



TOWN OF FORTVILLE

714 E. Broadway, Fortville, IN 46040
(317) 485-4044 | www.Fortville.IN.gov



TOWN COUNCIL AGENDA - MONDAY, MAY 18TH, 2026 - 6:30 PM

Elected Officials & Term Dates

1st District

Tonya Davis - 1/1/24-12/31/27
Sean Morgan - 9/23/2025-12/31/27

2nd District

Ryan Rummell - 1/1/23-12/31/26
Libby Wyatt - 1/1/24-12/31/27

At-Large

Fred "Fritz" Fentz - 1/1/23-12/31/26

Clerk-Treasurer

Melissa Glazier - 1/1/24-12/31/27

Town Management

Town Manager

Joe Renner

Police Department

Chief Patrick Bratton

Planning & Building

Adam Zaklikowski, AICP

HR-Office Manager & Comm. Relations

Andy Williams

Utilities & Accounts Payable

Angie Renner, Manager

Water Treatment Plant

David Thompson, Superintendent

Parks & Recreation

Heath Luther, Manager

Public Viewing Access

Livestream available through Zoom

- Call-In Number: 1-305-224-1968
- Meeting ID: 896 9500 1447
- <https://us02web.zoom.us/j/89695001447>

Public meeting video library available on YouTube: [@townoffortville1865](https://www.youtube.com/@townoffortville1865)

Meeting Repository available at <https://www.fortville.in.gov/meetings/>

Upcoming Public Meetings

- Thurs. May 21st: RDC
- Tue. May 26th: Plan Commission
- Thurs. May 28th: BZA
- Mon. June 1st: Town Council
- Mon. June 15th: Town Council

ADA Accommodations Notice

In compliance with the Americans with Disabilities Act (ADA), the Town of Fortville is committed to ensuring that individuals with disabilities can fully participate in public meetings. Reasonable accommodations or assistance will be provided upon request.

To request accommodations, please contact Andy Williams, Office Manager, at (317) 482-4048 or awilliams@fortville.in.gov at least 48 hours before the scheduled meeting.

1. Meeting Opening

- Call Meeting to Order
- Pledge of Allegiance
- Roll Call
- Declaration of Quorum
- The Council will consider **approval of, or edits to, the evening's meeting agenda.**
- The Council will consider **approval of the minutes of the previous meeting - May 4th, 2026**

2. Old Business

- The Council will consider the **2nd Reading (adoption) of Ordinance No. 2026-3C**, a Rezone to Planned Unit Development (PUD) for the Lakefield mixed-use project near the southeast corner of 1000 North and 400 West.

3. New Business

- The Council will hear **introduction of the Interim Co-Chiefs for the Vernon Township Fire Territory and the presentation of the 2027 Budget for the Vernon Township Fire Territory**, presented by Stacy Nielsen - Director of Administration VTFD & Kiely Culberson - EMS Chief.

4. Department Reports

- Town: Joe Renner
- Planning & Building: Adam Zaklikowski
- Parks & Recreation: Heath Luther
- Police: Chief Patrick Bratton
- Clerk-Treasurer: Missy Glazier
- Legal: Alex Intermill | Bose, McKinney, & Evans LLP

5. Public Comments - 2 minutes per person

6. Council Member Comments

7. Meeting Closure

- The Council will consider **approval & signing of the accounts payable vouchers.**
- The Council will consider **adjournment of the meeting.**



"Take some time this Memorial Day to remember and honor the millions of men and women who have given the ultimate sacrifice when serving our country, and as a result, ensured the incredible freedoms that all of us cherish."



**ADVISORY PLAN COMMISSION
EST. 2020**

Members of the Fortville Town Council:

In accordance with Indiana Code § 36-7-4-605 (3), the Fortville Advisory Plan Commission hereby certifies to you, the legislative body, that a FAVORABLE Recommendation was issued on April 28, 2026 for Ordinance No. 2026-3C "Change of Zoning Classification – Lakefield PUD" to change the zoning from Industrial: General (IG) (Hancock County) to Planned Unit Development (PUD) as presented. A Public Hearing was conducted in accordance with Indiana Code.

