

OFFICIAL
NOTICE OF PUBLIC HEARING

PUBLIC NOTICE is hereby given to all residents of the Village of Lake Hallie, Wisconsin, that public hearings will be held on **April 20, 2026**, at approximately **7:00 PM** at the Lake Hallie Municipal Building, 13136 30th Avenue, Lake Hallie, Wisconsin on the following petitions pursuant to Section 62.23 of the Wisconsin State Statutes.

Rezone Petition #2026-0004

Petitioner: Kellen Smead

Agent: Steve Rohrscheib, North Park Dental

Lot 2, Block 2, Loffler 3rd Addition, located in the NE ¼ of the NE ¼, Section 18, Township 28 North, Range 08 West.
(Note: This lot is part of parcel number 22808-1811-63110202) Property Address: 4756 139th Street.

From: Residential 1

To: Highway Commercial

Conditional Use Petition #2026-0011

Petitioner: Serendipity's Cup

Agent: Colin Gray/AEC Engineering

To allow a commercial business in the Industrial District in accordance with sections 70-108 and 70-74(b)(2) of the Lake Hallie Zoning Ordinance. Parcel number 22809-2533-76197001, which is Lot 1, Certified Survey Map 6197, located in the SW ¼ of the SW ¼, Section 25, Township 28 North, Range 8 West. Property Address: Vacant

Rezone Petition #2026-0005

Petitioner: Haselwander Company

Agent: Real Land Surveying/Jeremy Skaw

A portion of parcel number 22808-1841-00020000, located in the NE ¼ of the SE ¼, Section 18, Township 28 North, Range 09 West. (Note: This rezone request will align the Residential 3 zoning district with the proposed plat of Grand Meadows.) Property Address: vacant

From: Residential 2

To: Residential 3

Variance Petition #2026-0001

Appellant: Haselwander Company

Agent: Sean Bohan, AEC

To construct two two-family dwellings on each of the proposed lots within the Grand Meadows state plat with a setback of less than 6 inches between the dwellings. Section 70-101(C) of the Lake Hallie Zoning Ordinance allows one principal structure per lot and section 70-63 requires a 10' setback between structures. The Grand Meadows development will be on parcel number 22808-1841-00020000, which is located in the NE ¼ of the SE ¼, Section 18, Township 28 North, Range 09 West. Property Address: Vacant.

Specific information regarding these petitions can be obtained at the Chippewa County Department of Planning & Zoning.

Dated this **31st** day of **March**, 2026.

Douglas Clary, Director
Department of Planning & Zoning
Village of Lake Hallie

Village Of Lake Hallie
DEPARTMENT OF PLANNING & ZONING

• 711 North Bridge Street, Chippewa Falls, WI 54729 • Phone: 715.726.7940 • www.chippewacountywi.gov •

Land Management

Land Planning

Land Records & G.I.S.

POWTS & Wells

Date: March 31, 2026

To: Property Owner(s)

From: Douglas Clary, Director

Re: Public Meetings & Hearing

Dear Property Owner(s):

The Village of Lake Hallie has received a rezone request for a parcel of land that is located either adjacent to or in the vicinity of property owned by you. You are receiving this notice because your property has been determined to be within the legal public hearing notification distance per village and state requirements. I have enclosed a map identifying the location of the parcel associated with this rezone request. If you have any questions regarding this request, please contact me at (715) 726-7941.

Rezone Petition #2026-0004

Petitioner: Kellen Smead

Agent: Steve Rohrscheib, North Park Dental

Lot 2, Block 2, Loffler 3rd Addition, located in the NE ¼ of the NE ¼, Section 18, Township 28 North, Range 08 West.
(Note: This lot is part of parcel number 22808-1811-63110202) Property Address: 4756 139th Street.

From: Residential 1

To: Highway Commercial

Purpose: To construct an additional parking lot, which will service North Park Dental.

The following meetings are open to the public:

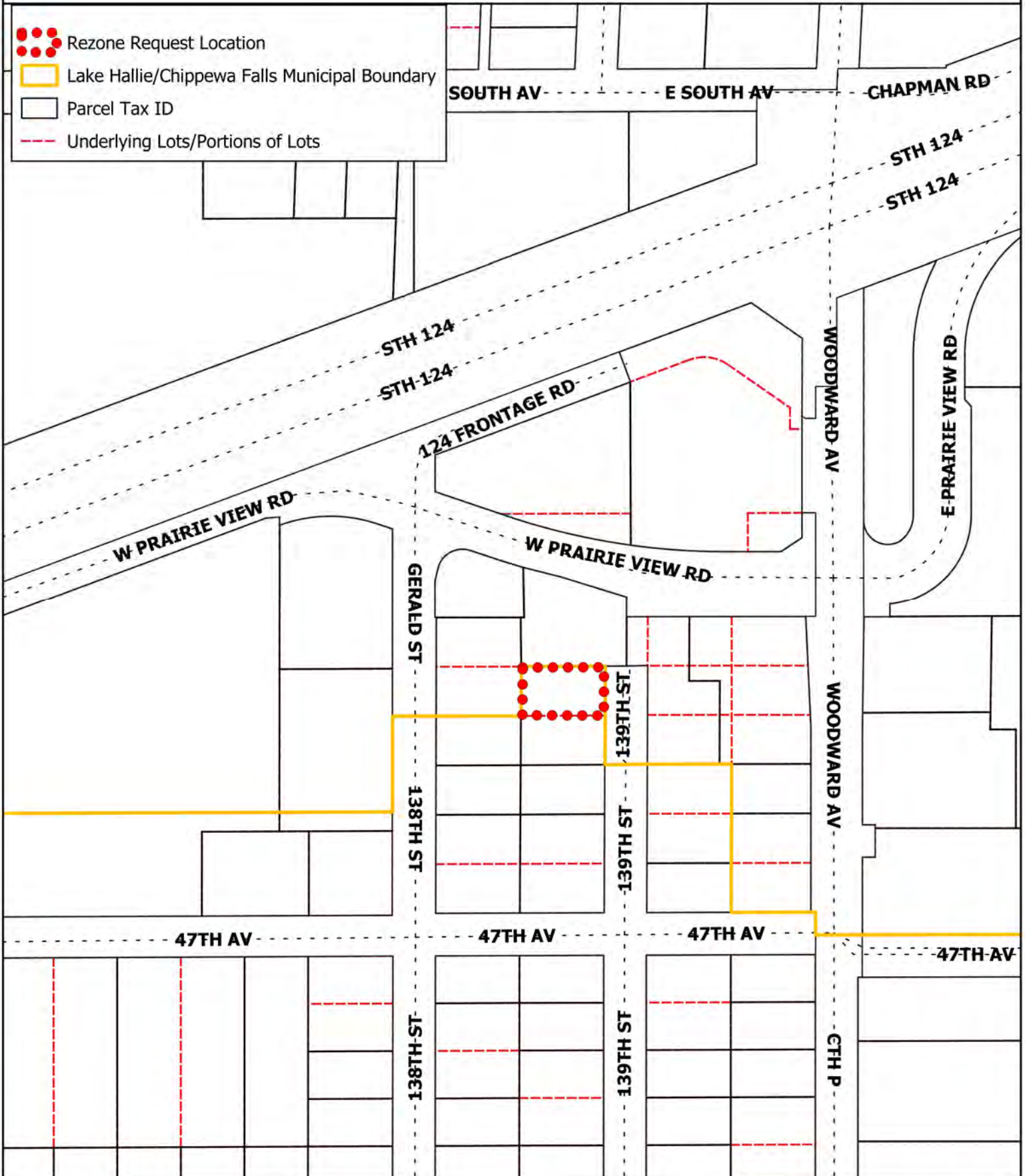
Lake Hallie Plan Commission:

The Village Plan Commission will meet on **April 13, 2026 at 6:00 PM** at the **Lake Hallie Municipal Building, 13136 30th Avenue**, Lake Hallie, Wisconsin to review this rezone request. The Plan Commission will make a recommendation for approval, approval with modification or denial, which will be forwarded to the Village Board.

Lake Hallie Village Board:

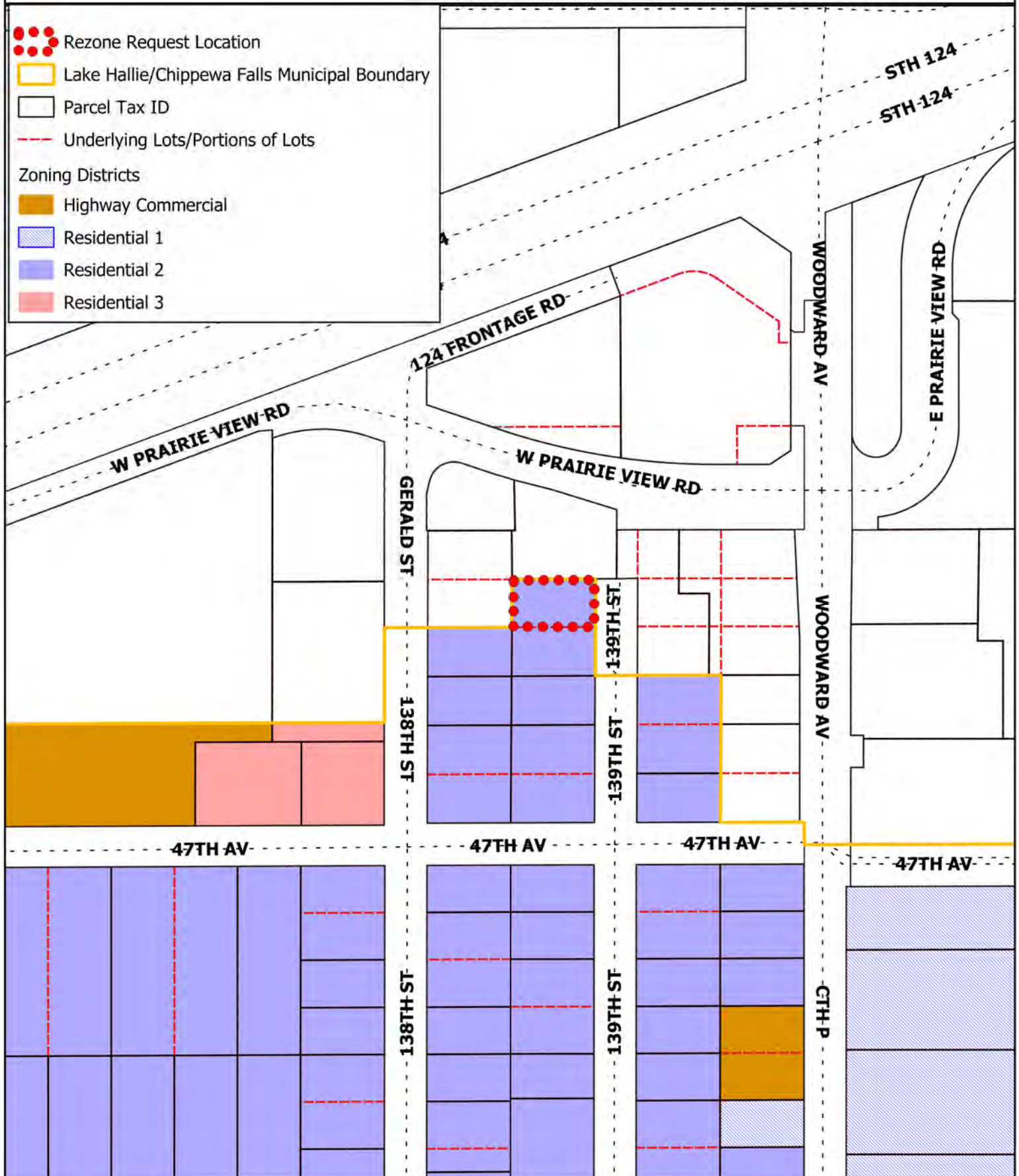
The Lake Hallie Village Board will hold a **PUBLIC HEARING** on **April 20, 2026 at 7:00 PM** at the **Lake Hallie Municipal Building, 13136 30th Avenue**, Lake Hallie, Wisconsin to review the recommendation from the Plan Commission and to make a final decision on this rezone use request.

2026-0004 Smead Rezone Request Location Map



2026-0004 Smead Rezone Request Zoning Districts

-  Rezone Request Location
-  Lake Hallie/Chippewa Falls Municipal Boundary
-  Parcel Tax ID
-  Underlying Lots/Portions of Lots
- Zoning Districts**
 -  Highway Commercial
 -  Residential 1
 -  Residential 2
 -  Residential 3



2026-0004 Smead Rezone Request Aerial (2025)

-  Rezone Request Location
-  Lake Hallie/Chippewa Falls Municipal Boundary
-  Parcel Tax ID
-  Underlying Lots/Portions of Lots



Produced on March 31, 2026 by the Chippewa County Department of Planning & Zoning and is for reference purposes only.

Scale: 1" = 150'

Village of Lake Hallie
DEPARTMENT OF PLANNING & ZONING

• 711 North Bridge Street, Chippewa Falls, WI 54729 • Phone: 715.726.7940 • www.chippewacountywi.gov •

2026 Rezone Application



Comprehensive zoning consists of written text (commonly referred to as the zoning ordinance) and an official zoning map. The zoning ordinance is a guideline for permitted and conditional uses, which are separated into zoning classifications or districts. The official zoning map shows how the Village Board, along with the Plan Commission, has designated the zoning classifications or districts to parcels of land within the municipal boundaries. A **REZONE** is where a property owner or other authorized entity seeks to amend the official zoning map, which would allow a use that is currently not permitted on the parcels of land based on the existing zoning classification or district. This is referred to as a zoning map amendment or "rezoning". The requested rezoning change may not be granted if it does not fit with the comprehensive plan and community goals for the Village of Lake Hallie.

SECTION I: Parcel Owner Information				SECTION II: Agent Information			
Name: Kellen H. Smead				Name: Steve Rohrscheib, NorthPark Dental			
Mailing Address: 4756 139th Street				Mailing Address: 4607 Royal Drive			
City: Chippewa Falls	State: WI	Zip: 54729		City: Eau Claire	State: WI	Zip: 54701	
Telephone: (406) 390-2732				Telephone: (715) 833-8755			
Email Address (Required): ksmead78@gmail.com				Email Address (Required): steve@smileleaders.com			
SECTION III: Parcel Information							
Village of Lake Hallie				Property Address: 4756 139th Street			
Parcel Number(s): Part of 22808-1811-63110202				City: Chippewa Falls	State: WI	Zip: 54729	
Existing Zoning District(s): Residential 1 District (R1)				Proposed Zoning District(s): Highway Commercial District (HC)			

GENERAL DIRECTIONS:

- Complete** this Application form and the required four (4) parts:
 - ☐ Part 1: General Questions related to the request
 - ☐ Part 2: Plan Commission and Village Board Schedule - 2026
 - ☐ Part 3: General Rezoning Process
 - ☐ Part 4: Applicant Acknowledgement/Signature
- Submit** the completed application, all required information and a **\$450.00** public hearing fee (Make check payable to: Chippewa County Treasurer) by the deadline (as listed in Part 2) to the Village of Lake Hallie Department of Planning & Zoning, Room 009, 711 N. Bridge Street, Chippewa Falls, Wisconsin 54729.
- Make arrangements** to attend or have a representative attend the Plan Commission and Village Board meetings. This presence is needed so that questions can be answered and concerns addressed.

FOR DEPARTMENT OF PLANNING & ZONING STAFF USE:		
Receipt Number:	Appeal Number:	Public Hearing Date:

Village of Lake Hallie – 2026 Rezone Application

Once the completed application is received, the Department will prepare a public hearing notice and publish it within the Chippewa Herald. The public hearing notice will include the location and time of the required public hearing before the Lake Hallie Village Board. In addition, your neighbors and any appropriate county or state agencies will be notified of the Plan Commission meeting and the Lake Hallie Village Board meeting by a separate mailing. At the both of these meetings, any party may appear in person or may be represented by an agent or attorney to present information to the Plan Commission and the Village Board in support or opposition of the rezone request.

PART 1: General Questions. Please use a separate 8.5" x 11" sheet to answer these questions.

- A. As the applicant, do you have legal title to the parcel(s)? If you **do not** have legal title to the property, please have the property owner sign this application.
- B. Identify all parcels that are or will be part of this rezone request. If needed, an additional sheet listing those parcels can be attached.
- C. Describe the present and, if known, any proposed improvements on each parcel.
- D. Explain why you are requesting to rezone the parcel. Please identify the proposed use of the parcel.
- E. Explain the compatibility of your proposed use with uses on adjacent parcels and those in the vicinity of this parcel.
- F. Discuss any additional issues you feel that supports the consistency of your proposed use with any Village ordinances and plans.

