

Village of Lake Hallie
PLAN COMMISSION MEETING
Monday, October 13, 2025, at 6:00 PM
Lake Hallie Municipal Building
13136 30th Avenue
Lake Hallie, Wisconsin 54729
Minutes

1. **Call Meeting to Order** Chairman Berg called meeting to order according to Chapter 19.84 of the Wisconsin State Statutes at 6:00 p.m.
2. **Roll Call:** Brad Berg X ; Brad Hudson X ; Randy Larson X ; Nancy Mauhar X ; Pat Spilde X ; James Stueber X . Rusty Volk excused .
3. **Public Wishing to be Heard for Non-Agenda Items**
4. **Approval of the Minutes: June 9, 2025, Ms. Spilde made the motion to accept the June 9, 2025, minutes as written, seconded by Ms. Mauhar, Voice vote carried**
5. **Business Items:**
 - a. **Commercial Site Plan Approval – Commercial Properties LLC (Buildings 2 & 3)**

Mark Erickson from Surveying Engineering explained and reviewed the establishment of Building 1, 2, & 3. Phase #1 was approved approximately back in March of 2025. They are now looking for approval for Phase #2 & #3.

Mr. Clary noted the sanitary permit has been issued for Building #1 and #2.

Commercial Site Plan Approval – Commercial Properties LLC

Ms. Spilde made the motion to approve Buildings #2 & #3 with the reduction of Building #3 to accommodate the storm water permit. Seconded by Mr. Stueber. Voice vote carried.

b. Commercial Site Plan Approval – AutoZone

Allan Catchpool representing Kinleyhorn Engineering, spoke about the development of the 17,000 sq. foot auto parts store. Septic has been approved.

Storm water must be approved yet. Mr. Clary will be talking with the County Highway Commissioner about Mr. Larson's concern with U-turns and traffic using the store's driveway as extended roadway would enable the ease to make a u-turn / eastbound.

Ms. Spilde made the motion to Commercial Site Plan Approval – AutoZone as presented to include trees and shrubs. Seconded by Ms. Mauhar. Voice vote carried.

c. Certified Survey Map Approval – Pohl

Mr. Clary explained when land is added to a plat and outside of the plat, it needs be approved as a CSM.

Ms. Mauhar made a motion to approve the Certified Survey Map Approval – Pohl. Seconded by Spilde. Voice vote carried,

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Minutes (con't)

6. Discussion on the following:

a. Proposed Rezones:

1. NW/SW Quadrant of 160th Street and HWY 29

Mr. Clary explained this area is Residential #2, Highway Commercial, and Ag. The majority are single family homes with a couple of duplexes. The northwestern part, Mr. Clary recommended it be zoned Ag. The eastern and northeastern parts are recommended to be rezoned to R-1.

2. TID # 1 Rezoning

Mr. Clary would recommend smaller areas per petition to close this specific TID District. The area to be reviewed is along Commercial Boulevard. Mr. Berg recommended to be petitioned from Melby to Co. OO. It was decided to be petitioned from Melby to 22nd Ave.

b. Commercial Site Plan Approval Process – 70-116 of the Zoning Ordinance

Mr. Clary recommended commission members to review the Village of Lake Hallie's Ordinance; "Section 70-116 Commercial Site Plan Review Process"

c. Future Land Use Map – Comprehensive Planning:

**Business Park, Commercial
Center and Future
Residential Neighborhoods**

Mr. Clary asked the question of what does the village wants between Melby and County OO? This area can be considered our downtown area. What type of business would be appropriate and attractive within this area?

Next would be vision the area along Co. OO traveling towards Co. P. This area is zoned as a Business Park. What does the village want to see in this "business park". What size is a lot going to be? What type of building would be desirable? etc...

7. Adjournment

**Ms. Spilde made the motion to adjourn. Seconded by Ms. Mauhar.
Voice vote carried. Adjourned at 7:18 p.m.**

Electronically Submitted by,

Randy R. Larson

Randy R. Larson, Secretary

Posted: Lake Hallie Municipal Building and Lake Hallie Website

OFFICIAL
NOTICE OF PUBLIC HEARING

PUBLIC NOTICE is hereby given to all residents of the Village of Lake Hallie, Wisconsin, that public hearings will be held on **December 15, 2025** at approximately **7:00 PM** at the Lake Hallie Municipal Building, 13136 30th Avenue, Lake Hallie, Wisconsin on the following petitions pursuant to Section 62.23 of the Wisconsin State Statutes:

Conditional Use Petition #2025-0006

Petitioner: Adam & Grace Westaby

To allow a home occupation (hair salon) in the Residential 2 District in accordance with sections 70-108 and 70-115 of the Village of Lake Hallie Zoning Ordinance. Parcel number 22809-3513-62690001, which is Lots 1 & 2, George M Johnson Addition located in the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$, Section 35, Township 28 North, Range 9 West. Property Address: 1695 115th St.

Conditional Use Petition #2025-0007

Petitioner: Lee Markquart Enterprises, LLC

To allow a recreational vehicle (RV) dealership in the Industrial District in accordance with 70-74(b)(2) and 70-115 of the Lake Hallie Zoning Ordinance. The development will be located on a newly created certified survey map, which will include parcel numbers 22809-3622-76167002 and 22809-3623-76056004. The property is located in the W $\frac{1}{2}$ of the NW $\frac{1}{4}$, Section 36, Township 28 North, Range 09 West. Property Address: Vacant.

REZONE PETITION: #2024-0013

Petitioner: Village of Lake Hallie

Agent: Gary Spilde, Village President

Parcels which are located in the E $\frac{1}{2}$ of the SE $\frac{1}{4}$, lying south of 53rd Avenue, east of 160th Street and north of 50th Avenue; and a parcel located in the NW $\frac{1}{4}$ of the SE $\frac{1}{4}$ lying south of State Highway 29. All located in Section 09, Township 28 North, Range 08 West. Village of Lake Hallie.

From: Residential 2 and Agricultural

To: Residential 1

From: Residential 2

To: Agricultural

Specific information regarding this petition can be obtained at the Chippewa County Department of Planning & Zoning.

Dated this **24th** day of **November**, 2025.

Douglas Clary, Director
Department of Planning & Zoning
Village of Lake Hallie

Conditional Use Permit Application

Hello, my name is Grace Westaby, and I reside at 1695 115th St. Chippewa Falls, WI 54729. My house is within the Village of Lake Hallie. I am submitting a request to operate a single chair salon out of my home. I have been in the hair industry for almost 15 years. I am also a stay-at-home mom and homeschool teacher to 4 children ranging from 8 to 1 years of age. I am looking forward to the convenience of running my business out of my home.

I had previously spoken to Gary in the county zoning department. He advised me to have my septic system looked at and any upgrades or modifications done that might be needed. I contacted Bogstad LLC and they recommended a plan to have my septic permitted for that use and a new filter installed for the increase of hair that would be put through the system. They were able to come and do the necessary permitting and work done. The system was then inspected and approved by an inspector from the county.

I have also submitted the required paperwork to obtain an establishment license. My salon will be called The Family Chair. It will follow all laws and rules for salon establishments from the state.

I plan to have what I would consider to be normal operating hours of 9am to 7pm or less, Monday-Saturday. The only stylist operating in the salon will be me and it will have part-time operating hours as I am very busy with the above-mentioned responsibilities. I do not see this increasing traffic in the neighborhood at all. The house has adequate off-street parking. There should be only very seldom times that would require a car to be parked on the side of the street.

Thank you for your consideration.

Grace Westaby

1695 115th St
Chippewa Falls, WI 54729

715-512-0381

grace.westaby@gmail.com

NOV - 4 2025

20250006

22809-3513-62690001

VILLAGE OF LAKE HALLIE

DEPARTMENT OF PLANNING & ZONING

• 711 North Bridge Street, Chippewa Falls, WI 54729 • Phone: 715.726.7940 • Fax: 715.726.4596 • www.co.chippewa.wi.us •

Land Management

Land Planning

Land Records & G.I.S.

POWTS & Wells

Date: November 24, 2025

To: Property Owner(s)

From: Douglas Clary, Director



Re: Public Meetings & Hearing

Dear Property Owner(s):

The Village of Lake Hallie has received a conditional use request for a parcel of land that is located either adjacent to or in the vicinity of property owned by you. You are receiving this notice because your property has been determined to be within the legal public hearing notification distance per village and state requirements. I have enclosed a map identifying the location of the parcels associated with this conditional use request. Please contact me at (715) 726-7941 if you have any questions regarding this request.