Additional Conditions Issued:

1. 50% OF LAKEFIELD LANDING WILL HAVE REAR ARTICULATION
2. NORTH LAKEFIELD LANDING WILL HAVE 45' LOT WIDTH + 6' SIDE SETBACK
3. PLAY AREA APPROVAL SUBJECT TO STAFF APPROVAL
4. RUD IRON LOOK FENCE ONLY AVAILABLE FENCE.

On the Recommendation, 6 Members voted Aye, 0 Members voted Nay, and 1 Members Abstained or were not present.

Nathan Sturdevant, President

ATTEST:

Sarah Waldron
Sarah Waldron, Recording Secretary

TOWN OF FORTVILLE
ORDINANCE NO. 2026-3C

Change of Zoning Classification - Lakefield PUD

RECITALS

1. Pursuant to Indiana Code §§ 36-7-4-600 *et seq.*, the Town Council of the Town of Fortville (“Council” and “Town,” respectively) has lawfully adopted a Zoning Ordinance, the terms of which are applicable to the geographic area consisting of the incorporated area of the Town, and which Zoning Ordinance has been codified in the Town’s Code of Ordinances.
2. Pursuant to Indiana Code § 36-7-4-602, the Council is authorized to amend the map that is part of the Zoning Ordinance.
3. The Town of Fortville Plan Commission (“Plan Commission”) rendered a Favorable Recommendation after conducting a Public Hearing at their meeting on April 28, 2026 regarding a request to Rezone certain real property of approximately 148.32+/- acres from Industrial: General (IG) to Planned Unit Development (PUD) depicted in attached Exhibit A.
4. In accordance with Indiana Code § 36-7-4-605, the Plan Commission certified its recommendation regarding the Rezone to the Town Council.
5. The Council has considered the Plan Commission’s recommendation and, in accordance with Indiana Code § 36-7-4-608, desires to adopt the proposed change in zoning for the Real Estate.

NOW, THEREFORE, IT IS HEREBY ORDAINED by the Council as follows:

SECTION 1. The official Zoning Map accompanying and made part of the Zoning Ordinance is hereby amended to change the zoning classification of the Real Estate from IG to PUD, with **Exhibits A-G, including Legal Description and Planned Unit Development Standards** describing the development standards applicable to the property.

SECTION 2. All housing elevations and/or additional housing elevations shall be submitted for review and approval by the Town’s Planning Director. The Planning Director’s review of the Dwelling elevations shall be performed to determine its objective compatibility and consistency with the intended quality, character, and development standards of this PUD.

SECTION 3. The Town's Planning Director shall have the discretion and flexibility to consider and approve modifications pertaining to any development and architectural standards and concept layout established by this Ordinance if the Planning Director determines such modifications are consistent with the intent of this Ordinance and consistent with the quality and character represented in this Ordinance. All such modifications shall be made in writing with an explanation supporting the change.

SECTION 4. A Preliminary Development Plan (Primary Plat) must be formally submitted within five (5) years following the date of zoning approval. Failure to do so will result in automatic termination of the PUD development standards and new PUD development standards shall be reviewed and approved following the same process as a Rezone. All Final Development Plans (Secondary Plats) must be formally submitted in compliance with applicable Indiana Code.

SECTION 5. All prior ordinances or parts thereof inconsistent with any provision of this Ordinance are hereby repealed. Additionally, if applicable, all previous zoning commitments are hereby repealed.

SECTION 6. This Ordinance shall be in full force and effect upon the effective date of the Durack Annexation (Ordinance 2026-4A).

SECTION 7. After the effective date of this Ordinance, the Planning Director shall update the Zoning Map and the Comprehensive Plan Map accordingly.

[Signature Page Follows]

Duly ordained and passed this 18th day of May, 2026, by the Town Council of the Town of Fortville, Hancock County, Indiana, having been passed by a vote of _____ in favor and _____ opposed.

TOWN OF FORTVILLE, INDIANA, BY ITS TOWN COUNCIL

Voting Affirmative:

Voting Opposed:

Tonya Davis

Tonya Davis

Ryan Rummell

Ryan Rummell

Frederick (Fritz) Fentz

Frederick (Fritz) Fentz

Elizabeth (Libby) Wyatt

Elizabeth (Libby) Wyatt

Sean Morgan

Sean Morgan

ATTEST

Melissa (Missy) Glazier
Clerk-Treasurer

Approved as to Form:

Alex Intermill
Town Attorney
Bose McKinney & Evans LLP

Exhibit A – Legal Description

Durack Farms, LLC Parcel

A part of the Northwest Quarter of Section 17, Township 17 North, Range 06 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana.