Be prepared to give a detailed presentation when called upon at the public hearing before the Plan Commission and the Village Board. Prepare an outline of your proposal, something similar to a "business plan", detailing for the commission and board your proposal, include any documentation you feel is necessary as part of your presentation in defining your proposal. It is vital to your application to consult with professionals you feel may be able to assist with your application (i.e. surveyor, attorney, engineer, etc.)

PART 2: Plan Commission and Village Board Schedule - 2026

Applications will not be placed on the appropriate agenda unless they are properly completed, include **ALL** required supporting information or documents **and** the payment of the public hearing fee. Applicants are encouraged to consult with staff of the Department of Planning & Zoning prior to the filing of the application. This is an important step to insure that all pertinent issues are identified and to determine what information, in addition to this application, might be necessary in order for the department to accept and process your request. Please CIRCLE or HIGHLIGHT the meeting you intend on attending:

	2026 - Mondays											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Info/Apps DUE @ 12:00 Noon	12-15	01-12	02-09	03-16	04-13	05-11	06-15	07-13	08-17	09-14	10-12	11-16
Plan Commission Meeting	01-12	02-09	03-09	04-13	05-11	06-08	07-13	08-10	09-14	10-12	11-09	12-14
VB Public Hearing/Meeting	01-19	02-16	03-16	04-20	05-18	06-15	07-20	08-17	09-21	10-19	11-16	12-21

Note: The Plan Commission meeting is typically scheduled for 6:00 PM on the second Monday of every month.

Note: The Village Board meeting is typically scheduled for the 7:00 PM on the third Monday of every month.

PART 3: General Rezoning Process:

- (A) The rezone application is filed with the Department of Planning & Zoning. This includes the legal description of the parcels to be rezoned, a written statement addressing the questions as listed in Part 1 and any other information your feel will aid in a decision on this request.
- (B) A Class 2 Public Hearing Notice will be published in the Chippewa Herald detailing the request and the date and time of the Public Hearing.
- (C) Property owners of the land and those property owners within 400' (or maybe a greater distance) of the requested rezone change are notified by mail of the pending request. The notice to the property owners will generally contain a portion of the public hearing notice and information pertaining to Plan Commission meeting and the Public Hearing in front of the Village Board.
- (D) General maps (location map, aerial view and existing zoning districts map) will be prepared for the request by the Department. A department staff report is also prepared and sent to the Plan Commission with the rezone application

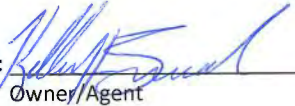
Village of Lake Hallie – 2026 Rezone Application

- (E) The Plan Commission will make a recommendation for approval, approval with modification or denial of the rezoning request. The recommendation is sent to the Lake Hallie Village Board who in turn can approve, approve with modification or deny the rezone request.

PART 4: Applicant Acknowledgement/Signature

This application must be signed by the property owner or in case of an agreement to purchase the property, a letter from the property owner acknowledging the potential buyer is seeking the rezone.

- I certify that the information I have provided in this application is true, accurate and complete.
- I or a representative will have an opportunity to present to the Plan Commission and the Village Board information in favor of this request.
- I have the authority to grant the staff of the Department of Planning & Zoning, Plan Commission or Village Board member's access to the property to conduct necessary inspections related to this request.
- I understand that I cannot speak to any member of the Plan Commission or Village Board about this application, except at the public hearing.
- I understand that I cannot direct any written communication about this application to a member of the Plan Commission or Village Board, unless I also file a copy with the Department of Planning & Zoning and direct additional copies to each person who has registered an interest in this application.
- I also understand that if I or my representative fail to appear in front of the Plan Commission or Village Board during the designated public meetings or hearings or my failure to observe the above mentioned rules, my request may be **DENIED**.

Signed:  Date: 3-12-26
Owner/Agent

PART 5: Planning & Zoning Department Mailing List

Applicant
Property Owner Owners within 400'
Planning & Zoning Committee Members
Town Board Chair & Clerk
County Board Supervisor
News Media
Others
Wisconsin DNR
US Army Corp of Engineers
Wisconsin DOT

REZONE APPLICATION – VILLAGE OF LAKE HALLIE

To: Plan Commission and Village Board of Village of Lake Hallie

From: Summit Dental Management, S.C., on behalf of parcel owner, Kellen H. Smead

Date: March 12, 2026

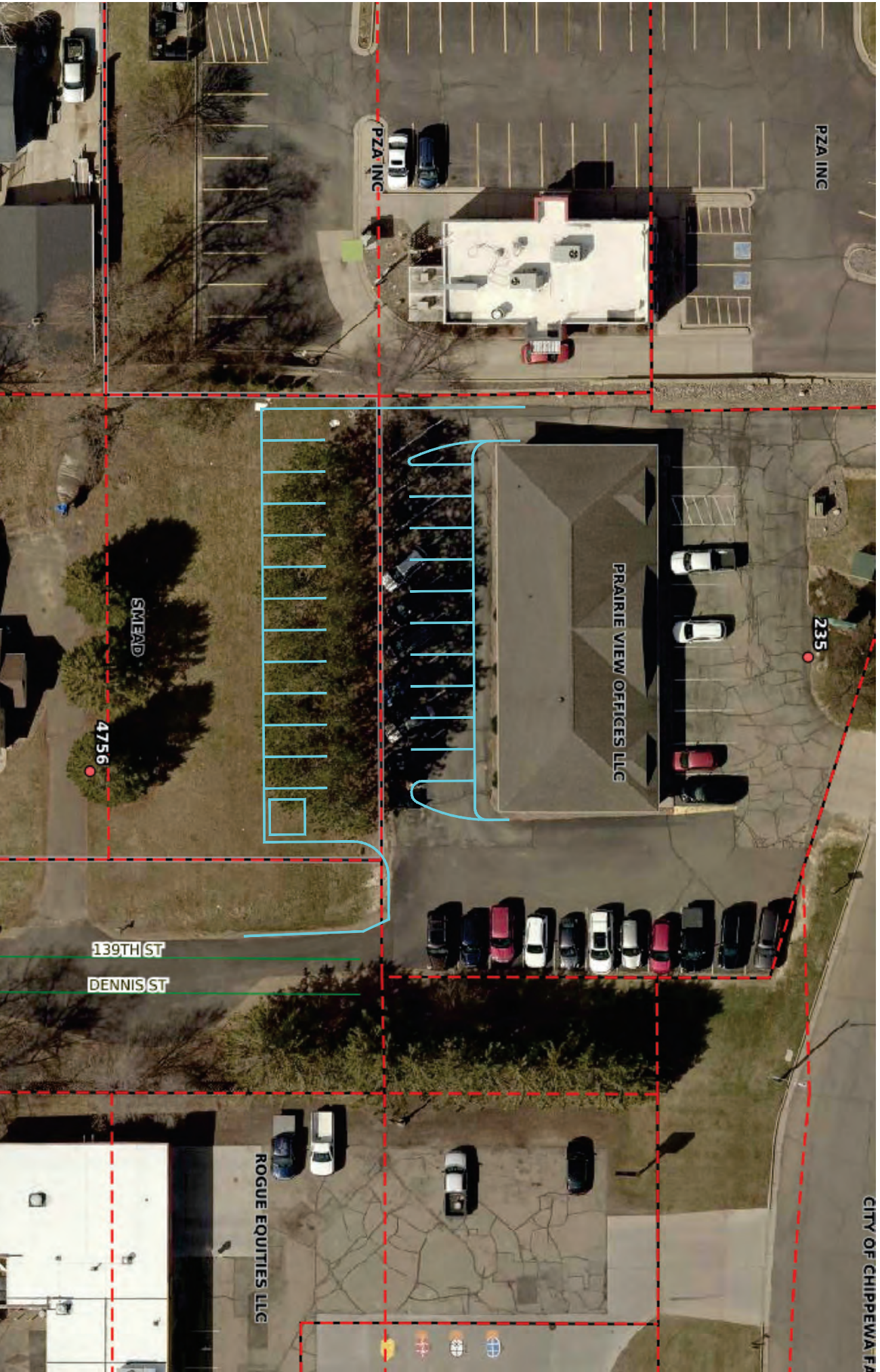
The petitioner, Kellen H. Smead (“**Petitioner**”), residing at 4756 139th Street, Chippewa Falls, Wisconsin, does hereby petition the Plan Commission and Village Board of the Village of Lake Hallie (the “**Village**”) to rezone a vacant lot located adjacent to Petitioner’s residence (the “**Subject Property**”) as hereinafter requested.

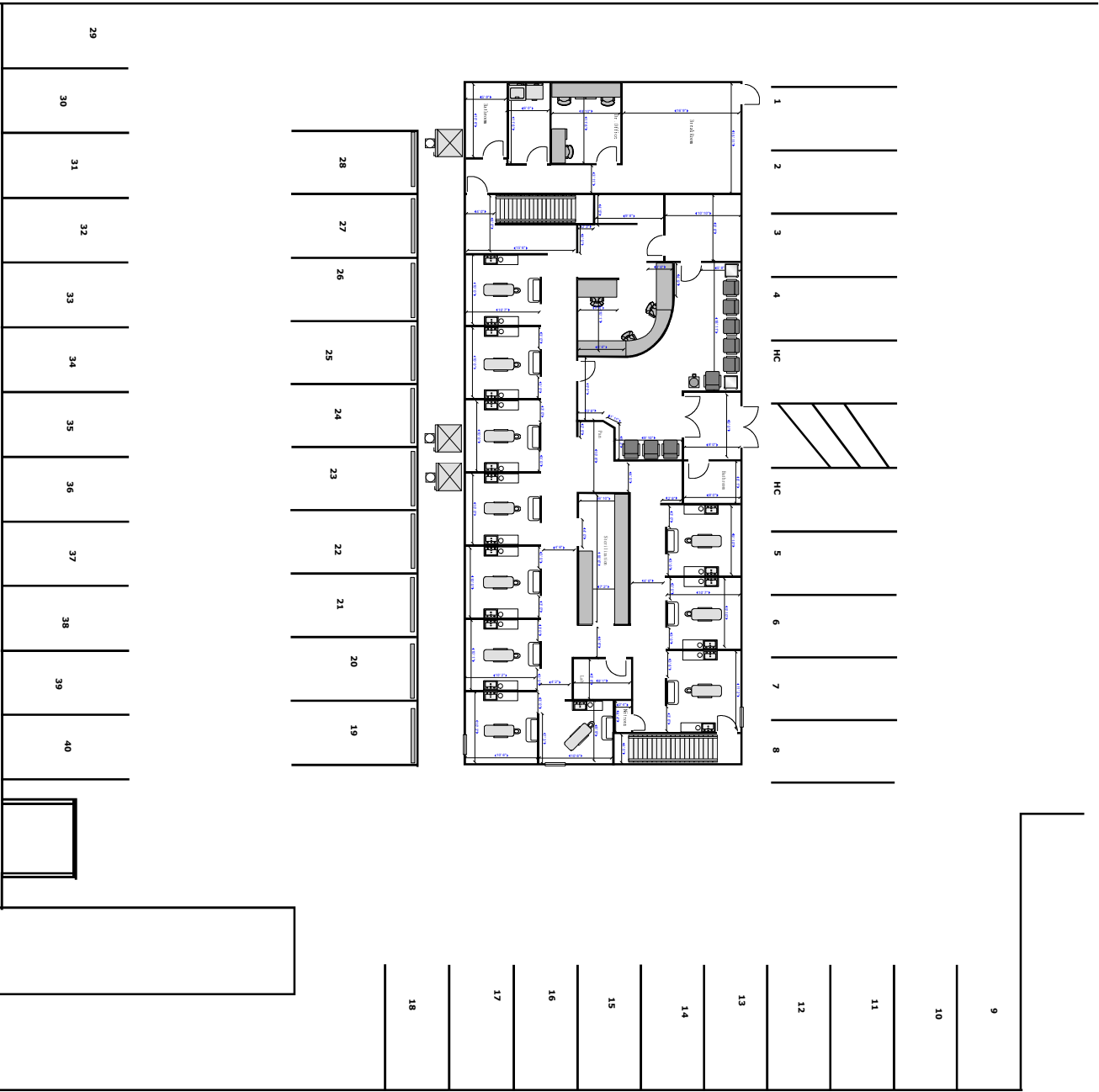
PART 1 OF REZONE APPLICATION: General Questions

- A. Applicant Information: The Applicant, Summit Dental Management, S.C. (“**Applicant**”), is the operator of a dental clinic known as NorthPark Dental (“**Clinic**”), located at 235 West Prairie View Road, Suite 1, Chippewa Falls, Wisconsin 54729, being immediately adjacent to the Subject Property, and is applying for a rezone on behalf of the property owner, Kellen H. Smead.
- B. Subject Property Information: The Subject Property is legally described as “Lot 2, Block 2, Loffler’s 3rd Addition, Village of Lake Hallie, Chippewa County, Wisconsin”, and is a part of Chippewa County Tax Key No. 22808-1811-63110202. The Subject Property is located adjacent to Petitioner’s residence, having an address of 4756 139th Street.
- C. Description of Present and Proposed Improvements on Subject Property: The Subject Property is presently a vacant residential lot. The Applicant has entered into a purchase agreement with Petitioner to acquire the Subject Property, conditioned upon a rezone of the Subject Property as described herein. Applicant desires to use the Subject Property to expand the parking lot for the Clinic, which is located adjacent to the north boundary of the Subject Property. Attached hereto for reference are exhibits depicting the proposed parking lot improvements Applicant desires to construct upon the Subject Property.
- D. Explanation for Rezone Request: Applicant is requesting a rezone of the Subject Property from Residential 1 District (R1) to Highway Commercial District (HC) to permit the use of the Subject Property as a parking lot to support Applicant’s adjacent Clinic business. Additional parking is necessary at the Clinic, however, there is no land available on the Clinic site for expansion. The Subject Property’s proximity to the Clinic allows sufficient room for a modest expansion of the parking lot from the Clinic property onto the Subject Property.
- E. Explanation of Compatibility of Proposed Use with Adjacent Lands: The Subject Property is located on the boundary of the Village of Lake Hallie and City of Chippewa Falls. This boundary also serves as a de facto demarcation line for residential use versus commercial

use. The properties located parallel with the Subject Property, to both the West (Taco John's fast-food restaurant) and the East (Grease Monkey oil change facility), are also zoned Highway Commercial District (HC), with parking lot facilities similar to that being requested by the Applicant. Besides the Petitioner's residence to the South, the use of the Subject Property for additional parking needs for the Clinic does not encroach upon any other residential uses in proximity to the Subject Property, and blends well with surrounding property uses. Applicant intends to install a fence and landscaping features to separate the proposed parking lot improvements from Petitioner's residence to the South.

- F. Additional Discussion of Proposed Use. Attached hereto for reference are exhibits depicting the proposed parking lot improvements upon the Subject Property. As shown in the in the exhibits, Applicant's proposal for parking lot improvements will not take up the entire Subject Property, but will instead only occupy approximately one-half of the Subject Property. Applicant also intends to install a fence and landscaping features on the southern edge of the parking lot improvements in order to create a barrier between the parking lot improvements and the residential area to the South of the Subject Property. Applicant believes this proposed use of the Subject Property is compatible to the use of surrounding properties given its location and proximity to other commercial uses. It seems unlikely that any new residential improvements will be constructed on the Subject Property in the future given the size of the parcel, existing commercial developments surrounding the site and other factors limiting potential residential development of this site.





Fence and Natural Barrier

OFFICIAL
NOTICE OF PUBLIC HEARING

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Rezone Petition #2026-0004

Petitioner: Kellen Smead

Agent: Steve Rohrscheib, North Park Dental

Lot 2, Block 2, Loffler 3rd Addition, located in the NE ¼ of the NE ¼, Section 18, Township 28 North, Range 08 West.
(Note: This lot is part of parcel number 22808-1811-63110202) Property Address: 4756 139th Street.

From: Residential 1

To: Highway Commercial

Conditional Use Petition #2026-0011

Petitioner: Serendipity's Cup

Agent: Colin Gray/AEC Engineering

To allow a commercial business in the Industrial District in accordance with sections 70-108 and 70-74(b)(2) of the Lake Hallie Zoning Ordinance. Parcel number 22809-2533-76197001, which is Lot 1, Certified Survey Map 6197, located in the SW ¼ of the SW ¼, Section 25, Township 28 North, Range 8 West. Property Address: Vacant

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Petitioner: Haselwander Company

Agent: Real Land Surveying/Jeremy Skaw

A portion of parcel number 22808-1841-00020000, located in the NE ¼ of the SE ¼, Section 18, Township 28 North, Range 09 West. (Note: This rezone request will align the Residential 3 zoning district with the proposed plat of Grand Meadows.) Property Address: vacant

From: Residential 2

To: Residential 3

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Agent: Sean Bohan, AEC

To construct two two-family dwellings on each of the proposed lots within the Grand Meadows state plat with a setback of less than 6 inches between the dwellings. Section 70-101(C) of the Lake Hallie Zoning Ordinance allows one principal structure per lot and section 70-63 requires a 10' setback between structures. The Grand Meadows development will be on parcel number 22808-1841-00020000, which is located in the NE ¼ of the SE ¼, Section 18, Township 28 North, Range 09 West. Property Address: Vacant.