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The following meetings are open to the general public:

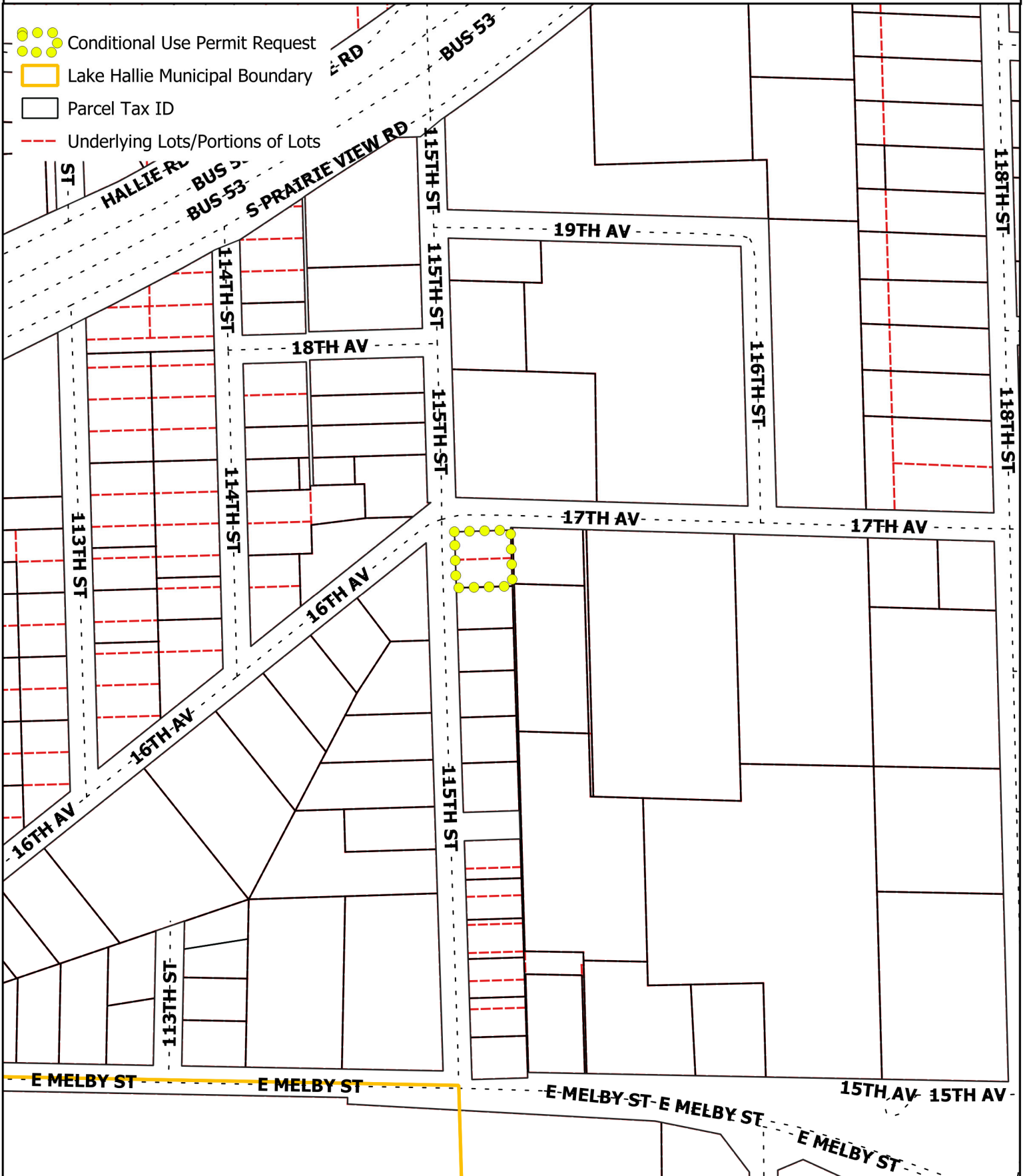
Lake Hallie Plan Commission:

The Village Plan Commission will meet on **December 8, 2025**, at **6:00 PM** at the Lake Hallie Municipal Building, 13136 30th Avenue, Lake Hallie, Wisconsin to review this rezone request. The Plan Commission will make a recommendation for approval or denial, which will be forwarded to the Village Board.

Lake Hallie Village Board:

The Lake Hallie Village Board will hold a **PUBLIC HEARING** on **December 15, 2025**, at **7:00 PM** at the Lake Hallie Municipal Building, 13136 30th Avenue, Lake Hallie, Wisconsin to review the recommendation from the Plan Commission and to make a final decision on this conditional use request.

2025-0006 Westaby - Conditional Use Request Location Map



2025-0006 Westaby - Conditional Use Request Aerial (2025)



Produced on November 24, 2025 by the Chippewa County Department of Planning & Zoning and is for reference purposes only.

Scale: 1" = 100'

2025-0006 Westaby - Conditional Use Request Zoning Districts

Conditional Use Permit Request

Parcel Tax ID

Underlying Lots/Portions of Lots

Zoning Districts

Local Commercial

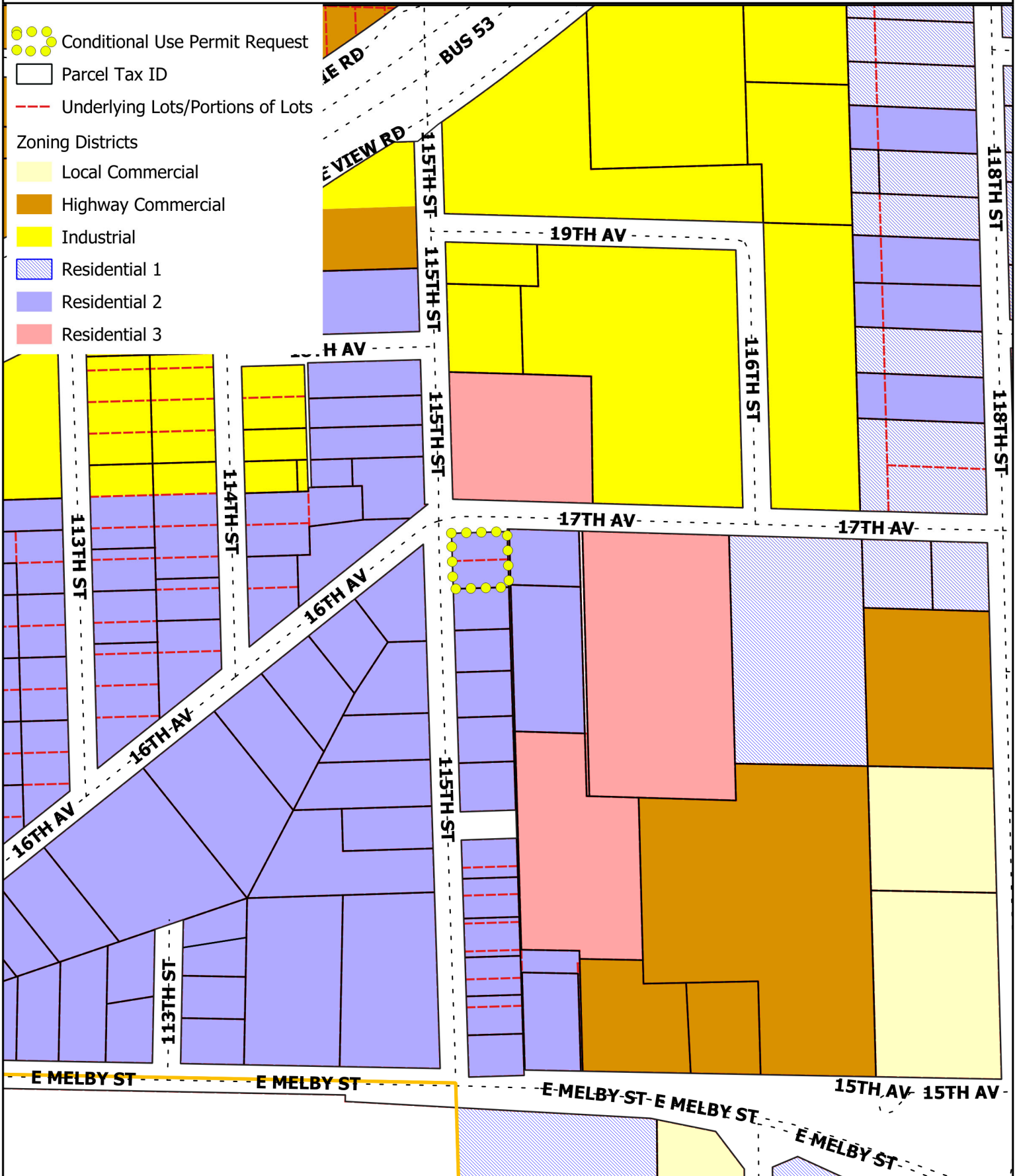
Highway Commercial

Industrial

Residential 1

Residential 2

Residential 3



Posted: Lake Hallie Municipal Building and Lake Hallie Website

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Agent: Gary Spilde, Village President

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From: Residential 2 and Agricultural

To: Residential 1

From: Residential 2

To: Agricultural

Specific information regarding this petition can be obtained at the Chippewa County Department of Planning & Zoning.

