

Fortville Plan Commission

Meeting Minutes

Tuesday 4/28/2026 – 6:30 PM

(Time stamps in parentheses to align with time on meeting video)

Opening of Meeting

Call to order at 6:30 PM

Roll Call

Commission Members Present: Nathan Sturdevant, Tracy Bills, Chris McCreight, Joe Murphy, Brittney Layton, Zachary Fager (Via Zoom)

Absent Members: Robert Holland

Town Staff Present: Alex Intermill – Town Attorney, Adam Zaklikowski – Planning and Building Director, Sarah Waldron – Recording Secretary

Pledge of Allegiance

Approve the Meeting Agenda - Motion to approve with continuance - B. Layton 2nd J. Murphy. In favor 6-0.

Motion to Continue Case No. STP-01-2026 (Domino's Pizza) to the May 2026 Meeting – B. Layton 2nd J. Murphy. In favor 6-0.

Commission to consider approving Minutes of the March 2026 - Motion to approve of the noted comments – B. Layton 2nd J. Murphy. In favor 6-0.

New Business/Public Hearings:

Case No. RZ-01-2026 Lakefield PUD (Ordinance No. 2026-3C)

Commission to consider a Rezone of approximately 148.32 acres from Hancock County Industrial: General (IG) to Planned Unit Development (Fortville), with associated Development Standards, near the southeast corner of CR 1000 North and CR 400 West. Note, of the total acreage, approximately 56.69 acres (Durack Property) is pending Annexation into Town Limits.

Adam Zaklikowski presentation on the case (00:06:40)

Nathan Sturdevant expresses the need for an updated PUD Template ordinance.

Questions

Layton – This would not take effect until annexation?

Zaklikowski - Entire rezone would not take effect until it is recorded, which he anticipated could occur in May or at the end of June, assuming the Town Council adopts the rezone.

Layton – What is the Flock Camera?

Zaklikowski – The system captures inbound and outbound activity via license plate readers and may be used by the Police Department. The HOA is being asked to fund the subscription but would not have access to information collected by the system.

Murphy – Has there been consideration of impact fees to address the growing need for public safety services.

Zaklikowski – Public Safety Impact Fee cannot be charged in the State of Indiana.

Murphy – Are Development Standards approved separately?

Zaklikowski – Those standards are addressed within the zoning ordinance.

Fager – What's the breakdown of how many lots in each series?

Zaklikowski – The Estates would allow a maximum of 102 units, the Reserve a maximum of 103 units, and the Landing a maximum of 118 units.

Sturdevant – What is your perspective on non-rear load lots and the lot size being smaller?

Zaklikowski - The lots are small for suburban-style development, but he supported the design because it promotes affordability and reduced yard maintenance. He added that rear-load provides more architectural interest than standard attached two-car garages.

Sturdevant – For fire code, what is the minimum distance between houses?

Zaklikowski – Anything under five feet would require fire-rated construction and that the proposed separation is eight feet.

McCreight – On the town donation, can we make sure that includes town homes. Are there renderings of the potential retail space? Will the sidewalks lead to town eventually?

Zaklikowski – Not currently. Yes, they will eventually all connect via sidewalk, parcel by parcel.

Petitioner

Brian Tuohy with Beazer Homes provided a presentation. (01:06:43)

Matt Cunningham and Rob Montgomery with Beazer Homes discussed pricing, lot sizes, and related development details.

Comments and Questions for Petitioner

Layton – What is the anticipated pricing for the town homes?

Montgomery – Target would be \$350k - \$375k.

Public Comment

Bill Effinger – Lives East on W 1000 N - asked whether utilities would be brought through his front yard and expressed concerns regarding speeding and lighting associated with the development.

Joe Renner – Utilities Director – utilities would be run behind the homes within the easement areas and would not run through front yards.

Comments and questions

Murphy – Do you think one playground would be sufficient for the development.

Montgomery – Yes

McCreight – Anything in this PUD regards to rental properties?

Zaklikowski – No, the PUD does not contain language regarding rental properties because the State recently passed legislation related to that issue. Recent federal executive order restricts the sale of certain newly built homes to institutional investors.

A motion to provide a favorable recommendation to the Town Council for Case No. RZ-01-2026 – Lakefield PUD (Ordinance No. 2026-3C), with the following conditions, was made by B. Layton and seconded by J. Murphy. Motion passed 6-0.

1. 50% of Lakefield Landing shall include rear façade articulation.
2. North Lakefield Landing will have 45’ lot width and 6’ side setbacks.
3. Play area approval shall be subject to staff approval.
4. Wrought-Iron style for fences

Case No. STP-01-2026 – Madison Trace

Commission to consider approval of Concept Plans (Site Plan, Landscaping, Lighting, Building Elevations) for the proposed Madison Trace multifamily development on approximately 14 acres south of E. Broadway Street, north of W 1000 N. /Garden Street, and west of the proposed S. Madison Boulevard.

Adam Zaklikowski presented the case. (02:05:13)

Questions

McCreight – You are only suggesting the shutters on the multi-story building?

Zaklikowski – Yes

McCreight – The fence between single story units, we asked for no vinyl as part of the PUD.

Petitioner

Michael Garvey - (via zoom) – agreeable to any fencing material between the single-story units. He stated that one trash compactor was proposed because management did not want residents to dispose of oversized items improperly. He added that a third-party trash service would manage disposal procedures and maintain cleanliness throughout the property. Garvey also stated that he did not believe shutters would fit the architectural design.

Layton – What is the compactors capacity? Does the third party decide how often the trash is picked up?

Garvey – Compactor size would be determined later and the trash service provider would ensure trash was properly managed and not left outside.

Steve Bodner – We manage the property and would monitor trash production. One trash compactor has worked successfully at other properties.

Michael Garvey - Light poles would be installed throughout the common parking areas and along both the north and south sides of the public street near the pickleball court.

Dillion Reynolds, Spaceco Engineer – Light poles were shown on the plans, and the incorrect photometric plan had been submitted prior to the meeting.

Sturdevant – Requested that driveway offsets be minimized wherever feasible.

Zaklikowski – Concerned that one trash compactor may not be sufficient in the future, particularly if ownership of the property changes.

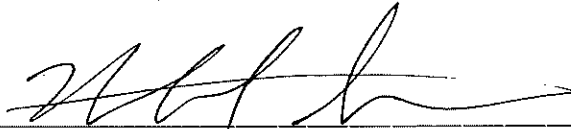
Motion to approve Case No. STP-01-2026 – Madison Trace with the conditions below - B. Layton 2nd J. Murphy. In favor 6-0.

1. The alignment for East Park Street Drive shall be adjusted where it is feasible to minimize offsets.


2. Fencing material between single-story units shall consist of composite or cedar materials with a masonry base.
3. Updated exterior lighting/photometric sheets shall be provided for staff approval.

Adjourn

Motion to adjourn at 9:30 PM. – J. Murphy, 2nd – B. Layton. Carried 6-0.

Commission President: 

Nathan Sturdevant

Recording Secretary: 

Sarah Waldron