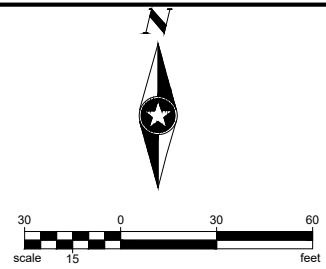
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Designed By	RWM	#	#	#	#	#	#
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**2024 ROAD PAVING PROGRAM**  
VILLAGE OF SUMMIT

**SUGAR ISLAND RD**



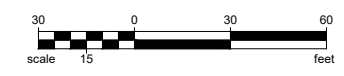
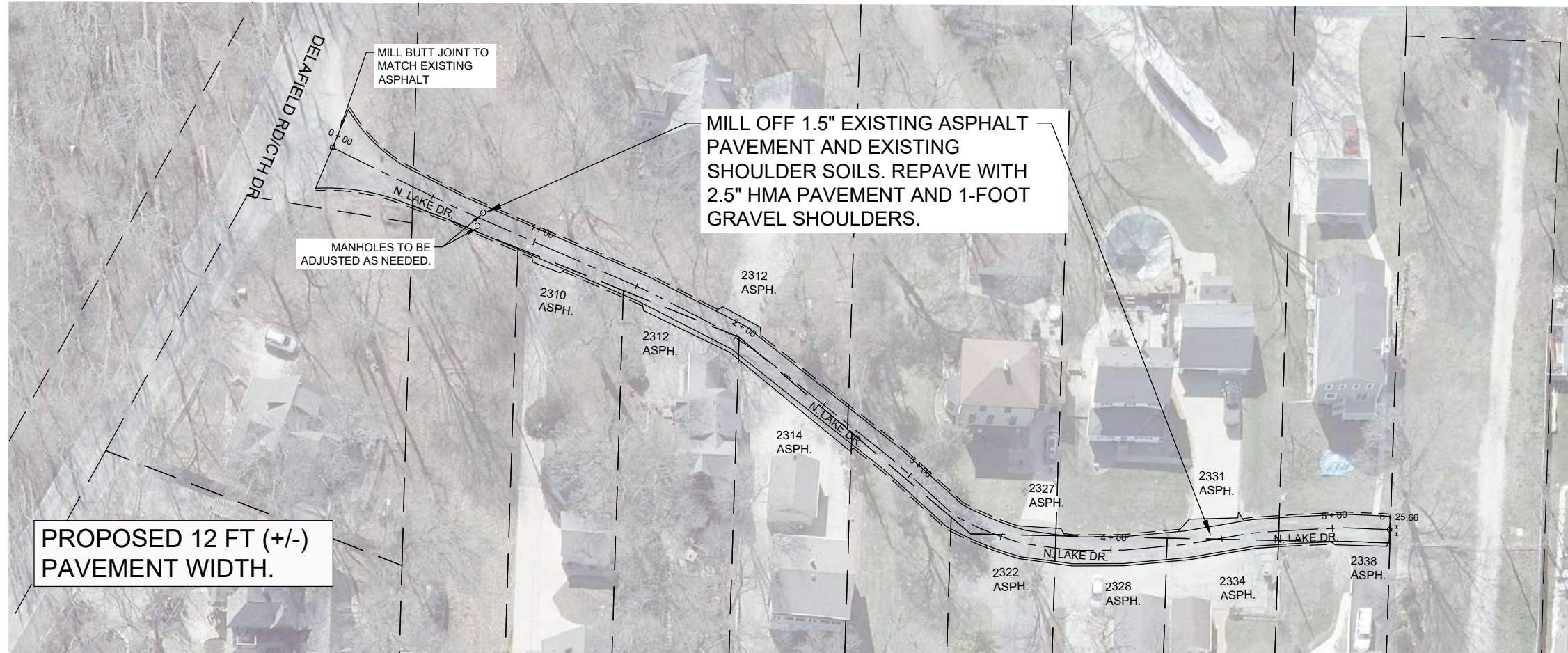
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Designed By	RWM	#	#	#	#	#	#
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2024 ROAD PAVING PROGRAM  
VILLAGE OF SUMMIT

OAK OPENINGS



**PROPOSED 12 FT (+/-) PAVEMENT WIDTH.**

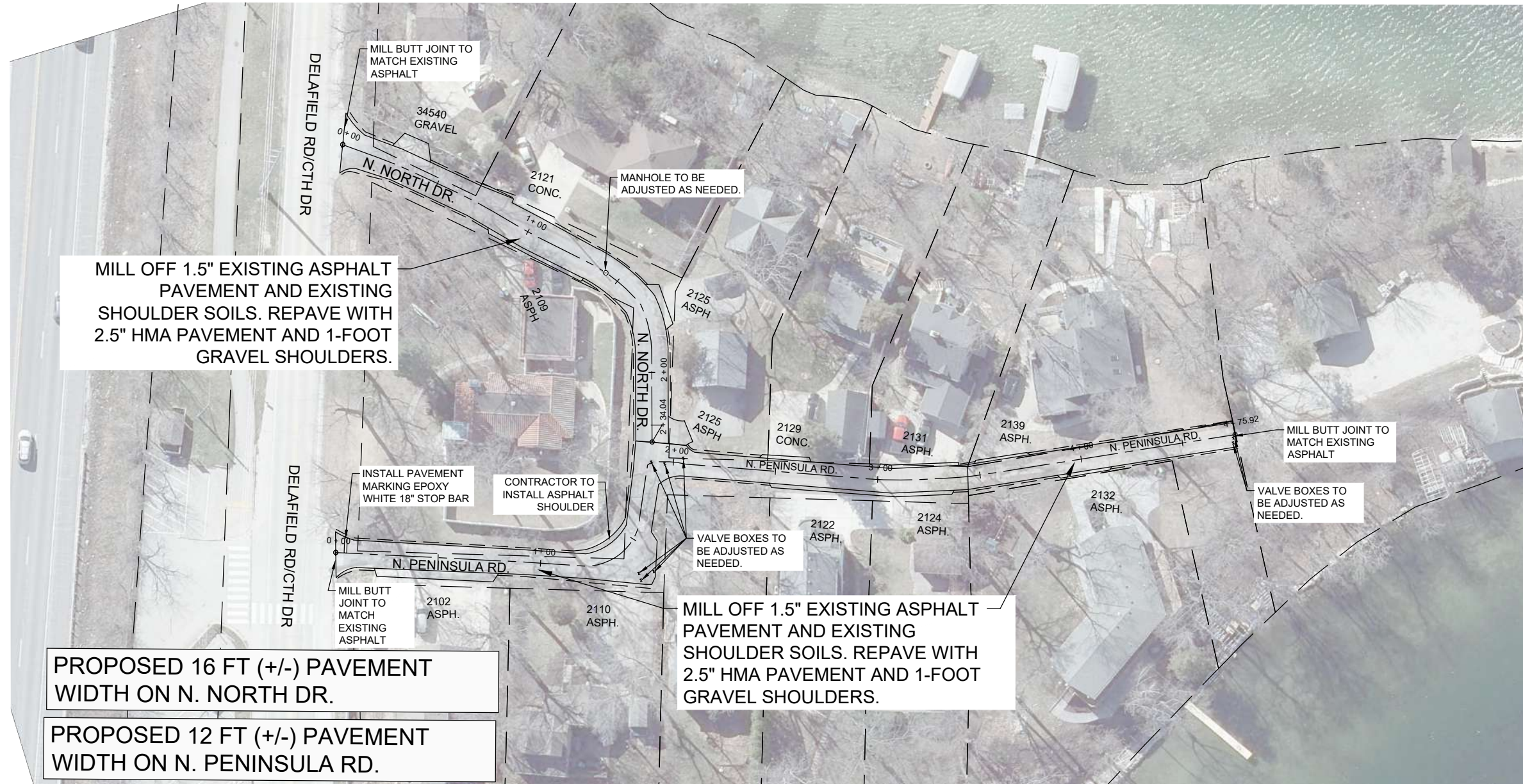
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Drawn By	SMY	#	#	#	#	#	#
Designed By	RWM	#	#	#	#	#	#
Checked By	RWM	#	#	#	#	#	#



**2024 ROAD PAVING PROGRAM**  
VILLAGE OF SUMMIT

**N LAKE DRIVE**



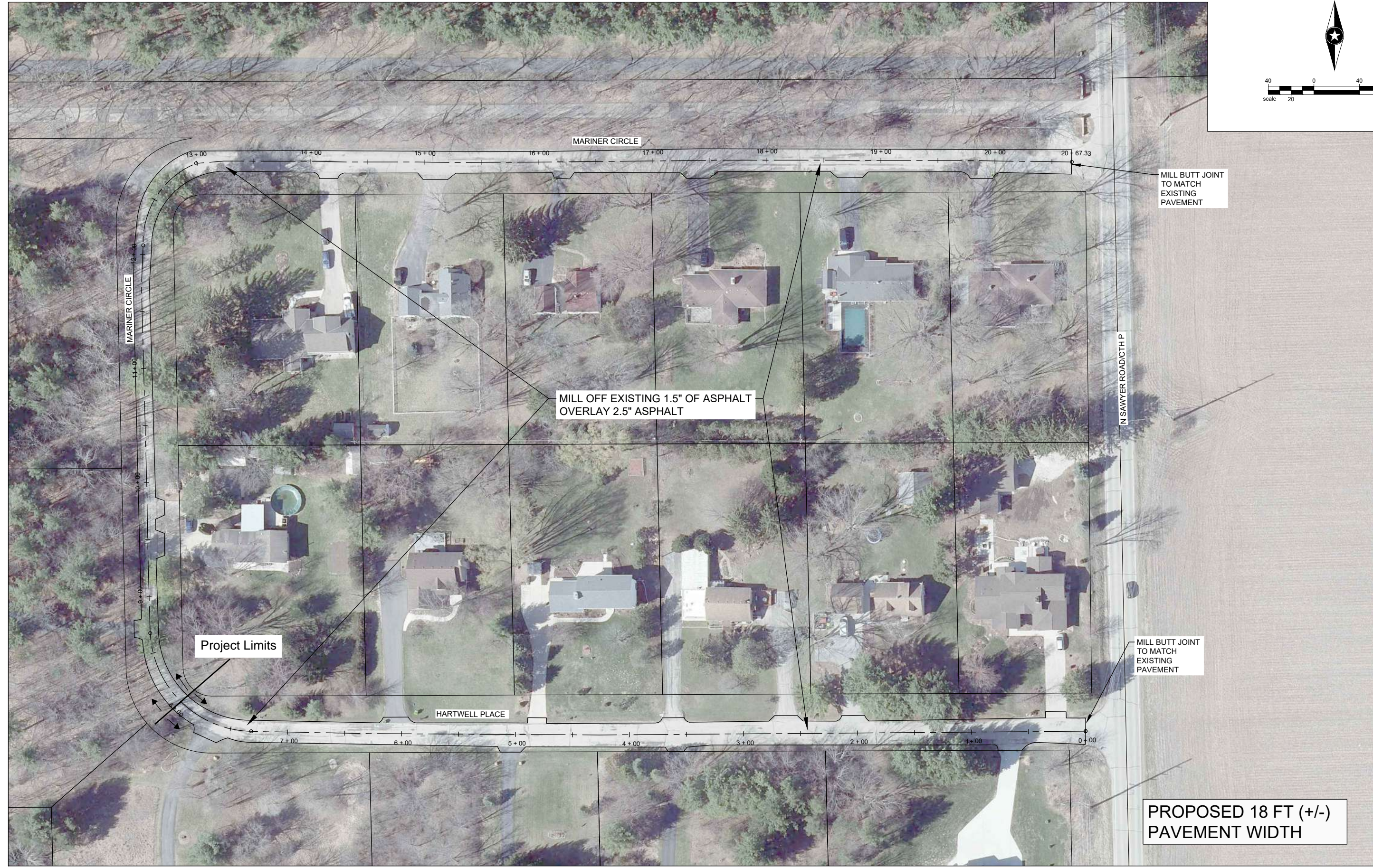
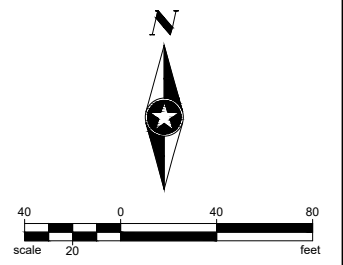
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Designed By	RWM	#	#	#	#	#	#
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2024 ROAD PAVING PROGRAM  
VILLAGE OF SUMMIT

N NORTH DRIVE  
N PENINSULA DRIVE



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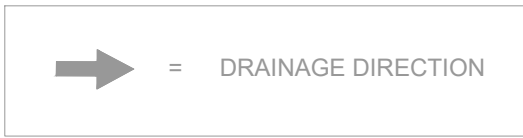
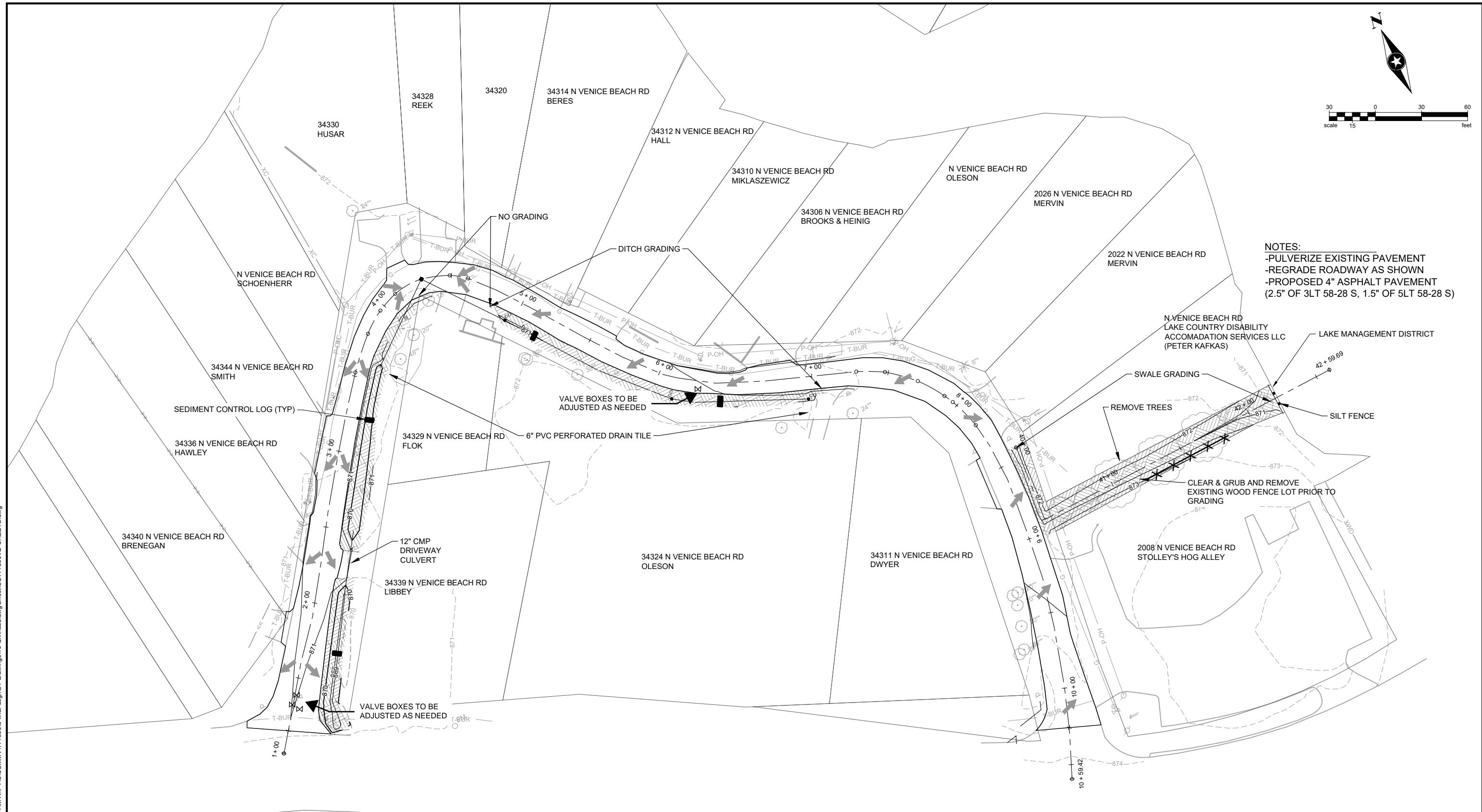


