

Town of Fortville

04.20.2026

Town Council Meeting

Opening of Meeting:

The meeting was held at Fortville Town Hall, 714 E. Broadway. Meeting was called to order by Council President Tonya Davis at 6:30 pm.

Present:

Tonya Davis, President; Ryan Rummell, Vice President; Libby Wyatt, Council Member; Sean Morgan, Council Member; Fritz Fentz, Council Member; Joe Renner, Town Manager; Alex Intermill, Town Attorney.

Not Present:

Missy Glazier, Clerk Treasurer.

Approval of Agenda

Ryan Rummell made a motion to approve the agenda for tonight's, April 20th, 2026, Town Council Meeting. Libby Wyatt seconds the motion. Motion carries passed 5/0.

Approval of Minutes

Ryan Rummell makes the motion to approve April 6th, 2026, council meeting minutes. Libby Wyatt seconds the motion. Motion carries, passed 5/0.

Old Business:

N/A

New Business:

- a) The council will recognize the 2025-26 MT. Vernon Marauders Boys Basketball Program, 2026 IHSAA Class 4A State Champions.
- b) The Council will consider the Tax Abatement Compliance (CF-1) Forms for Debo Cook properties. Adam Zaklikowski presents. The SB1 form sets a benchmark for what they are looking to accomplish for salaries, number of jobs, and assessed value. This abatement was initially presented in 2022, amended in 2024. There are two separate abatements as there are two different properties.

Ryan Rummell made a motion to approve the Tax Abatement Compliance (CF-1) forms for Debo Cook Properties. Libby Wyatt seconded the motion. Motion carried, passed 5/0.

- c) The Council will consider the 1st Reading of Ordinance No. 2026-4A within a Public Hearing, a voluntary Annexation of one (1) parcel of approximately 56.69 acres at the southeast corner of W. 1000 N. and N. 400 W. (Durack Property)
- i. The Council will recess the regular council meeting.
 - ii. The Council will open the Public Hearing to discuss voluntary annexation. *No public commentary was heard.
 - iii. The Council will close the Public Hearing.
 - iv. The Council will reconvene the regular council meeting.

Ryan Rummell made a motion to approve the 1st Reading of Ordinance No. 2026-4A, a voluntary Annexation of Durack Property. Libby Wyatt seconded the motion. Motion carried, passed 5/0.

Department Head Reports:

Town Manager: Joe Renner

The lift station we have been designing and getting ready to go out to bid soon. Soil borings and soils check for depth and conditions. There will be a meeting on Wednesday with the developer that is working on doing something with the area behind the fire station. We will be upgrading the smaller lift station that is out there as well. We will be laying the water and sewer lines running south of 234 for AI Innovations as discussed in previous meetings. INDOT has come back with some changes needed due to the roundabout. The South Madison Boulevard Project is going in that area. The town is working with the MPO and Engineer to design the intersection and the trail along Broadway. INDOT has agreed to move this along as soon as possible. There will be a number of roundabouts that will be going in within the next year so we will be working with them to determine traffic flow and such. Bump outs: there is a landscaper working on a plan for those and we will have them for the next meeting. Reynolds Construction: The landmark park project will be moving forward soon. There seems to be a \$200,000 cost higher than expected. We are working to do some cost reductions so that the number comes down.

Planning & Building Director: Adam Zaklikowski

No Comment.

Parks Manager: Heath Luther

Heath was absent. Andy Williams presents: Arbor Day. Free tree until we run out at the Community Center. There will be a drug toss (prescription drug toss so that they aren't going in the trash) at Greenfield Medicap Pharmacy on 1588 North state street from 9:00 am to 12:00 pm. Farmers Market is starting up this month.

Police Chief: Chief Patrick Bratton

Quarterly report is available in the back for anybody to see. It goes over our monthly training. Officer Lanning is scheduled to graduate on the 24th of this month. He will be back in town and fully certified to start work. Officer Payne will start his ILAA classes on May 4th. Officer Carter was released from FTO and will be going solo on patrol soon. We have two open positions, one from

last year and one for this year but we are in the last phase of our hiring process with three solid candidates. May is mental health awareness month. Our reserve officers are working hard with us and will be covering the farmers market all summer starting on the 30th. Sergeant Smith will be creating a schedule and getting it out to me this week.

Town Attorney: Alex Intermill

No Comment.

Clerk-Treasurer: Missy Glazier/Adriana Krueger

Absent.

Public Comment:

Bob Sterrett made a public statement in an attempt to correct what he thought were inaccurate statements made by Council president during the last council meeting. See attached.