Specific information regarding these petitions can be obtained at the Chippewa County Department of Planning & Zoning.

Dated this **31st** day of **March**, 2026.

Douglas Clary, Director
Department of Planning & Zoning
Village of Lake Hallie

VILLAGE OF LAKE HALLIE

DEPARTMENT OF PLANNING & ZONING

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Land Management

Land Planning

Land Records & G.I.S.

POWTS & Wells

Date: March 31, 2026

To: Property Owner(s)

From: Douglas Clary, Director



Re: Public Meetings & Hearing

Dear Property Owner(s):

The Village of Lake Hallie has received a conditional use request for a parcel of land that is located either adjacent to or in the vicinity of property owned by you. You are receiving this notice because your property has been determined to be within the legal public hearing notification distance per village and state requirements. I have enclosed a map identifying the location of the parcels associated with this conditional use request. Please contact me at (715) 726-7941 if you have any questions regarding this request.

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Petitioner: Serendipity's Cup

Agent: Colin Gray/AEC Engineering

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Lake Hallie Village Board:

The Lake Hallie Village Board will hold a **PUBLIC HEARING** on **April 20, 2026, at 7:00 PM** at the Lake Hallie Municipal Building, 13136 30th Avenue, Lake Hallie, Wisconsin to review the recommendation from the Plan Commission and to make a final decision on this conditional use request.

2026-0011 Serendipity's CUP Conditional Use Request
Location Map

Legend:

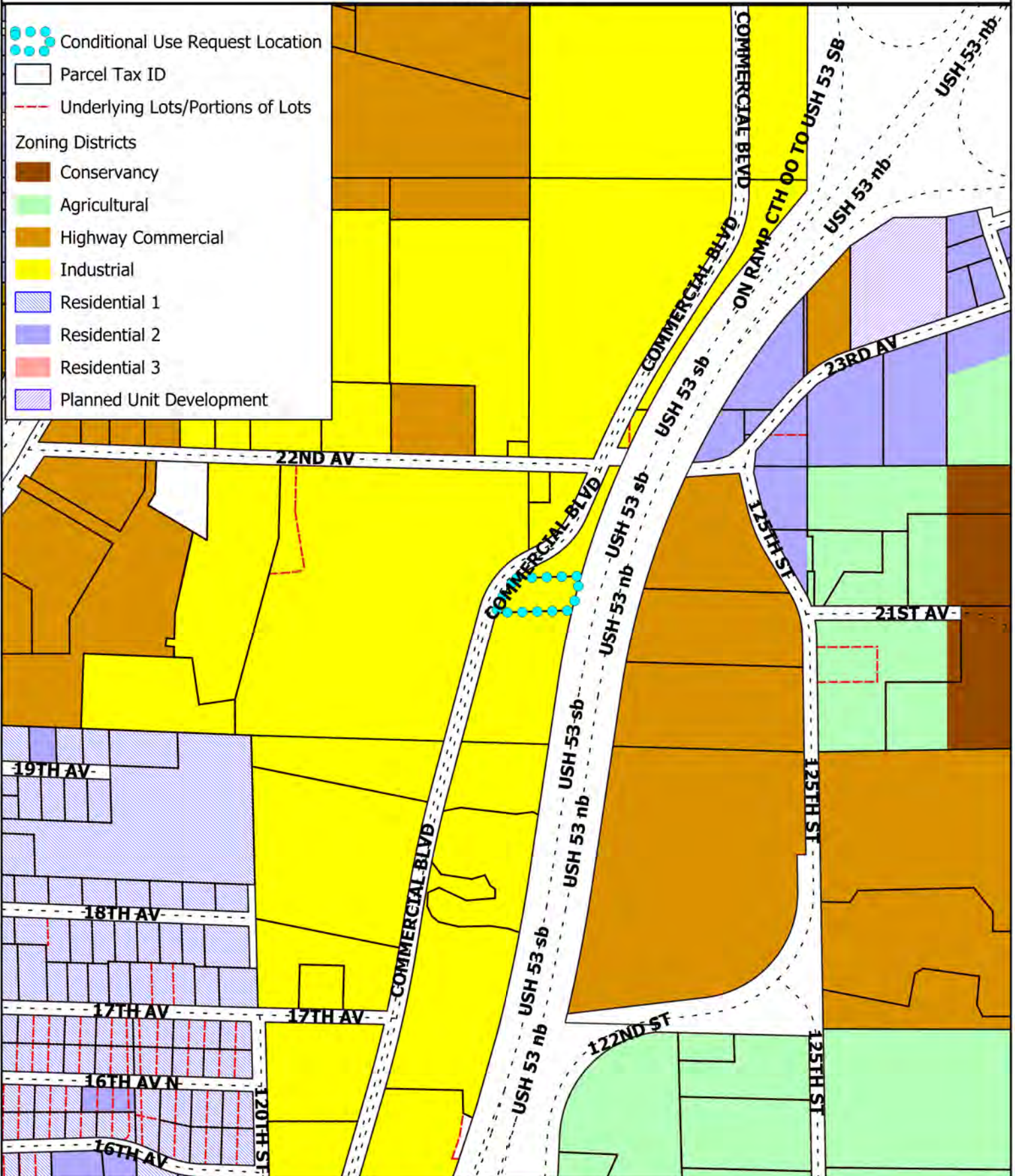
- Conditional Use Request Location (Blue dots)
- Parcel Tax ID (Black outline)
- Underlying Lots/Portions of Lots (Red dashed line)

Map Labels:

- Commercial Blvd
- USH 53 sb
- USH 53 nb
- 22ND AV
- 23RD AV
- 21ST AV
- 125TH ST
- 122ND ST
- 120TH ST
- 17TH AV
- 16TH AV
- 16TH AV N
- 18TH AV
- 24TH AV
- HALLER RD
- BUSINESS 53 BLVD
- ON RAMP CTH 00 TO USH 53 SB
- OFF RAMP EXIT 93 USH 53 NB TO CTH 00

Scale: 1" = 600'

2026-0011 Serendipity's CUP Conditional Use Request Zoning Districts



Produced on March 31, 2026 by the Chippewa County Department of Planning & Zoning and is for reference purposes only

Scale: 1" = 600'

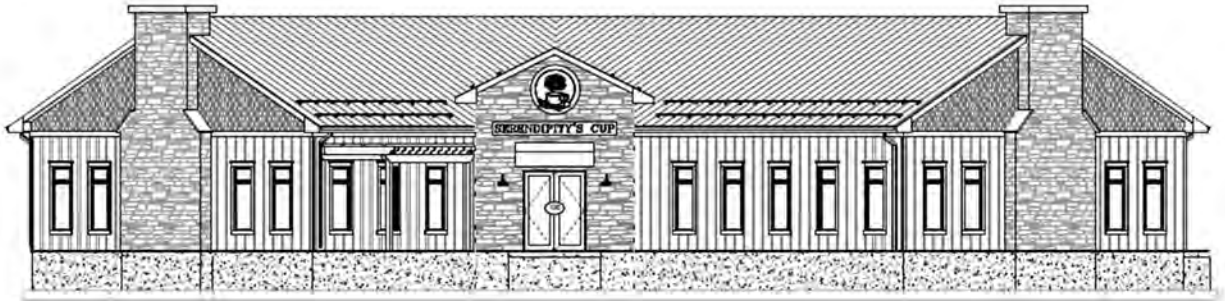
2026-0011 Serendipity's CUP Conditional Use Request
Aerial (2025)



Development Plan

Serendipity's Cup

Commercial Dr., Village of Lake Hallie, WI



This proposed project will disturb approximately 0.98 +/- acres for the development of a new site for Serendipity's Cup. Proposed improvements include a 5,270 S.F. building with a drive-thru, customer and employee parking stalls, and an offsite stormwater regional facility. Access into the site will come from Commercial Drive.

The existing site is undeveloped with trees/grass and bordered on the north by a commercial business, the east by U.S. Hwy 53, the west by Commercial Drive, and the south by an undeveloped site. Zoning is commercial in the north and south. Proposed driveway will come off of Commercial Drive.

Serendipity's Cup is a locally owned brunch café, coffee shop, bakery, and community event venue operating within the full building footprint shown on the submitted plans. The facility is designed to support dual uses: a daytime restaurant and coffee service area, along with a flexible event and gathering space. The restaurant will prepare and serve breakfast, brunch, specialty coffee beverages, tea, and house-made baked goods on-site for dine-in, drive-thru, exterior patio seating, and limited take-away service. The restaurant seating area is designed to accommodate approximately 60–70 guests max, with additional seasonal outdoor seating TBD.

The second tenant space will be fully owner-occupied and operated as a multi-use event and community room supporting meetings, trainings, small weddings, reunions, showers, and similar gatherings. This space is designed to seat a maximum of 72 guests and will be used for both daytime functions and limited evening events. Food service for events will be supported by the on-site commercial kitchen and restaurant operations.

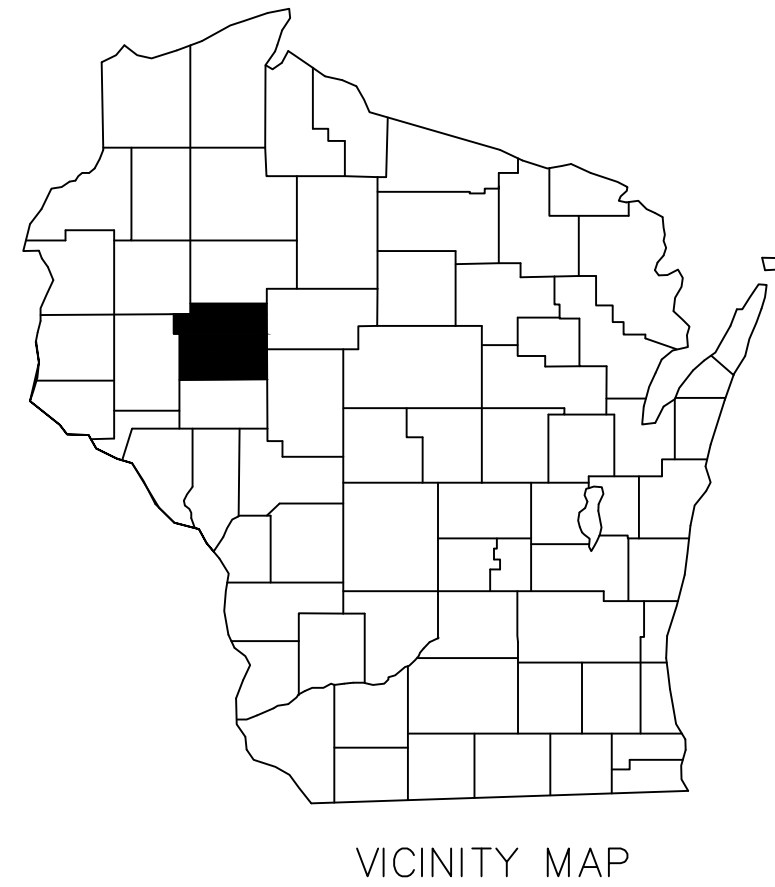
At opening, Serendipity's Cup is expected to employ approximately 14–20 staff members across management, kitchen, service, and event support roles. Based on operating projections and comparable local business patterns, daily customer volume is anticipated to average approximately 150–200 guests per day, varying seasonally and depending on scheduled events. Operations will emphasize safe food handling, efficient service flow, and coordinated use of the building's interior spaces, drive-thru access, and exterior seating areas to support both restaurant and event activities.

Runoff from the impervious surfaces will be collected and conveyed via stormwater inlet structures and storm piping to an offsite regional stormwater management facility located to the south of the site. The offsite regional stormwater management facilities was designed to treat, detain, and infiltrate runoff from this site at or above both the Village and County standards.

The proposed 5,270 S.F. building will consist of a dining room, kitchen, office, a utility rooms, bathrooms and a second tenant space. The building will have a grease interceptor connected to the sanitary system. Exact GPM of waste leaving the building will be calculated at a later time. This building will have water and sanitary served by Village of Lake Hallie utilities.

Anticipated construction will begin in May of 2026 with site work to be completed by mid-November of 2026. Building foundation work will begin in July of 2026 with building completion in the November of 2026.

CHIPPEWA COUNTY



VICINITY MAP



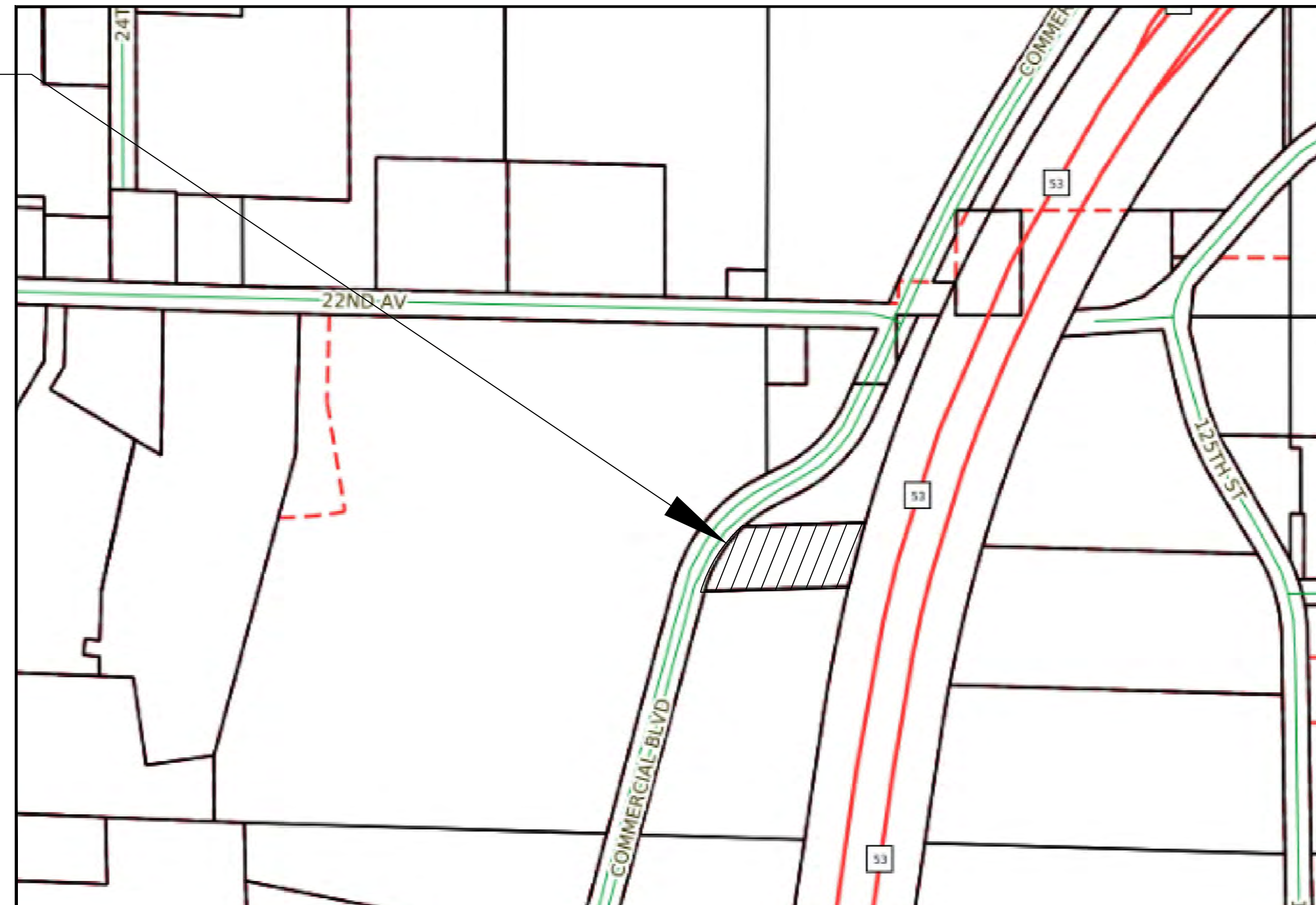
Know what's below.
Call before you dig.