**2024 ROAD PAVING PROGRAM**  
VILLAGE OF SUMMIT, WI

**HARTWELL PLACE & MARINER CIRCLE**



**NOTES:**  
 -PULVERIZE EXISTING PAVEMENT  
 -REGRADE ROADWAY AS SHOWN  
 -PROPOSED 4" ASPHALT PAVEMENT  
 (2.5" OF 3LT 58-28 S, 1.5" OF 5LT 58-28 S)



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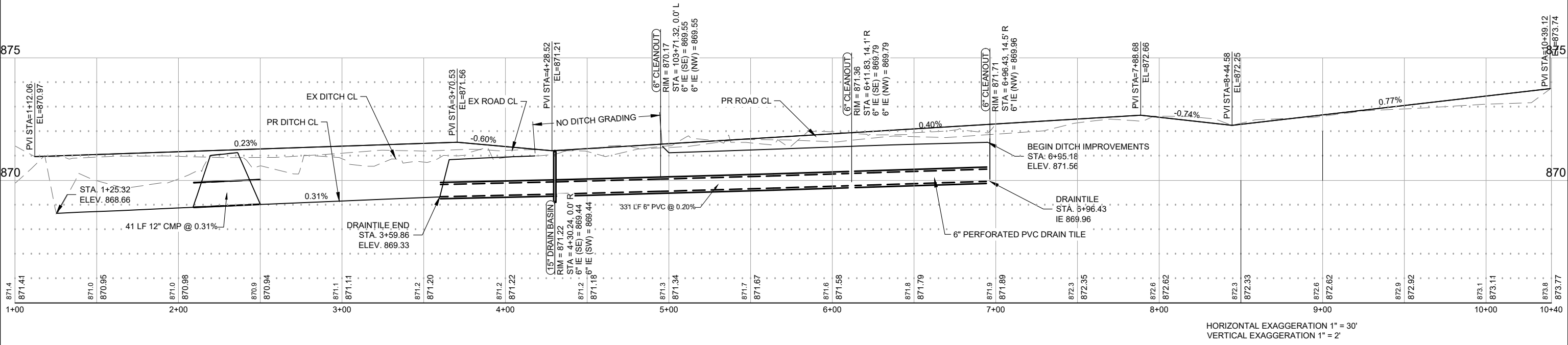
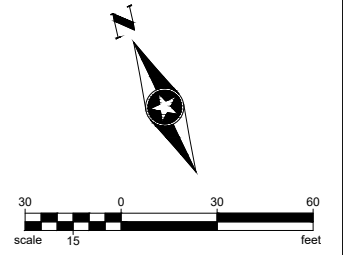
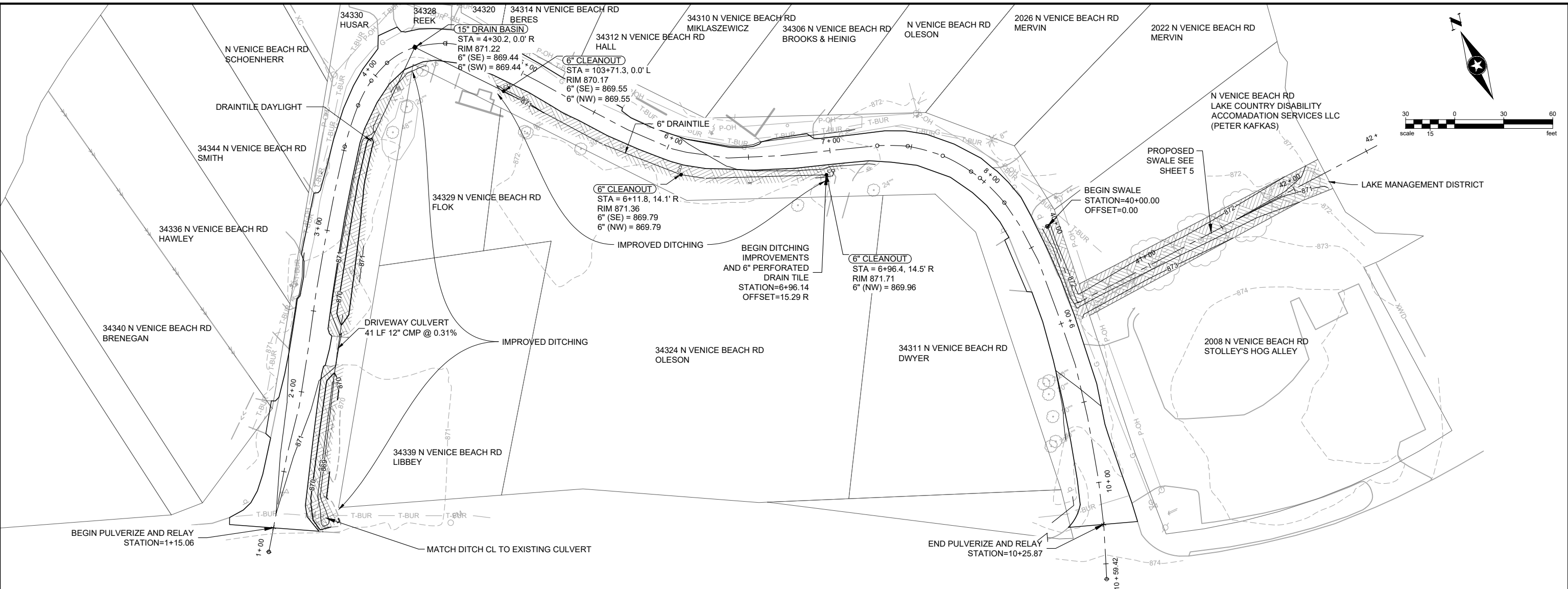
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Designed By	MPC						
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2024 ROAD PAVING PROGRAM  
 VILLAGE OF SUMMIT, WI

**VENICE BEACH ROAD SITE PLAN**

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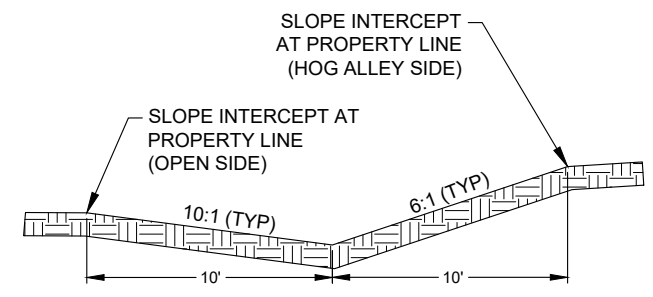
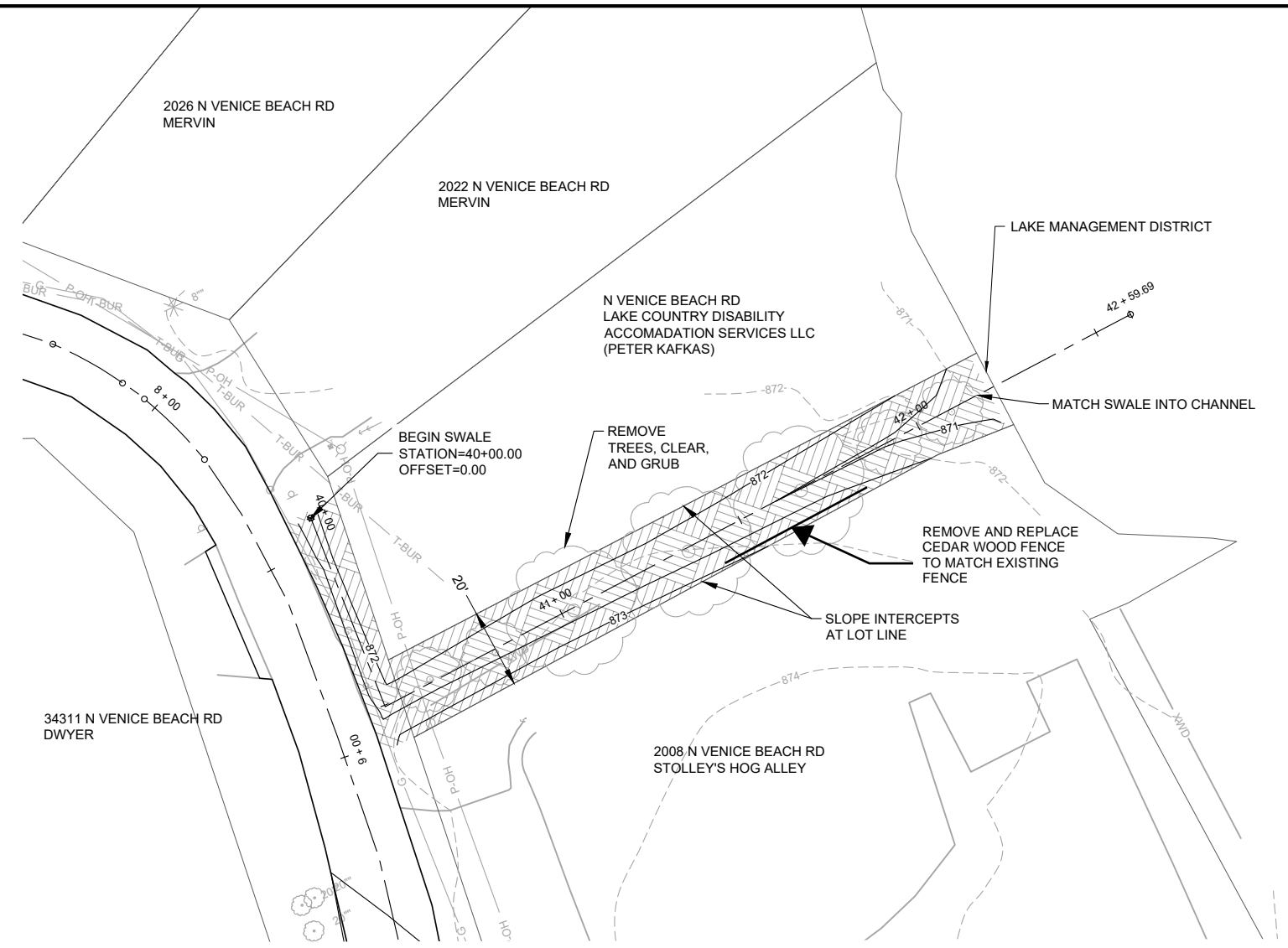
HORIZONTAL EXAGGERATION 1" = 30'  
VERTICAL EXAGGERATION 1" = 2'

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Drawn By	LJK						
Designed By	MPC						
Checked By	MPC						



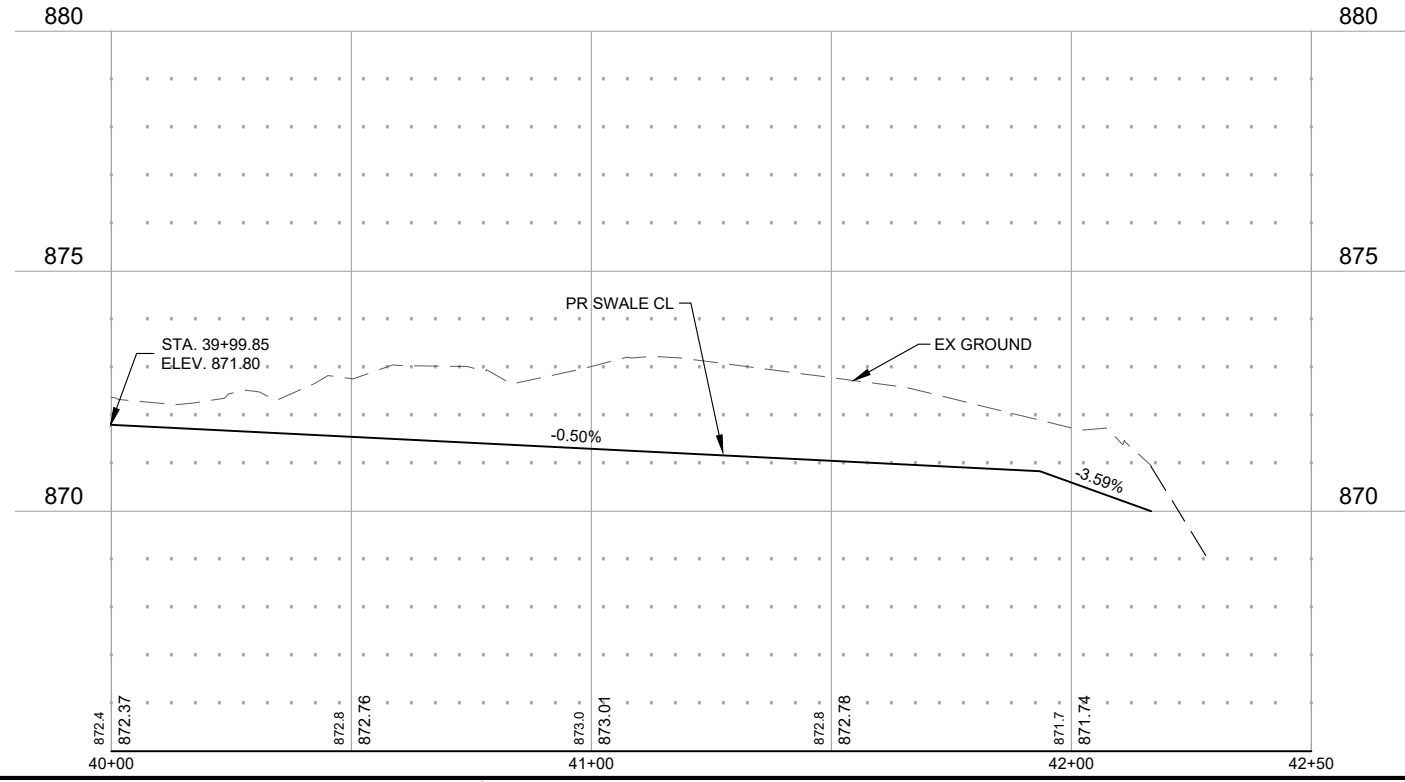
2024 ROAD PAVING PROGRAM  
VILLAGE OF SUMMIT, WI

VENICE BEACH ROAD  
PLAN & PROFILE -CENTERLINE & DITCH



TYPICAL SWALE SECTION (STA 40+50 TO 42+15)