Gary Sharrett: Feels like the bump outs need to be redesigned so that people who park there can get better parking spaces.

Council Members:

Tonya Davis

No Comment.

Ryan Rummell

No Comment.

Libby Wyatt

Can we say that ribbons placed out for Mental Health Awareness month be taken down at the end? Yes, police chief Bratton says he would expect that whoever puts them up will take them down.

Fritz Fentz

No Comment.

Sean Morgan

Farmers Market has laid out a schedule for food truck vendors at least through July. Hope everybody comes out and supports our community.

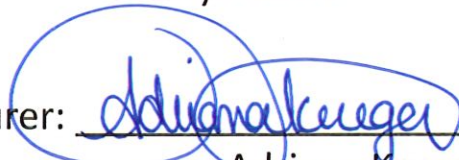
Approve and Sign Vouchers:

Ryan Rummell makes the motion to approve and sign vouchers, Libby Wyatt seconds the motion. Motion carries passed 5/0.

Adjourn:

Tonya Davis makes the motion to adjourn at 7:15 pm, Libby Wyatt seconds the motion. Motion carries passed 5/0.

President:  _____
Tonya Davis

Deputy Clerk-Treasurer:  _____
Adriana Krueger

I would like to address a statement made by Town Council President Tonya Davis at the April 6th Town Council meeting and request a correction be entered into the record. Public statements made by elected officials and town employees should be accurate, and accountability is important.

At a March 27th business meeting, a town employee shared that businesses and organizations may have the opportunity to adopt bump-

outs for planting. This generated interest and discussion among attendees.

On March 30th, Milda and I were visiting at Jennifer's Flowers shop, which is not uncommon, as we've been friends for years, and were discussing bump out planting ideas. While there, Tonya Davis came in to the shop, and Milda said we were just talking about bump out planting ideas, since Andy had said the businesses could

do this. Tonya said she didn't know anything about it.

Then at the April 6th Council meeting, the bump-out topic was raised. During discussion, Tonya Davis stated "they" had been approaching all the businesses and that she was "put on the spot," later identifying "they" as Fortville Action.

This statement is inaccurate and needs to be corrected, as we were not caught and did not put her on the spot, nor

did we come anywhere close to visiting all the businesses.

Fortville Action is a community volunteer group made up of multiple residents.

At the time of these events, the organization had not discussed this topic. Milda and I were acting as individual residents, not on behalf of the organization.

It is concerning and disappointing that an elected official would attribute

actions to a nonprofit organization without basis.

Fortville Action has contributed significant time and resources for more than 14 years to the community through service, events, grants, and scholarships. Misrepresenting the group undermines those efforts.

Additionally, the implication that we were approaching all businesses or sharing premature information is grossly inaccurate. The

information discussed originated from a town employee. If it was shared prematurely or without full council alignment, that is an internal matter for the town to address—not the responsibility of residents discussing publicly shared information.

For the record, Tonya Davis has falsely accused a non-profit organization simply because Milda and I happen to be members.

It is disheartening and very disappointing when a town official makes a false statement putting blame on a non-profit organization whose goal is to give back to the community. It is concerning that an elected town official cannot separate an organization from an individual.

Because these statements were made on record, I respectfully request that this correction also be entered into the public record.



FORTVILLE POLICE DEPARTMENT



714 EAST BROADWAY, FORTVILLE, INDIANA 46040

CHIEF PATRICK BRATTON

Dispatch: (317) 477-4400

E-mail: (pbratton@fortvilleindiana.org)

Police Department: (317) 485-4044

Office: (317) 485-4044 Ext. 1010

Fax: (317) 485-6351

To: Honorable Council and Commission Members

From: Chief Patrick Bratton

RE: Quarterly Report for 1stQ 2026

Monthly training:

Officers attended several different trainings in the past quarter. Here are the classes attended: Firearms, K-9 training, Officer Lanning is scheduled to graduate ILEA April 24th. Officer Payne has almost completed his FTO and scheduled to attend ILEA starting May 4th. Officer Carter is fully released from FTO and is working solo patrol. We anticipate having a full slate of officers soon, as we currently have only two positions to fill, one from 2025 and one to fill for 2026. We are in the last phases of our hiring process and have three solid candidates to consider.

Reserve Information:

Reserves worked 100.5 hours for the 1st quarter of 2026.

Calls for service:

January calls for service report attached. 1578 Calls for Service

February calls for service report attached. 1362 Calls for Service

March calls for service report attached. 1487 Calls for Service

72 Total Arrests

This does not include the calls for service Laura or I take on station daily when someone comes up to the police department.