Dated this **24th** day of **November**, 2025.

Douglas Clary, Director
Department of Planning & Zoning
Village of Lake Hallie

MARKQUART RV LAKE HALLIE NEW RV DEALERSHIP BUILDING

13136 30TH AVE
CHIPPEWA FALLS, WI 54729

L&P PROJECT NO: 25067

GENERAL

- G101 TITLE SHEET, SHEET INDEX, PROJECT LOCATION MAPS
- G102 EGRESS PLAN, CODE ANALYSIS
- G103 BUILDING COMPONENTS

CIVIL

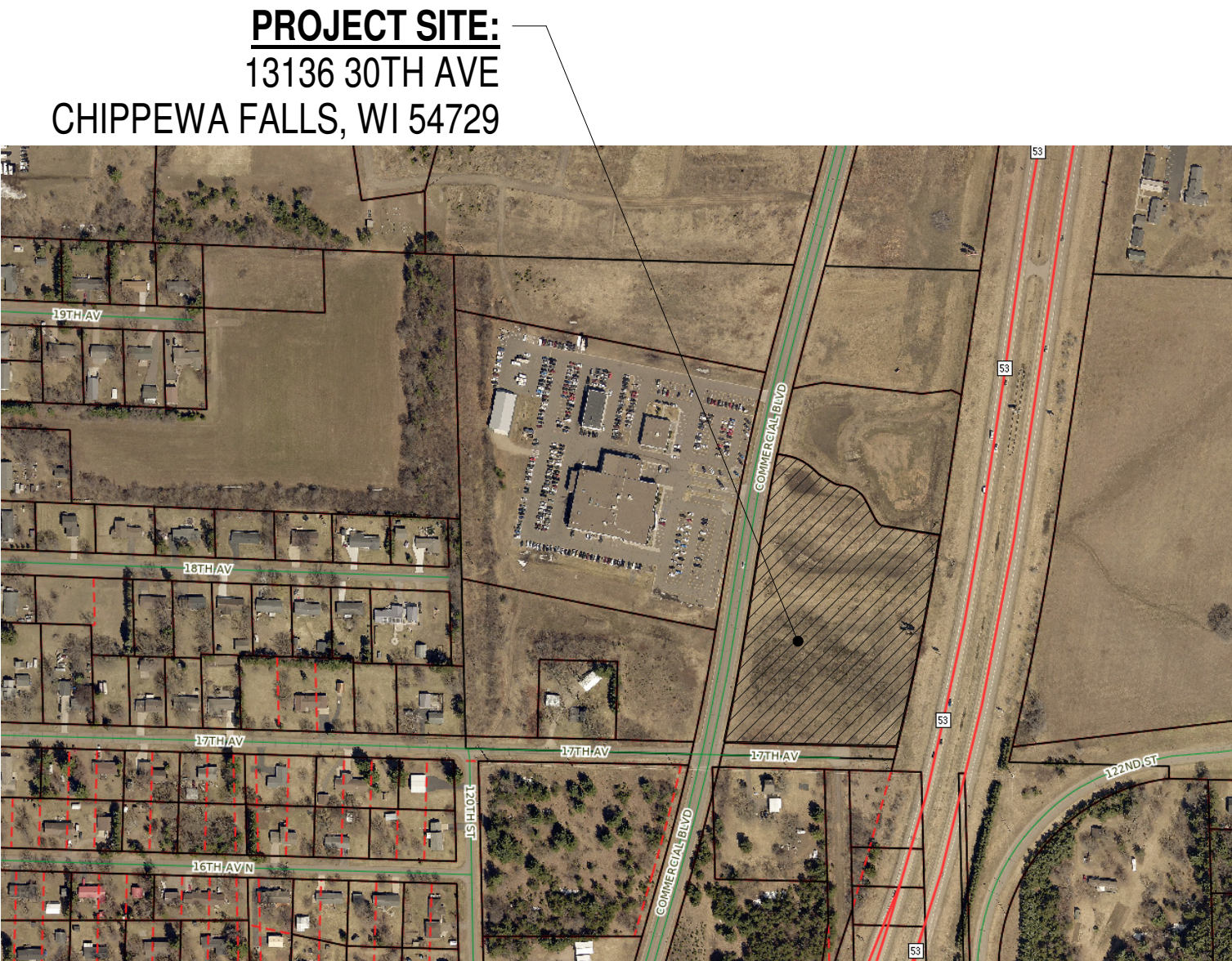
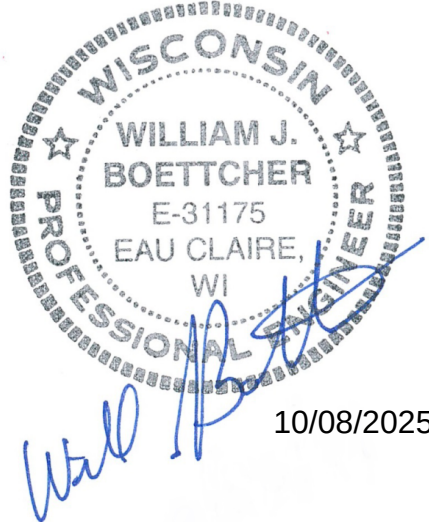
- C103 SITE PLAN

ARCHITECTURAL

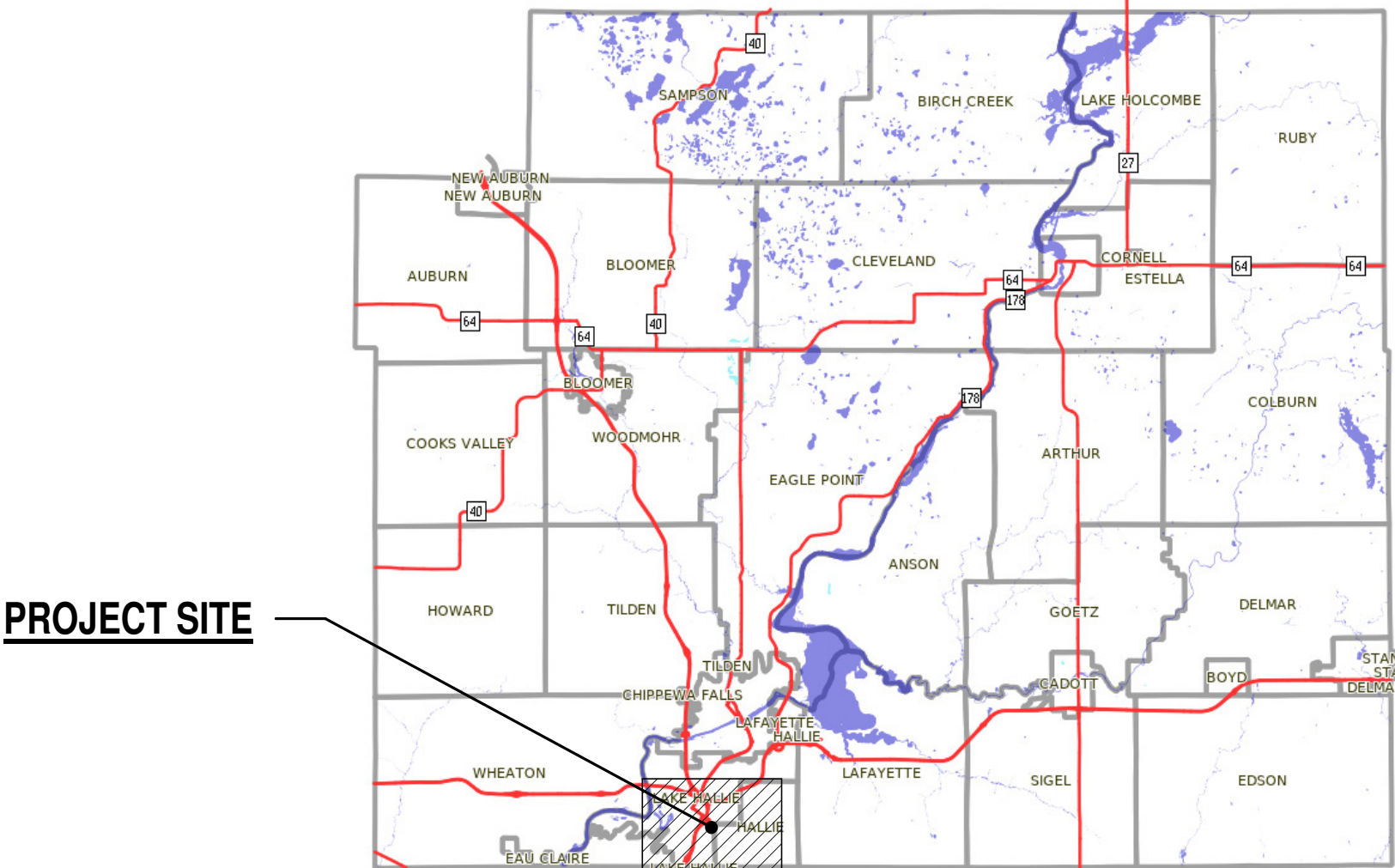
- A301 FIRST FLOOR PLAN
- A302 ENLARGED PLANS
- A303 ROOF PLAN
- A304 DOOR AND FRAME TYPES, WINDOW TYPES, SCHEDULES
- A305 WALLS TYPES, ROOM FINISH SCHEDULE
- A401 EXTERIOR ELEVATIONS
- A402 EXTERIOR ELEVATIONS
- A501 BUILDING SECTIONS
- A502 BUILDING SECTION, WALL SECTIONS
- A503 BUILDING DETAILS
- A504 EXTERIOR DOOR DETAILS
- A505 INTERIOR DOOR DETAILS, WINDOW DETAILS
- A601 INTERIOR ELEVATIONS
- A701 FIRST FLOOR REFLECTED CEILING PLAN
- A702 ENLARGED REFLECTED CEILING PLANS, ATTIC HATCH
DETAIL