**MATting IN SWALES/DITCHES  
TO BE URBAN EROSION  
MATting CLASS 1, TYPE B.**



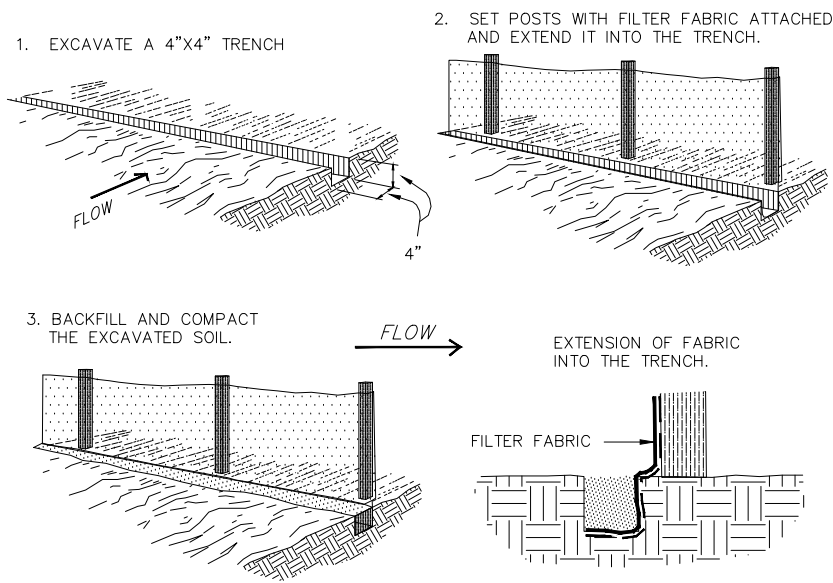
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2024 ROAD PAVING PROGRAM  
VILLAGE OF SUMMIT, WI

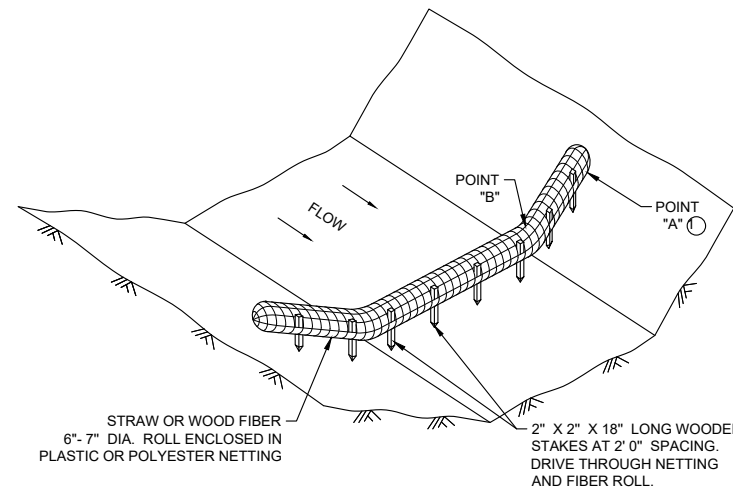
**VENICE BEACH ROAD  
PLAN & PROFILE -SWALE**



NOTE:  
INSTALL AND MAINTAIN PER DNR TECHNICAL STANDARD 1056

### SILT FENCE

NTS



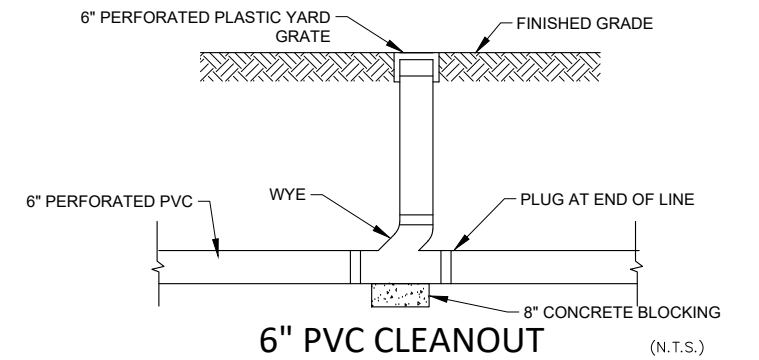
① POINT "A" SHALL BE A MINIMUM OF 6" HIGHER THAN POINT "B" TO ENSURE THAT WATER FLOWS OVER THE DIKE AND NOT AROUND THE ENDS.  
**SEDIMENT CONTROL LOG**

### GENERAL PAVING NOTES:

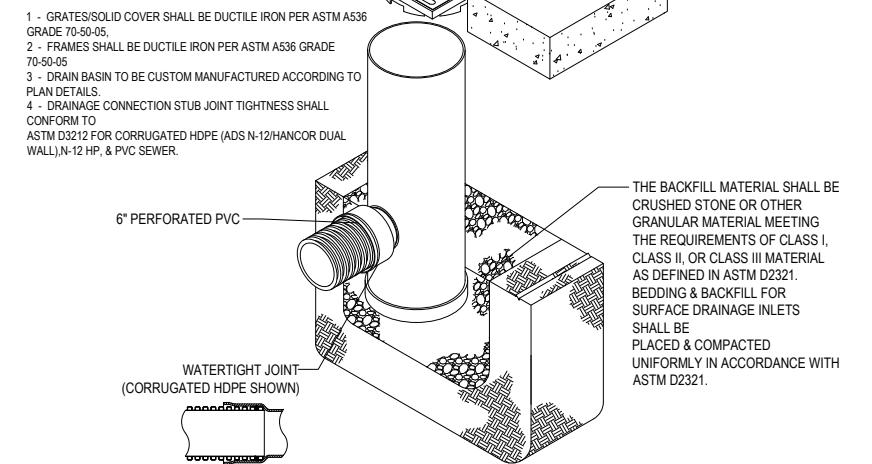
1. STANDARD SPECIFICATIONS: ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF:
  - A. STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND REVISIONS, TO DATE, OR UNLESS OTHERWISE SPECIFIED IN THE VILLAGE OF SUMMIT SPECIFICATIONS.
  - B. HOT MIX ASPHALT PAVEMENT:
    - A. SURFACE COURSE SHALL BE TYPE 5 LT 58-28 S, UNLESS OTHERWISE SPECIFIED.
    - B. MINIMUM REQUIRED DENSITY SHALL BE IN ACCORDANCE WITH CHAPTER 460 OF THE WISDOT STANDARD SPECIFICATIONS.
    - C. TACKCOAT IS REQUIRED BEFORE ALL OVERLAYS.

### EROSION CONTROL NOTES:

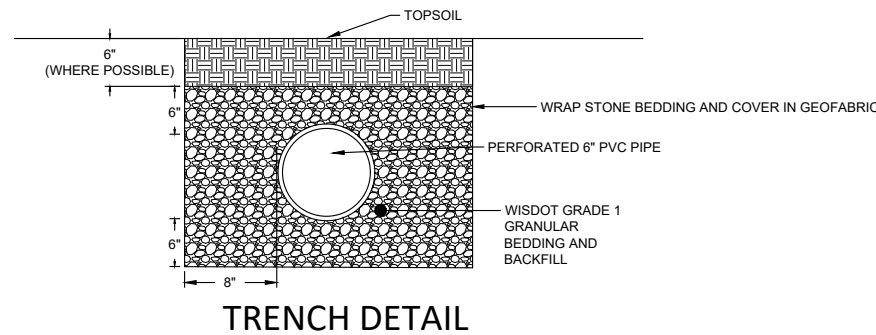
1. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. INSTALL PERIMETER EROSION CONTROLS PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING.
7. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
8. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY.
9. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
10. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
11. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
12. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE ENGINEER. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
13. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
14. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
15. COORDINATE WITH THE ENGINEER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).



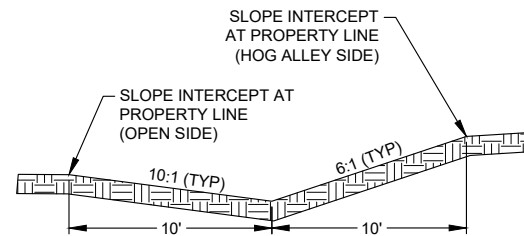
NOTE:  
10" AND 15" DRAIN BASIN SHALL BE ADS NYOPLAST OR APPROVED EQUAL



**10" AND 15" NYOPLAST DRAIN BASIN** (N.T.S.)



**TRENCH DETAIL**



**TYPICAL SWALE SECTION (STA 40+50 TO 42+15)**

### GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

○ WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

○ FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

○ FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

○ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

### INSTALLATION NOTES

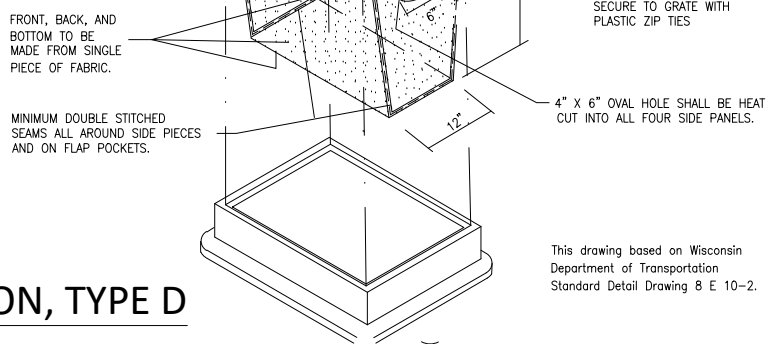
#### TYPE D

○ DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

○ TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

○ THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

### INLET PROTECTION, TYPE D



FRONT, BACK, AND BOTTOM TO BE MADE FROM SINGLE PIECE OF FABRIC.

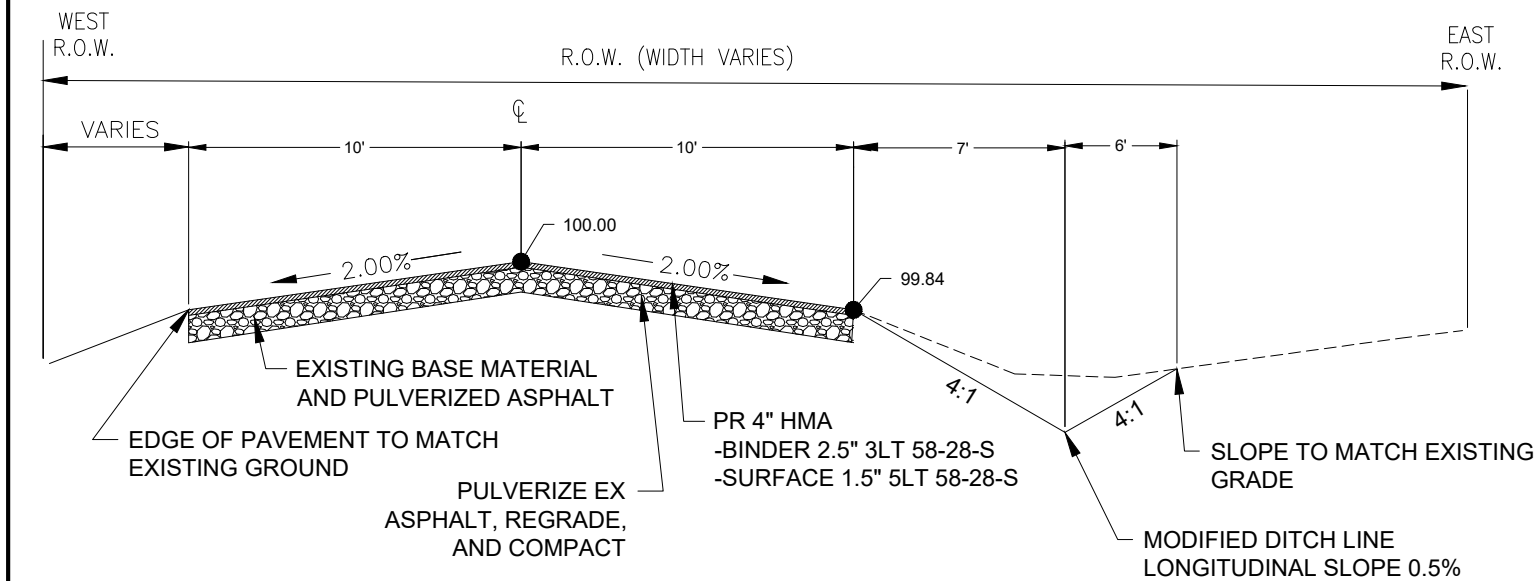
MINIMUM DOUBLE STITCHED SEAMS ALL AROUND SIDE PIECES AND ON FLAP POCKETS.

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2.