Tickets Issued:

714 written including ordinance, warnings, infractions, misdemeanor, and felony tickets

Accident reports taken: 18 total = 16 property damage, 2 personal injury accidents.

Professionally,

Patrick Bratton

Chief of Police

Fortville Police Department



Type Total Report

Print Date: 01-Feb-26
 Print Time: 04:30:05
 User Name: jjokantas

Incidents Created From: 01-Jan-26 00:00:00 To: 31-Jan-26 23:59:59; Unit Org: Hancock County Law.Fortville Police Dept; Unit(s): All; Source: All; Community: All

Unit Org	Event	Event Description	Type	Count
Fortville Police Dept	911	INCOMPLETE/HANGUP/ MISDIAL		15
Fortville Police Dept	ASSIST MOTORIST	DISABLED VEHICLE / 10-46		27
Fortville Police Dept	ASSIST PERSON	MEET COMPLAINANT / 10-17		21
Fortville Police Dept	ASTFIRE	ASSIST FIRE / ASSIST EMS		5
Fortville Police Dept	ASTOTH	ASSIST OTHER AGENCY		10
Fortville Police Dept	ATV	ATV / OFF ROAD VEHICLE COMPLAINT		2
Fortville Police Dept	BREAKALM	BREAK IN ALARM		18
Fortville Police Dept	CHKSEC	CHECK SECURITY		280
Fortville Police Dept	CIVIL	CIVIL ISSUE		8
Fortville Police Dept	COURT	COURT DETAIL		2
Fortville Police Dept	CRMPRO	CRIMINAL PROCESS / WARRANT SERVICE		2
Fortville Police Dept	CVLPRO	CIVIL PROCESS		1
Fortville Police Dept	DEATHINV	DEATH INVESTIGATION		1
Fortville Police Dept	DISTURB	DISTURBANCE		3
Fortville Police Dept	DITCH	VEHICLE IN DITCH / MEDIAN		5
Fortville Police Dept	DLVMSG	DELIVER A MESSAGE		2
Fortville Police Dept	DOMESTIC	DOMESTIC DISTURBANCE / 10-16		4
Fortville Police Dept	DRUG ACTIVITY	DRUG INVESTIGATION / ACTIVITY / SIG60		1
Fortville Police Dept	DRVCOMP	SIG23 / 55 / DRIVING COMPLAINT		11
Fortville Police Dept	EXTRA PATROL	EXTRA PATROL		40
Fortville Police Dept	FOLLOWUP	FOLLOWUP INVESTIGATION		32
Fortville Police Dept	FRAUD	FRAUD		2
Fortville Police Dept	HARASS	HARASSMENT		1
Fortville Police Dept	HIT AND RUN	VEHICLE LEAVING SCENE / 10-57		1
Fortville Police Dept	INFO	GENERAL INFORMATION / 10-43		3
Fortville Police Dept	INV	INVESTIGATION		3
Fortville Police Dept	JUVCMP	JUVENILE COMPLAINT		11
Fortville Police Dept	LAW-	10-96		3
Fortville Police Dept	MENTAL/EMOTIONAL			

For Official Use Only



Type Total Report

Print Date: 01-Feb-26
Print Time: 04:30:05
User Name: jjokantas

Incidents Created From: 01-Jan-26 00:00:00 To: 31-Jan-26 23:59:59; Unit Org: Hancock County Law. Fortville Police Dept; Unit(s): All; Source: All; Community: All

Unit Org	Event	Event Description	Type Count
Fortville Police Dept	VEHTHEFT	STOLEN VEHICLE	3
Fortville Police Dept	VIN	VIN CHECK	4
Fortville Police Dept	WELFARE	WELFARE CHECK	7
Fortville Police Dept	WELFARE-ANIMAL	ANIMAL WELFARE CHECK	1

Type Count - Fortville Police Dept: 1578

Total Incidents: 1578



Type Total Report

Print Date: 05-Mar-26
 Print Time: 15:50:03
 User Name: jjokantas

Incidents Created From: 01-Feb-26 00:00:00 To: 28-Feb-26 23:59:59; Unit Org: Hancock County.Law.Fortville Police Dept; Unit(s): All; Source: All; Community: All