PROJECT LOCATION

CONTACTS

CONTACTS	
ZONING DIRECTOR	CHIPPEWA COUNTY DOUG CLARY: (715) 716-7941
VILLAGE PRESIDENT	LAKE HALLIE VILLAGE PRESIDENT ATT: GARY SPILDE (715) 944-4211
STORMWATER	CHIPPEWA COUNTY LAND CONSERVATION & FOREST MANAGEMENT TRENTON SHUTTER: (715) 720-3644
ELECTRIC	ECEC NATHAN KARNES: (715) 836-6486
TELEPHONE	AT&T RICK PODOLAK: (715) 410-0656
CABLE	SPECTRUM SUNNY RICHARDSON: (715) 896-6503
GAS	XCEL ENERGY: DESIGN SECTION BENJAMEN CARLI: (715) 737-1450
FIRE	FIRE CHIEF SCOTT BERNETTE: (715) 723-9020

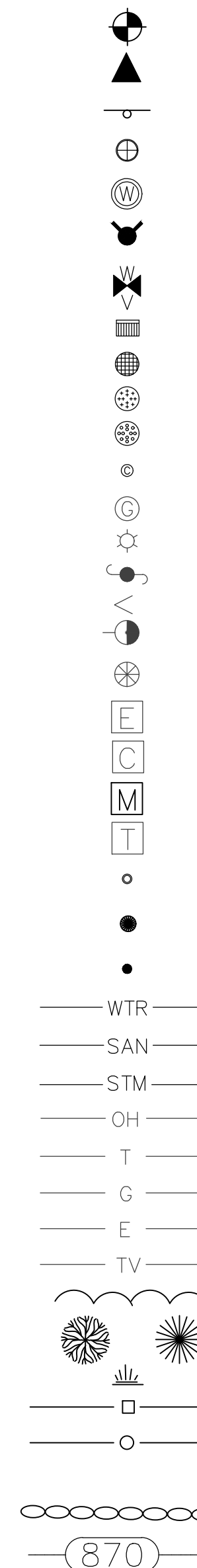
SERENDIPITY'S CUP RIVER VALLEY ARCHITECTS COMMERCIAL BLVD CHIPPEWA FALLS, WI 54703



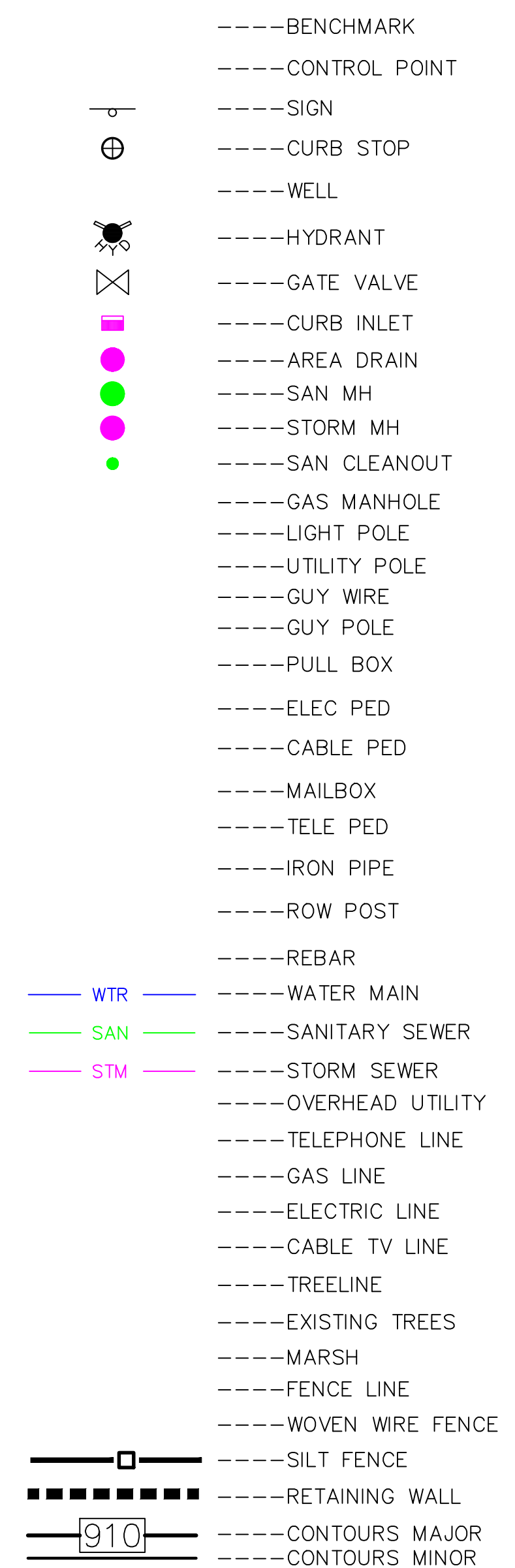
LOCATION MAP

LEGEND

EXISTING



PROPOSED



ABBREVIATIONS:
BC=BACK OF CURB
BLK=BLOCK NUMBER
BTM=BOTTOM (ELEV)
CL=CENTERLINE
CS=CURB STOP
ELEV=ELEVATION
EOP=EDGE OF PAVEMENT
EX=EXISTING
FES=FLARED END SECTION
FF=FINISHED FLOOR (ELEV)
FL=FLOWLINE
GF=GARAGE FLOOR (ELEV) @
OVERHEAD DOOR
GLG=GROUND LINE GROOVE
HWL=HIGH WATER LEVEL
INV=INVERT
LF=LINEAR FEET
LO=LOOKOUT STYLE HOME
LT=LEFT
MIN=MINIMUM
NWL=NORMAL WATER LEVEL
PC=POINT OF CURVE
PRC=CURVE REVERSAL POINT
PT=POINT OF TANGENCY
RAD=RADIUS
RT=RIGHT
R/W=RIGHT OF WAY
SAN=SANITARY SEWER
SP=SPOT ELEVATION
SS=SAFETY SHELF (ELEV)
STA=STATION
STM=STORM SEWER
TC=TOP OF CURB
T.O.P.=TOP OF PIPE
TP=TOP OF PAVEMENT
TYP=TYPICAL
W=WATER FITTINGS
WTR=WATER
WM=WATERMAIN
WO=WALKOUT STYLE HOME

SHEET SCHEDULE

SHEET NO.	DESCRIPTION
C100	TITLE SHEET
C200	EXISTING CONDITIONS & DEMOLITION PLAN
C300	SITE PLAN
C400	EROSION CONTROL PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C700-701	DETAILS

PROJECT DEVELOPER/ CLIENT:
SEY HOSPITALITY, INC
ATTN: SARAH DIPPEN
10798 34TH AVENUE N
CHIPPEWA FALLS, WI 54729
PHONE: 608.343.6234
EMAIL: dippen.sarah@gmail.com

PROJECT ARCHITECT
RIVER VALLEY ARCHITECTS
ATTN: ERIC STROJNY
3300 BIRCH STREET, STE 1A
EAU CLAIRE, WI 54703
PHONE: 715.832.0875
EMAIL: eric@rivervalleyarchitects.com

PROJECT ENGINEER:
ADVANCED ENGINEERING CONCEPTS
ATTN: SEAN BOHAN, P.E.
1360 INTERNATIONAL DRIVE
EAU CLAIRE, WI 54701
PHONE: 715.552.0330
EMAIL: sbohan@aec.engineering



SCHEDULE OF REQUIRED PERMITS

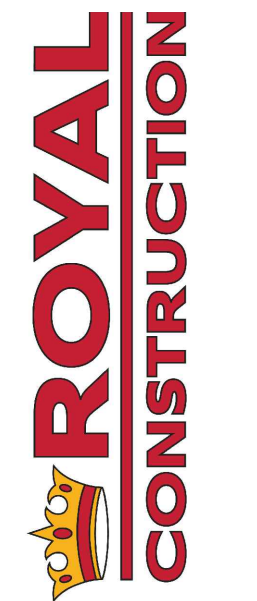
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
VILLAGE OF LAKE HALLIE SITE PLAN SUBMITTAL		
CHIPPEWA COUNTY – STORMWATER & E.C. PERMIT		
DSPS EXTERNAL PLUMBING REVIEW		

AEC PROJECT #: 26011

PLANS DATED: MARCH 2026



ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR.
EAU CLAIRE, WI 54701
PH 715-552-0330
INFO@AEC.ENGINEERING
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SARAH DIPPEN
SERENDIPITY'S CUP
LAKE HALLIE, WISCONSIN

NO	DATE	DESCRIPTION

DRAWN BY: CJG
PM: SPB
JOB NO: 26011
DATE: 03.16.2026

TITLE

C100

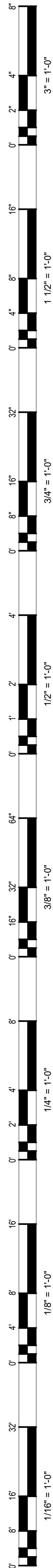
NOT FOR CONSTRUCTION - DESIGN DEVELOPMENT

1 FIRST
AE101 3/16" = 1'-0"

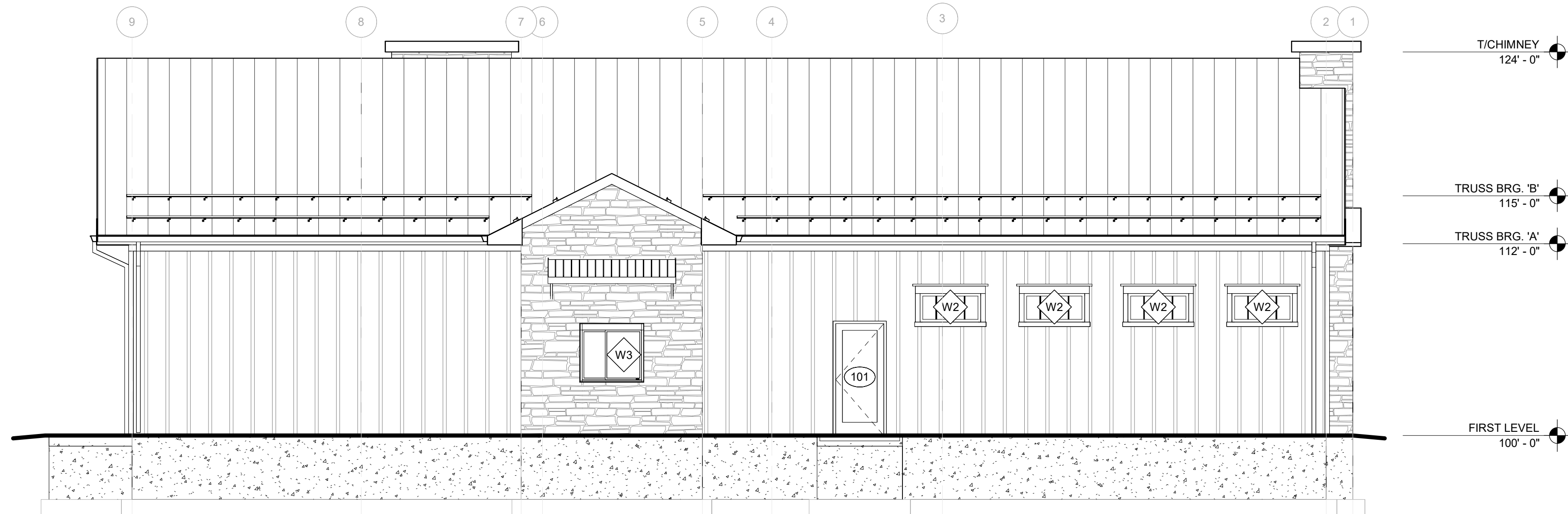


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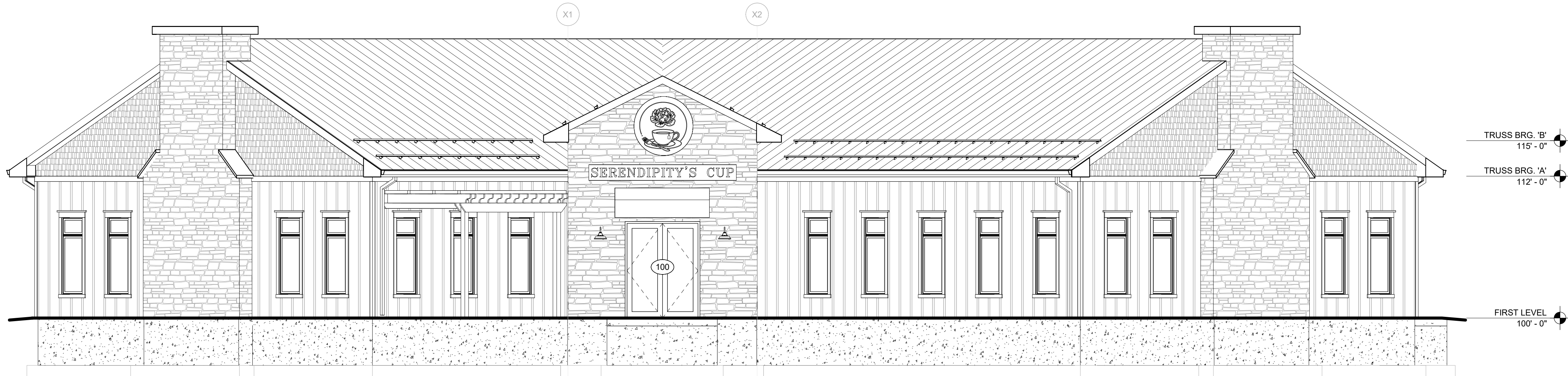
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1 WEST ELEVATION
AE203 3/16" = 1'-0"



2 NORTH ELEVATION
AE203 3/16" = 1'-0"

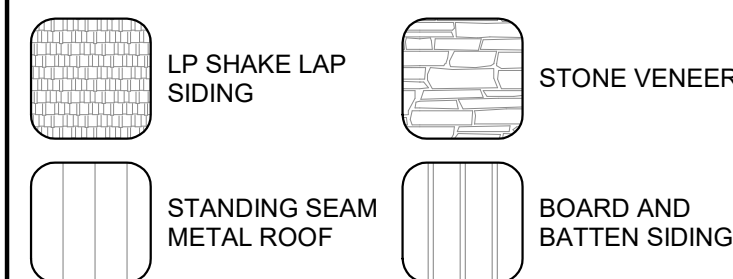


3 ENTRY ELEVATION
AE203 3/16" = 1'-0"

GENERAL NOTES

- A. GENERAL NOTES ON THIS SHEET ARE APPLICABLE TO THIS SHEET ONLY.
B. SEE SHEET AE601 FOR DOOR AND WINDOW SIZES AND HEAD HEIGHTS.

EXTERIOR FINISH LEGEND



SARAH DIPPEN
SERENDIPITY'S CUP
LAKE HALLIE, WISCONSIN

NO.	DATE	DESCRIPTION

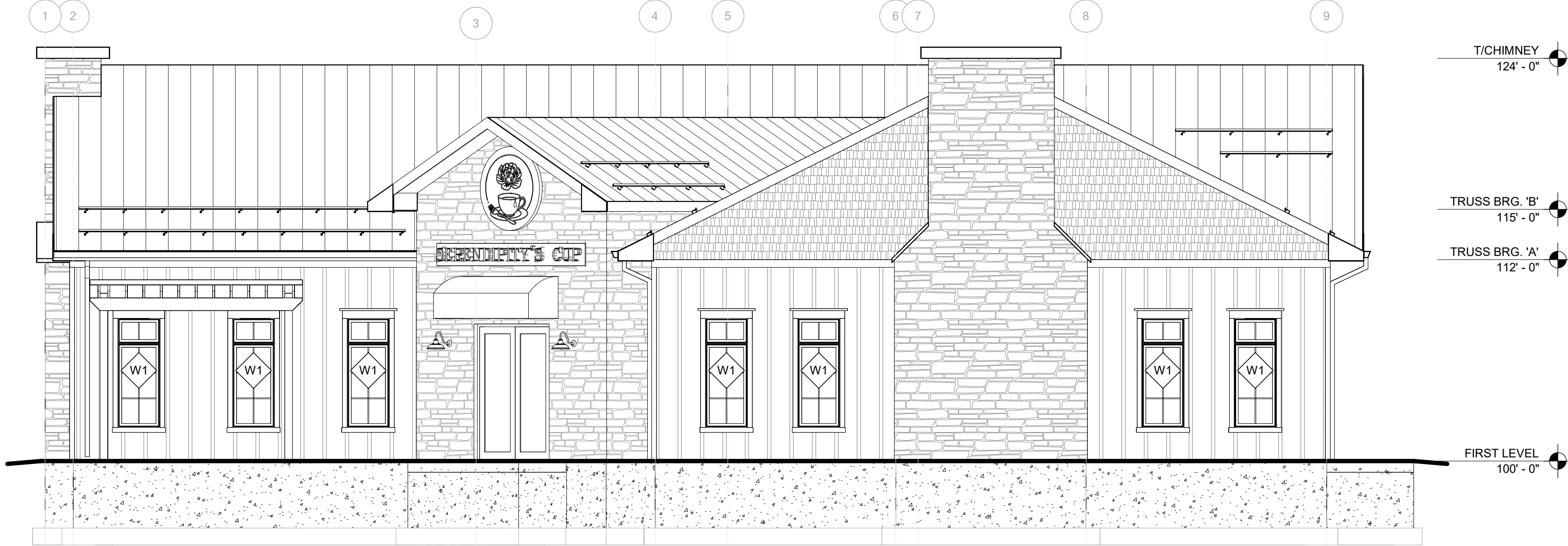
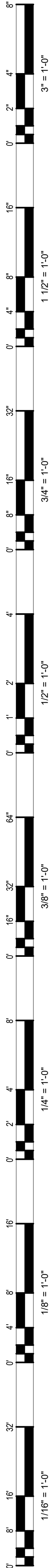
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PM: ES
JOB NO: 25-186
DATE: 03.16.2026