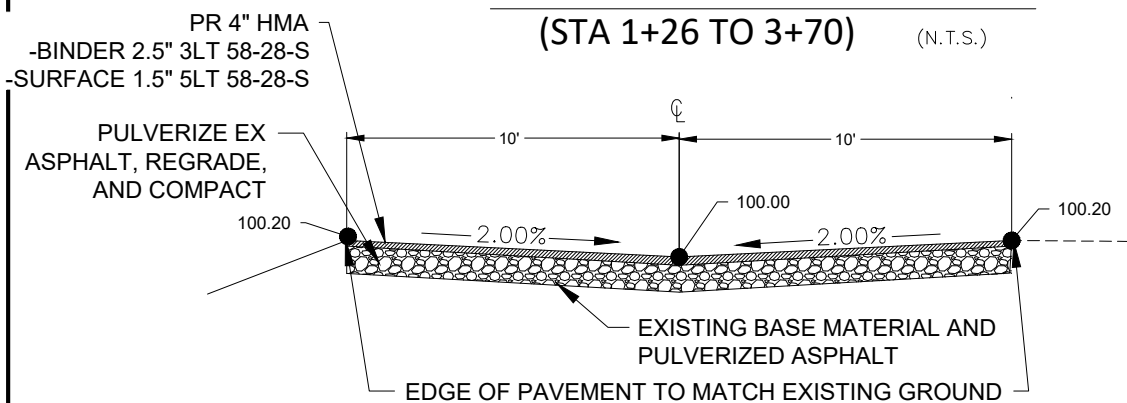
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Designed By	MPC						
Checked By	MPC						

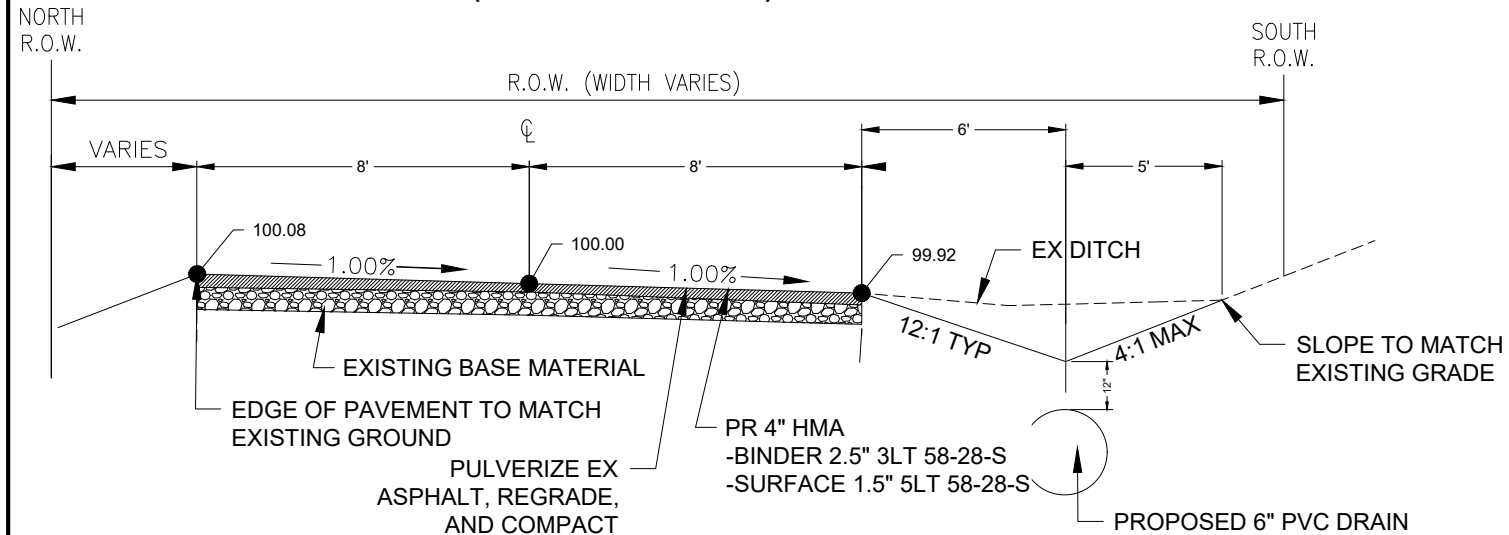




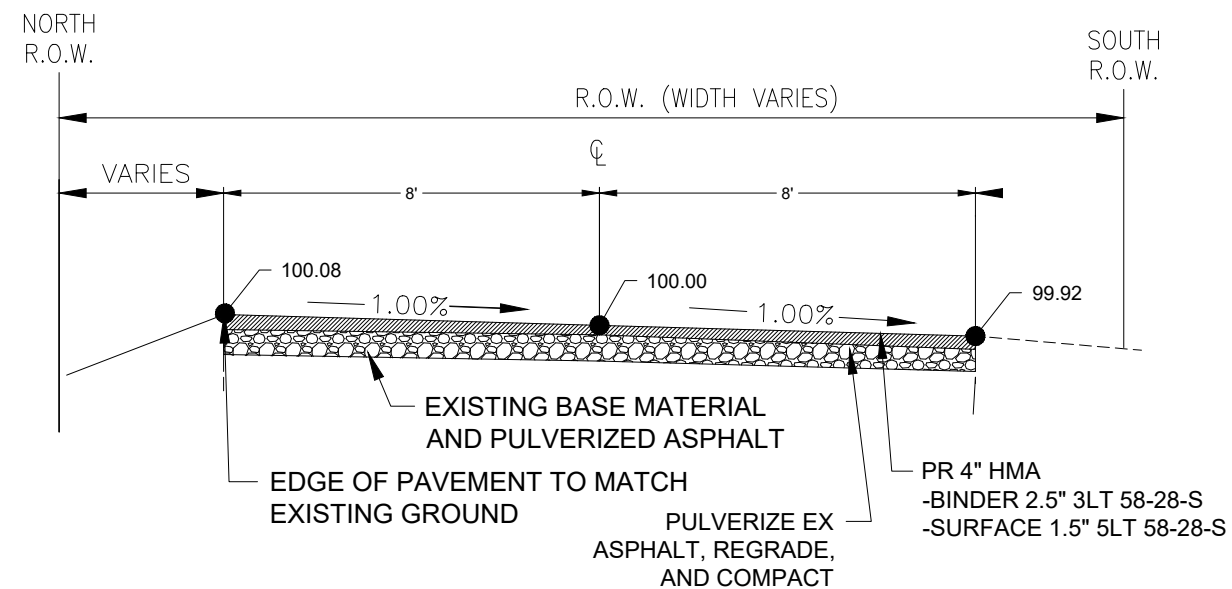
**ROADWAY CROSS SECTION**  
(STA 1+26 TO 3+70) (N.T.S.)



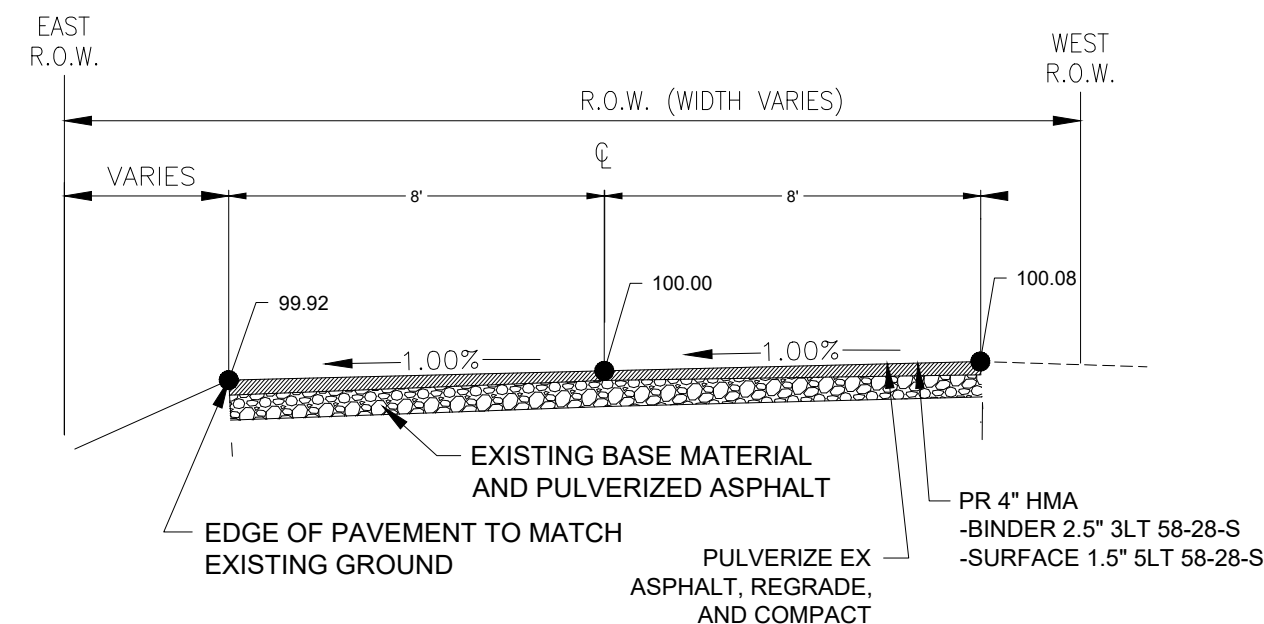
**ROADWAY CROSS SECTION**  
(STA 3+70 TO 4+80) (N.T.S.)



**ROADWAY CROSS SECTION**  
(STA 4+80 TO 7+00) (N.T.S.)



**ROADWAY CROSS SECTION**  
(7+00 TO 7+80) (N.T.S.)



**ROADWAY CROSS SECTION**  
(7+80 TO 10+26) (N.T.S.)

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Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
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Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

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**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 6, 2024

Re: Discussion and Action on Request from Village Resident to Require Removal of Landscaping Encroaching Public Right-of-Way Adjacent to 1920 N Oak Grove Road

---

**PURPOSE:**

To provide background information to the Village Board related to a complaint by a Village resident regarding large rocks placed within the public right-of-way (ROW) at 1920 N Oak Grove Road. The resident is requesting that the Village Board direct staff to take additional enforcement action above and beyond what has already been required by the Public Works Director and the Police Chief to rectify the situation.

**BACKGROUND:**

In August of 2023, the neighbor across the road from 1920 N Oak Grove Rd contacted the Police Department regarding the placement of large rocks across the road from their driveway, which had been creating issues with contractors backing out of their driveway. The property owner stated that they had attempted to resolve the issue with the property owner without luck.

The Police Chief and Public Works Director inspected the property and found some large rock and landscaping that had been completed a few feet from the edge of the road, as well as some mature vegetation (evergreen trees and shrubbery), most of which is within the ROW. The road does not run down the center of the ROW through this area, and the property line varies from a couple feet to over 12 feet from the edge of the road as you travel from south to north along the property line. Past GIS aerial images show that the landscape has existed this way for several years. There is landscaping, fencing, and a variety of vegetation that line the entire roadway on various properties.

A violation notice was mailed to the property owner at 1920 N Oak Grove Rd in August 2023. The property owner contacted the Public Works Director by phone in October 2023 after follow up contact by the Police Department to request clarification of the work required. The owner was informed that the main complaint was regarding access to the driveway at 1921 N Oak Grove Rd across the street and that we would require that the rocks be moved back away from the edge of the road to allow for a clear zone for vehicles to travel and back out of the driveway. A follow-up email was sent to the property owner with some images and measurements to help illustrate the property line with relation to the road.

The property owner contacted the Village in November to advise that they had moved some of the large rocks back. The Police Chief and Public Works Director performed a follow up inspection and spoke directly to the property owner that had performed the corrective work. Several of the rocks that are located on the north side of the road were moved back several feet. Those rocks located closer to their own driveway were not moved, mainly due to the presence of trees and shrubs that overhang the rocks. The property owner informed us that there had been a significant amount of stormwater that pooled in their yard from the roadway, which is part of the reason that the rocks and landscaping were placed along the road. It was determined by staff that the property owners had moved the rocks far enough away to create a clear zone for traffic to pull off the side of the roadway and for vehicles to reasonably back in and out of the driveway at 1921 N Oak Grove Rd. In addition, Village DPW staff placed additional aggregate shoulder material along the property line to provide additional surface for vehicles who may need space to maneuver or travel beyond the edge of the roadway.

The original complainant reached out again to the Village with additional concerns, stating that the rocks that were only moved were only shifted a few inches. They are also claiming that the rocks and landscaping are creating a dangerous hidden driveway that creates a safety hazard. Village staff responded to the email with an explanation of the work that was required and completed. Copies of email correspondence have been included for reference, as well as the complainant's formal request to the Village Board to require further action.

**RECOMMENDATION:**

At this time, the Police Chief and Public Works Director believe that the initial complaint has been addressed satisfactorily by the violating property owner. The conditions that exist in front of this house are similar to conditions adjacent to several properties on N Oak Grove Rd, including the complainant's property. If the Village Board determines that additional action should be taken at 1920 N Oak Grove Rd, staff will work with the property owner.

**ATTACHMENTS:**

1. Request/Information provided by Russ & Donna Morgan, property owners at 1921 N Oak Grove Rd (across the street from subject property)
2. Email correspondence between Village staff & Mr. & Mrs. Morgan *RE: No further action on complaint* (dated January 2024)
3. Email correspondence between Village staff & property owner of 1920 N Oak Grove Rd *RE: Description of correction action required* (dated October 2023)
4. Email correspondence between Police Chief & Public Works Director *RE: Initial complaint and violation notice* (dated August 2023)

**FISCAL IMPACT:**

No financial impact to the Village is anticipated.

**RECOMMENDED MOTION:**

To be determined, based on direction by the Village Board.

Village of Summit Board Meeting

March 14, 2024

Enforcement of state statutes which state that homeowners may not encroach on public right of way

Prepared by Russell Morgan and Donna Morgan 1921 N Oak Grove Ro

-Notes regarding encroachment of public property at 1920 N Oak Grove Road

-There is a loss of up to 12' of public right of way across from our property (see page 2) and up to 10' across from 1915 N Oak Grove Road (see pages 3 and 4). This loss of access has caused difficulty for large delivery trucks and emergency vehicles to access our homes.

-Safety concerns-the safety concerns with the rocks being so close to the road speak for themselves. The rocks, bushes, and trees create a hidden driveway. We have lots of motorcycles, bicycles, tricycles, strollers, dog walkers, and hikers who are at risk. (See pages 5 and 6).

-Refusal of action to improve road safety creates tort liability for the village (See page 7).