Unit Org	Event	Event Description	Type Count
Fortville Police Dept	911	INCOMPLETE/HANGUP/ MISDIAL	11
Fortville Police Dept	ABDVEH	ABANDONED VEHICLE	1
Fortville Police Dept	ANIMAL	ANIMAL COMPLAINT	1
Fortville Police Dept	ANIMAL MANAGEMENT REQUEST	ANIMAL MGMT REQ	1
Fortville Police Dept	ASSIST MOTORIST	DISABLED VEHICLE / 10-46	9
Fortville Police Dept	ASSIST PERSON	MEET COMPLAINANT / 10-17	28
Fortville Police Dept	ASTDCS	ASSIST Department of Child Services	1
Fortville Police Dept	ASTFIRE	ASSIST FIRE / ASSIST EMS	7
Fortville Police Dept	ASTOTH	ASSIST OTHER AGENCY	6
Fortville Police Dept	ATV	ATV / OFF ROAD VEHICLE COMPLAINT	4
Fortville Police Dept	BATTERY	BATTERY	1
Fortville Police Dept	BREAKALM	BREAK IN ALARM	11
Fortville Police Dept	CHKSEC	CHECK SECURITY	190
Fortville Police Dept	CIVIL	CIVIL ISSUE	8
Fortville Police Dept	COURT	COURT DETAIL	3
Fortville Police Dept	COURTVIO	VIOLATION COURT ORDER	2
Fortville Police Dept	CRMPRO	CRIMINAL PROCESS / WARRANT SERVICE	1
Fortville Police Dept	DAMAGE	DAMAGE TO PROPERTY	2
Fortville Police Dept	DARE	DARE officers for DARE education	1
Fortville Police Dept	DISTURB	DISTURBANCE	6
Fortville Police Dept	DITCH	VEHICLE IN DITCH / MEDIAN	1
Fortville Police Dept	DOMESTIC	DOMESTIC DISTURBANCE / 10-16	1
Fortville Police Dept	DRVCMP	SIG23 / 55 / DRIVING COMPLAINT	9
Fortville Police Dept	EXTRA PATROL	EXTRA PATROL	62
Fortville Police Dept	FOLLOWUP	FOLLOWUP INVESTIGATION	24
Fortville Police Dept	FRAUD	FRAUD	1
Fortville Police Dept	GOLF CART INSPECTION	GOLF CART INSPECTION	2
Fortville Police Dept	HARRASS	HARRASSMENT	3

For Official Use Only



Type Total Report

Print Date: 05-Mar-26
 Print Time: 15:50:03
 User Name: jjokantas

Incidents Created From: 01-Feb-26 00:00:00 To: 28-Feb-26 23:59:59; Unit Org: Hancock County.Law.Fortville Police Dept; Unit(s): All; Source: All; Community: All

Unit Org	Event	Event Description	Type Count
Fortville Police Dept	TRFHAZ	TRAFFIC HAZARD / IN ROAD	3
Fortville Police Dept	TS	TRAFFIC STOP	289
Fortville Police Dept	VEH RELEASE	VEHICLE RELEASE	3
Fortville Police Dept	VEHMAIN	VEHICLE MAINTENANCE	19
Fortville Police Dept	VEHTHEFT	STOLEN VEHICLE	1
Fortville Police Dept	VIN	VIN CHECK	9
Fortville Police Dept	WELFARE	WELFARE CHECK	11
Fortville Police Dept	WELFARE-ANIMAL	ANIMAL WELFARE CHECK	1

Type Count -Fortville Police Dept: 1362

Total Incidents: 1362



Type Total Report

Print Date: 01-Apr-26
Print Time: 03:15:32
User Name: jjokantas

Incidents Created From: 01-Mar-26 00:00:00 To: 31-Mar-26 23:59:59; Unit Org: Hancock County.Law.Fortville Police Dept; Unit(s): All; Source: All; Community: All