Commencing at the Northwest corner of said Quarter Section; thence North 89 degrees 17 minutes 53 seconds East (assumed bearing) along the North line of said Quarter Section, a distance of 505.00 feet to the Northeast corner of the Right-of-Way described in Instrument Number 202508322 in the Office of the Recorder of Hancock County, Indiana, and the POINT OF BEGINNING of this description; thence continuing along said line North 89 degrees 17 minutes 53 seconds East, a distance of 279.15 feet to the Northwest corner of the land described in Instrument Number 202207176 in said Recorder's Office; thence South 00 degrees 40 minutes 36 seconds East, a distance of 498.10 feet to a 5/8 inch diameter rebar with plastic cap stamped "C2LS FIRM #0035" marking the Southwest corner of said land; thence North 89 degrees 17 minutes 53 seconds East, along the South line of said land, a distance of 521.47 feet to a 5/8 inch diameter rebar with plastic cap stamped "C2LS FIRM #0035" marking the Southeast corner of said land, said point being on the East line of the West Half of said Quarter Section; thence South 00 degrees 02 minutes 42 seconds West, along said line, a distance of 828.22 feet to the Northeast corner of the Southwest Quarter of said Quarter Section; thence continuing along said line South 00 degrees 02 minutes 42 seconds West, a distance of 792.00 feet to the Southeast corner of the land described in Instrument Number 100012943 in said Recorder's Office; thence South 89 degrees 22 minutes 47 seconds West, along the South line of said land, a distance of 1320.77 feet to the Southwest corner thereof, said point being on the West line of said Quarter-Quarter Section; thence North 00 degrees 15 minutes 52 seconds East, along said line, a distance of 621.19 feet to the Southwest corner of 0.412 acre tract of land described in Instrument Number 202409793 in said Recorder's Office; thence with the lines of said land the following 5 courses and distances: 1) South 89 degrees 42 minutes 05 seconds East, a distance of 19.19 feet; 2) thence North 04 degrees 12 minutes 18 seconds East, a distance of 210.83 feet; 3) thence North 00 degrees 17 minutes 55 seconds East, a distance of 200.67 feet; 4) thence North 03 degrees 27 minutes 27 seconds West, a distance of 210.78 feet; 5) thence North 89 degrees 42 minutes 05 seconds West, a distance of 19.84 feet to the West line of the Northwest Quarter of said Quarter Section; thence North 00 degrees 17 minutes 55 seconds East, along said line, a distance of 98.11 feet to the Southwest corner of a 0.361 acre tract of land described in said Instrument Number 202409793; thence with the lines of said land the following 4 courses and distances: 1) North 89 degrees 59 minutes 57 seconds East, a distance of 20.73 feet; 2) thence North 05 degrees 16 minutes 03 seconds East, a distance of 161.34 feet; 3) thence North 00 degrees 00 minutes 11 seconds West, a distance of 200.82 feet; 4) thence North 04 degrees 09 minutes 31 seconds West, a distance of 84.57 feet to the Southeast corner of the aforementioned Instrument Number 202508322; thence with the lines of said line the following 6 courses and distances: 1) North 02 degrees 10 minutes 47 seconds East, a distance of 89.05 feet; 2) thence North 00 degrees 17 minutes 55 seconds East, a distance of 101.00 feet; 3) thence North 45 degrees 29 minutes 13 seconds East, a distance of 100.39 feet; 4) thence North 61 degrees 49 minutes 25 seconds East, a distance of 56.36 feet; 5) thence North 86 degrees 23 minutes 43 seconds East, a distance of 355.46 feet; 6) thence North 00 degrees 42 minutes 07 seconds West, a distance of 27.00 feet to the Point of Beginning, Containing 56.503 acres, more or less.

AND

RDJ Petty LLC/CA Petty LLC Parcel

A part of the Northwest Quarter and a part of the Southwest Quarter, all in Section 17, Township 17 North, Range 06 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana.