Google

2024 Google

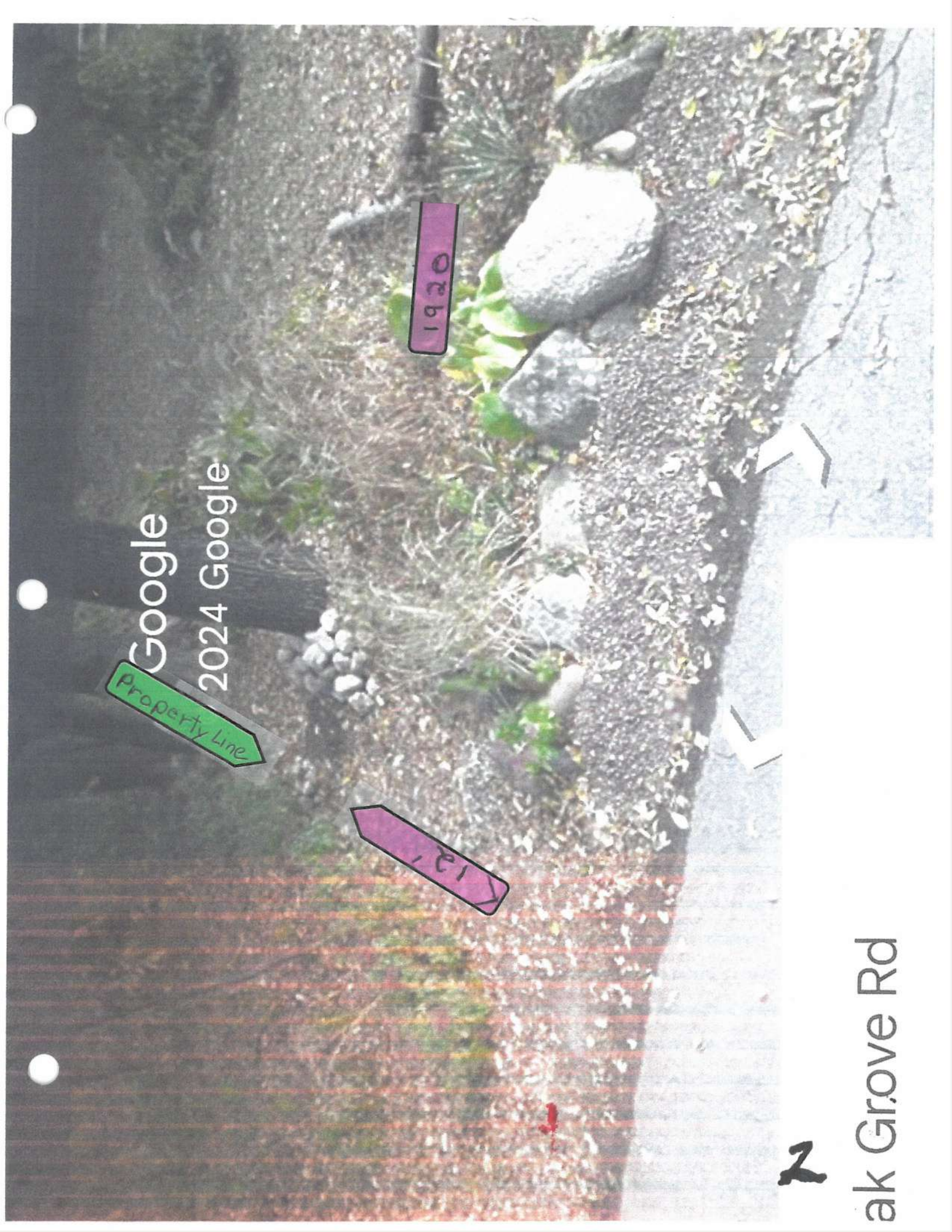
Property Line

1920

1911

2

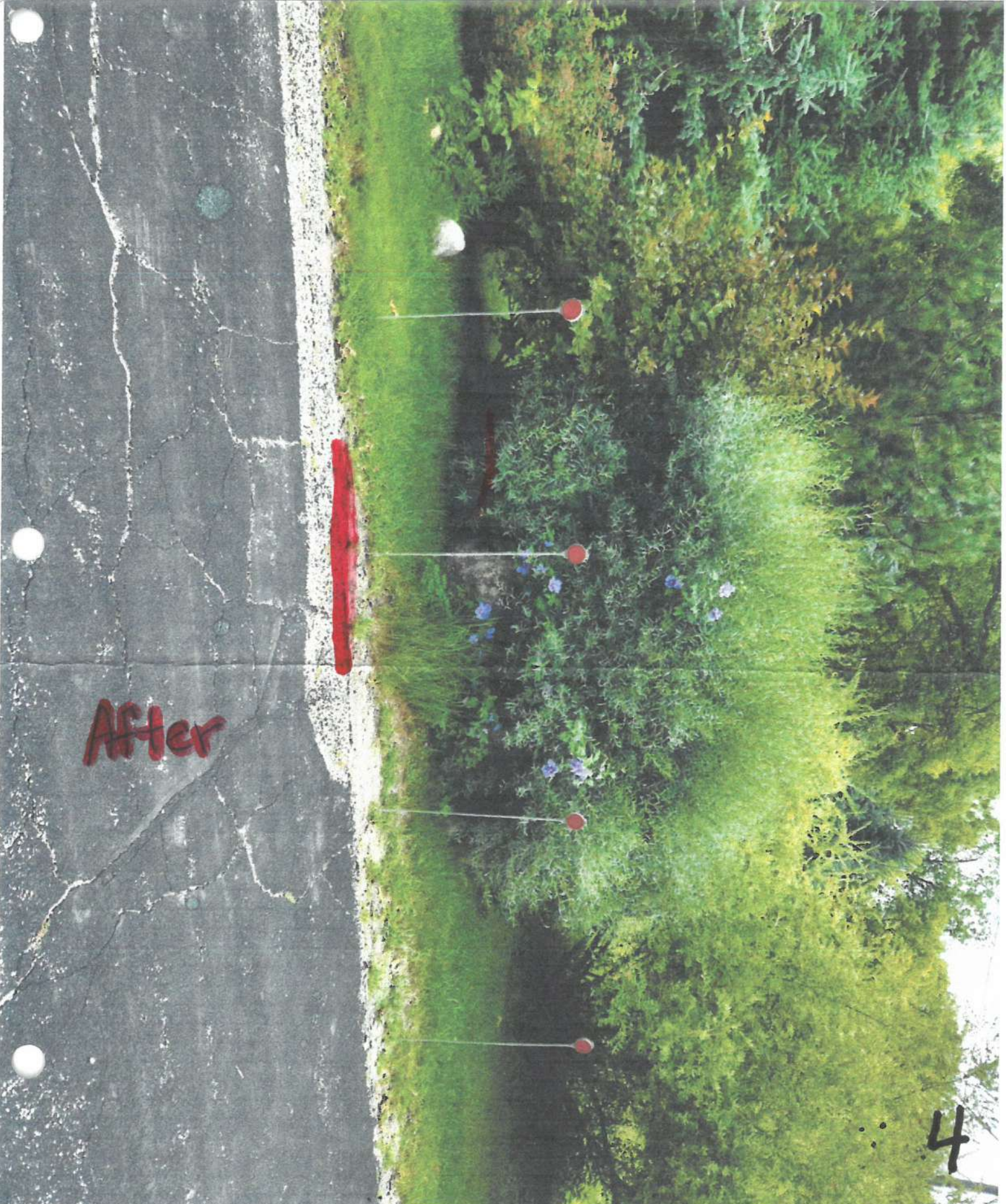
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3  
Measure

Before



After

4

NOak Grove Rd

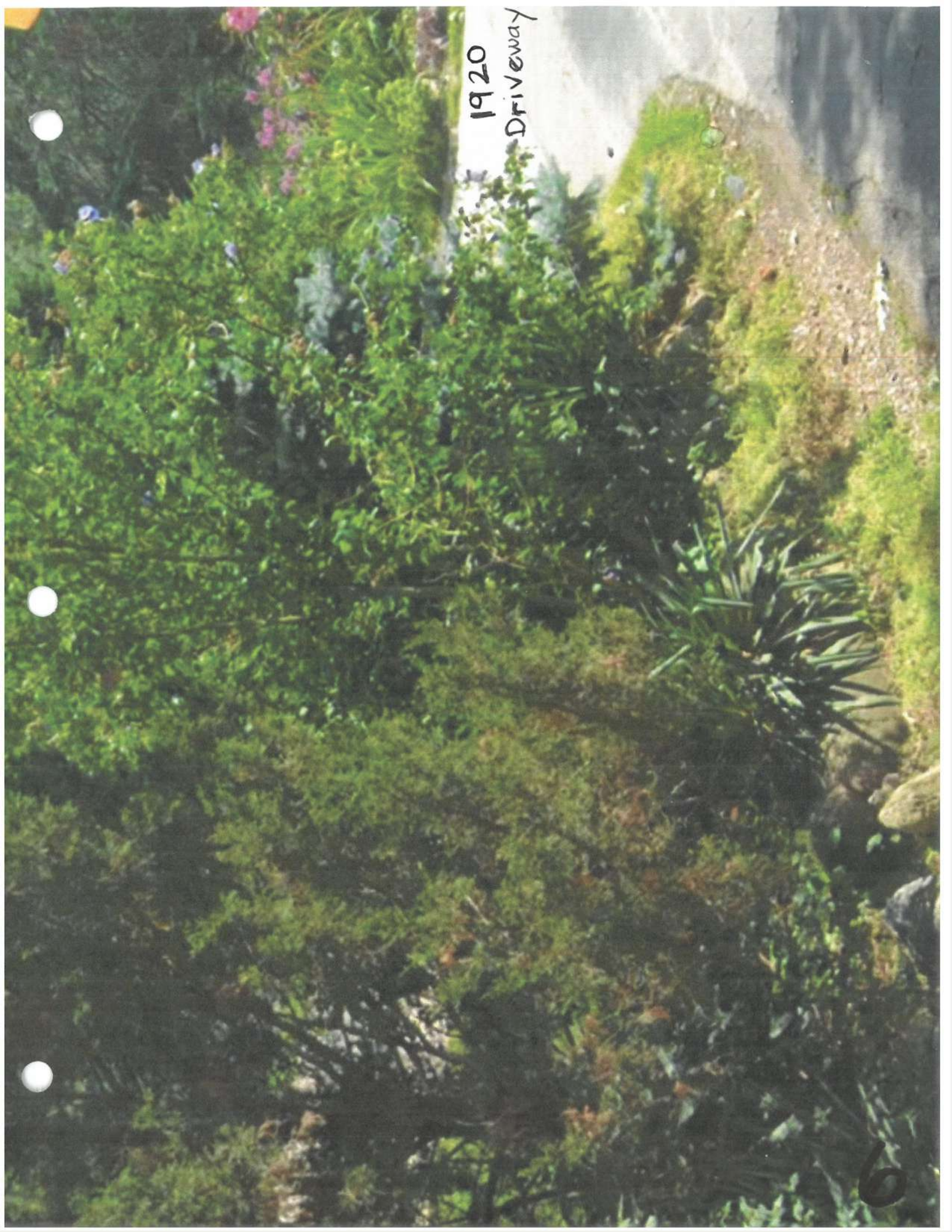


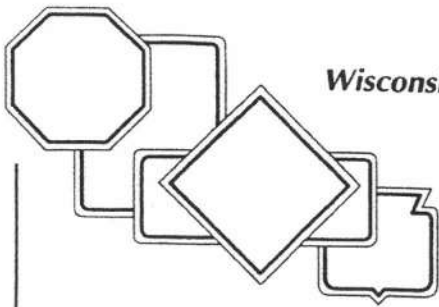
57



© 2023 Google

1920  
Driveway





## Roadway Management and Tort Liability in Wisconsin

In 1988 there were 134,270 traffic accidents on Wisconsin's roads. In about 18 percent of those accidents (25,101), the reports cited such conditions as snow and ice, narrow shoulders, rough pavement, construction zones, and obscured visibility as possible contributing factors. These thousands of accidents and possible highway defects represent many potential lawsuits against highway agencies.

Town, village, city and county highway officials should be aware of their community's risk exposure and act to limit it. The most effective ways are to: check and improve road safety, reduce accidents on road systems, and keep accurate records of decisions and work.

This bulletin describes tort liability as it applies specifically in Wisconsin. It recommends ways to manage for safety and for defense against claims, and describes some of the legal decisions which shape Wisconsin's liability case law. It's purpose is to give general information. The information is accurate, but it should not be relied on in lieu of legal advice in a specific situation.

Furthermore, tort liability case law varies greatly from state to state. Do not assume that Wisconsin statutes, guidelines and legal decisions are necessarily applicable elsewhere. Nor is the experience of other states directly applicable here.

### The Wisconsin situation

In the last 25 years state courts around the country have ended the concept of sovereign immunity for governments. This means that government agencies can be sued under liability laws for injuries or damages arising from their negligence. Since then, the number and size of liability claims and payments has mushroomed. In 1987, New York, California and Pennsylvania paid between \$11 million and \$17 million each in tort

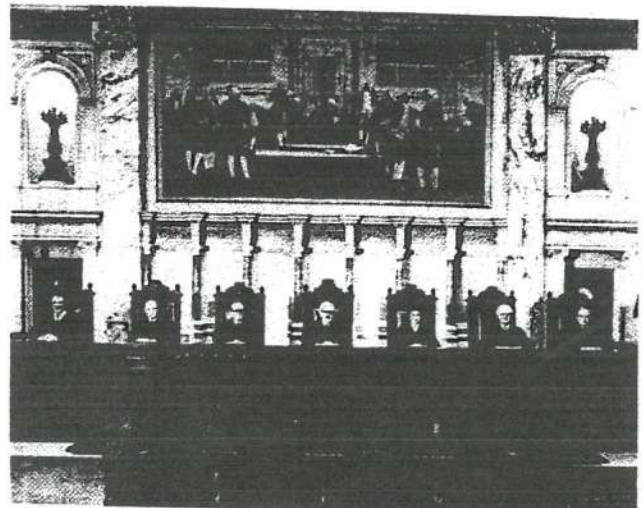


Photo credit: Forrestal Photographics

Wisconsin courts have been conservative in their awards, but the size and number of successful claims is growing.

liability claims and judgments against their state highway agencies, according to a 1988 AASHTO survey.

Although there is little reliable data, it seems that, fortunately, Wisconsin municipalities do not yet face the tremendous burden of liability claims common in other states. The same AASHTO survey reports that Wisconsin paid only about \$86,000 in 1987 in tort claims against the D.O.T. — more than double the amounts paid in 1985 and 1986. (The laws in Wisconsin make it quite difficult to sue the D.O.T. The situation may be different in those states with high liability claims.)

Wisconsin's relatively low settlement costs are probably related to two factors: state laws give partial immunity to governments and their employees, and state courts have been conservative in their awards in liability suits. However, insurance premiums are rising and the size and number of successful claims is growing. It may be just a matter of time.

\* Village DPW = Police Chief determination that no further action is required.

Attachment 2

## Kamron Nash

---

**From:** Kamron Nash  
**Sent:** Tuesday, January 16, 2024 2:00 PM  
**To:** russ morgan  
**Cc:** Michael Hartert (mhartert@summitpolice.org)  
**Subject:** RE:

Good afternoon, Mr. and Mrs. Morgan.

Thank you for your email. Please see my comments below in your original email string in **RED**. Note that the Village does not intend to take any further action at this time. The Public Works Department and the Police Department believe that the property owner at 1920 N Oak Grove Rd has responded to your safety concern regarding access to your driveway.

If you wish to contest this decision, you are welcome to make your request to the Village Board at an upcoming meeting. There is a regular meeting scheduled for February 8<sup>th</sup>, and I would be happy to add an agenda item to the meeting agenda at your request.

Thank you,

Kamron E. Nash, P.E.  
Public Works Director  
Village of Summit  
37100 Delafield Road | Summit, WI 53066  
262-567-2757 main | [pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)  
<https://summitvillage.org/>  
Pronouns: she/her/hers



**From:** russ morgan < >  
**Sent:** Friday, January 5, 2024 12:30 PM  
**To:** Kamron Nash <pwdirector@summitvillage.org>  
**Subject:** Fwd:

Sent from my U.S.Cellular© Smartphone  
Get [Outlook for Android](#)

---

**From:** Donna Morgan <  
**Sent:** Friday, January 5, 2024 12:23:02 PM  
**To:** russ morgan  
**Subject:**

We are again contacting you at the Public Works department of the Village of Summit concerning the complaint of encroachment on the public easement by the homeowners at 1920 N Oak Grove Road in the Village of Summit. This encroachment adversely affects the access and egress to homes at 1921 N Oak Grove and 1915 N Oak Grove and creates a dangerous hidden driveway. We have been in contact with the Village on this matter many times including meeting with the Chief of Police and conversations with the Public Works Department. We were told that, in fact, the rocks and landscaping had encroached on the Village Property. We were told that the owners had been asked to remove them, or the Village would remove them. These conversations began in August, 2023. The rocks and landscaping have not been removed from the easement. Recent correspondence informed us that after moving the rocks a few inches, the owners of the property would not need to remove the rocks from the easement unless it adversely affected the Village use of the road. We are asking you to reconsider this decision.