Unit Org	Event	Event Description	Type Count
Fortville Police Dept	911	INCOMPLETE/HANGUP/ MISDIAL	12
Fortville Police Dept	ABDVEH	ABANDONED VEHICLE	1
Fortville Police Dept	ANIMAL	ANIMAL COMPLAINT	1
Fortville Police Dept	ASSIST MOTORIST	DISABLED VEHICLE / 10-46	17
Fortville Police Dept	ASSIST PERSON	MEET COMPLAINANT / 10-17	18
Fortville Police Dept	ASTFIRE	ASSIST FIRE / ASSIST EMS	10
Fortville Police Dept	ASTOTH	ASSIST OTHER AGENCY	8
Fortville Police Dept	ASTPW	ASSIST PUBLIC WORKS	2
Fortville Police Dept	ATV	ATV / OFF ROAD VEHICLE COMPLAINT	1
Fortville Police Dept	BATTERY	BATTERY	1
Fortville Police Dept	BREAKALM	BREAK IN ALARM	13
Fortville Police Dept	CHKSEC	CHECK SECURITY	205
Fortville Police Dept	CIVIL	CIVIL ISSUE	6
Fortville Police Dept	CMISCH	CRIMINAL MISCHIEF	1
Fortville Police Dept	COURT	COURT DETAIL	1
Fortville Police Dept	CRMPRO	CRIMINAL PROCESS / WARRANT SERVICE	1
Fortville Police Dept	DAMAGE	DAMAGE TO PROPERTY	1
Fortville Police Dept	DISTURB	DISTURBANCE	8
Fortville Police Dept	DITCH	VEHICLE IN DITCH / MEDIAN	2
Fortville Police Dept	DLVMSG	DELIVER A MESSAGE	2
Fortville Police Dept	DOMESTIC	DOMESTIC DISTURBANCE / 10-16	1
Fortville Police Dept	DRVCMP	SIG23 / 55 / DRIVING COMPLAINT	11
Fortville Police Dept	ESCORT	BANK ESCORT / FUNERAL ESCORT	1
Fortville Police Dept	EXTRA PATROL	EXTRA PATROL	66
Fortville Police Dept	FOLLOWUP	FOLLOWUP INVESTIGATION	8
Fortville Police Dept	FRAUD	FRAUD	2
Fortville Police Dept	FTO DETAIL	FTO DETAIL	7
Fortville Police Dept	HIT AND RUN	VEHICLE LEAVING SCENE / 10-57	1
Fortville Police Dept	INFO	GENERAL INFORMATION / 10-43	2

For Official Use Only



Type Total Report

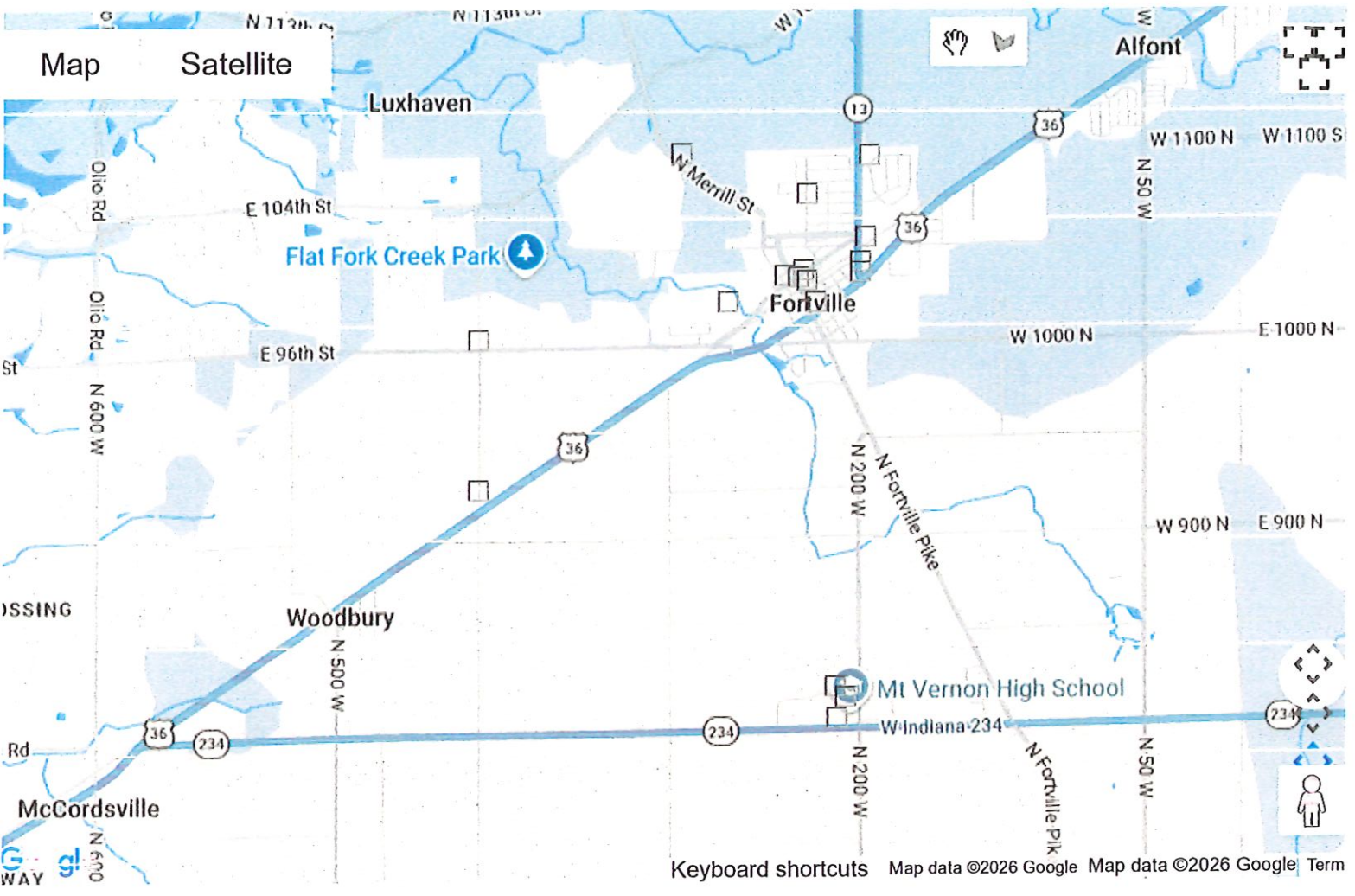
Print Date: 01-Apr-26
Print Time: 03:15:32
User Name: jjokantas