EXTERIOR
ELEVATIONS

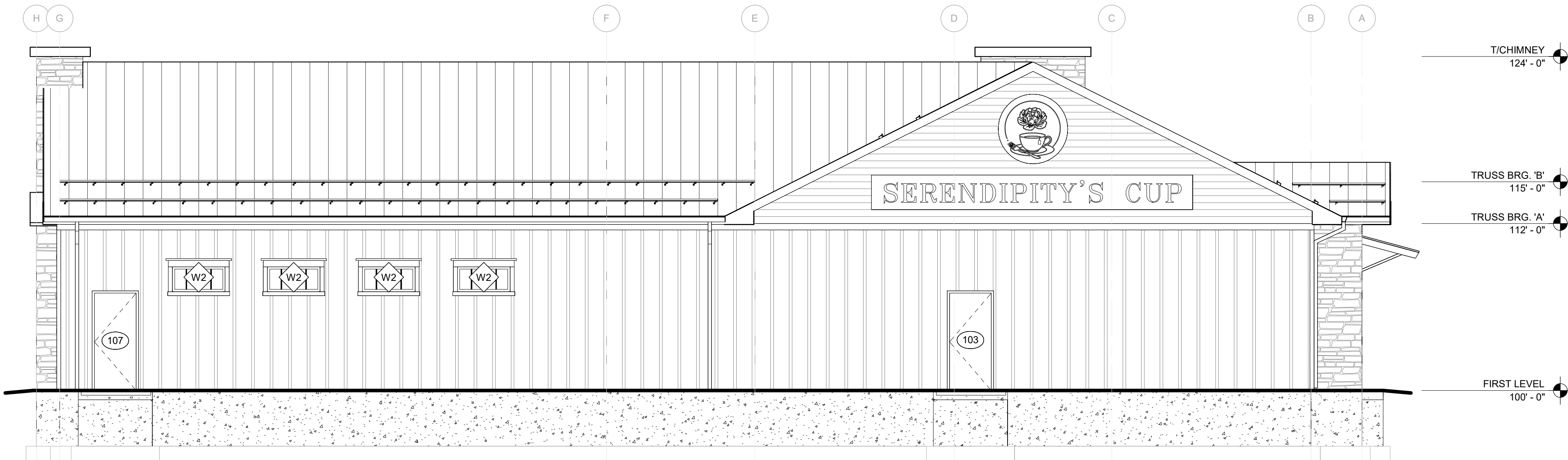
AE203

NOT FOR CONSTRUCTION - DESIGN DEVELOPMENT

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1 SOUTH ELEVATION
AE204 3/16" = 1'-0"



2 EAST ELEVATION
AE204 3/16" = 1'-0"

GENERAL NOTES

- A. GENERAL NOTES ON THIS SHEET ARE APPLICABLE TO THIS SHEET ONLY.
B. SEE SHEET AE601 FOR DOOR AND WINDOW SIZES AND HEAD HEIGHTS.

EXTERIOR FINISH LEGEND

	LP SHAKE LAP SIDING		STONE VENEER
	STANDING SEAM METAL ROOF		BOARD AND BATTEN SIDING



SARAH DIPPEN
SERENDIPITY'S CUP
LAKE HALLIE, WISCONSIN

NO.	DATE	DESCRIPTION

DRAWN BY: BW
PM: ES
JOB NO: 25-186
DATE: 03.16.2026

EXTERIOR
ELEVATIONS

AE204

NOT FOR CONSTRUCTION - DESIGN DEVELOPMENT



LEGEND

- | | |
|---|---|
|  | EXISTING CONTOURS—MNR |
|  | EXISTING CONTOURS—MJR |
|  | CLEAR AND GRUB TREES
(CLEARING LIMITS) |
|  | REMOVE PAVEMENT |
|  | FULL-DEPTH SAWCUT |
|  | CURB & GUTTER REMOVAL |
|  | UTILITY REMOVAL |

GENERAL NOTES:

1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
2. CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
3. CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
4. CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
5. CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
6. NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
7. CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
8. IF DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OR THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
9. TOPOGRAPHIC SURVEY PERFORMED BY TRUE NORTH SURVEYING FEBRUARY 10, 2026.

CONTROL - 26011				
POINT #	TYPE	NORTHING	EASTING	ELEVATION
BENCHMARK	1 1/4" REBAR	106716.86	163550.44	901.10



SARAH DIPPEN
SERENDIPITY'S CUP
LAKE HALLIE, WISCONSIN

[illegible]

DRAWN BY:	CJ
PM:	SF
JOB NO:	260
DATE:	02.27.20

EXISTING CONDITION & DEMOLITION PLAN	
---	--

C200

NOT FOR CONSTRUCTION - DESIGN DEVELOPMENT

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

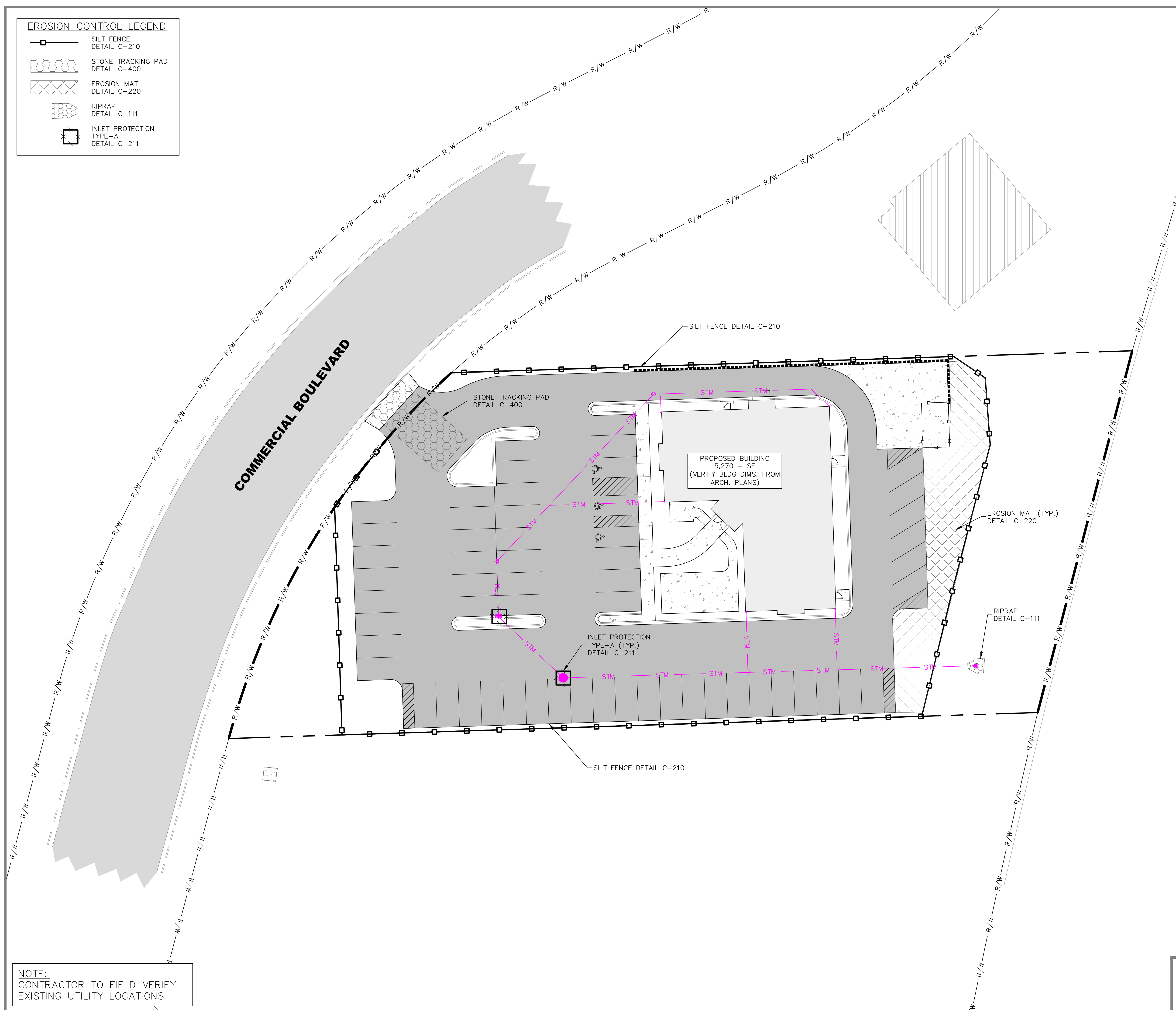
OWNER: MIDWAY MILE, LLC
PARCEL#: 22809-2533-00020003
ADDRESS: XXX COMMERCIAL BOULEVARD

OWNER: BRUCE & KAREN HAYHOE
PARCEL#: 22809-2533-74720003
ADDRESS: 2105 COMMERCIAL BOULEVARD

OWNER: MIDWAY MILE, LLC
PARCEL #: 22809-2533-7619700

OWNER: MIDWAY MILE, LLC
PARCEL #: 22809-2533-7619700

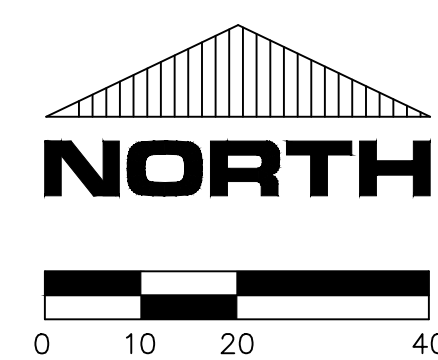
US HIGHWAY 53



THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

EROSION CONTROL NOTES:

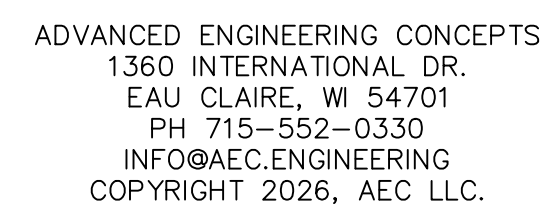
1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
2. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
3. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
4. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
5. INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBERING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
6. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
7. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
8. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND REPAIR BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
9. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1052.
10. LOCATE AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SOIL INTERRUPTION PRODUCTS #1071.
11. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
12. IMMEDIATELY STABILIZE STOCKPILES OF EXCAVATED MATERIAL WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A COLD WEATHER PERMANENT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
13. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
14. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE VILLAGE OF LAKE HAVILIE SEPARATE SWEEPED MATERIALS (SOILS AND DEBRIS) TO A DISPOSED APPROPRIATE LOCATION.
15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
16. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
17. COORDINATE WITH THE ENGINEER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
18. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOTS WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1051.
19. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOTS WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1051.
20. PROVIDE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.



THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

EROSION CONTROL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
2. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
3. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITIES TO LESS THAN 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE SOIL.
4. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
5. INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND THE WERE #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
6. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
7. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
8. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
9. RAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY REPLACE USING COMPOSING STRAW BALES (TYPICAL BAILE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
10. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER SODS AND SLOPE INTERUSION PRODUCTS #1071.
11. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
12. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN NOVEMBER 15 AND FEBRUARY 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE OCTOBER 15 THROUGH COOLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
13. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
14. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE VILLAGE OF LAKE HAVEN. SEPARATE DEEPT MATERIALS (SOILS AND MULCH) AND DISPOSE OF APPROPRIATELY.
15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
16. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
17. COORDINATE WITH THE ENGINEER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR EXCAVATED EROSION MATERIALS. FOR ANY EXCAVATED SITE FOR DISPOSAL, THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
18. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE A EROSION CONTROL MATTING. FOR CHANNEL EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
19. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE B EROSION CONTROL MATTING. FOR CHANNEL EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
20. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.



NOT FOR CONSTRUCTION - DESIGN DEVELOPMENT

SARAH DIPPEN
SERENDIPITY'S CUP
LAKE HALLIE, WISCONSIN



SERENDIPITY'S CUP



RIVER VALLEY ARCHITECTS

NO.	DATE	DESCRIPTION

DRAWN BY: CJG

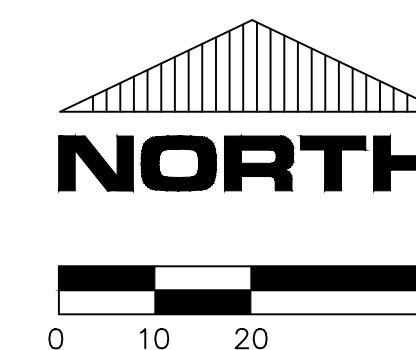
PM: SPB

JOB NO: 26011

DATE: 02.27.2026

EROSION CO
PLAN

C400



GRADING PLAN LEGEND

- (1106) ----- EXISTING CONTOURS—MNR
 ----- (1105) ----- EXISTING CONTOUR—MJR
 ----- (851) ----- FINAL CONTOUR—MJR
 ----- (849) ----- FINAL CONTOUR—MNR
 ----- DRAINAGE PATTERN LINES
 --- --- GRADE BREAK LINES
 1% ➡ PROPOSED DRAINAGE DIRECTION
 + XXX.XX PROPOSED SPOT ELEVATION
 + XXX.X± EXISTING SPOT ELEVATION
 FF FINISHED FLOOR ELEVATION
 TC TOP OF CURB
 TP TOP OF PAVEMENT
 TW TOP OF WALL ELEVATION
 BW GROUND AT TOE OF WALL

GRADING NOTES:

1. ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
2. RECTANGLES REPRESENT BUILDING PAD LOCATIONS, NOT STRUCTURE DIMENSIONS OR POSITION. STRUCTURE PLACEMENT SHALL COMPLY WITH ALL APPLICABLE SETBACKS PER CITY CODE AND FINAL PLAT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
4. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
5. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
6. ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN OR MORE DAYS MUST BE STABILIZED BY SEEDING, MULCH OR SODDING.
7. ALL TURF GRASS AREAS ARE TO BE RESTORED WITH A MIN. 4" OF SCREENED TOPSOIL, SEED & STRAW MULCH, 4" TOPSOIL, SEED & EROSION MAT OR 4" TOPSOIL AND SOD.
8. USE CARE TO SECURE A UNIFORM GRADE. GRADES SHALL BE CAREFULLY CHECKED AND IRREGULARITIES REPORTED TO ENGINEER. DEVIATION FROM ESTABLISHED LINES AND GRADES SHALL BE CAUSE FOR REJECTION OF WORK.
9. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS



ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR.
EAU CLAIRE, WI 54701
PH 715-552-0330
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NOT FOR CONSTRUCTION - DESIGN DEVELOPMENT

SARAH DIPPEN
SERENDIPITY'S CUP
LAKE HALLIE, WISCONSIN



RIVER VALLEY ARCHITECTS

C500

STORM SEWER TABLE					
STRUCTURE NO.	DETAIL NO.	RIM	INVERT	DIRECTION	PIPE DIA.
STM1	SS-460	-	895.00	-	12" HDPE
STM2	C-111	900.97	896.18	NW	12" HDPE
	SS-210		895.93	E	15" HDPE
STM3	SS-100	900.11	896.91	N	6" PVC
			896.41	SE	12" HDPE

DOWN SPOUT CONNECTIONS: DETAIL SS-500		
ID	INVERT	PIPE OUT
DSC-A	899.00	11 LF 6" SCH40 PVC @ 1.00%
DSC-B	899.00	8 LF 6" SCH40 PVC @ 6.38%
DSC-C	899.00	51 LF 6" SCH40 PVC @ 2.42%
DSC-D	899.00	28 LF 6" SCH40 PVC @ 10.44%
DSC-E	899.00	28 LF 6" SCH40 PVC @ 11.08%

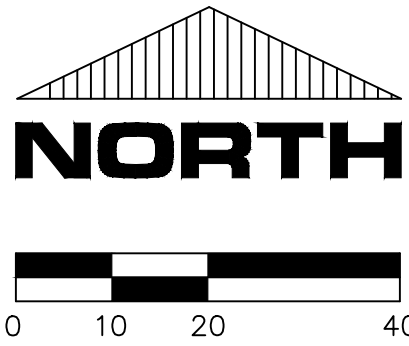
WATERMAIN TABLE	
FITTING	DETAIL/DESCRIPTION
W1	CONNECT TO EX. 8" SERV. STUB 8" X 4" REDUCER (SE)
W2	4" 45° BEND
W3	4" 45° BEND
W4	4" 45° BEND
W5	4" 45° BEND
W6	4" 45° BEND

SANITARY CLEANOUT TABLE			
STRUCTURE NO.	DETAIL NO.	INVERT	PIPE DIA.
CO#1	S-206	887.66	4" SAN
CO#2	S-206	889.66	4" SAN
CO#3	S-206	891.66	4" SAN
CO#4	S-206	892.75	4" SAN

STORM CLEANOUT TABLE			
STRUCTURE NO.	DETAIL NO.	INVERT	PIPE DIA.
CO#1	SS-206	897.16	6" STM
CO#2	SS-206	898.19	6" STM



Know what's below.
Call before you dig.