The rocks and landscaping have been in place for several years, as can be seen on past aerial images available on Waukesha County's GIS system. Chief Hartert and myself reached out to the property owners at 1920 N Oak Grove Rd, and the property owners performed some work to remove rocks from the public right-of-way across from the driveway of your property at 1921 N Oak Grove Rd. As I recall, the original complaint was that it was difficult to pull out of the driveway without potentially hitting the rocks on the opposite side of the road. At our request, the property owners moved the rocks across from your driveway to maintain a clear zone on the side of N Oak Grove Rd. Despite your statement that the rocks were moved a couple of inches, the rocks were moved back several feet in the area requested. In addition, Village staff placed shouldering material along this section of roadway to provide more hard surface for vehicles along the side of the road. The efforts by the property owners were deemed to be satisfactory to both myself and Chief Hartert in addressing the safety concern. It is not feasible for the Village to enforce right-of-way (ROW) encroachment fully throughout the Village. The ultimate ROW of N Oak Grove Rd is 66 feet, or 33' to either side of the centerline of the road. If we enforced this full ROW limit, all property owners along the roadway would have to remove various improvements and encroachments. We required the property owner to create a clear zone across from your driveway, which was completed.

A newsletter that we received from the Village of Summit in December of 2023 reinforces the regulation of easement requirements. " In addition, any excavation or other type of work that will disturb any public road or right-of-way requires a permit. The public right-of-way is an easement that extends for several feet beyond the improved roadway surface, including sidewalks, parking areas, and grass swales." In that case, every rock, tree and bush must be removed from the easement of the property at 1921 N Oak Grove Road. With the winter weather, this encroachment makes the road even narrower and harder to navigate after snow has been plowed. The hidden driveway continues to be a danger to children and other pedestrians. We can't understand how the Village can side with the Kruegers illegal activities over the safety and rights of all the other residents of N Oak Grove Road.

The newsletter that you received does discuss permitting requirements within the public right-of-way. However, it does not include a statement that every rock, tree, and bush must be removed within the ROW. Again, if this were the case, your own property would be in violation due to the presence of landscaping, trees, shrubs, and a wood fence within a few feet of the roadway. The only safety complaint that we have received for 1920 N Oak Grove Rd at this time is from yourself, to the best of our knowledge. The entire length of N Oak Grove Rd is tree-lined, which makes driveways more

difficult to see along the entire stretch of roadway. 1920 N Oak Grove Rd's driveway is no less visible than any other along this stretch of road, and the alterations made at the Village's request by the property owners across from your driveway have increased the capacity for snow along the side of the road.



Because the Village is aware of the illegal encroachment, narrowing the road and creating a dangerous hidden driveway, we have become aware that the Village could be in a position of liability due to noncompliance with Wisconsin Statute 86.04.

\*See Bltn-018 Road Management and Tort Liability in Wisconsin

Russell Morgan

Donna Morgan

\* Email correspondence with property owner with description of work required.

Attachment 3

## Kamron Nash

**From:** Kamron Nash  
**Sent:** Wednesday, October 25, 2023 2:03 PM  
**To:**  
**Subject:** 1920 N Oak Grove Rd - ROW Encroachment

Good afternoon, Gina.

Per our phone conversation, I am sending you the link to the Waukesha County GIS site where you can view your property lines and zoom in/out for a better understanding of how far back the rocks need to be moved. <https://www.waukeshacounty.gov/interactivemap/>

I have also included an image with approximate dimensions from the edge of the road to assist you.



I hope that this information helps. Once you determine a timeline for getting this work done, please let me know. We are willing to give you an extension, but we would prefer that this work is completed this year.

Thank you,

Kamron E. Nash, P.E.

Public Works Director  
Village of Summit  
37100 Delafield Road | Summit, WI 53066  
262-567-2757 main | [pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)  
<https://summitvillage.org/>  
*Pronouns: she/her/hers*



**Kamron Nash**

---

**From:** Kamron Nash  
**Sent:** Thursday, August 24, 2023 9:49 AM  
**To:** Michael Hartert  
**Subject:** RE: ROW Violation  
**Attachments:** ROW Encroachment & Alteration\_1920 N Oak Grove Rd\_20230824.pdf

Good morning.

I will be sending the attached violation notice by certified mail today. The notice states that the obstructions must be removed within 30 days.

Thank you,

Kamron E. Nash, P.E.  
Public Works Director  
Village of Summit  
37100 Delafield Road | Summit, WI 53066  
262-567-2757 main | [pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)  
<https://summitvillage.org/>  
*Pronouns: she/her/hers*



---

**From:** Michael Hartert <[mhartert@summitpolice.org](mailto:mhartert@summitpolice.org)>  
**Sent:** Thursday, August 24, 2023 9:35 AM  
**To:** Kamron Nash <[pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)>  
**Subject:** ROW Violation

Kamron,

The below photo shows the property at 1920 N. Oak Grove Rd. (on the east or left side). The property owner across the street at 1921 has had issues with contractors backing out of his driveway due to the rocks which are in the right-of-way. The complainant tells me that he had attempted to resolve the matter with the homeowner to no avail. I looking at GIS, it does appear that the rocks are in the ROW. Would you mind evaluating this and sending a letter to the homeowner?

Thank you,

Chief Michael Hartert  
Summit Police Department  
37100 Delafield Road  
Summit, WI 53066  
262-567-1134

---

**From:** Michael Hartert <  
**Sent:** Thursday, August 24, 2023 9:27 AM  
**To:** Michael Hartert <[mhartert@summitpolice.org](mailto:mhartert@summitpolice.org)>  
**Subject:**





Village Hall, 262 567-2757  
Fax, 262 567-4115  
Highway Dept., 262 567-2422  
Police Dept., 262 446-5070  
Building Inspector, 262 490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

August 24, 2023

Dennis & Gina Krueger  
1920 N Oak Grove Rd  
Summit, WI 53066

RE: Obstruction of Public Right-of-Way on N Oak Grove Road

Dear Property Owner,

It has been brought to our attention that the public right-of-way adjacent to your property at 1920 N Oak Grove Rd has been improperly obstructed. Village staff received a complaint of these issues and performed a site visit to verify that the modifications to the area are not in compliance with State and local requirements.

The following issue requires your attention and action (refer to attached aerial map and photo images):

**1. Encroachment of Public Right-of-Way**

During our site visit, staff noticed that several large rocks/boulders have been placed near the street in the public right-of-way area. This is considered a prohibited encroachment per **WI Stats. § 86.04 Highway encroachments**, and it creates an unsafe condition. The right-of-way includes traffic lanes, shoulders, and ditches, and it must be kept free of unapproved fixed or moveable objects. N Oak Grove Road is a narrow roadway, and the right-of-way extends beyond the edge of the roadway adjacent to your property. The placement of objects within the right-of-way obstructs the ability of vehicles to safely pass each other and creates hazards for Village crews, particularly with road maintenance and snow and ice control operations.

**Actions Required:**

- a. **The unapproved items listed above must be removed from the right-of-way. They may be moved fully on to your private property.**

It appears that much of this work was performed to improve the aesthetics of your property. Village staff understands the desire to give a property "curb appeal," but these types of alterations and the encroachment create serious safety and liability issues and **must be corrected within 30 days of the date of this letter**. Any costs that the Village incurs to remove items or correct damages will be billed to the property owner. If you have any questions or concerns, please contact me at (262) 567-2757 or by email at [pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org).

Thank you in advance for your cooperation.

Sincerely,

A handwritten signature in black ink that reads "Kamron Nash".

Kamron E. Nash, P.E.  
Director of Public Works  
Village of Summit

cc: Chief Hartert, Village Police Chief (by email)



**Aerial View of 1920 N Oak Grove Road and Public Right-of-Way**



**Image of Obstructions and Encroachment of Public Right-of-Way**

**1920 N Oak Grove Rd Right-of-Way Images (taken by Police Department on 3/8/2024)**



Facing south, with 1920 N Oak Grove Rd property on left side of image beyond asphalt driveway



Facing south, just north of property line depicting ROW in front of 1920 N Oak Grove Rd



Facing south, depicting ROW south of driveway to 1920 N Oak Grove Rd



Facing south, depicting ROW across road from 1915 N Oak Grove Rd driveway



Facing north, depicting entire view of ROW in front of 1920 N Oak Grove Rd (right) and driveway of 1921 N Oak Grove Rd



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

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## MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 8, 2024

Re: Discussion and Action on Negotiation for Village Hall Cleaning Services

---

### PURPOSE:

To request approval from the Village Board to enter into negotiations for an agreement for cleaning services of the Village Hall and DPW Building.

### BACKGROUND:

Over the past several months, Village staff have met with the current cleaning company's owner twice to discuss concerns over the quality of cleaning services at Village Hall. Some adjustments were made to the schedule to address these issues, adding the DPW Building to the cleaning cycle and adding an additional visit per week at an increased cost of \$200 per month. Unfortunately, the quality of cleaning has not improved. Village staff have met internally multiple times to discuss, and it was determined that the current cleaning company has not made any attempt to address the stated issues and a new RFP should be drafted to solicit proposals for cleaning from other companies.

In February of 2024, a Village Hall Facilities Cleaning Services Request for Proposals was advertised on the Village website. In addition, Village staff reached out directly to multiple cleaning companies in the area to notify them of the RFP. Multiple companies declined the offer to propose, mainly due to staffing restrictions that prohibit them from taking on additional work. A baseline cleaning level was identified in the RFP, and companies were invited to tour the facilities. A total of three proposals were received.

The Village currently pays \$600 a month for three visits per week, which is quite low for the size of our facilities. The proposals received vary in cost, but each of the proposals was much higher than what the Village currently pays. The most economical proposal was approximately \$3,200 per month.

### RECOMMENDATION:

The RFP was intentionally written to allow for the Village to negotiate service levels after initial proposals were received. The current level of service is very poor, and Village staff believe that it is in the Village's best interest to move forward with another cleaning service that will provide satisfactory service. It is recommended that the Village Board authorize staff to review the proposals, select a preferred vendor, and enter into negotiations for an agreement. The goal will be to bring an agreement forward to the Village Board at the April regular meeting, with a

start date of May 1<sup>st</sup>. The existing cleaning company will require a 30-days' notice of termination of services. The Village Board may consider appointing a Trustee to assist with review of proposals and contract negotiations.

ATTACHMENTS: Request for Proposals for 2024 Village Hall Facilities Cleaning Services

FISCAL IMPACT: To be determined. The Village currently has \$7,975 budgeted for 2024, which includes a single window cleaning and a single deep carpet cleaning.

RECOMMENDED MOTION: **Motion to authorize staff to identify a preferred cleaning service based on proposals received in response to the 2024 Village Hall Facilities Cleaning Services RFP and enter into negotiations for an agreement to bring to the Village Board for consideration in April.**

**Request for Proposals for  
2024 VILLAGE HALL FACILITIES CLEANING SERVICES**



*Prepared by:*  
**Village of Summit  
Department of Public Works  
37100 Delafield Road  
Summit, WI 53066**

*For information on this BID, please contact:*  
**Kamron Nash, P.E.  
Public Works Director  
[pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)  
(262) 567-2757**

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## SUMMARY AND BACKGROUND

The Village of Summit is seeking cost and qualifications proposals for cleaning services for Village Hall and the Public Works Department (DPW) Building at 37100 Delafield Road, Summit, WI 53066. Firms shall submit a combined proposal for all facilities. The purpose of this Request for Proposal (RFP) is to solicit proposals from various candidate organizations, conduct a fair and extensive evaluation based on criteria listed herein, and select the candidate that best fulfills the needs of the Village of Summit.

Proposals will be received by:

Kamron Nash, P.E., Public Works Director  
Village of Summit – Village Hall  
37100 Delafield Road  
Summit, WI 53066

Or by email at: [pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)

A pre-proposal walk-through will be provided by the Public Works Director and the Police Chief by appointment. Please contact Kamron Nash by phone at 262-567-2757 or by email at [pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org) with any questions or to schedule a site visit.

Proposals must be received **no later than Wednesday, March 6, 2024 at 4:00 p.m.** at Summit Village Hall, 37100 Delafield Rd, Summit, WI 53066.

The Village of Summit reserves the right to modify and waive any and all informalities or technicalities, or to reject any and all proposals and/or parts thereof, and to accept that proposal which it deems most favorable for the Village.

## PROPOSAL GUIDELINES

This Request for Proposal represents the requirements for an open and competitive process. Proposals will be accepted until 4:00 p.m. on Wednesday, March 6, 2024. Any proposals received after this date and time will not be considered.

If the organization submitting a proposal must outsource or contract any work to meet the requirements contained herein, this must be clearly stated in the proposal. Additionally, all costs included in proposals must be all-inclusive to include any outsourced or contracted work. Any proposals which call for outsourcing or contracting of work must include a name and description of the organizations being contracted. A thorough background check and finger printing will be completed on anyone who will be entering the buildings for the organization awarded the contract. This background check is used to verify that a person is who they claim to be and will check the person's criminal record, education, employment history, and other activities that occurred in the past in order to confirm their validity. This check can include, but is not limited to, a person's work history, education, credit history, driving record, criminal record, medical history, use of social media, and drug screening.

A copy of contractor's liability insurance shall be included in bid proposal. No additional bonding is required. All costs must be itemized to include an explanation of all fees and costs.

Contract terms and conditions will be negotiated upon selection of the winning bidder for this RFP. All contractual terms and conditions will be subject to review by the Village Attorney and will include scope, budget, schedule, and other necessary items pertaining to the project.

## PROJECT PURPOSE

The purpose of this project is as follows:

The Village of Summit is seeking cost and qualifications proposals for cleaning services at the following locations:

Summit Village Hall and the Department of Public Works (DPW) building located at 37100 Delafield Road, Summit, WI 53066.

It is anticipated that these services would be 1-year contracts beginning May 1, 2024 with the option to renew for up to an additional 3 years. Billing shall be monthly. The proposals should include separate proposals for cleaning services in the (a) Village Hall Administration offices/public areas, (b) Police Department offices/common areas, and (c) DPW building. Proposals shall include the cost for 2024 and the renewal costs for years 2025, 2026, and 2027.

## PROJECT SCOPE

The scope of this project includes various tasks to be performed in the areas listed below. Tasks are to be performed on the following schedule:

- **Village Hall Administration offices/public areas** - during non-business evening hours (4:00 p.m. or later, Monday through Friday, excluding holidays)
- **DPW Building** – during non-business evening hours (4:00 p.m. or later, Monday through Friday, excluding holidays)
- **Police Department offices/common areas** – during normal business hours (7:00 a.m. to 3:00 p.m., Monday through Friday, excluding holidays)

In the Village Hall public areas, some tasks must be performed based on scheduled evening meetings, such as cleaning of conference rooms and the Community Room when no meetings are scheduled.