Incidents Created From: 01-Mar-26 00:00:00 To: 31-Mar-26 23:59:59; Unit Org: Hancock County Law.Fortville Police Dept; Unit(s): All; Source: All; Community: All




Unit Org	Event	Event Description	Type Count
Fortville Police Dept	TRFDTL	TRAFFIC DETAIL	17
Fortville Police Dept	TRFHAZ	TRAFFIC HAZARD / IN ROAD	8
Fortville Police Dept	TS	TRAFFIC STOP	378
Fortville Police Dept	VEH RELEASE	VEHICLE RELEASE	7
Fortville Police Dept	VEHMAIN	VEHICLE MAINTENANCE	19
Fortville Police Dept	VIN	VIN CHECK	8
Fortville Police Dept	WELFARE	WELFARE CHECK	18
Type Count -Fortville Police Dept:			1487

Total Incidents: 1487

Select records where all of the following apply:
Agency is in list FORTVILLE PD and
Date of Collision within 1 January, 2026 and
1 March, 2026



Collision Totals:

- 16 Property Damage 
- 2 Injury 
- 0 Fatality 

Mapping:

- 18 Collisions Mapped
- 0 Collisions Not Mapped

18 Total Collisions



COMPLIANCE WITH STATEMENT OF BENEFITS REAL ESTATE IMPROVEMENTS

State Form 51766 (R6 / 4-23)

Prescribed by the Department of Local Government Finance

20 <u>26</u> PAY 20 <u>27</u>
FORM CF-1 / Real Property

PRIVACY NOTICE
The cost and any specific individual's salary information is confidential; the balance of the filing is public record per IC 6-1.1-12.1-5.3 (k) and (l).

INSTRUCTIONS:

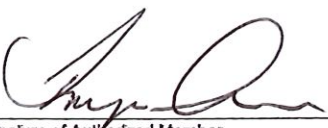
1. Property owners must file this form with the county auditor and the designating body for their review regarding the compliance of the project with the Statement of Benefits (Form SB-1/Real Property).
2. This form must accompany the initial deduction application (Form 322/RE) that is filed with the county auditor.
3. This form must also be updated each year in which the deduction is applicable. It is filed with the county auditor and the designating body before May 15 or by the due date of the real property owner's personal property return that is filed in the township where the property is located. (IC 6-1.1-12.1-5.3(j))
4. With the approval of the designating body, compliance information for multiple projects may be consolidated on one (1) compliance form (Form CF-1/Real Property).