STRUCTURAL

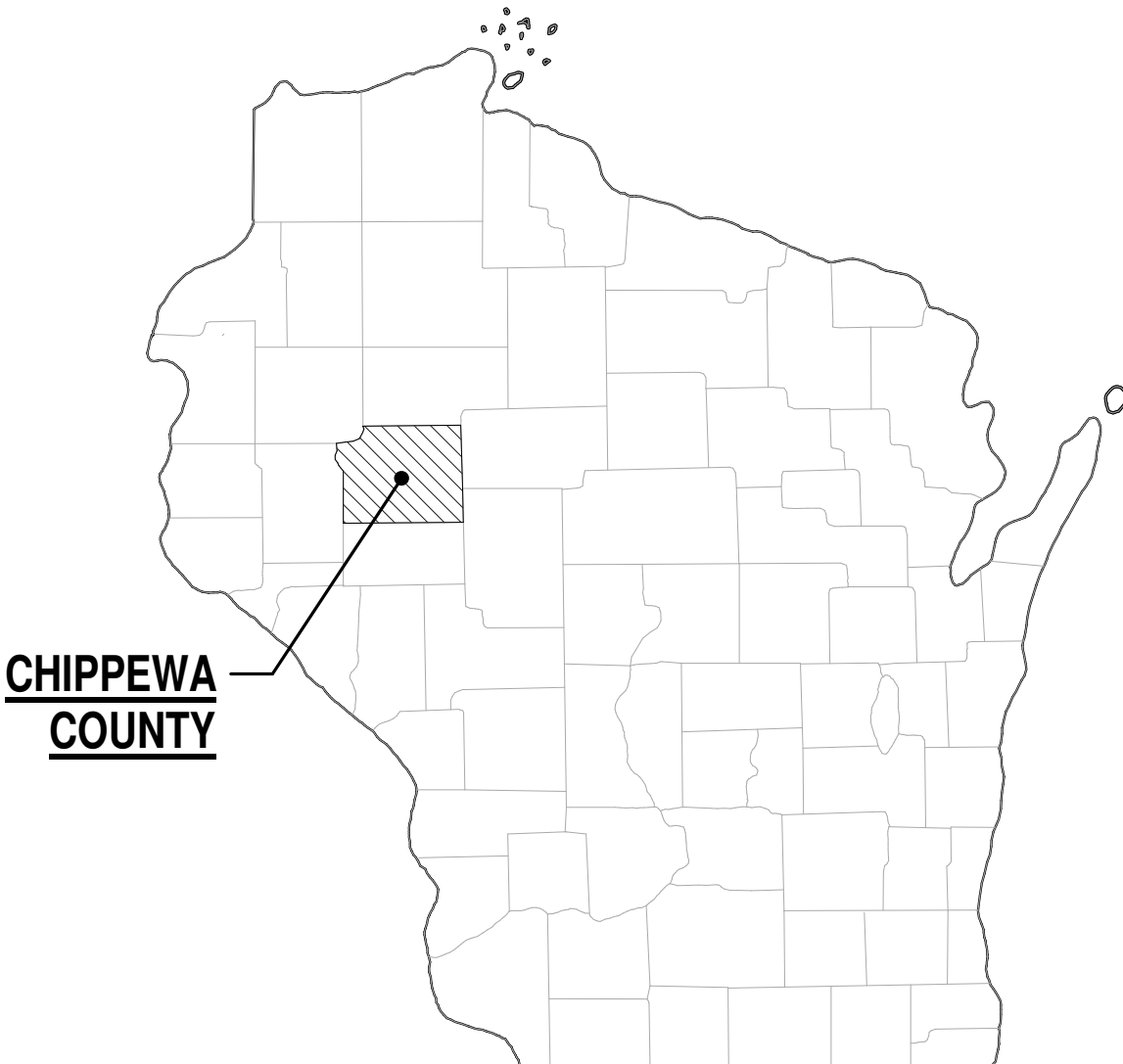
- S101 STRUCTURAL DESIGN NOTES
- S201 FOUNDATION PLAN
- S301 ROOF FRAMING PLAN
- S302 ENLARGED FRAMING PLANS
- S501 STRUCTURAL DETAILS



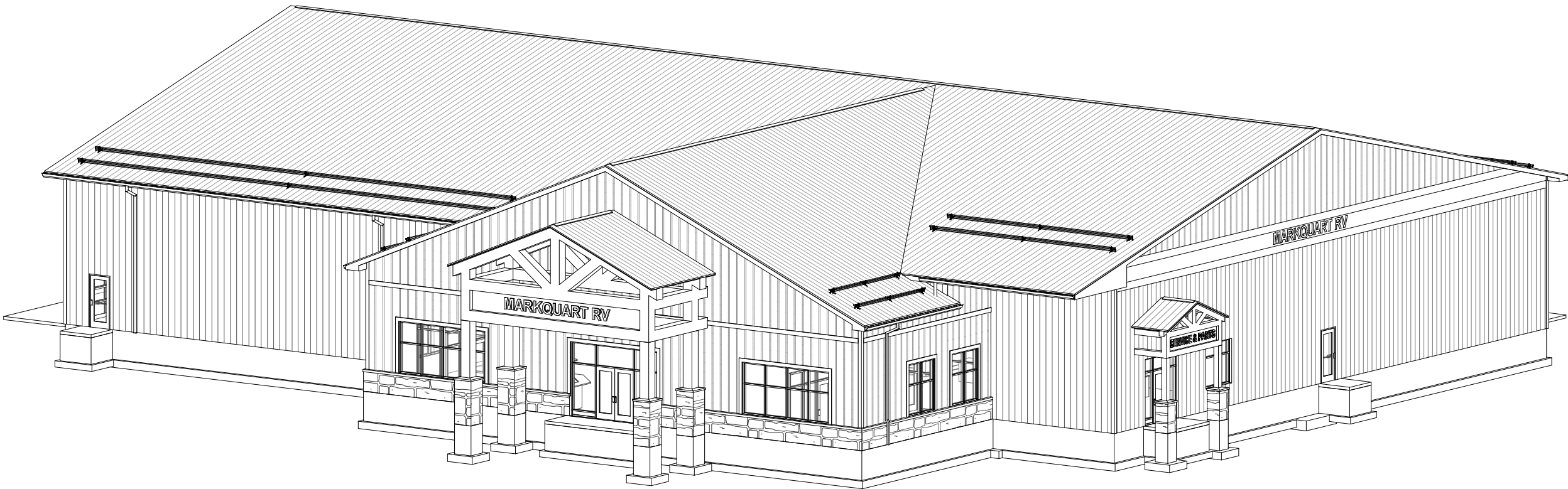
3 VICINITY MAP
N.T.S.