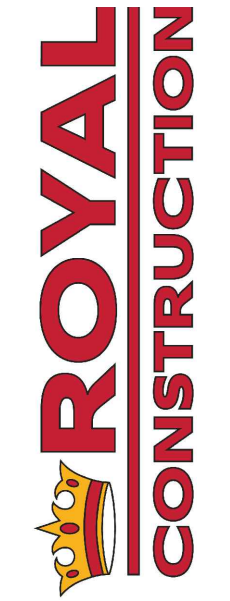
UTILITY NOTES:

- STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
- MANHOLES ARE 48"Ø UNLESS OTHERWISE NOTED.
- ALL LENGTHS OF PIPE INCLUDE FLARED END SECTION (F.E.S.). CONTRACTOR WILL ONLY BE PAID FOR L.F. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.
- MAINTAIN A MINIMUM 7.5' WATERMAIN COVER. ALL WATERMAIN MUST BE INSTALLED ACCORDING TO THE VILLAGE OF LAKE HALLIE. REFER TO STANDARD DETAILS FOR ALL UTILITY INSTALLATION. CONTACT CITY INSPECTOR AT LEAST 72 HOURS PRIOR TO START OF UTILITY CONSTRUCTION SO THAT INSPECTION CAN BE SCHEDULED.
- 12" CLEARANCE WHEN WATERMAIN GOES OVER SANITARY, WATERMAIN, OR STORM SEWER & 18" SEPARATION WHEN WATERMAIN PASSES UNDER SANITARY, WATERMAIN OR STORM SEWER.
- UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
- CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ECT. ENTERING THE PIPE DURING CONSTRUCTION.
- SANITARY SEWER LATERALS SHALL HAVE MINIMUM SLOPE OF 1/4" PER FOOT FOR ALL 4-INCH PIPE.
- CONTRACTOR SHALL VERIFY THE TOTAL DRAINAGE FIXTURE UNITS (DFU's) AND PIPE SIZES WITH THE PLUMBING PLANS.
- SANITARY SEWER SERVICE SHALL BE PVC (SDR 35).
- WATER SERVICE SHALL BE 4" D.I.P. OR HDPE OR APPROVED EQUAL.
- STORM SEWER SHALL BE ADS N-12 WT IB PIPE OR PRINSCO GOLDFLO WT OR SDR35 PVC OR APPROVED EQUAL.
- THE PIPE DIAMETER'S LISTED ARE THE NOMINAL INSIDE DIAMETER.
- THE VERTICAL DOWN SPOUT CONNECTIONS ARE TO BE 6" SCH40 PVC.
- ALL EXTERIOR PLUMBING WORK SHALL BE BUILT ACCORDING TO THE VILLAGE OF LAKE HALLIE STANDARD GENERAL CONDITIONS FOR STREET AND UTILITY CONSTRUCTION.
- MANHOLES SHALL BE CONSTRUCTED AS DETAILED AND SET PLUMB WITH A MAXIMUM DEVIATION OF +/- 0.1 FOOT FROM VERTICAL.
- LAY PIPE TO SLOPE GRADIENTS NOTED ON DRAWINGS; WITH MAXIMUM VARIATION FROM TRUE SLOPE OF 1/8 INCH IN 10 FEET.
- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS



ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR.
EAU CLAIRE, WI 54701
PH 715-852-0330
INFO@AEC.ENGINEERING
COPYRIGHT 2026, AEC LLC.



SARAH DIPPEN
SERENDIPITY'S CUP
LAKE HALLIE, WISCONSIN

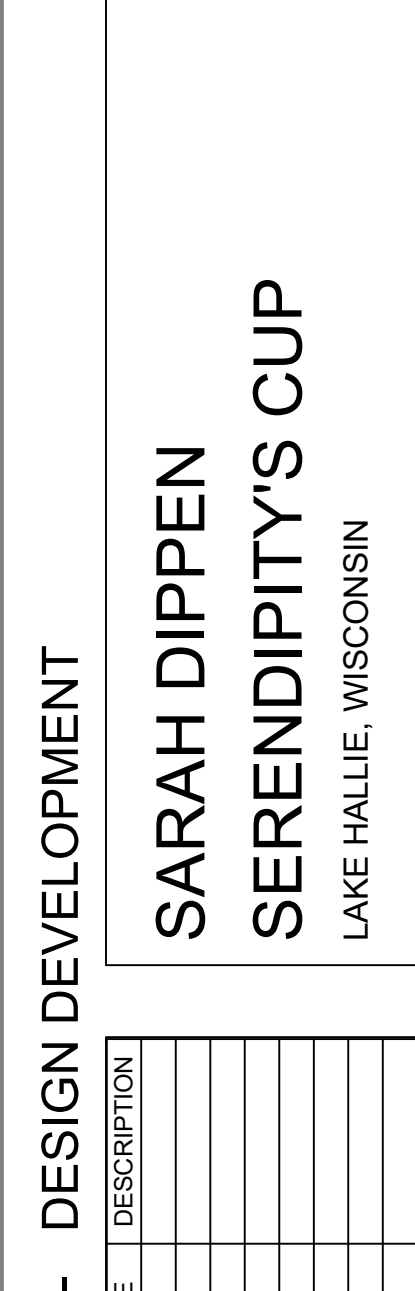
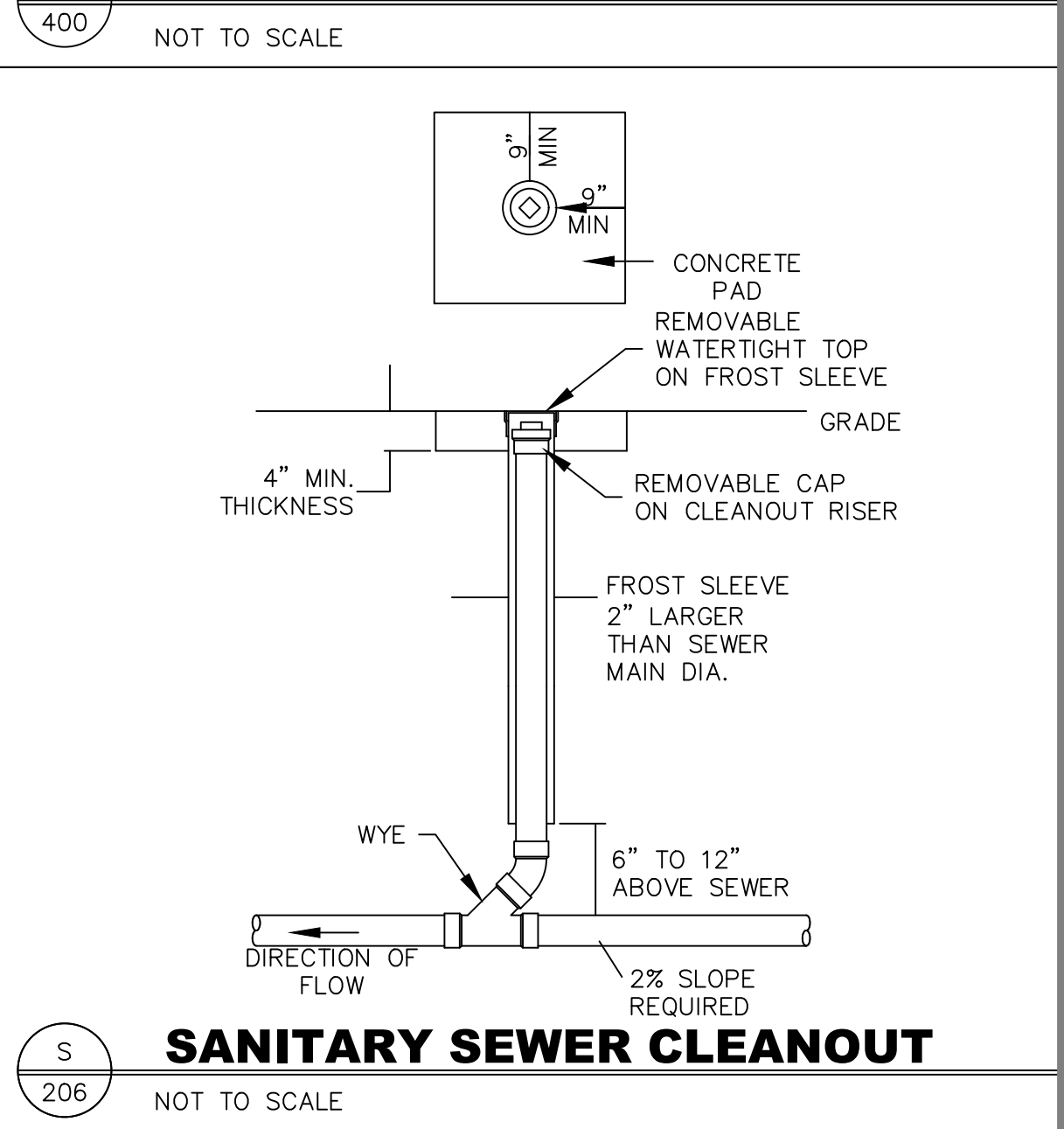
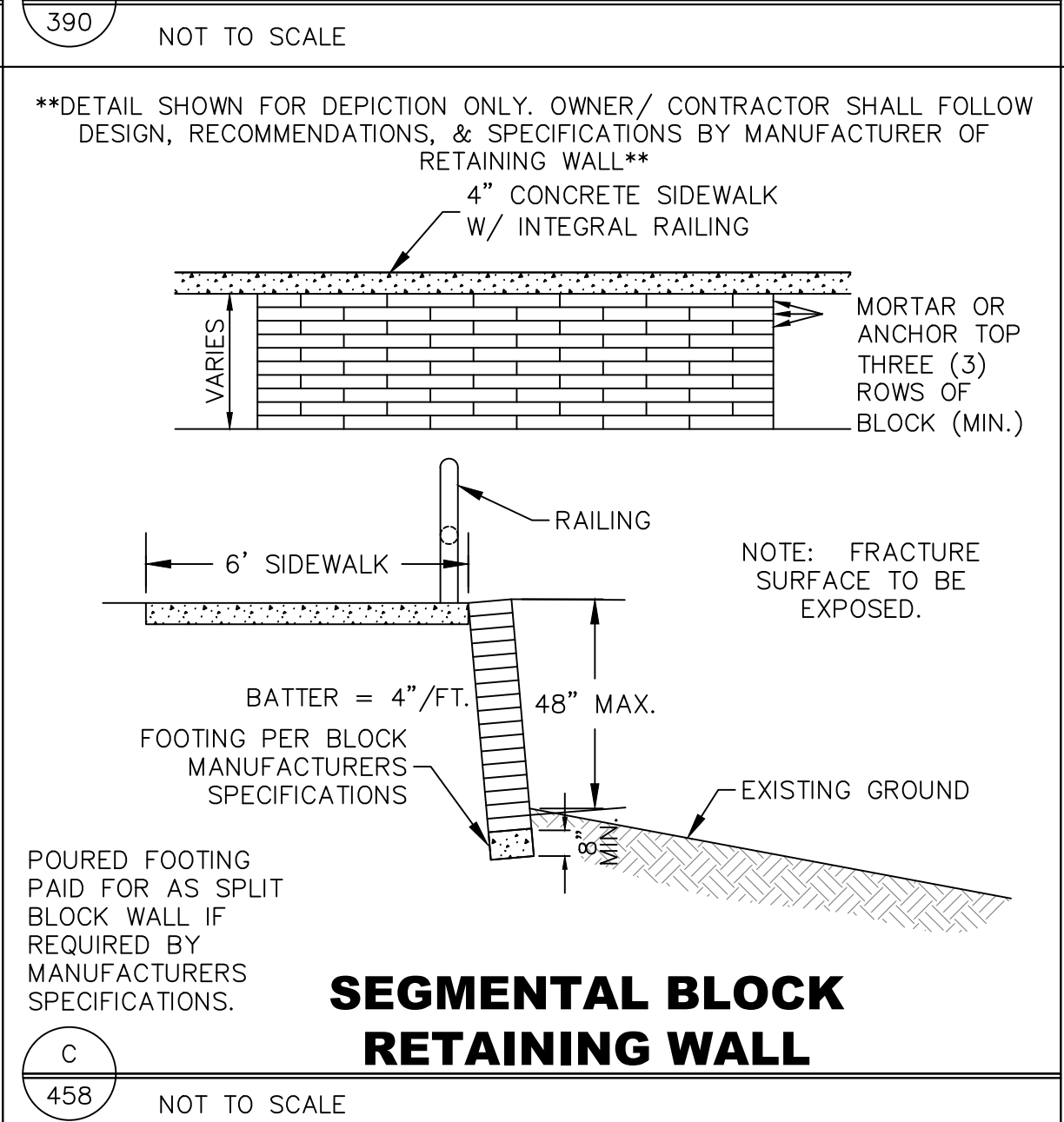
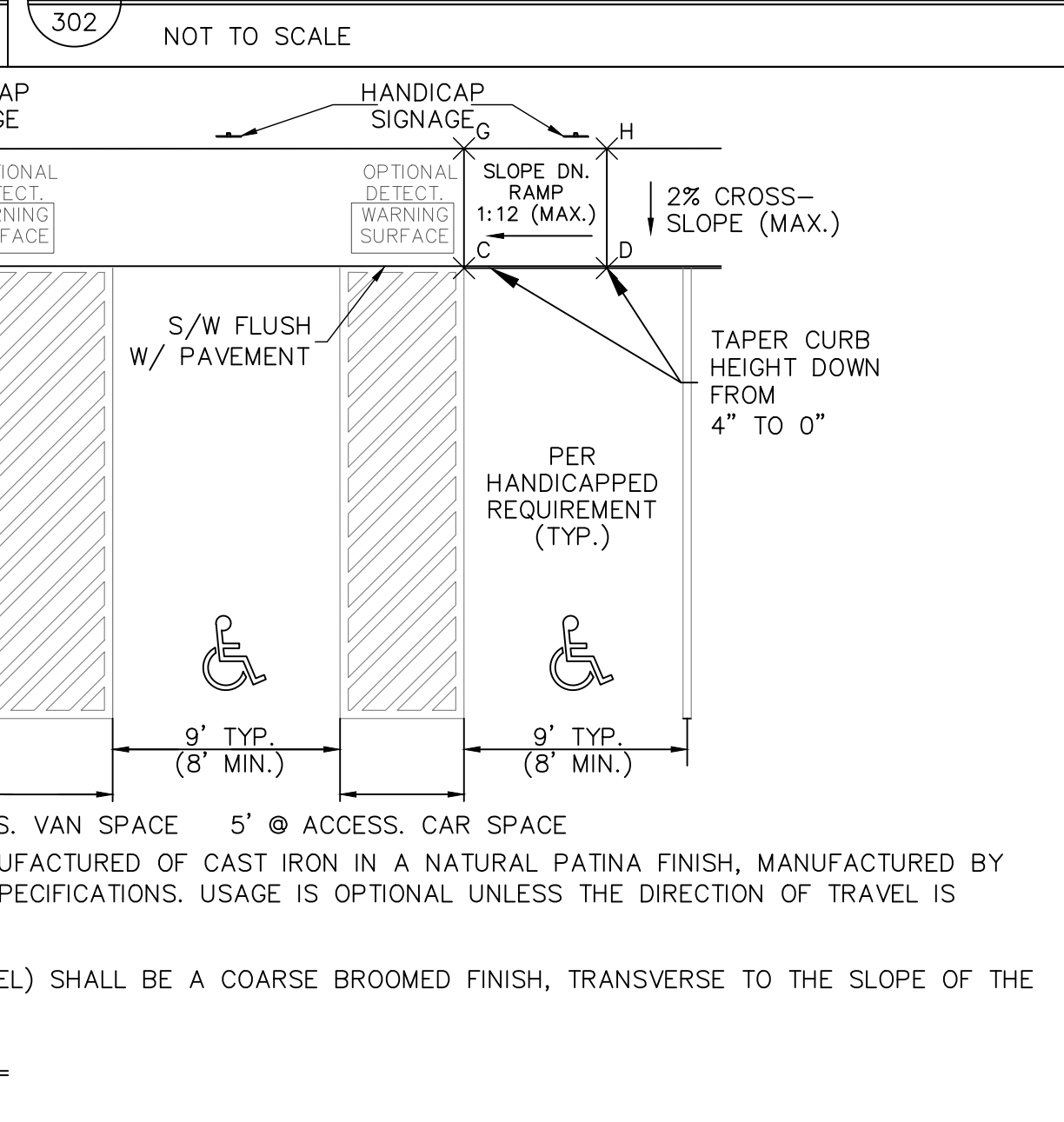
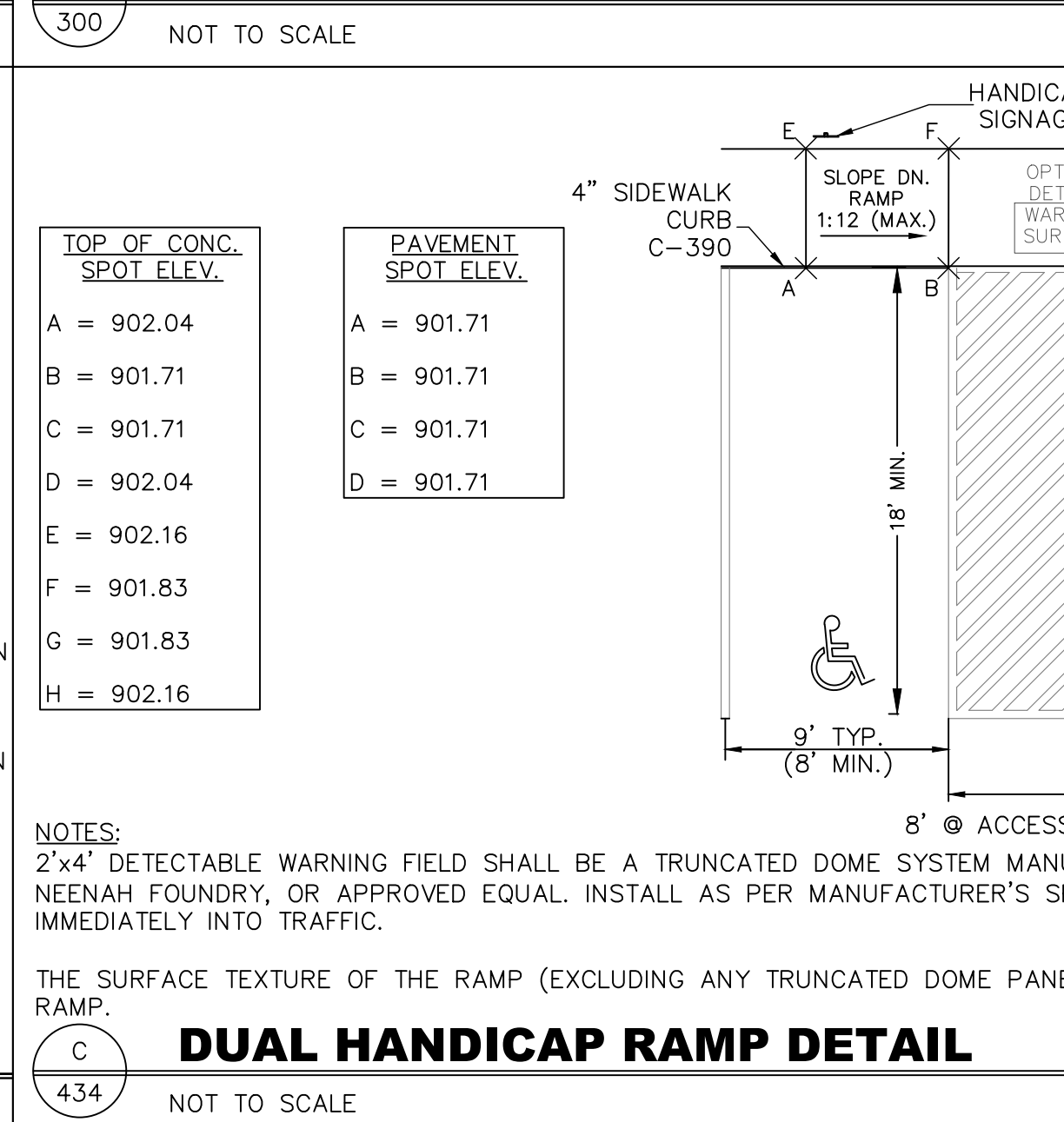
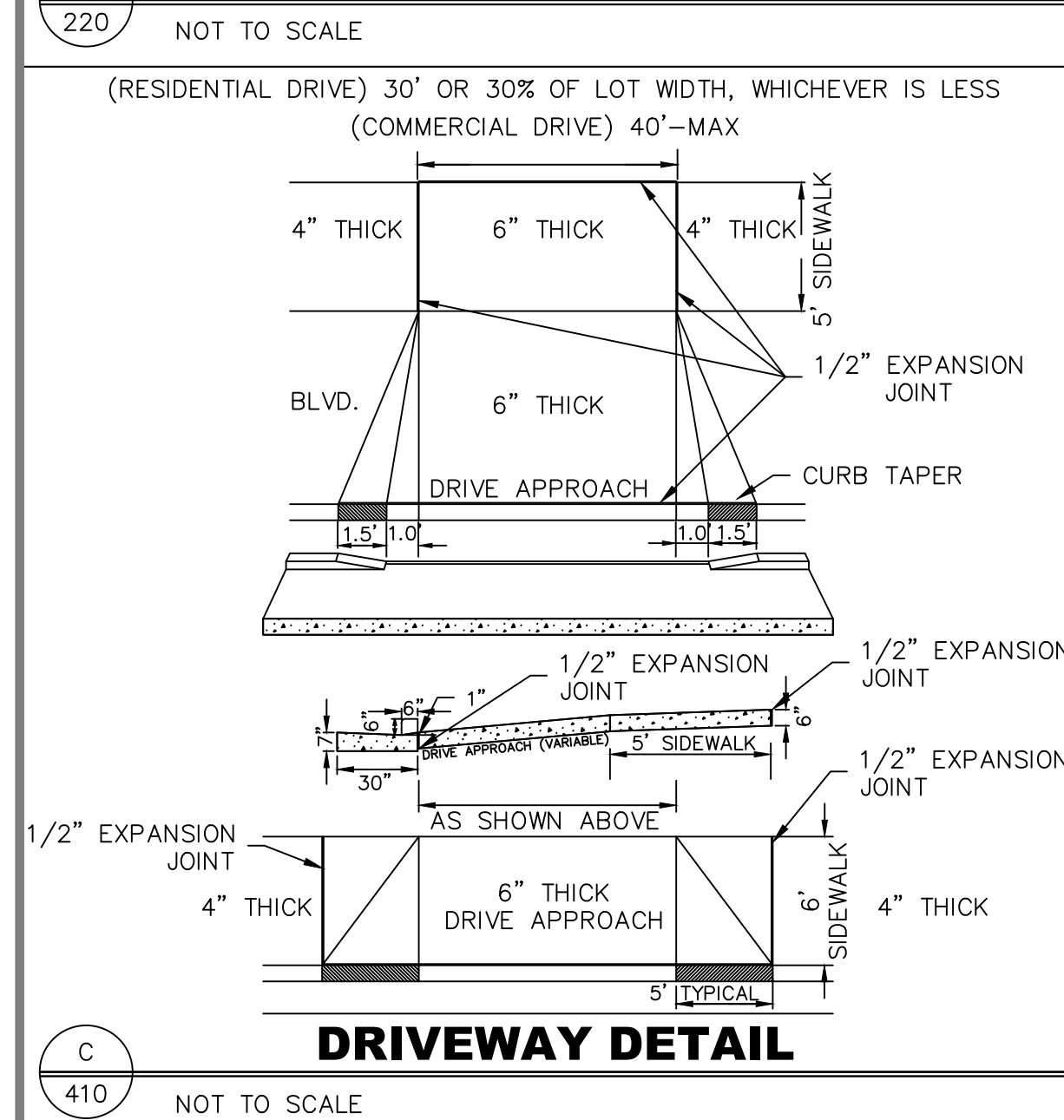
NO.	DATE	DESCRIPTION