SECTION 1 TAXPAYER INFORMATION		
Name of Taxpayer DEBO COOK I, LLC	County Hancock	
Address of Taxpayer (number and street, city, state, and ZIP code) 13692 Kingston Drive, Fishers, IN 46055	DLGF Taxing District Number 30-017	
Name of Contact Person Mike Cook	Telephone Number (317) 529-8290	Email Address michael.cook.indiana@gmail.com
SECTION 2 LOCATION AND DESCRIPTION OF PROPERTY		
Name of Designating Body Fortville Town Council	Resolution Number 2022-11A	Estimated Start Date (month, day, year) 09/30/2022
Location of Property 3299 W. 1000 N., Fortville, IN 46040 (Parcel 30-02-17-100-008.003-017)		Actual Start Date (month, day, year) 09/30/2023
Description of Real Property Improvements Development of a 26,600sqft "Butler" building on Lot 2 in the Debo Cook Park Minor Plat, as record in Inst. No 202209557 with masonry facade. Current tenants as of the time of this form preparation include Elite Remediation, Caliber, and Anglin Equipment.		Estimated Completion Date (month, day, year) 12/31/2025
		Actual Completion Date (month, day, year) 07/01/2024
SECTION 3 EMPLOYEES AND SALARIES		
EMPLOYEES AND SALARIES	AS ESTIMATED ON SB-1	ACTUAL
Current Number of Employees		30
Salaries		\$2,074,482
Number of Employees Retained		
Salaries		
Number of Additional Employees	20	30
Salaries	\$1,123,200	\$2,074,482
SECTION 4 COST AND VALUES		
COST AND VALUES	REAL ESTATE IMPROVEMENTS	
AS ESTIMATED ON SB-1	COST	ASSESSED VALUE
Values Before Project	\$	\$
Plus: Values of Proposed Project	\$ 5,000,000	\$
Less: Values of Any Property Being Replaced	\$	\$
Net Values Upon Completion of Project	\$ 5,000,000	\$
ACTUAL	COST	ASSESSED VALUE
Values Before Project	\$	\$
Plus: Values of Proposed Project	\$ 3,573,000	\$ 2,482,000
Less: Values of Any Property Being Replaced	\$	\$
Net Values Upon Completion of Project	\$ 3,573,000	\$ 2,482,000
SECTION 5 WASTE CONVERTED AND OTHER BENEFITS PROMISED BY THE TAXPAYER		
WASTE CONVERTED AND OTHER BENEFITS	AS ESTIMATED ON SB-1	ACTUAL
Amount of Solid Waste Converted		
Amount of Hazardous Waste Converted		
Other Benefits:		
SECTION 6 TAXPAYER CERTIFICATION		
I hereby certify that the representations in this statement are true.		
Signature of Authorized Representative 	Title MANABU MEMBER	Date Signed (month, day, year) 4/16/26

OPTIONAL: FOR USE BY A DESIGNATING BODY WHO ELECTS TO REVIEW THE COMPLIANCE WITH STATEMENT OF BENEFITS (FORM CF-1)

INSTRUCTIONS: (IC 6-1.1-12.1-5.3 and IC 6-1.1-12.1-5.9)

1. Not later than forty-five (45) days after receipt of this form, the designating body may determine whether or not the property owner has substantially complied with the Statement of Benefits (Form SB-1/Real Property).
2. If the property owner is found **NOT** to be in substantial compliance, the designating body shall send the property owner written notice. The notice must include the reasons for the determination, including the date, time, and place of a hearing to be conducted by the designating body. The date of this hearing may not be more than thirty (30) days after the date this notice is mailed. A copy of the notice may be sent to the county auditor and the county assessor.
3. Based on the information presented at the hearing, the designating body shall determine whether or not the property owner has made reasonable efforts to substantially comply with the Statement of Benefits (Form SB-1/Real Property), and whether any failure to substantially comply was caused by factors beyond the control of the property owner.
4. If the designating body determines that the property owner has **NOT** made reasonable efforts to comply, the designating body shall adopt a resolution terminating the property owner's deduction. If the designating body adopts such a resolution, the deduction does not apply to the next installment of property taxes owed by the property owner or to any subsequent installment of property taxes. The designating body shall immediately mail a certified copy of the resolution to: (1) the property owner; (2) the county auditor; and (3) the county assessor.

We have reviewed the CF-1 and find that:			
<input checked="" type="checkbox"/>	The Property Owner IS in Substantial Compliance		
<input type="checkbox"/>	The Property Owner IS NOT in Substantial Compliance		
<input type="checkbox"/>	Other (specify) _____		
Reasons for the Determination (attach additional sheets if necessary)			
			
Signature of Authorized Member		Date Signed (month, day, year)	
TOUYA DAVIS, TOWN COUNCIL PRES.		04/20/2026	
Attested By		Designating Body	
ADAM ZAKLIKOWSKI, PLNG. + BLDG. DIR.		Fortville Town Council	
If the property owner is found not to be in substantial compliance, the property owner shall receive the opportunity for a hearing. The following date and time has been set aside for the purpose of considering compliance. (Hearing must be held within thirty (30) days of the date of mailing of this notice.)			
Time of Hearing	<input type="checkbox"/> AM <input type="checkbox"/> PM	Date of Hearing (month, day, year)	Location of Hearing

HEARING RESULTS (to be completed after the hearing)			
<input type="checkbox"/> Approved		<input type="checkbox"/> Denied (see Instruction 4 above)	
Reasons for the Determination (attach additional sheets if necessary)			
Signature of Authorized Member		Date Signed (month, day, year)	
Attested By		Designating Body	
		Fortville Town Council	
APPEAL RIGHTS [IC 6-1.1-12.1-5.9(e)]			
A property owner whose deduction is denied by the designating body may appeal the designating body's decision by filing a complaint in the office of the clerk of the Circuit or Superior Court together with a bond conditioned to pay the costs of the appeal if the appeal is determined against the property owner.			