2 CHIPPEWA COUNTY MAP
N.T.S.



1 STATE MAP
N.T.S.



4 MASSING VIEW

PROJECT CONTACTS:

OWNER - MARKQUART HALLIE RV
CHARLEE MARKQUART
charlee@markquart.com

ARCHITECT / ENGINEER
LIEN & PETERSON ARCHITECTS, INC.
WILLIAM BOETTCHER, PE
billb@2dip.com
(715)835.7500

CIVIL
CEDAR CORPORATION
RUSS KIVINIEMI, PE
russ.kiviniemi@cedarcorp.com
(715)235.9081

LIEN & PETERSON ARCHITECTS, INC
ARCHITECTS
L&P
ENGINEERS
PO BOX 925
4675 ROYAL DIRVE
EAU CLAIRE, WI
54701
715-835-7500
admin@2dip.com
TELEPHONE
EMAIL

MARKQUART RV LAKE HALLIE
NEW RV DEALERSHIP BUILDING
13136 30TH AVE
CHIPPEWA FALLS, WI 54729

TITLE SHEET, SHEET
INDEX, PROJECT
LOCATION MAPS

REVISIONS:
NO. DATE

ISSUE DATE:
OCTOBER 08, 2025

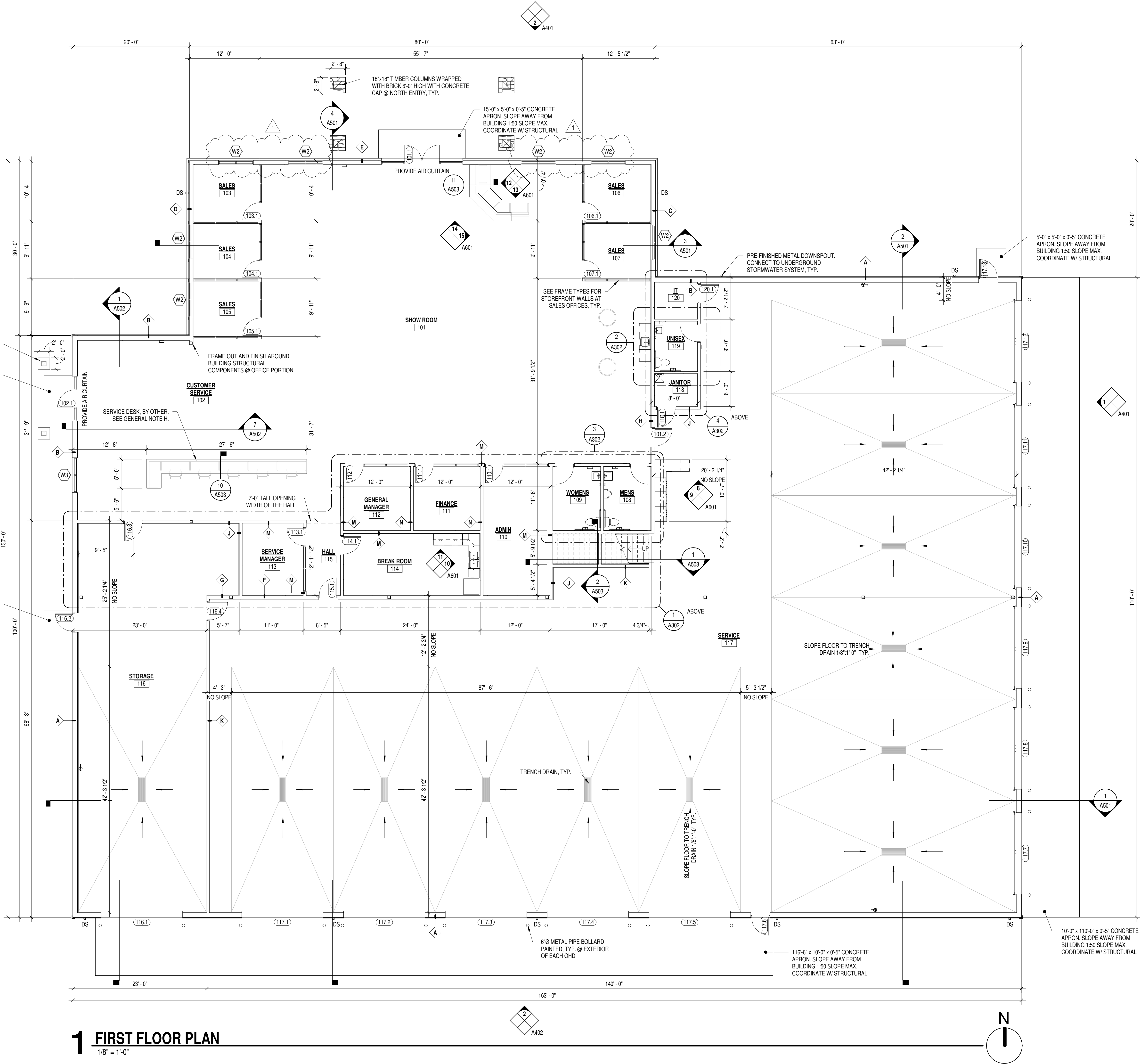
G101

L&P PROJECT # 25067

GENERAL FLOOR PLAN NOTES:

A. INTERIOR AND EXTERIOR DIMENSIONS:
a. EXTERIOR STUD WALLS: FACE OF EXTERIOR SIDE OF STUD
b. EXTERIOR MASONRY WALLS: FACE OF EXTERIOR SIDE OF MASONRY
c. OPENINGS: EDGES OF OPENING
d. INTERIOR STUD WALLS: FACE OF STUD, NOMINAL
e. INTERIOR MASONRY WALLS: FACE OF MASONRY WALL, NOMINAL
B. WOOD BLOCKING:
a. PROVIDE SOLID WOOD BLOCKING FOR ALL WALL AND SOFFIT MOUNTED PRODUCTS AND EQUIPMENT INDICATED ON DRAWINGS
C. PROVIDE CORNER GUARD PROTECTION AT ALL OUTSIDE CORNERS
D. DOOR FRAMES SHALL BE LOCATED 4 1/2" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
E. GPWD @ WALLS TO HAVE CONTROL JOINTS @ 20'-0" O.C. MAX. TYP.
F. REQUIRED ADA CLEARANCES AT PLUMBING FIXTURES DENOTED WITH DASHED LINES
G. PROVIDE ALL ADA COMPLIANT ROOM SIGNAGE, UNLESS OTHERWISE NOTED. ROOM SIGNAGE SHALL BE MOUNTED PER 7/G102
H. SALES AND SERVICE COUNTERS MUST PROVIDE A PORTION OF COUNTER THAT IS MINIMUM 36" LONG AND MAXIMUM 36" A.F.F. COMPLYING WITH SECTION 904 OF THE 2009 ICC A117.1.