Beginning at the Northeast corner of said Northwest Quarter Section; thence South 00 degrees 11 minutes 28 seconds East, along the East line of said Quarter Section, a distance of 2575.64 feet to the northerly Right-of-

Way line of the Conrail Railroad (formerly C.C.C. & St. L Railroad); thence South 56 degrees 08 minutes 52 seconds West, along said Right-of-Way line, a distance of 1593.08 feet to the West line of the East Half of the Southwest Quarter of said Section; thence North 00 degrees 02 minutes 22 seconds East, along said line, a distance of 793.73 feet to the Southwest corner of the East Half of said Northwest Quarter Section; thence North 00 degrees 02 minutes 42 seconds East, along the West line of said Half-Quarter Section a distance of 2653.25 feet to the Northwest corner thereof; thence North 89 degrees 17 minutes 53 seconds East, along the North line of said Half-Quarter Section, a distance of 1311.89 feet to the Point of Beginning, Containing 91.106 acres, more or less.

Exhibit B – Lakefield Concept Plan



Exhibit C – Illustrative Architectural Exhibit
Lakefield Estates



Lakefield Reserve (ranch plans)



Lakefield Landing



Exhibit D – Development Standards

Lakefield Planned Unit Development (PUD) Development Standards

A. Platting.

i. Lot Sizes

1. Density. The maximum density shall be 2.8 dwelling units per acre on the overall acreage included in the single-family residential section of the subdivision.

ii. Development Standards

1. Lakefield Estates

Standard	Lakefield Estates
Maximum Number of Units	102
Maximum Impervious Space	50%
Minimum Living Space, Ranch	1,800 sq. ft.
Minimum Living Space, Two Story	2,000 sq. ft.
Minimum Lot Width	62 ft.
Minimum Lot Depth	125 ft.
Minimum Front Yard Setback	25 ft.; 30 ft. to garage
Minimum Side Yard Setback	7 ft.; 5 ft. adjacent to 3-car garage
Minimum Rear Yard Setback	20 ft.

2. Lakefield Reserve

Standard	Lakefield Reserve
Maximum Number of Units	102
Maximum Impervious Space	50%
Minimum Living Space, Ranch	1,500 sq. ft.
Minimum Living Space, 1.5 Story	1,700 sq. ft.
Minimum Living Space, Two Story	Not Applicable
Minimum Lot Width	50 ft.
Minimum Lot Depth	125 ft.
Minimum Front Yard Setback	25 ft.
Minimum Side Yard Setback	5 ft.
Minimum Rear Yard Setback	20 ft.

3. Lakefield Landing

Standard	Lakefield Landing
Maximum Number of Units	118
Maximum Impervious Space	60%
Minimum Living Space, Ranch	1,400 sq. ft.
Minimum Living Space, Two Story	1,800 sq. ft.
Minimum Lot Width Landing North	45 ft.
Minimum Lot Width Landing South	40 ft.
Minimum Lot Depth	125 ft.
Minimum Front Yard Setback	25 ft./25 ft./28 ft. (No more than 2 homes in a row with same 25' setback)
Minimum Side Yard Setback Landing North	6 ft.
Minimum Side Yard Setback Landing South	5 ft.
Minimum Rear Yard Setback	20 ft.

4. Setbacks. As measured from the property line to the foundation. Eaves and masonry may encroach into the setback areas.

iii. Lot Conditions.

1. Driveways. Driveways and parking areas shall not extend in width past the width of the face of the garage.
2. Concrete Walks. Concrete walks leading from the driveway to any point of egress on the home shall be at least three (3) feet in width.
3. Mechanical and Equipment Locations. No electrical meters, air conditioning equipment, generators, or any other mechanical equipment shall be permitted on the front elevation of the home.

iv. Public Safety/Street Width.

1. Right-of-Way (ROW) Width. To accommodate emergency vehicle access, all streets within the PUD shall be designed with a minimum ROW width of fifty-five (55) feet.
2. Street Width. All streets within the PUD shall have a minimum street width of twenty-nine (29) feet from back of curb to back of curb.
3. Curbs. Chairback curbs are required.
4. Street Trees. Required between the sidewalk and the curb, the minimum planting area shall be seven and a half (7.5) feet.

v. Access.

1. Ingress/Egress. Ingress and egress shall be designed to align with

traditional grid-platted developments with multiple ingress/egress points from frontage and secondary roads bordering the PUD. Turning radius dimensions for the drive connections shall be allowed to be tighter to accommodate the grid-like development.