DRAWN BY: CJG
PM: SPB
JOB NO: 26011
DATE: 02.27.2026

UTILITY PLAN

C600

NOT FOR CONSTRUCTION - DESIGN DEVELOPMENT



Village of Lake Hallie
DEPARTMENT OF PLANNING & ZONING

• 711 North Bridge Street, Chippewa Falls, WI 54729 • Phone: 715.726.7940 • www.chippewacountywi.gov •

2026 Rezone Application



Comprehensive zoning consists of written text (commonly referred to as the zoning ordinance) and an official zoning map. The zoning ordinance is a guideline for permitted and conditional uses, which are separated into zoning classifications or districts. The official zoning map shows how the Village Board, along with the Plan Commission, has designated the zoning classifications or districts to parcels of land within the municipal boundaries. A **REZONE** is where a property owner or other authorized entity seeks to amend the official zoning map, which would allow a use that is currently not permitted on the parcels of land based on the existing zoning classification or district. This is referred to as a zoning map amendment or "rezoning". The requested rezoning change may not be granted if it does not fit with the comprehensive plan and community goals for the Village of Lake Hallie.

SECTION I: Parcel Owner Information				SECTION II: Agent Information			
Name: Haselwander Company, Inc				Name: Jeremy Skaw - RLS			
Mailing Address: 3615 N. Hastings Way, STE 200				Mailing Address: 1356 International Drive			
City: Eau Claire	State: WI	Zip: 54703		City: Eau Claire	State: WI	Zip: 54701	
Telephone:				Telephone: 715-514-4116			
Email Address (Required):				Email Address (Required): jskaw@rlswi.com			
SECTION III: Parcel Information							
Village of Lake Hallie				Property Address: 43RD AVENUE			
Parcel Number(s): 22808-1841-00020000				City:	State:	Zip:	
Existing Zoning District(s): R2				Proposed Zoning District(s): R3			

GENERAL DIRECTIONS:

- Complete** this Application form and the required four (4) parts:
 - ☐ Part 1: General Questions related to the request
 - ☐ Part 2: Plan Commission and Village Board Schedule - 2026
 - ☐ Part 3: General Rezoning Process
 - ☐ Part 4: Applicant Acknowledgement/Signature
- Submit** the completed application, all required information and a **\$450.00** public hearing fee (Make check payable to: Chippewa County Treasurer) by the deadline (as listed in Part 2) to the Village of Lake Hallie Department of Planning & Zoning, Room 009, 711 N. Bridge Street, Chippewa Falls, Wisconsin 54729.
- Make arrangements** to attend or have a representative attend the Plan Commission and Village Board meetings. This presence is needed so that questions can be answered and concerns addressed.

FOR DEPARTMENT OF PLANNING & ZONING STAFF USE:		
Receipt Number:	Appeal Number:	Public Hearing Date:

Village of Lake Hallie – 2026 Rezone Application

Once the completed application is received, the Department will prepare a public hearing notice and publish it within the Chippewa Herald. The public hearing notice will include the location and time of the required public hearing before the Lake Hallie Village Board. In addition, your neighbors and any appropriate county or state agencies will be notified of the Plan Commission meeting and the Lake Hallie Village Board meeting by a separate mailing. At the both of these meetings, any party may appear in person or may be represented by an agent or attorney to present information to the Plan Commission and the Village Board in support or opposition of the rezone request.

PART 1: General Questions. Please use a separate 8.5" x 11" sheet to answer these questions.

- A. As the applicant, do you have legal title to the parcel(s)? If you **do not** have legal title to the property, please have the property owner sign this application.
- B. Identify all parcels that are or will be part of this rezone request. If needed, an additional sheet listing those parcels can be attached.
- C. Describe the present and, if known, any proposed improvements on each parcel.
- D. Explain why you are requesting to rezone the parcel. Please identify the proposed use of the parcel.
- E. Explain the compatibility of your proposed use with uses on adjacent parcels and those in the vicinity of this parcel.
- F. Discuss any additional issues you feel that supports the consistency of your proposed use with any Village ordinances and plans.

Be prepared to give a detailed presentation when called upon at the public hearing before the Plan Commission and the Village Board. Prepare an outline of your proposal, something similar to a "business plan", detailing for the commission and board your proposal, include any documentation you feel is necessary as part of your presentation in defining your proposal. It is vital to your application to consult with professionals you feel may be able to assist with your application (i.e. surveyor, attorney, engineer, etc.)

PART 2: Plan Commission and Village Board Schedule - 2026

Applications will not be placed on the appropriate agenda unless they are properly completed, include **ALL** required supporting information or documents **and** the payment of the public hearing fee. Applicants are encouraged to consult with staff of the Department of Planning & Zoning prior to the filing of the application. This is an important step to insure that all pertinent issues are identified and to determine what information, in addition to this application, might be necessary in order for the department to accept and process your request. Please CIRCLE or HIGHLIGHT the meeting you intend on attending:

	2026 - Mondays											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Info/Apps DUE @ 12:00 Noon	12-15	01-12	02-09	03-16	04-13	05-11	06-15	07-13	08-17	09-14	10-12	11-16
Plan Commission Meeting	01-12	02-09	03-09	04-13	05-11	06-08	07-13	08-10	09-14	10-12	11-09	12-14
VB Public Hearing/Meeting	01-19	02-16	03-16	04-20	05-18	06-15	07-20	08-17	09-21	10-19	11-16	12-21

Note: The Plan Commission meeting is typically scheduled for 6:00 PM on the second Monday of every month.

Note: The Village Board meeting is typically scheduled for the 7:00 PM on the third Monday of every month.

PART 3: General Rezoning Process:

- (A) The rezone application is filed with the Department of Planning & Zoning. This includes the legal description of the parcels to be rezoned, a written statement addressing the questions as listed in Part 1 and any other information your feel will aid in a decision on this request.
- (B) A Class 2 Public Hearing Notice will be published in the Chippewa Herald detailing the request and the date and time of the Public Hearing.
- (C) Property owners of the land and those property owners within 400' (or maybe a greater distance) of the requested rezone change are notified by mail of the pending request. The notice to the property owners will generally contain a portion of the public hearing notice and information pertaining to Plan Commission meeting and the Public Hearing in front of the Village Board.
- (D) General maps (location map, aerial view and existing zoning districts map) will be prepared for the request by the Department. A department staff report is also prepared and sent to the Plan Commission with the rezone application

Village of Lake Hallie – 2026 Rezone Application

- (E) The Plan Commission will make a recommendation for approval, approval with modification or denial of the rezoning request. The recommendation is sent to the Lake Hallie Village Board who in turn can approve, approve with modification or deny the rezone request.

PART 4: Applicant Acknowledgement/Signature

This application must be signed by the property owner or in case of an agreement to purchase the property, a letter from the property owner acknowledging the potential buyer is seeking the rezone.

- I certify that the information I have provided in this application is true, accurate and complete.
- I or a representative will have an opportunity to present to the Plan Commission and the Village Board information in favor of this request.
- I have the authority to grant the staff of the Department of Planning & Zoning, Plan Commission or Village Board member's access to the property to conduct necessary inspections related to this request.
- I understand that I cannot speak to any member of the Plan Commission or Village Board about this application, except at the public hearing.
- I understand that I cannot direct any written communication about this application to a member of the Plan Commission or Village Board, unless I also file a copy with the Department of Planning & Zoning and direct additional copies to each person who has registered an interest in this application.
- I also understand that if I or my representative fail to appear in front of the Plan Commission or Village Board during the designated public meetings or hearings or my failure to observe the above mentioned rules, my request may be **DENIED**.

Signed: _____

Owner/Agent

Date: 03/16/2026

PART 5: Planning & Zoning Department Mailing List

Applicant
Property Owner Owners within 400'
Planning & Zoning Committee Members
Town Board Chair & Clerk
County Board Supervisor
News Media
Others
Wisconsin DNR
US Army Corp of Engineers
Wisconsin DOT



Real Land Surveying
1356 International Drive
Eau Claire, WI 54701
(715) 514-4116

March 16, 2026

Rezone General Questions

- A. The property to be owned by a single owner, Haselwander Company, Inc.
- B. The rezone consists of a single parcel, 22808-1841-00020000
- C. Neither parcel has any current improvements; the site is currently being rented out to a farmer. This site is part of phase 1 of a multi-phase residential development. A subdivision plat will follow a successful rezone application.
- D. This area was successfully rezoned in 2023 to R3; the intent of this rezone application is to accommodate a slight alteration to the lands that are to be included in the *GRAND MEADOWS* subdivision plat. The proposed use of this site is multi-family and two-family residential homes, along with the applicable stormwater facilities.
- E. All developed adjacent lands are all zoned R2 or R2-TH. The rezone request from R2 to R3 zoning is consistent with neighboring property to the north of this area to be rezoned.
- F. The intent remains the same as when the Village approved the rezoned application in 2023; to create a residential area that will provide both multifamily and two-family housing. This development will provide connectivity from 43rd Avenue to County Road P.