FLOOR PLAN LEGEND:	
ROOM NAME 101	ROOM TAG
(RM#)	DOOR TAG
1 A401	ELEVATION TAG
1 A101	SECTION TAG
W#	WINDOW TAG
11	WALL TAG
Name Elevation	ELEVATION DATUM
EXIT LIGHT	EXIT LIGHT



ARCHITECTS
L&P
ENGINEERS

LIEN & PETERSON ARCHITECTS, INC
PO BOX 925
EAU CLAIRE, WI 54701
715-835-7500
admin@2dlp.com

MARKQUART RV LAKE HALLIE
NEW RV DEALERSHIP BUILDING
13136 30TH AVE
CHIPPEWA FALLS, WI 54729

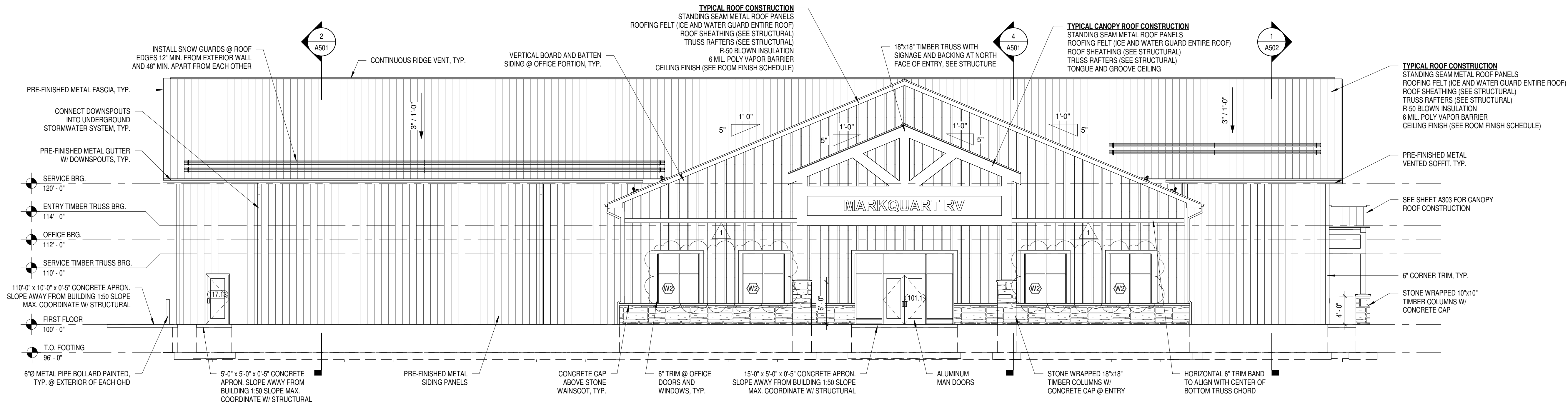
REVISIONS:
NO. DATE
1 10/29/2025

ISSUE DATE:
OCTOBER 08, 2025

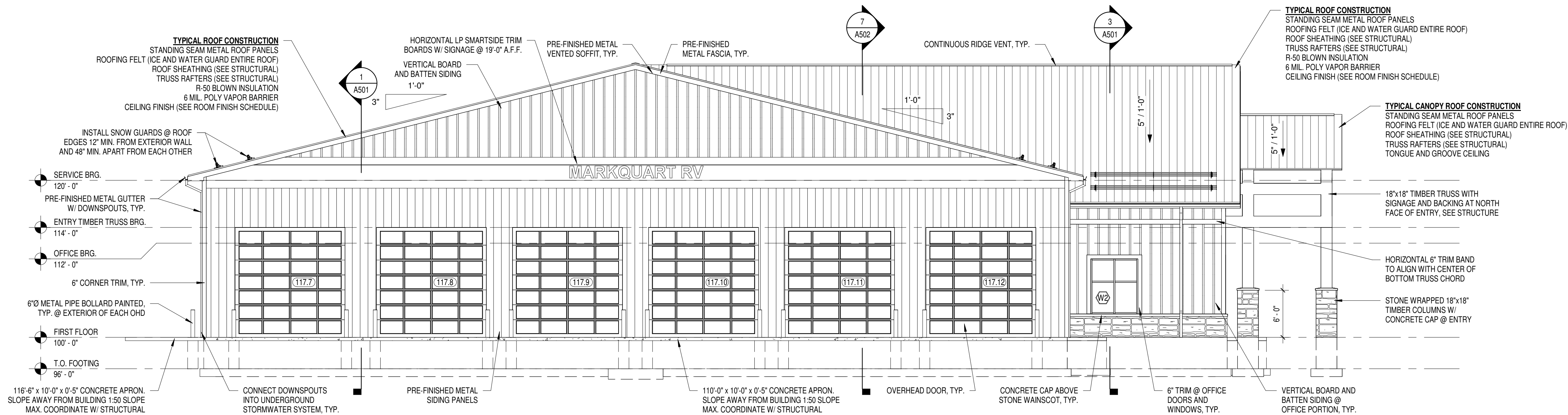
FIRST FLOOR PLAN

A301

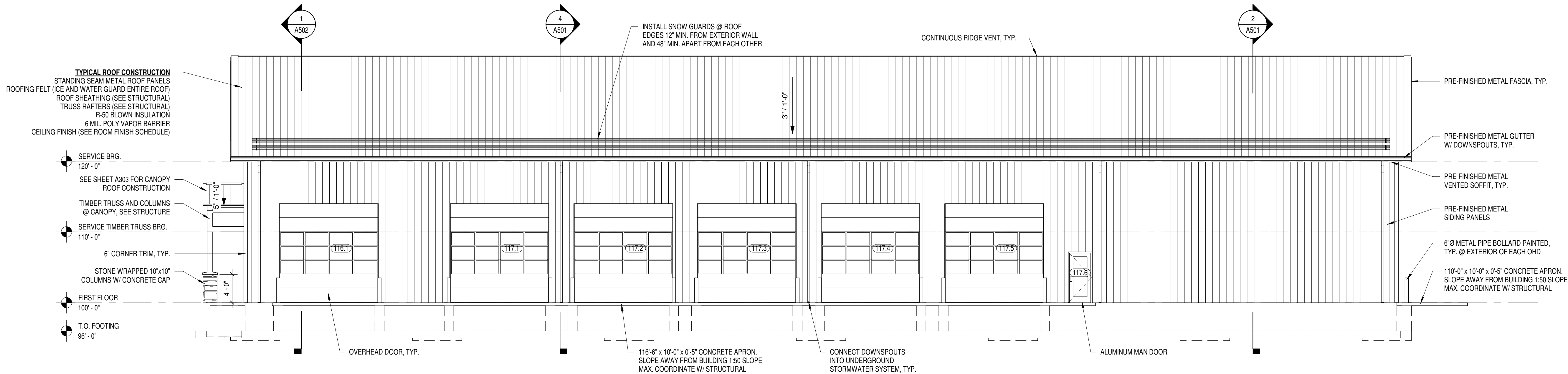
L&P PROJECT # 25067



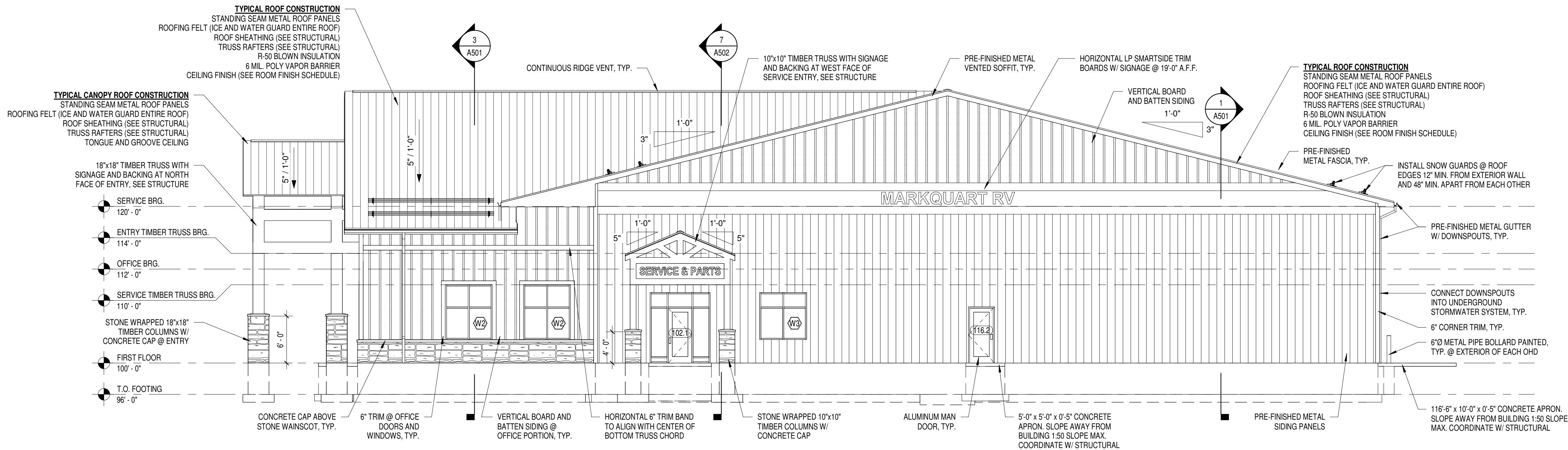
2 NORTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

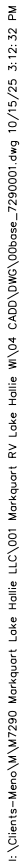


1 WEST ELEVATION
1/8" = 1'-0"

REVISIONS:	
NO.	DATE

ISSUE DATE:
OCTOBER 08, 2025

A402



CONSTRUCTION DOCUMENTS

[illegible]

VILLAGE OF LAKE HALLIE

DEPARTMENT OF PLANNING & ZONING

• 711 North Bridge Street, Chippewa Falls, WI 54729 • Phone: 715.726.7940 • Fax: 715.726.4596 • www.co.chippewa.wi.us •

Land Management

Land Planning

Land Records & G.I.S.