2. Through Streets. To achieve linkage and connectivity with neighboring subdivisions, schools, shopping areas, and Old Town Fortville; to design walkable, transit-oriented communities; and to improve safety, accessibility, street maintenance, and emergency response, through streets shall be required.
3. Cul-De-Sacs. Shall be prohibited.

B. Design Features/Architecture.

i. Foundations.

1. Wood Frame. Wood frame foundations are not permitted.
2. Foundation. Shall have minimum 8" poured concrete or 8" concrete block.
3. Basements. When used, shall have minimum 7 foot 8 inches (7'8") ceiling height.
4. Slab on Grade. Shall be minimum 4" concrete slab on gravel base.
5. Waterproofing. All basement foundations shall be waterproofed with spray coating or like treatment.
6. Grade to Landscaping Distance. Distance between finish grade/landscaping to be between six (6) to ten (10) inches.

- ii. **Front Elevations.** No plumbing, mechanical venting are permitted elevation of the home. This includes, but is not limited to, the vertical walls and roof slope(s).

C. Garage.

- i. Minimum. A minimum of a two (2) car garage is required.
- ii. Garage Doors. All garage doors shall have glass windows. Decorative hardware optional.
- iii. Garages may be front-loading, side-loading, or rear-loading.
- iv. On all lots 50 feet wide and greater (Lakefield Reserve), the width of front-loading garage doors shall not exceed fifty (50) percent of the width of the front elevation of the home.
- v. Garage Doors 40 & 45-foot lots (Lakefield Landing). Garage bays shall be separated and include windows.
- vi. Garage doors shall be painted to match the house body or trim color.
- vii. A third- car bay shall be separated by a minimum 2' plane recess.
- viii. Location. Garages shall not protrude more than 10' in front of the living area or front porch of the home for the Estates and Reserve Series.

Lakefield Estates & Reserve



Lakefield Landing



D. Exterior Cladding.

- i. Materials. Cellular PVC (ex: Azek, Kleer, or like), fiber cement (ex: James Hardie, or like), composite stock (ex: LP Smart Trim, Miratec, or like), masonry, and painted/stained/sealed cedar are acceptable exterior trim materials.
- ii. Masonry. Some brick or stone is required on the front of each home.
- iii. Panels. Preformed masonry panels are not permitted.
- iv. Vinyl.
 1. No vinyl siding, shake, or panel siding is permitted.
 2. Vinyl soffits are permitted.
 3. Vinyl architectural details (gable vents, shutters, etc.) are permitted.
- v. Aluminum.
 1. No aluminum siding, shake, or panel siding is permitted.
 2. Aluminum soffits are permitted.
- vi. Rear Façade Articulation. The rear of the homes shall include a minimum of one (1) of the following items: Recessed covered porch, projecting covered porch, or cantilevered 2nd story. Below is a minimum percentage required by series:
 1. Estates – 100% of lots
 2. Reserve – 50% of lots
 3. Landing – 50% of lots
- vii. Corner Lots & Lots Abutting Common Area. Shall have a 2' masonry wainscot around the entire home for corner lots and for lots with a side yard abutting common area.

E. Exterior Trim.

- i. Surrounds. A minimum of nominal 1.25-inch depth by four (4) inch width trim around all windows and doors is required, unless set into a masonry plane.
- ii. Detailing. Fypon and other like products are permitted for architectural detailing. A frieze board shall be provided below the soffit around the entire home.
- iii. Decking. Treated pine, cedar, and composite (ex: Trex, Timber Tech) are all acceptable wood decking materials.

F. Windows & Doors.

- i. Window Distribution. A minimum of two (2) windows shall be required on every elevation.
- ii. Installation. All windows shall be installed using flashing tape on the sill of the rough opening followed by a bead of silicone. Window tape shall be applied after installation of the window.
- iii. Window Wells. No preformed corrugated or block window wells shall be permitted. Rockwell window wells shall be allowed. Poured concrete and timber wells are permitted.
- iv. Cladding. Windows shall be vinyl, fiberglass, wood, vinyl clad, or aluminum clad.
- v. Window Grids. Double and single hung, awning, and sliding windows on the front elevation shall include grids where appropriate for the architectural style of the

home.