The cleaning supplies, vacuum cleaners, mops, and cleaning carts shall be provided by the contractor. Paper products, including toilet paper, hand towels, and kitchen towels, shall be provided by the contractor and billed separately to the Village (preapproval of costs required). Checklists and logbooks may also be provided for the contractor to track tasks completed. Periodic reviews of the services performed will be conducted and feedback provided to ensure satisfactory performance.

All tasks need to be checked weekly and may be required to be completed more often or at different intervals as needed.

### Cleaning Schedule

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<u>Administrative Offices</u>	<u>Public Area</u>	<u>DPW Building</u>	<u>Police Department</u>
Open Office Area	Main Vestibule	Office (1)	Police Waiting Area
Offices (5)	Lobby	Break Room	Interview Room
Mail/Copy Room	Men’s Lavatory	Lavatory	Police Reception Area
Secure Vestibule	Women’s Lavatory		Offices (4)
Break Room	Conference Room		Mail/Copy Room
Conference Room	Serving Room/Kitchenette		Men’s Lavatory/Locker Room
Lavatory	Community Room		Women’s Lavatory/Locker Room
Hallway Areas			Break Room
Workout Room			Ready/Locker Room
			Galley Kitchen
			Booking Room
			Interview Room
			Lavatory
			Hallway Areas

### Cleaning Tasks & Frequency

---

#### Tasks 1 x per week

- Vacuum all door mats and carpeted floor areas.
- Sweep and mop all tiled and concrete floors.
- Clean and disinfect toilets (inside and out), urinals (change urinal cakes as needed), sinks, mirrors, countertops, baby changing stations, and trash can lids in restrooms.
- Clean and disinfect tiled flooring, showers (floor and walls), and benches in locker rooms.
- Refill soap dispensers, paper towels, and toilet paper in restrooms.
- Spot clean doors, walls, and all dividers in restrooms.

- Empty all trash and recycling (keep separate) throughout facilities and replace liners as needed (liners provided by Village).
- Wipe down and disinfect microwave, tables, countertops, trash can lids, refrigerator doors and handles, and sinks in break rooms and kitchen areas.
- Straighten chairs, wipe down tables, and spot clean windows and doors in conference rooms and in Community Room.
- Wipe down door handles and spot clean door glass in main Village Hall vestibule.
- Wipe down all drinking fountains.

Tasks 1 x per month

- Dust all window and door sills, ledges, furniture, appliances, and hanging pictures. *Note that this task should only be completed on furniture that is not covered with papers/files/personal belongings.*
- Vacuum all soft blinds.
- Vacuum/dust corner spaces on floors, behind doors, and under furniture.
- Dust tops of lockers and wipe down locker doors and handles in locker room areas.
- Dust all workout equipment and mini-blinds in workout room.

Tasks 1 x per year

- Clean all building windows and door glass (interior and exterior).
- Deep clean all carpeted areas following manufacturer’s recommendations.

**REQUEST FOR PROPOSAL AND PROJECT TIMELINE**

**Request for Proposal Timeline**

All proposals in response to this RFP are due **no later than 4:00 p.m. CST on Wednesday, March 6, 2024** at Summit Village Hall, 37100 Delafield Rd, Summit, WI 53066. All proposals shall be valid for a minimum of 90 days, pending the Village’s evaluation and award process.

Evaluation of proposals will be conducted beginning March 7, 2024. If additional information or discussions are needed with any bidders during the evaluation process, the bidder(s) will be notified.

The selection decision for the winning bidder is anticipated to be verified at the Village Board meeting on March 14, 2024. Upon notification, the contract negotiation with the winning bidder will begin immediately.

**Contract Timeline**

It is anticipated that a cleaning service contract can begin May 1, 2024.

**BUDGET**

All proposals must include completing all the tasks at the frequency described in the project scope and shall be shown as a monthly cost for each of the three facility areas described in the project scope, with a separate itemized cost for the tasks completed once per year (window and door glass cleaning, deep carpet cleaning).

**BIDDER QUALIFICATIONS**

Bidders shall provide the following items as part of their proposal for consideration:

- Prospective bidders are required to meet all qualifications and specifications of this Request for Proposal (RFP) in order to be considered for award. If a vendor does not clearly demonstrate and provide documentation substantiating that they are compliant with the qualifications and specifications of this RFP, they may be disqualified.
- All prospective bidders are to make written proposals that present the firm’s qualifications and understanding of the work to be performed. Prospective bidders shall address each of the specific topics listed as a minimum. Failure to include any of the requested information may be cause for the proposal to be considered nonresponsive and rejected.

- All prospective bidders will submit a cover letter introducing your firm and confirming your interest in performing the work described herein. Indicate your agreement with, or specific exceptions to, any of the objectives, requirements, terms or conditions contained in this solicitation document.
- Provide a list of at least three (3) current references for which comparable work has been performed. This list shall include client name, person to contact, address, telephone number, and description of work performed.
- All prospective bidders shall provide copy of vendor's Contractor License and copy of proof of vendor's insurance for general liability and worker's compensation with coverage for not less than the following amounts or greater where required by Laws and Regulations:

1. Worker's Compensation and related coverages:

- |   |             |
|---|-------------|
| a. State:   | Statutory   |
| b. Federal, if applicable (e.g., Longshoreman's): | Statutory   |
| c. Employer's Liability:                          |             |
| 1) Bodily injury, each accident                   | \$1,000,000 |
| 2) Bodily injury by disease, each employee        | \$1,000,000 |
| 3) Bodily injury/disease, aggregate               | \$1,000,000 |
| d. Foreign voluntary worker compensation:         | Statutory   |

2. Contractor's Commercial General Liability:

- |  |             |
|--|-------------|
| a. General Aggregate                                   | \$1,000,000 |
| b. Products - Completed Operations Aggregate           | \$1,000,000 |
| c. Personal and Advertising Injury                     | \$1,000,000 |
| d. Each Occurrence (Bodily Injury and Property Damage) | \$1,000,000 |

3. Automobile Liability under Paragraph 6.03.D of the General Conditions:

- |                     |             |
|---------------------|-------------|
| a. Bodily Injury:   |             |
| Each person         | \$1,000,000 |
| Each Accident       | \$1,000,000 |
| b. Property Damage: |             |
| Each Accident       | \$1,000,000 |

4. Excess or Umbrella Liability:

- |                      |             |
|----------------------|-------------|
| a. General Aggregate | \$2,000,000 |
| b. Each Occurrence   | \$2,000,000 |

5. Contractor's Pollution Liability:

- |                      |     |
|----------------------|-----|
| a. Each Occurrence   | N/A |
| b. General Aggregate | N/A |

6. Additional Insureds is required by this contract: In addition to Owner, include as additional insureds the following:

- a. None

- Questions for the Village should be gathered into one email communication from the prospective bidder and submitted to the Public Works Director at [pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org). All inquiries must be received by Wednesday, March 6, 2024. All inquiries made by prospective bidders will be answered by the Village and will be submitted to all interested parties in order to ensure that all parties are operating with the same information.

## **PROPOSAL EVALUATION CRITERIA**

The Village of Summit will evaluate all proposals based on the qualifications of the bidder, the ability of the bidder to meet the schedule requirements, and cost. Each bidder must either submit a copy of their proposal within a single envelope, clearly indicating on the front of the envelope: "Proposals for Cleaning Services" or emailed at the address below.

All proposals must be received by email or in person to the address below by March 6, 2024 at 4:00 p.m. CST:

Kamron Nash, Public Works Director  
Village of Summit  
37100 Delafield Rd  
Summit, WI 53066

Or by email at: [pwdirector@summitvillage.org](mailto:pwdirector@summitvillage.org)

Non-disclosure of the data contained within a proposal cannot be guaranteed because of Public Records Laws.

### **Terms and Conditions**

If for any reason the selected firm shall fail to fulfill the obligations agreed to in a timely manner, the Village shall have the right to terminate the contract by specifying the date of termination in a written notice to the firm at least seven (7) days prior to the termination date. In this event, the firm shall be entitled to just and equitable compensation for the work satisfactorily completed.

The successful proposer will be required to furnish, within five (5) days of award notification and before commencing work, a certificate of insurance. The certificate shall name the Village, its officers and employees, as additional insured.

The contract resulting from the award of this RFP shall commence upon execution.

The Village reserves the right to reject any or all proposals, to waive technicalities, or to accept the proposal deemed to serve the Village's best interest.

All cost associated with preparation, submittal and presentation of proposals shall be borne by the proposer.



Village Hall, 262-567-2757  
 Fax, 262-567-4115  
 Highway Dept., 262-567-2422  
 Police Dept., 262-567-1134  
 Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

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**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 8, 2024

Re: Discussion and Action on Purchase of Road Salt on WisDOT Bid for 2024 – 2025 Winter Season

**PURPOSE:**

To request authorization for the Village to participate in the statewide sodium chloride bid and to enter into a municipal agreement with the WisDOT to purchase road salt for the 2024 – 2025 winter season.

**BACKGROUND:**

For the past several years, the Village has participated in the annual WisDOT sodium chloride bid for road salt. WisDOT will receive a single, combined price to include three categories of delivery services for road salt, including guaranteed early fill, guaranteed seasonal fill, and vendor reserve.

- **Guaranteed early fill** is a service that allows for ordering and delivery of salt to fill storage sheds to capacity prior to the winter season. If we request this amount, we are obligated to order all of the requested salt prior to the end of October.
- **Guaranteed seasonal fill** is a service that will fill our storage shed during the winter season between December and the end of April. All salt that is requested must be purchased and delivered, or penalties may apply.
- **Vendor reserve** is a service that allows for up to 20% of the total guaranteed purchase (e.g. early fill and seasonal fill) to be held in reserve in the event that additional salt is needed. There is no requirement to order this salt.

Due to the mild winter and relatively few snow and ice control events this winter, staff have not utilized as much salt as normal. Based on existing inventory and remaining salt to be delivered this year under the existing agreement, Village staff will likely request the following amounts:

	2022 – 2023	2023 - 2024	2024 - 2025
Guaranteed Early Fill	0 tons	75 tons	<b>0 tons</b>
Guaranteed Seasonal Fill	300 tons	300 tons	<b>100 tons*</b>
Vendor Reserve	60 tons	75 tons	<b>0 tons</b>

Note that the agreement will be sent out in mid-March for completion, with a due date of the end of March. Staff are proactively requesting permission to participate in this procurement process, as the due date will occur prior to the next Village Board meeting.

ATTACHMENTS: WisDOT Notice of Upcoming Invitation to Participate on State Contract 24/25 (dated 2/20/2024)

FISCAL IMPACT: TBD based on bid results. \$35,000 was included in the 2024 budget for road salt (450 tons at \$77.75/ton), of which \$15,290 has been expended to date.

RECOMMENDED MOTION: **Motion to authorize the Public Works Director to participate in the statewide sodium chloride bid and to enter into a municipal agreement with WisDOT for the 2024 – 2025 winter season.**

**Kamron Nash**

---

**Subject:** FW: Upcoming Invitation to participate on State Contract 24/25

**Subject:** Upcoming Invitation to participate on State Contract 24/25

Dear Local Official,

The purpose of this email is to notify you that the invitation to participate in the 2024-2025 road salt contract will be sent to you in sometime in March.

Your Unit of Government has previously participated in the Wisconsin DOT road salt contract.

At this time, please send any contact updates as soon as possible (e.g. additional staff, a change of contact over last year, etc.).

**As applicable: If it is required by your Unit of Government, please plan ahead and add the salt contract review to upcoming meeting agenda(s).**

If you have any questions or concerns, please reach out to me at

Please let me know if you have any questions.

Respectfully,

*Christina Thode*

Statewide Salt Coordinator

Financial Specialist-Senior

Department of Transportation

Bureau of Highway Maintenance



Village Hall, 262-567-2757  
Fax, 262-567-4115  
Highway Dept., 262-567-2422  
Police Dept., 262-567-1134  
Building Inspector, 262-490-4141  
[www.summitvillage.org](http://www.summitvillage.org)

Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

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## MEMORANDUM

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 8, 2024

Re: Discussion and Action on Street Naming & Address Numbering Policy

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### PURPOSE:

To request Village Board approval of a policy to provide the Village of Summit with a uniform and standardized system of street naming and property addressing.

### BACKGROUND:

A version of this policy was brought to the Village Board in December of 2023. At that time, the policy approval was tabled and staff was directed to work with Trustee Arenz on modifications to bring forward at a later date.

A revised version of the policy has been completed, based on discussion between Trustee Arenz and Director Nash.

### RECOMMENDATION:

Village staff believe that there is value in creation of a policy that provides clarity and guidance for street naming and address numbering, and it is recommended that the Village Board adopt this policy. The Village Building inspector and Village Planner have both reviewed the draft policy without any concerns. It is recommended that a Village Department be assigned responsibility for address numbering and street naming. Since the Public Works Department has oversight of the Building Inspector and Village Planner/Zoning Administrator, it makes sense to assign this responsibility accordingly.

ATTACHMENTS: Street Naming & Address Numbering Policy (DRAFT)

FISCAL IMPACT: No direct fiscal impact is anticipated.

**RECOMMENDED MOTION: Motion to adopt the revised Street Naming & Address Numbering Policy, as presented.**



**Village of Summit  
Policies & Procedures**

<b>Subject:</b>	Street Naming & Address Numbering Policy		
<b>Initial Date:</b>	March 14, 2024	<b>Revised Date:</b>	
<b>Approved By:</b>	Village Board		

**1.01 PURPOSE**

The purpose of this policy is to provide the Village of Summit with a uniform and standardized system of street naming and property addressing to:

- a) Minimize future street name and addressing conflicts.
- b) Expedite property identification by emergency services, the post office, and other delivery services.

**1.02 APPLICABILITY AND JURISDICTION**

These regulations shall apply to the naming of all public and private streets and the addressing of all addressable structures and parcels within the incorporated limits of the Village of Summit.

**1.03 IMPLEMENTATION AND ADMINISTRATION**

The Village of Summit Public Works Department shall have the authority to implement, administer, and enforce provisions of this policy. Authority under this policy includes, but is not limited to:

- a) Assigning address numbers in accordance with this policy.
- b) Approving new street names.
- c) Assemble, update, and maintain an official list of all street names throughout the Village for use by all jurisdictions.
- d) Provide, in the appropriate format, assigned address information to Waukesha County Geographic Information Systems (GIS), the local US Post Office, Waukesha County Parks and Land Use Department, Waukesha County Sheriff’s Department, and other Village departments.
- e) Provide assistance and information regarding addressing to local jurisdictions.