Jeremy Skaw, P.L.S.

Field Supervisor

715.514.4116 Office
715.895.8211 Direct
715.225.4572 Mobile

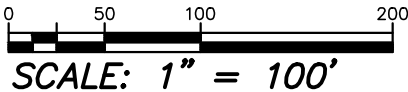
www.rlswi.com



REAL LAND SURVEYING

Web: rlswi.com
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REAL LAND SURVEYING LLC

1356 INTERNATIONAL DRIVE
EAU CLAIRE, WI 54701
(715) 514-4116



REZONE DESCRIPTION

PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, OF SECTION 18, TOWNSHIP 28 NORTH, RANGE 8 WEST, VILLAGE OF LAKE HALLIE, CHIPPEWA COUNTY, WISCONSIN, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- COMMENCING AT THE EAST 1/4 CORNER OF SECTION 18;
- THENCE, S.00°00'06"E., ALONG THE EAST LINE OF THE SOUTHEAST 1/4 A DISTANCE OF 1161.79 FEET;
- THENCE, S.89°59'54"W., A DISTANCE OF 183.91 FEET TO THE WEST LINE OF LOT 3, CERTIFIED SURVEY MAP #383, VOLUME 1, PAGES 535-536, ALSO BEING THE POINT OF BEGINNING;
- THENCE, S.00°06'00"E., ALONG SAID WEST LINE A DISTANCE OF 2.58 FEET;
- THENCE, S.89°50'24"W., A DISTANCE OF 229.29 FEET;
- THENCE, S.89°51'47"W., A DISTANCE OF 906.91 FEET;
- THENCE, N.00°11'10"W., A DISTANCE OF 2.27 FEET;
- THENCE, N.89°50'34"E., A DISTANCE OF 1136.20 FEET TO THE POINT OF BEGINNING.

LOT 2
CERTIFIED SURVEY
MAP # 383
VOLUME 1
PAGES 535-536

EAST 1/4 CORNER
SECTION 18
FOUND MAG NAIL
(TIES VERIFIED)

POINT OF BEGINNING

S89°59'54"W
183.91'
S0°06'00"E
2.58'

LOT 3
CERTIFIED SURVEY
MAP # 383
VOLUME 1
PAGES 535-536

LEGEND



AREA TO BE REZONED FROM R2 -> R3
(±2,796 SQ.FT.)

NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4
(FOR REFERENCE PURPOSES ONLY)

REZONE

IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4,
SECTION 18, TOWNSHIP 28 NORTH, RANGE 8 WEST,
VILLAGE OF LAKE HALLIE, CHIPPEWA COUNTY, WISCONSIN

SOUTHEAST CORNER
SECTION 18
(TIES VERIFIED)

BEARINGS REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST 1/4,
SECTION 18, ASSUMED BEARINGS OF S89°42'16"W

UTILITY EASEMENT:
UTILITY EASEMENTS ARE FOR THE USE OF THOSE GRANTED
PERMISSION IN THE UTILITY EASEMENT PROVISIONS AS SHOWN
ON SHEET 2. NO NEW UTILITY LINES OR FACILITIES SHALL BE
PLACED WITHIN 3 FEET OF ANY LOT CORNER.

0 50 100 200
SCALE: 1" = 100'

EAST 1/4 CORNER
SECTION 18
FOUND MAG NAIL
(TIES VERIFIED)

COUNTY ROAD P
DEDICATED TO THE PUBLIC

UNPLATED LAND

LOT 1
CERTIFIED SURVEY
MAP # 383
VOLUME 1
PAGES 539-536

LOT 1
CERTIFIED SURVEY
MAP # 2108
VOLUME 19
PAGE 306

LOT 1
CERTIFIED SURVEY
MAP # 977
VOLUME 3
PAGE 308

LOT 1
CERTIFIED SURVEY
MAP # 2756
VOLUME 12
PAGE 263

LOT 1
WOODWARD ACRES

LOT 28
WOODWARD ACRES

LOT 27
WOODWARD ACRES

LOT 26
WOODWARD ACRES

LOT 25
WOODWARD ACRES

LOT 24
WOODWARD ACRES

SOUTHEAST CORNER
SECTION 18
NO MONUMENT
POSITION FROM TIES
(TIES VERIFIED)

PARCEL TABLE		
LOT NO.	AREA (SQ.FT.)	ACRES
1	26,045	0.60
2	26,139	0.60
3	26,149	0.60
4	26,153	0.60
5	26,157	0.60
6	26,161	0.60
7	26,166	0.60
8	26,076	0.60
9	20,001	0.46
10	20,240	0.46
11	26,091	0.60
12	26,001	0.60
13	26,001	0.60
14	26,001	0.60
15	26,001	0.60
16	26,001	0.60
17	26,007	0.60
18	26,077	0.60

OUTLOT 1
1,658,124 SQUARE FEET
38.07 ACRES

LANDOWNERS:

- HASSELWANDER COMPANY INC.
3615 NORTH HASTINGS WAY
SUITE 200
EAU CLAIRE, WISCONSIN 54703

SUBDIVIDERS:

- HASSELWANDER COMPANY INC.
3615 NORTH HASTINGS WAY
SUITE 200
EAU CLAIRE, WISCONSIN 54703

APPROVING AUTHORITIES:

- VILLAGE OF LAKE HALLIE
- CHIPPEWA COUNTY

OBJECTING AUTHORITIES

- DEPARTMENT OF ADMINISTRATION

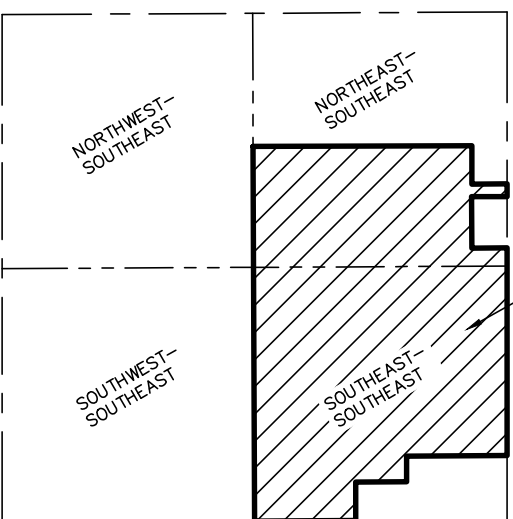
SURVEYOR

- PETER J. GARTMANN R.L.S. No. 2279
REAL LAND SURVEYING
1356 INTERNATIONAL DRIVE
EAU CLAIRE, WISCONSIN 54701

LEGEND

- FOUND 1" OUTSIDE DIAMETER IRON PIPE
- FOUND 1 1/4" OUTSIDE DIAMETER IRON PIPE
- FOUND 2" OUTSIDE DIAMETER IRON PIPE
- FOUND 1-1/4" REBAR
- SET 1" OUTSIDE DIAMETER x 18" IRON PIPE
WEIGHING 1.13 POUNDS PER LINEAR FOOT
AT ALL OTHER LOT CORNERS
- SET 1-1/4" x 18" REBAR
WEIGHING 4.30 POUNDS PER LINEAR FOOT

LOCATION SKETCH



There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1)
and (2), Wis Stats. as provided by s. 236.12, Wis.
Stats.

Certified _____,
20____

Department of
Administration



GRAND MEADOWS

LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4
AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4,
SECTION 18, TOWNSHIP 28 NORTH, RANGE 8 WEST,
VILLAGE OF LAKE HALLIE, CHIPPEWA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, PETER J. GARTMANN, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:
THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE PLAT OF GRAND MEADOWS, LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 18, TOWNSHIP 28 NORTH, RANGE 8 WEST, VILLAGE OF LAKE HALLIE, CHIPPEWA COUNTY, WISCONSIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- COMMENCING AT THE SOUTHEAST CORNER SECTION 18;
- THENCE, S.89°42'16"W., ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 18 A DISTANCE OF 787.54 FEET TO THE POINT OF BEGINNING;
- THENCE, S.89°42'16"W., ALONG SAID SOUTH LINE A DISTANCE OF 526.80 FEET TO THE SOUTHEAST CORNER OF THE MEADOWS;
- THENCE, N00°13'30"W., ALONG THE EAST LINE LINE OF THE MEADOWS A DISTANCE OF 1951.00 FEET TO THE SOUTH LINE OF BRESINA'S 2ND ADDITION;
- THENCE, N.89°50'56"E., ALONG THE SOUTH LINE OF BRESINA'S 2ND ADDITION A DISTANCE OF 1137.89 FEET;
- THENCE, S.00°00'36"E., A DISTANCE OF 199.83 FEET TO THE SOUTHWEST CORNER OF LOT 1, CERTIFIED SURVEY MAP 383, VOLUME 1, PAGES 535--536;
- THENCE, N89°50'24"E., ALONG THE SOUTH LINE OF SAID LOT 1 A DISTANCE OF 184.00 FEET TO THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 18;
- THENCE, S00°00'06"E., ALONG SAID EAST LINE A DISTANCE OF 66.00 FEET;
- THENCE, S.89°50'24"W., A DISTANCE OF 184.12 FEET TO THE NORTHWEST CORNER OF CERTIFIED SURVEY MAP 383, VOLUME 1, PAGES 535--536;
- THENCE, S.00°03'43"E., ALONG THE WEST LINE OF SAID CERTIFIED SURVEY MAP, A DISTANCE OF 266.89 FEET;
- THENCE, N.89°50'24"E., ALONG THE SOUTH LINE OF SAID CERTIFIED SURVEY MAP, A DISTANCE OF 183.84 FEET TO THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 18;
- THENCE, S.00°00'06"E., ALONG SAID EAST LINE A DISTANCE OF 1081.00 FEET;
- THENCE, S.89°42'16"W., A DISTANCE OF 523.53 FEET TO THE NORTHWEST CORNER OF CERTIFIED SURVEY MAP 1970, VOLUME 8, PAGE 261;
- THENCE, S.00°00'06"E., ALONG THE WEST LINE OF SAID CERTIFIED SURVEY MAP A DISTANCE OF 133.59 FEET TO THE NORTHEAST CORNER OF LOT 3, CERTIFIED SURVEY MAP 5607, VOLUME 27, PAGES 281--282;
- THENCE, S.89°43'19"W., ALONG THE NORTH LINE OF SAID CERTIFIED SURVEY MAP A DISTANCE OF 263.87 FEET;
- THENCE, S.00°02'15"W., ALONG THE WEST LINE OF SAID CERTIFIED SURVEY MAP A DISTANCE OF 200.49 FEET TO THE POINT OF BEGINNING.

THAT I HAVE SURVEYED, DIVIDED AND MAPPED SAID PLAT BY THE NEIL HASSELWANDER, THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE.
THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF SECTION 236 OF THE WISCONSIN STATUTES, AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE, AND THE SUBDIVISION REGULATIONS OF THE TOWN OF LAFAYETTE AND CHIPPEWA COUNTY IN SURVEYING, DIVIDING AND MAPPING THE SAME.

_____ DATED THIS _____ DAY OF _____, 2026
PETER J. GARTMANN, P.L.S. NO. 2279

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



VILLAGE BOARD RESOLUTION:

RESOLVED THAT THIS THE PLAT OF GRAND MEADOWS, IN THE VILLAGE OF LAKE HALLIE, IS HEREBY, APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF LAKE HALLIE, CHIPPEWA COUNTY, WISCONSIN.

DATE APPROVED: _____

(SIGNATURE) _____ DATE: _____
VILLAGE CHAIRMAN

I HEREBY CERTIFY THAT THE FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE VILLAGE BOARD OF THE VILLAGE OF LAKE HALLIE, CHIPPEWA COUNTY, WISCONSIN.

(SIGNATURE) _____
VILLAGE CLERK

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN
COUNTY OF CHIPPEWA §
I, PATRICIA SCHIMMEL, BEING THE DULY ELECTED, ACTING AND QUALIFIED TREASURER OF THE COUNTY OF CHIPPEWA, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF

THIS _____ DAY OF _____, 2026, ON ANY OF THE LANDS INCLUDED IN THE PLAT OF GRAND MEADOWS, IN THE VILLAGE OF LAKE HALLIE.

(SIGNATURE): _____ DATE: _____
PATRICIA SCHIMMEL, COUNTY TREASURER

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN
COUNTY OF CHIPPEWA §
I, _____, BEING THE DULY APPOINTED, ACTING AND QUALIFIED TREASURER OF THE VILLAGE OF LAKE HALLIE, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS AS OF THIS THE _____ DAY OF _____, 2026, ON ANY OF THE LANDS INCLUDED IN THE PLAT OF GRAND MEADOWS, IN THE VILLAGE OF LAKE HALLIE.

(SIGNATURE): _____ DATE: _____
VILLAGE TREASURER

CONSENT OF CORPORATE MORTGAGEE:

_____, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, MAPPING AND DEDICATION OF THE LAND DESCRIBED ON THIS THE PLAT OF GRAND MEADOWS AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATE OF HASELWANDER COMPANY INC., OWNER OF SAID LAND.
IN WITNESS THEREOF, THE SAID _____ BANK HAS CAUSED THESE PRESENTS TO BE SIGNED BY,

(PRINT NAME) _____ AND (PRINT NAME) _____
AT _____, WISCONSIN AND ITS CORPORATE SEAL TO BE HEREIN AFFIXED THIS ____ DAY OF _____, 2026
(SIGNATURE) _____ (SIGNATURE) _____
(title) _____ (title) _____

STATE OF WISCONSIN
COUNTY OF _____ §
PERSONALLY APPEARED BEFORE ME THIS ____ DAY OF _____ 2026, THE ABOVE NAMED
(PRINT NAME) _____ AND (PRINT NAME) _____ TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.
_____, NOTARY PUBLIC MY COMMISSION EXPIRES: _____

OWNER'S CERTIFICATE OF DEDICATION:

HASELWANDER COMPANY INC., NEIL HASELWANDER AS OWNER, WE HEREBY CERTIFY THAT IT CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED BY THIS PLAT.
IT ALSO CERTIFIES THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

---VILLAGE OF LAKE HALLIE
---DEPARTMENT OF ADMINISTRATION
WITNESS THE HAND AND SEAL OF SAID OWNER THIS ____ DAY OF _____, 2026

NEIL HASELWANDER
STATE OF WISCONSIN
COUNTY OF _____ §
PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2026, THE ABOVE NAMED NEIL HASELWANDER, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME TO BE THEIR OWN FREE ACT AND DEED.
_____, NOTARY PUBLIC MY COMMISSION EXPIRES: _____

UTILITY EASEMENT PROVISIONS:
AN EASEMENT FOR ELECTRIC, GAS, AND COMMUNICATIONS SERVICE IS HEREBY GRANTED BY
HASELWANDER COMPANY INC., GRANTORS TO

_____, GRANTEE
_____, GRANTEE
_____, GRANTEE
_____, GRANTEE

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND ELECTRIC ENERGY, GAS, TELEPHONE AND CABLE TV AND INTERNET FACILITIES FOR SUCH PURPOSES AS THE SAME IS NOW OR MAY HEREAFTER BE USED, ALL IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS ON THE PLAT DESIGNATED AS "UTILITY EASEMENT" TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS WITHIN AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS; ALSO THE RIGHT TO TRIM OR CUT DOWN TREES, BRUSH AND ROOTS AS MAY BE REASONABLE REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY OF ALL SUCH PURPOSES. NO FACILITY, PEDESTAL, CABLE OR ANY TYPE OF STRUCTURE SHALL BE INSTALLED CLOSER THAN THREE FEET FROM ANY LOT CORNER. THE GRANTEES AGREE TO RESTORE OR CAUSE TO HAVE RESTORED, THE PROPERTY, AS NEARLY AS IS REASONABLE POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH ENTRY BY THE GRANTEES OR THEIR AGENTS. THIS RESTORATION, HOWEVER, DOES NOT APPLY TO THE INITIAL INSTALLATION OF SAID UNDERGROUND ELECTRIC FACILITIES OR COMMUNICATION FACILITIES OR TO ANY TREES, BRUSH OR ROOTS WHICH MAY BE REMOVED AT ANY TIME PURSUANT TO THE RIGHTS HEREIN GRANTED. BUILDINGS SHALL NOT BE PLACED OVER GRANTEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE LINES MARKED "UTILITY EASEMENT WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEES.

THE GRANT OF EASEMENT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HEIRS, SUCCESSORS AND ASSIGNS OF ALL PARTIES HERETO.

GRAND MEADOWS
LOCATED IN THE SOUTHEAST ¼ OF THE SOUTHEAST ¼
AND THE NORTHEAST ¼ OF THE SOUTHEAST ¼,
SECTION 18, TOWNSHIP 28 NORTH, RANGE 8 WEST,
VILLAGE OF LAKE HALLIE, CHIPPEWA COUNTY, WISCONSIN