POWTS & Wells

Date: November 24, 2025

To: Property Owner(s)

From: Douglas Clary, Director



Re: Public Meetings & Hearing

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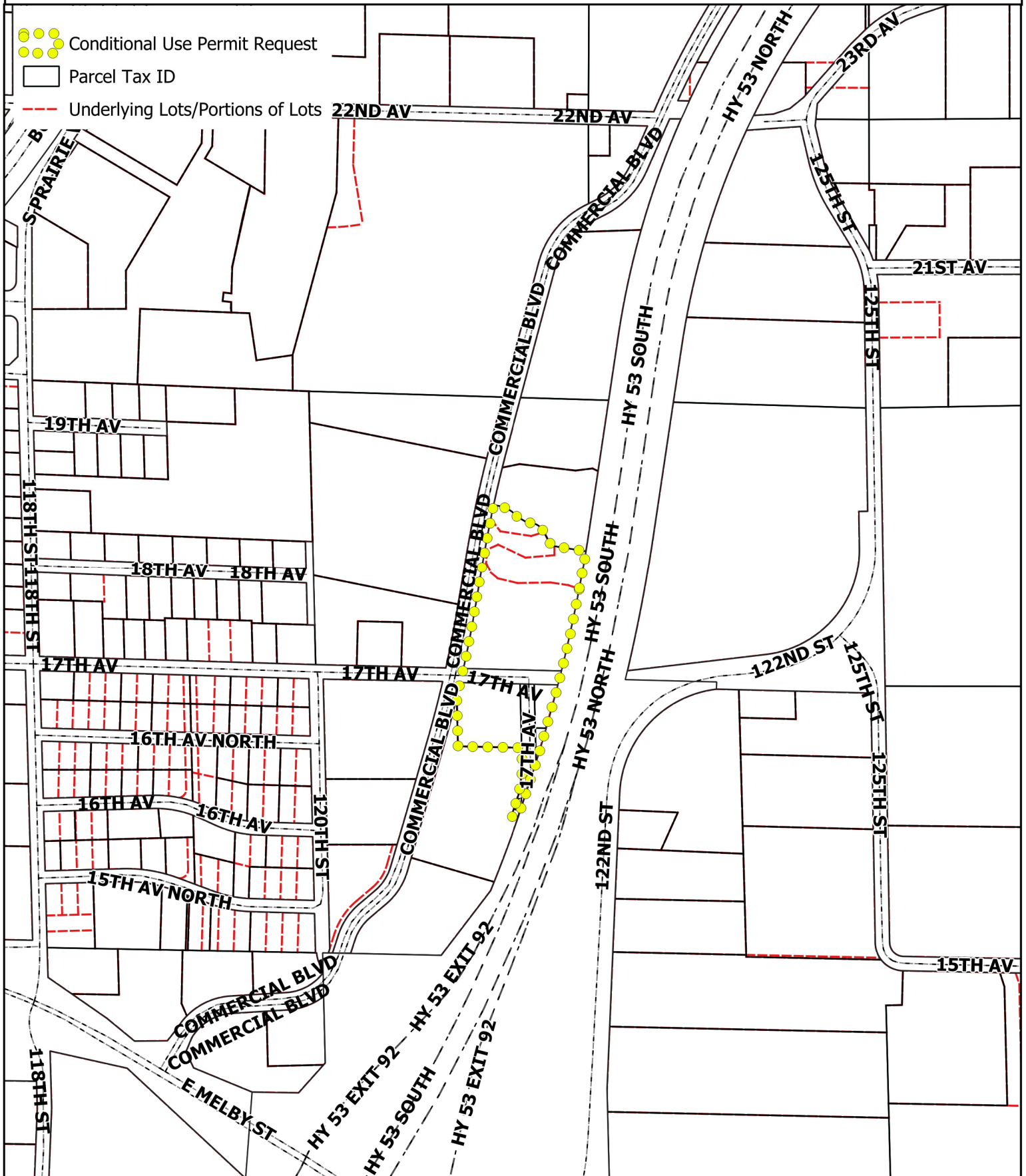
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**2025-0007 Lee Markquart Enterprises LLC - Conditional Use Request
Aerial (2025)**

-  Conditional Use Permit Location
-  Parcel Tax ID



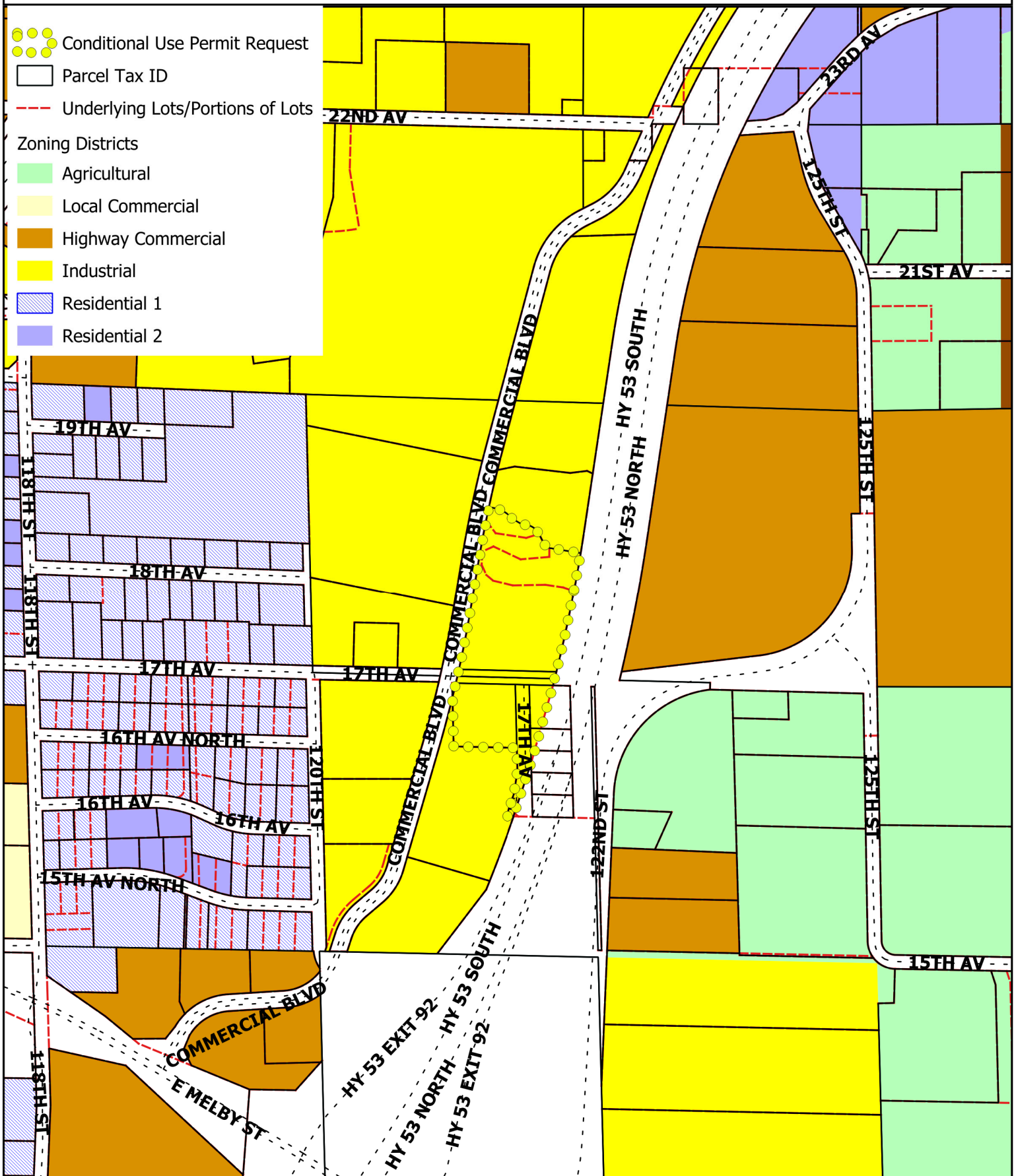
2025-0007 Lee Markquart Enterprises LLC - Conditional Use Request Location Map



2025-0007 Lee Markquart Enterprises LLC - Conditional Use Request

Zoning Districts

-  Conditional Use Permit Request
-  Parcel Tax ID
-  Underlying Lots/Portions of Lots
- Zoning Districts**
 -  Agricultural
 -  Local Commercial
 -  Highway Commercial
 -  Industrial
 -  Residential 1
 -  Residential 2



- (3). Repair of motor vehicles and small engines including the construction and operation of racing machines such as stock cars, snowmobiles and tractors.
- (4). Storage of motor vehicles and recreational vehicles in accessory structures that were existing at the time of adoption of the zoning code (1974).