- vi. Entry Doors. All front doors shall have a transom window above, or a sidelight window beside, or glass within the door, or be eight (8) feet tall.
- vii. Shutters. Shall be sized with proper width to appear as if they could close and completely cover a window. Therefore, double-mulled windows shall generally not have shutters, unless allowed by the Planning Director. The shutters shall abut the frame of the window, not trim.
- viii. Window Frame Color. Shall be white, neutral/beige, or black, depending on adjacent trim color.

G. Roofing and Framing.

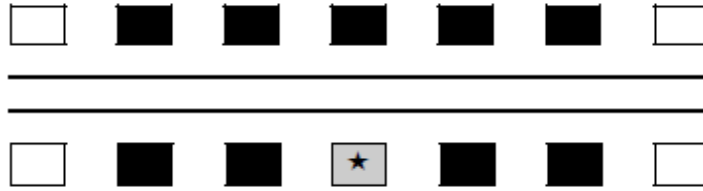
- i. Height. Minimum eight (8) foot wall heights are permitted on second and third floors. Eight (8) foot first floor wall heights are permitted.
- ii. Shingles. Standard 3-tab shingles are not permitted (ex: Owens Corning Supreme or like). Dimensional shingles and/or standing seam metal is required.
- iii. Pitch.
 - 1. Front to Back Slopes. Minimum 6/12 roof pitch on front to back slopes. The Planning Director may approve lower roof pitches in keeping with certain historic architectural styles (craftsman, prairie, etc.).
 - 2. Gables or Dormers. Minimum 6/12 roof pitch on gables or dormers.
 - 3. Shed Dormers. Minimum 4/12 roof pitch on shed dormers.
- iv. Overhangs. All homes shall have a minimum twelve (12) inch roof overhang on the entire roof perimeter, as measured from the framing and not including gutter systems.
- v. Ice and Water Shield. Ice and water shield shall be used pursuant to code.
- vi. Felt Paper. Felt paper to be used on field of roof pursuant to code.
- vii. Roof Vents. Box-style (slantback) roof vents are not permitted except for on a full hip roof to meet ventilation requirements.
- viii. Wraps and Sheathing.
 - 1. Wrap. House wrap (Tyvar, Tyvek, or like) is required on all wall sheathing.
 - 2. Sheathing. Coated sheathing (Zip System or like) can be used in lieu of traditional OSB or plywood sheathing and house wrap combination.
 - 3. Joints/Seams. Coated sheathing shall have all joints/seams taped.
- ix. Framing. Minimum 2" x 4" studs 16" o.c. with insulation board on all exterior and load bearing walls. Interior non-load bearing walls shall be 24" o.c. pursuant to code.

H. Anti-Monotony.

The following describes the anti-monotony requirement for Single-Family lots:

Lakefield Estates and Reserve. No two (2) homes within a five (5) home snapshot (applied to same-side street homes and across street homes) shall have the same front elevation.

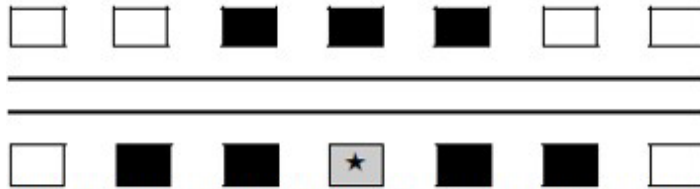
Single Family Monotony Code Depiction



Subject indicated with a star shall not have same elevation as adjacent homes indicated with shade.

Lakefield Landing. No two (2) homes within eight (8) home snapshot (applied to 5 homes on same-side street homes and 3 homes across street homes) shall have the same front elevation.

Single Family Monotony Code Depiction



Subject indicated with a star shall not have same elevation as adjacent homes indicated with shade.

I. Landscaping and Exterior Features.

- i. Community Perimeter Landscaping. Landscaping on frontage roads shall provide a minimum twenty-five (25) foot landscape buffer to include for every one hundred (100) feet of frontage: mounds; two two-(2) inch caliper shade trees of a minimum variety of three species; two two-(2) inch caliper ornamental trees of a minimum variety of five species; two six-(6) foot tall evergreen trees; and ten twenty four-(24) inch shrubs/bushes. To make the berm and landscape buffers aesthetically pleasing, some undulation of the berm height is allowed.
- ii. Low Impact Design (LID) Considerations. Perennial ornamental grasses with a mature height of no more than six (6) feet, may be substituted for shrubs where necessary. The minimum container size for planting shall be one gallon.