**1.04 STREET NAMING**

Streets, proposed with a subdivision or through other processes, shall be named and the names approved by the Village. In selecting street names, the following provisions shall be employed:


- a) Any new street established within the Village of Summit, public or private, or any existing unnamed street, public or private, shall require a street name approved by the Village.
- b) For subdivisions, approved street names shall be provided on the final plat map. Street names shall be submitted and approved prior to final plat processing. Approval of street names on a preliminary plat will not reserve the street name, nor shall it be mandatory for the Village to accept it at the time of final platting.
- c) Two (2) named streets per intersection is desirable. The maximum number of street names at one intersection shall be three (3).
- d) A street name may only be changed at a cross-street intersection. An exception may be granted or required to ensure address-numbering conformance.



**Village of Summit  
Policies & Procedures**

<b>Subject:</b>	Street Naming & Address Numbering Policy		
<b>Initial Date:</b>	March 14, 2024	<b>Revised Date:</b>	
<b>Approved By:</b>	Village Board		

- e) A name which is assigned to a street which is not constructed as a through street due to intervening land over which the street extension has been planned may be continued for the separate portions of the planned through street.
- f) Duplicate street names are prohibited within the Village.
- g) Names of similar pronunciation and/or spelling shall be prohibited (example: Briar Lane, Brier Lane, Merry Lane, Mary Lane, Beach Avenue, Peach Avenue, Apple Hill Road, Apple Road).
- h) Variations of the same name with a different street designation shall be prohibited within the first word of the two-word title or in the street extension (example: Pine Street, Pine Drive, Mound View Drive, Mound View Court).
- i) No street name shall consist of more than twenty (20) letters and/or spaces including the street type (Street, Lane, Court, etc.).
- j) No street name shall contain the words North, South, East, or West, or any combination thereof, within the street name (example: Eastside Road, Southwest Road). Use of standard suffixes, directional suffixes, or prefixes as road names shall not be permitted.
- k) Special characters in road names such as hyphens, apostrophes, or dashes shall not be permitted.
- l) All named streets that extend from incorporated areas into unincorporated areas shall retain the same name.
- m) A newly established street, which has less than a 125-foot centerline alignment offset from an existing street, shall continue the same street name. A newly established street, which has more than a 125-foot centerline offset from an existing street intersection, shall be assigned a new name.
- n) Street names which are not readily pronounced, or which would be distasteful to a reasonable person, are prohibited. The Public Works Director shall have the discretion to refer any disputed street name, addressing issues, or controversial street name changes to the Village Board for resolution.
- o) The following generic classes of street suffixes are noted for providing a basic guide for name designation:
  - 1. Primary and secondary roads which are designed to carry traffic from one sector to another within the county: Freeway, Highway, County Road, Road, Street.
  - 2. Collector roads which are designed to carry limited through traffic while also providing access from private driveways and smaller local roads: Road, Street, Avenue, Drive, Boulevard.
  - 3. Local residential access streets: Lane, Trail, Drive, Street, Terrace, Avenue.
  - 4. Local residential access streets which begin and end on the same collector: Loop, Circle, Way.

	<b>Village of Summit Policies &amp; Procedures</b>		
	<b>Subject:</b>	Street Naming & Address Numbering Policy	
	<b>Initial Date:</b>	March 14, 2024	<b>Revised Date:</b>
	<b>Approved By:</b>	Village Board	

5. Other suffixes not listed above may be considered or variations from the above may be allowed at the discretion of the Village.

- p) Street signs shall be placed, constructed, and installed in conformance with the Village of Summit Public Works Department standards. The applicant shall be responsible for the cost of the sign and installation.
- q) Property owners abutting an existing street which has an existing approved name may petition the Village Board for a name change. Requests for name changes shall be approved by 100 percent of property owners abutting the street and pay the cost of street sign replacement. Changes may be authorized by the Village Board when it is found to be in the public interest and meets the naming requirements of this policy.

**1.05 PROPERTY ADDRESSING PROCEDURES**

In accordance with Village Ordinance Sec. 103-288, every residence and business establishment in the Village shall be numbered according to the established grid system adopted by the Village of Summit Plan Commission.

- a) **County System Applies.** The uniform address system of the Village of Summit shall be based on and become a part of a uniform address system for Waukesha County. All provisions herein relating to the establishment of a uniform address system for the county are hereby approved, and such provisions as are applicable to the Village of Summit, as more specifically set forth in the following Subsection, are hereby adopted by the Village of Summit Board.
- b) In determining the proper range to address a development, first consideration will be given to the existing addresses of surrounding properties. New addresses will be integrated within these surrounding addresses in order to create a uniform consecutive address scheme without duplication.
- c) Whole numbers are preferred for the address, rather than ½ numbers. Whenever possible, the address numbers should be selected to allow enough spacing between assigned address numbers so additional addresses can be added in the future.
- d) Even numbers shall appear on the north and east side of streets and odd numbers on the south and west sides unless the street changes directions and then the numbering will follow the grid for the majority of the direction the street runs.
- e) Streets that have a definite north-south directional course shall be addressed using the north-south address grid. Streets that have a definite east-west directional course shall be addressed using the east-west address grid.
- f) Streets which do not have a definite directional course or exhibit an “S” shaped curve shall utilize the grid of the prominent street direction. All addresses on one side of the street are consistently even or odd. If the orientation creates a conflict because of duplication of addresses, the street shall then be oriented to the other grid.



**Village of Summit  
Policies & Procedures**

<b>Subject:</b>	Street Naming & Address Numbering Policy		
<b>Initial Date:</b>	March 14, 2024	<b>Revised Date:</b>	
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- g) "U" shaped streets or streets that loop back to reattach to itself, shall be addressed in a manner that keeps the even numbers on one side and odd numbers on another side, avoiding a potential "flip-flop" in the even/odd designations.
- h) Cul-de-sacs shall be numbered as typical streets except that an even and odd number will abut at a point in the bubble of the cul-de-sac.
- i) Blisters or bumps are extensions off of a road and are not considered true cul-de-sacs. Addresses should run continuously through the bump on the side that it appears, resulting in fewer addresses being used on the opposite side of the street.
- j) Corner lots shall be assigned a number by the road which the front of main entrance of a structure faces. When a commercial building faces a main road, but it accessed from a secondary road, an address will be allowed to the main road if the primary entrance faces the main road. However, when the front door is obscured or the structure only has access from a public or private driveway and is best reached for emergency purposes by that driveway, addresses shall be assigned based on where the access driveway intersects the road.
- k) Flag lot buildings obtaining access through a panhandle to a public road will be addressed to the public road to which they obtain access.
- l) Vacant lots will not be assigned an address. Addresses shall be supplied only for habitable structures and devices with existing telecommunication/electrical service. Addresses for proposed structures within a major subdivision may be provided after the final plat approval has been obtained; however, an address does not become "official" until a building permit is issued.
- m) Residential buildings that have more than one dwelling unit shall utilize one of the following addressing procedures:
  - 1. If dwelling units within the building share building entrances and common areas, then the building shall be assigned an address and the individual units shall be assigned apartment numbers.
  - 2. If each dwelling has its own entrance, then the Village in consultation with the owner may choose either a separate address for each unit, or the building shall be assigned an address and the individual units shall be assigned apartment numbers.
  - 3. If additional units or addresses are requested for an existing building, then the addressing method already used for the building should be continued for the new addresses.
- n) Commercial buildings that have more than one business tenant space shall utilize one of the following addressing procedures:
  - 1. If the business spaces within the building share building entrances and common areas, then the building shall be assigned an address and the individual spaces shall be assigned suite numbers or letters.



**Village of Summit  
Policies & Procedures**

<b>Subject:</b>	Street Naming & Address Numbering Policy		
<b>Initial Date:</b>	March 14, 2024	<b>Revised Date:</b>	
<b>Approved By:</b>	Village Board		

2. If each business space has its own entrance, then the Village in consultation with the owner may choose either a separate address for each business space, or the building shall be assigned an address and the individual spaces shall be assigned suite numbers or letters.
3. If additional units or addresses are requested for an existing building, then the addressing method already used for the building may be continued for the new addresses.
  - o) All addressing plans shall be reviewed and approved by the Public Works Department to ensure conformance to emergency services protocols and this policy.

**1.06 ADDRESS DISPLAY**

- a) In accordance with Village Ordinance Sec. 103-289, it shall be the responsibility of the property owner to display and maintain assigned street numbers in a location clearly visible from the road or highway.
  1. Street numbers shall be displayed not greater than ten feet from the edge of the public highway, and not closer than three feet, nor more than ten feet from the edge of the driveway, using numbers and bracket to be furnished by the Village per the standards of size, style, and color established by the Village Board from time to time for the Village on a uniform basis. The Village Board may, however, establish specific requirements for the uniform location and/or method for display of street numbers for a specific development or subdivision. In such event, property owners within such development or subdivision shall display street numbers in compliance with the Village Board's requirements.
- b) In accordance with Village Ordinance Sec. 103-290, the property owner shall be responsible for displaying and maintaining street numbering.
  1. In the event any street number becomes illegible from the highway for any reason, or there is damage to, or loss of, any street numbers, such street numbers shall be replaced in conformity with Village Ordinance within a reasonable length of time. Such replacement shall be the property owner's responsibility, as well as the property owner's expense.
- c) In accordance with Village Ordinance Sec. 103-291, removal of street numbering is prohibited.
  1. No person shall deface, destroy, obstruct, or remove any street number required by Village Ordinance; provided, however, that this section shall not be construed to prohibit any property owner or their agent from temporarily removing street numbering for purposes of complying with the maintenance/replacement requirements set forth in Village Ordinance Sec. 103-290.

**1.07 CHANGE OF EXISTING ADDRESSES**

Existing addresses may be changed for just cause under the following circumstances:

- a) Site address is out of sequence or there is an odd/even error on the road segment.



**Village of Summit  
Policies & Procedures**

**Subject:** Street Naming & Address Numbering Policy

**Initial Date:** March 14, 2024

**Revised Date:**

**Approved By:** Village Board

- b) Site where addresses of one or both neighboring parcels were assigned in such a way that there is no address available for a vacant lot(s).
- c) Change of access point for the structure/parcel.
- d) Road name change.
- e) Any other reason that is consistent with the intent of this policy.

**REVISION HISTORY**

03/14/2024 Initial publication. – PENDING

DRAFT



Village Hall, 262-567-2757  
 Fax, 262-567-4115  
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Summit Village Hall • 37100 Delafield Road • Summit, WI 53066

**MEMORANDUM**

To: Village Board

From: Kamron Nash, P.E., Village Public Works Director

Date: March 8, 2024

Re: Discussion and Action on Request for Canoe/Kayak Ramp on Genesee Lake Road at the Bark River


**PURPOSE:**

To provide a request from a Village resident for a concrete canoe/kayak ramp at the Bark River on Genesee Lake Road.

**BACKGROUND:**

Mike Carr, a resident of the Village, has made a formal request that the Village Board consider addition of a concrete canoe/kayak ramp on Genesee Lake Road. This location is currently utilized as a put-in/take-out location for these activities, along with an upstream location on N Sawyer Rd.

As part of the recent Comprehensive Outdoor Recreation Plan update, this location was identified as a future boat/kayak launch facility, as described below:

Special Purpose Parks & Water Access Facilities	
<p><b>Park Site No. 13</b></p>  <p><i>Long-Term (&lt; 5 years)</i></p>	<p><i>Location</i> Bark River access located north of the Ravinia Park Subdivision on Genesee Lake Road near the bridge.</p> <p><i>Additional Information</i> Kayakers currently access the river from the bank in the public right-of-way of Genesee Lake Road on both sides of the bridge. Vehicles (some with small trailers) are often left parked on the shoulder of the road west of the bridge.</p> <p><i>Population Served</i> This area is already known to small watercraft users as an access point to the Bark River. Improvements to the access area and improved parking facilities would create a safer environment in this area, while providing an additional public access point to the river.</p>

The resident is asking that the Village determine an estimated cost for this work. He has indicated that he is willing to contribute to the cost of the improvement and would assist with fundraising efforts, if needed.

**RECOMMENDATION:**

Village staff are looking for direction from the Village Board regarding this request since it is not included in the CIP or the Village budget. Mr. Carr would like the Village to assist with determining an estimated cost of such an improvement. It is possible for the Village to complete this work utilizing DPW labor, but there would be permitting required and further investigation of the requirements by the DNR.

**ATTACHMENTS:** Email correspondence from Mike Carr, *RE: Genesee Lake Road Kayak Put-In/Take-Out Ramp Proposal* (dated 3/4/2024)

FISCAL IMPACT: To be determined. Costs of installation of the ramp and materials may be donated.

RECOMMENDED MOTION: To be determined, based on direction from the Village Board.

## Kamron Nash

---

**From:**  
**Sent:** Monday, March 4, 2024 2:44 PM  
**To:** Kamron Nash  
**Subject:** Genesee Lake Road Kayak Put-In / Take-Out Ramp Proposal

3-4-24

To: Kamron Nash, Director of Public Works

From: Mike Carr, Village of Summit

Kamron –

Thank you for chatting with me last week and entertaining my proposal for construction of a modestly-sized concrete ramp for canoe and kayak enthusiasts who use the Bark River to put in and take out at Genesee Lake Road.

As you are aware, the Bark River is a very popular avenue for paddlers whenever the water level is sufficiently high. The Sawyer Road bridge, because of its location, is the preferred put-in spot and it's not unusual on a summer weekend to see up to two dozen vehicles parked north of the bridge along County Road P. A put-in ramp there would be highly useful, but because that location is along a county road, it falls under the jurisdiction of Waukesha County.

From Sawyer Road, paddlers enjoy a wonderful downstream ride on the meandering river, including a brief section through a corner of Crooked Lake before continuing to Genesee Lake Road, a suitable take-out point that is just about an hour's journey. Those who wish to venture further downstream can go further to the next take-out spot at Highway 67.

I propose the construction of a permanent inclined concrete walkway in the natural depression that currently exists on the north side of the bridge on the west side of the river. My initial thought is to suggest a width of three and a half or four feet and a lateral distance of approximately twenty feet from the water's edge up to a flat top – or whatever length is suggested by a formal engineering survey. For safety, the surface would be textured or ribbed in some way for better traction and a railing could be installed on the north (or downside) edge of the ramp.

This should be a fairly simple construction project – not as easy as just pouring a flat concrete slab, but certainly not overly complex if properly planned.

If the village board gives its blessing to explore this further, I suggest we arrange for the preparation of an engineering drawing for the concrete work, from which a cost estimate could be derived. Once a plan is in hand and the estimated expense is known, we can consider the options.

Once we have a handle on the estimated cost, my wife Patricia and I will consider donating funds for this project – and it might also be suitable for other citizen donations, whether through a local fund raising campaign, online crowd funding, or other means. Because of the nature of this as a truly public work, we could ask the concrete providers if they might donate the material or do the work at a discount. In any event, the cost to the village would be minimal.

Once we are successful in doing this at Genesee Lake Road, we can approach the county about doing something similar at the Sawyer Road bridge in the future.

Thank you for facilitating my request in whatever ways you deem appropriate.

Sincerely,

Mike Carr