Sec. 70-116 Commercial Site Plan Review Process

- (a). *Purpose.* The purpose of the commercial site plan review requirements are as follows:
 - (1). To maintain and improve the quality of the environment;
 - (2). To encourage the aesthetic compatibility of the design and construction of new development with adjacent and nearby land uses;
- (b). *Jurisdiction.* Site plans shall be submitted, reviewed and approved by the Plan Commission prior to the issuance of a building and/or zoning permits for all new commercial development. No building or sanitary permit for a nonresidential building shall be issued until all of the applicable provisions of this section have been met.
- (c). *Plan Submittal Requirements.* The submittal requirements for site plan applications shall include the following:
 - (1). *Written Narrative.* A written description of the intended use describing in reasonable detail the following:
 - a. Current and proposed land uses.
 - b. Projected employees, number of daily customers, and hours of operation for the commercial land uses.
 - c. Possible future expansion and related implications.
 - (2). *Site plan.* A site plan which includes the following:
 - a. A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, and planner) for project.
 - b. The date of the original plan and the latest date of revision to the plan.
 - c. A north arrow and a graphic scale. Said scale shall not be smaller than 1 inch equals 100 feet.
 - d. A legal description of the subject property.
 - e. All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
 - f. All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
 - g. All required building setback lines.
 - h. All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls.
 - i. The location and dimension (cross-section and entry throat) of all access points onto public streets.
 - j. The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided.
 - k. The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
 - l. The location of all outdoor storage areas and the design of all screening devices.
 - m. The location, type, height, size, and lighting of all signage on the subject property.
 - n. The location, height, design/type, illumination power, and orientation of all exterior lighting on the subject property.
 - o. The location and type of any permanently protected green space areas.
 - p. The location of existing and proposed stormwater management, conveyance and drainage facilities.

- q. Total Lot area.
 - r. Gross floor area.
 - s. Impervious surface area.
- (3). *Building Elevations.* Drawings of each elevation of the proposed building(s) or proposed remodeling of an existing building(s) showing finished exterior treatment. Labels on the elevation drawings shall identify all exterior materials and colors.
 - (4). *Landscaping Plan.* Drawings of the subject property, at the same scale as the site plan, showing the location of existing and proposed plant materials, fencing, and berms.
 - (5). *Additional Information.* The Plan Commission may request additional information if such information is needed to make a thorough and accurate review of the project.
- (d). *Review and Approval Procedure.*
- (1). An application for site plan approval and the applicable fee shall be submitted to the appropriate Department no less than 10 working days prior to the Plan Commission meeting at which the application shall be considered. The application shall be accompanied by 10 copies of the site plan, written material, and other information required in section 70-116(c) and one electronic copy in a PDF with recognizable text.
 - (2). The Department shall review the site plan and accompanying material for conformance to this section. The Department shall prepare a report and recommendation to the Plan Commission for its consideration of the application.
 - (3). When acting upon an application, the Plan Commission shall consider the proposed site plan in relation to the staff report and the review criteria of section 70-116(c). The Plan Commission shall approve the site plan with or without conditions, deny it, or defer it for further study.
 - (4). Following approval of a site plan and prior to issuance of the applicable building and/or zoning permits, the applicant shall be responsible for submittal to the department 2 copies of the final approved site plan which shall include all changes or other pertinent information required by the Plan Commission.
 - (5). An applicant who wishes to change an approved site plan must contact the Department. If the proposed changes are of a nature that the revised site plan will be substantially similar to the approved plan, the Department staff may approve the site plan change. If the proposed changes substantially alters the principal uses, parking and circulation, drainage, landscaping, or other site plan elements, then the changes shall be reviewed and decided upon in the same procedure as set forth herein in section 70-116.
 - (6). Within ninety 90 days of the receipt of the application by the Department, the Plan Commission shall render a decision. If no decision is made by the Commission within said 90 day period, the site plan shall be considered approved. The Plan Commission shall approve, deny, or approve subject to compliance with such modifications or conditions as it may deem necessary to carry out the purpose of these regulations and insure that the external design and site plan for all developments are in accordance with the provisions of this section.
- (e). *Review Criteria.* When acting upon an application, the Plan Commission shall rely upon generally accepted site planning and design principles and the following criteria:
- (1). The existing natural topographic and landscape features of a site shall be incorporated into a development plan. Such plan shall include all prudent and necessary steps required to protect the natural environment of the site and surrounding areas during and after construction.
 - (2). Site coverage, paved areas, lawn areas, building scale, setbacks, and open spaces shall be in proportion with existing and planned structures and spaces in the surrounding area.
 - (3). Buildings shall be sited in an orderly, non-random fashion. Excessively long, unbroken building facades shall be avoided. Building materials and design features shall be consistent with the general design theme of the development.
 - (4). All areas not otherwise occupied by structures or paved areas shall be landscaped. Landscape plans for developments with ground floor areas in excess of 10,000 square feet shall be prepared by a professional

landscape architect or an experienced landscaper.

- (5). Access to the site shall be provided by driveways which are limited and located in a manner to minimize traffic congestion and difficult turning movements.
 - (6). The interior circulation of the site shall be designed to provide for the convenient and safe flow of pedestrians and non-pedestrian traffic on the site and onto and from public streets or sidewalks.
 - (7). Sites shall be lighted with fixtures, when required, which relate to the scale and design of the development and which have intensity high enough to maintain security and low enough to avoid being a nuisance.
 - (8). Paved areas shall be only as large as necessary to serve parking, circulation, and open space needs. The appearance of paved areas shall be enhanced by landscaping. Monotonous, extended, or unbroken parking areas, driveways, and carport or garage structures shall be avoided. Parking structures and areas shall be separated from residential buildings by landscaped areas.
 - (9). Outdoor activity areas, parking lots, storage yards, trash areas and other exterior features or uses shall be adequately landscaped or screened to minimize any potential nuisance features of the use of the site on existing or potential adjacent land uses.
 - (10). Recyclable materials storage areas will be provided for any use which generates significant amounts of recyclable materials and such area will be appropriately screened.
- (f). *Expiration Date.* The proper permits for the project must be applied for and approved within 12 months of the Plan Commission's final approval of the project. If this timeframe is not met, the applicant will be required to submit new information and shall be reviewed and decided upon in the same process as outlined in 70-116.

(Revisions: Ordinance # 2013-014, 12-02-2013)

Secs. 70-117 --70-125. Reserved.

DIVISION 2. JUNK, SALVAGE AND WRECKING YARDS

Sec. 70-126 Permit Required

No person shall, after the effective date of the ordinance from which this title is derived, except in districts designated in this title, keep, conduct or maintain any building, structure, yard or place for keeping, storing or piling, in commercial quantities, whether temporarily, irregularly or continually, or for the buying or selling at retail or wholesale or dealing in any old, used or secondhand materials of any kind, including cloth, rags, clothing, paper, rubbish, bottles, equipment, automobiles, farm machinery, trucks, parts, equipment or supplies or other similar articles without first having obtained and paid for a permit as provided in this division.

Sec. 70-127 Application for Permit

Every applicant for a permit to operate a junkyard shall file with the Zoning Administrator a written application upon a form, signed by the applicant or applicants with the following information:

- (a). Such application shall state:
 - (1). The name and residence of the applicant, if an individual, if a partnership or firm the names of the principal officers and their residence if the applicant is an association or corporation.
 - (2). The detailed nature of the business to be conducted and the kinds of material to be collected, bought, sold or otherwise handled.
 - (3). The description of the premises where such business is to be located or carried on.
 - (4). An agreement that the applicant accepts the license, if granted, upon the condition that it may be suspended for cause at any time by the Village Board.
- (b). The Zoning Administrator shall report such application to the Village Board, who shall inspect or cause to be inspected such premises to determine whether it complies with all provisions of this Code, rules or regulations.