J. Single Family Home Lot Landscaping.

- i. Trees. All homes shall include at least one (1) street tree between the curb and sidewalk with a minimum of two (2)-inch caliper at time of planting and selected from a minimum variety of three (3) species. Up to two (2) additional ROW parkway trees shall be planted on the side street of corner lots.
- ii. Planting. Additional front and side yard trees, if provided, shall be planted a minimum of ten (10) feet behind the sidewalk.
- iii. Sodding and Seeding. All front yards shall be established through sodding. For purposes of sodding, corner lots shall be considered to have two (2) front yards.

Future repairs and improvements can be made by seeding, providing no bare soil remains for a prolonged period of time. Rear yards are also preferred to be sodded, however, seeding is also acceptable as the minimum requirement. All front, rear, and side yards shall be properly graded and will use starter fertilizer when sodding and/or seeding.

- iv. Additional Landscaping. All homes shall include a minimum of eight (8) shrubs in the front foundation planting bed and all shrubs shall be at least eighteen (18) inches in height at time of planting.
- v. Irrigation. Where irrigation is installed, the use of innovative, water efficient irrigation systems is strongly encouraged and recommended. All irrigation systems are to be below ground, fully automated systems in compliance with all applicable building code requirements. All backflow control devices are to be located or screened so that they are not visible from the streets.

K. Green Space & Amenities.

- i. Pool. The PUD shall contain a pool.
- ii. Park. The PUD shall contain a central park, minimum of twenty thousand (20,000) square feet in size surrounded on all four (4) sides by a street.
- iii. Recreation and Picnic Areas. Recreational and picnic areas shall be placed in appropriate common areas.
- iv. A children's play structure with swings shall be provided in at least one of the center parks. The final playground design shall be subject to review and approval by the Planning Director.
- v. An internal trail system shall be provided as generally shown on the Concept Plan.
- vi. A minimum of one (1) central park within the Planned Unit Development shall include active recreation amenities. Such amenities shall include sports courts, which may consist of pickleball courts, basketball courts, or a combination thereof.
- vii. Detention Ponds. Shall be designed to appear as a natural waterway containing harmonious landscaping within a park-like setting and shall be designed by a registered landscape architect in addition to a professional engineer.

L. Fences.

- i. Materials. If installed, all lot fencing shall be black metal (wrought-iron style).
- ii. Chain Link. No chain linked fence shall be permitted.
- iii. Height. The height of the fencing shall not exceed 6 feet above finished grade.
- iv. Layout. Front Yard. No fencing shall extend beyond the front house line.

M. Streetlights. Streetlights of a uniform nature will be placed at each entry and at each interior street intersection and at intermediate locations between intersections not to exceed four hundred (400) feet.

N. Lighting.

- i. All homes in the community shall have dusk to dawn carriage lights on the garage or yard lights.

ii. Recessed can porch lights on a photo cell shall be required.

O. Street Numbers. Street numbers shall be uniformly mounted on each single-family home.

P. Mail Boxes. Uniform mailboxes and uniform street numbers within the PUD are required.

Q. Sheds, Out Buildings, and Pools.

- i. Pools. No above ground pools shall be permitted.
- ii. Outbuildings. Outbuildings and sheds where installed shall be of uniform design to the main structure and shall not span over utility or drainage easements.

R. Utility Installation. All utilities shall be trenched and located behind the curb.

S. Roadway frontage improvements. The following improvements shall be installed along the real estate frontage of 1000 N (north side of project) and N 400 W (west side of project)

- i. 1000 N (north side of project)
 1. A eight (8) foot wide perimeter multi-use asphalt path.
 2. Deceleration lane at all access points into the development.
- ii. N 400 W (west side)
 1. A eight (8) foot wide perimeter multi-use asphalt path.
 2. Deceleration lanes at all access points into the development.

T. Permanent Monument Signage. If provided, shall only consist of a brick or stone pillar with an integrated or hanging sign to feature the project name and year of establishment.

U. Town Donation. To help alleviate the additional financial burden on Town resources prior to full assessed valuation, including Police, Streets, and Parks, the developer voluntarily commits to donate \$200 per unit (all residential units, including multi-family) at issuance of Building Permit. In the event the Town adopts impact fees applicable to the development after the date of this Agreement, the amounts paid pursuant to this provision shall be credited against such impact fees.

V. Flock Cameras. To aid in public safety, the developer shall install a Flock Camera each entrance to the project. Yearly subscription fees shall be paid for by the Homeowners/Apartment Associations.

W. Snow Removal. The Homeowners Association (“HOA”) shall be responsible for snow removal within the development. Notwithstanding the foregoing, the Town reserves the right, but not the obligation, to assume responsibility for snow removal, in whole or in part, at its sole discretion.

X. Off-Site Easements. The Petitioner shall make commercially reasonable efforts to acquire

all necessary off-site easements through private negotiation. If such efforts are unsuccessful, the Petitioner may request that the Town consider acquisition through its eminent domain authority. Should the Town agree to pursue such acquisition, the Petitioner shall enter into a reimbursement agreement covering all costs incurred by the Town related to the acquisition process.

Exhibit E - Lakefield Flats, Lakefield Towns and Lakefield Pointe

A. District Intent:

The Lakefield Flats, Lakefield Towns and Lakefield Pointe districts are intended to create a cohesive mixed-use environment where residential and commercial are thoughtfully integrated. The districts support multifamily and townhome housing alongside neighborhood-scale commercial uses designed to serve nearby residential communities, encourage walkability, reduce vehicle trips, and foster a sense of place and community connection. The district will consist of a multi-family area (Lakefield Flats), a townhome area (Lakefield Towns), and a neighborhood commercial area (Lakefield Pointe).

B. Permitted Uses.

- a. Lakefield Flats (Multi-Family Area): Dwelling, multi-family (apartment complex – 3 or more dwelling units) shall be permitted in the Lakefield Flats multi-family area. The permitted and maximum number of apartments in the Lakefield Flats Area shall not exceed two hundred eighty-eight (288).
- b. Lakefield Towns (Townhome Area): Dwelling, Two Family uses shall be permitted in the Lakefield Towns townhome area. The permitted and maximum number of Dwelling Units in the Townhome Area shall not exceed twenty (20). Townhomes shall be rear loaded.
- c. Lakefield Pointe (Neighborhood Commercial Area): All uses in the CN-Commercial Neighborhood zoning district, per the Town of Fortville, Indiana, Zoning Ordinance (the “Fortville Zoning Ordinance”), shall be permitted in the Lakefield Pointe neighborhood commercial area. Special Exception uses in the CN-Commercial zoning district shall be permitted only if approved pursuant to the terms of the Fortville Zoning Ordinance.

C. Development Standards.

a. Lakefield Towns and Lakefield Flats development standards:

Requirement	Lakefield Towns Townhome Area	Lakefield Flats Multi-Family Area
Minimum Lot Area per Dwelling	1,400 Sq. ft./unit	not applicable
Minimum Lot Width	20 ft. per dwelling unit	not applicable
Maximum Building Height	37 ft.	45 ft. 3-Story 56 ft. 4-Story
Minimum Front Yard Setback	12 ft.	20 ft.
Minimum Side Yard Setback (separation between buildings)	12 ft.	20 ft.
Minimum Rear Yard Setback	20 ft. as measured from back of alley curbs	20 ft. 5ft. for Accessory Structures
Minimum Floor Area (per dwelling unit)	1,400 Sq. ft./unit	500 Sq. ft./unit
Maximum Lot Coverage	not applicable	not applicable

If any development standard is not set forth above for the Lakefield Flats Multi-Family Area and/or Lakefield Towns Townhome Area, then the development standards of the RM – Residential Multi-Family zoning district in the Fortville Zoning Ordinance shall apply.

ii. Lakefield Pointe Commercial Neighborhood development standards:

The development standards of the CN-Commercial Neighborhood zoning district in the Fortville Zoning Ordinance shall apply to the Lakefield Pointe Commercial Neighborhood Area.

Exhibit F - Lakefield Mixed Use Concept Plan



weaver sherman design
architects and land planners

288 Multifamily Units / parked at 1.75p.s. / 1 d.u. + (7) eight unit garages

96th Street and Cyntheanne Road
Illustrative Site Plan

Scale 1"= 100'-0"



Exhibit G – Illustrative Architectural Exhibit

Lakefield Towns (townhomes)



Lakefield Flats (multi-family)