STATEMENT OF BENEFITS REAL ESTATE IMPROVEMENTS

State Form 51767 (R6 / 10-14)

Prescribed by the Department of Local Government Finance

REVISED 2.5.24

For Reference Only

20__ PAY 20__

FORM SB-1 / Real Property

PRIVACY NOTICE

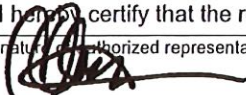
Any information concerning the cost of the property and specific salaries paid to individual employees by the property owner is confidential per IC 6-1.1-12.1-5.1.

This statement is being completed for real property that qualifies under the following Indiana Code (check one box):

- Redevelopment or rehabilitation of real estate improvements (IC 6-1.1-12.1-4)
- Residentially distressed area (IC 6-1.1-12.1-4.1)

INSTRUCTIONS:

1. This statement must be submitted to the body designating the Economic Revitalization Area prior to the public hearing if the designating body requires information from the applicant in making its decision about whether to designate an Economic Revitalization Area. Otherwise, this statement must be submitted to the designating body **BEFORE** the redevelopment or rehabilitation of real property for which the person wishes to claim a deduction.
2. The statement of benefits form must be submitted to the designating body and the area designated an economic revitalization area before the initiation of the redevelopment or rehabilitation for which the person desires to claim a deduction.
3. To obtain a deduction, a Form 322/RE must be filed with the County Auditor before May 10 in the year in which the addition to assessed valuation is made or not later than thirty (30) days after the assessment notice is mailed to the property owner if it was mailed after April 10. A property owner who failed to file a deduction application within the prescribed deadline may file an application between March 1 and May 10 of a subsequent year.
4. A property owner who files for the deduction must provide the County Auditor and designating body with a Form CF-1/Real Property. The Form CF-1/Real Property should be attached to the Form 322/RE when the deduction is first claimed and then updated annually for each year the deduction is applicable. IC 6-1.1-12.1-5.1(b)
5. For a Form SB-1/Real Property that is approved after June 30, 2013, the designating body is required to establish an abatement schedule for each deduction allowed. For a Form SB-1/Real Property that is approved prior to July 1, 2013, the abatement schedule approved by the designating body remains in effect. IC 6-1.1-12.1-17

SECTION 1 TAXPAYER INFORMATION					
Name of taxpayer DEBO Properties, LLC / DEBO COOK I, LLC					
Address of taxpayer (number and street, city, state, and ZIP code) 13692 Kingston Drive, Fishers, IN 46055					
Name of contact person Mike Cook		Telephone number (317) 529-8290		E-mail address MICHAEL.COOK.INDIANA@GMAIL.COM	
SECTION 2 LOCATION AND DESCRIPTION OF PROPOSED PROJECT					
Name of designating body Fortville Town Council				Resolution number	
Location of property State Parcel 30-02-17-100-008.003.017 (Town of Fortville)		County Hancock		DLGF taxing district number 30-017	
Description of real property improvements, redevelopment, or rehabilitation (use additional sheets if necessary) Building 1 of a two building development totaling approximately 26,600 sf located on Lot 2 in the Debo Cook Park Minor Plat, as recorded in Inst. No. 202229557 in the office of the Hancock County Recorder, with masonry facade, to be marketed predominantly to small manufacturing and industrial users.				Estimated start date (month, day, year) 09/30/2022	
				Estimated completion date (month, day, year) 12/31/2025	
SECTION 3 ESTIMATE OF EMPLOYEES AND SALARIES AS RESULT OF PROPOSED PROJECT					
Current number 0.00	Salaries \$0.00	Number retained 0.00	Salaries \$0.00	Number additional 20.00	Salaries \$1,123,200.00
SECTION 4 ESTIMATED TOTAL COST AND VALUE OF PROPOSED PROJECT					
			REAL ESTATE IMPROVEMENTS		
			COST	ASSESSED VALUE	
Current values					
Plus estimated values of proposed project			5,000,000.00		
Less values of any property being replaced					
Net estimated values upon completion of project					
SECTION 5 WASTE CONVERTED AND OTHER BENEFITS PROMISED BY THE TAXPAYER					
Estimated solid waste converted (pounds) _____			Estimated hazardous waste converted (pounds) _____		
Other benefits Other land improvements and service sector businesses, additional site perimeter/lot screened fencing planned, as well as landscaping.					
SECTION 6 TAXPAYER CERTIFICATION					
I hereby certify that the representations in this statement are true.					
Signature of authorized representative 				Date signed (month, day, year) February 5, 2024	
Printed name of authorized representative Michael Cook			Title Managing Member		

FOR USE OF THE DESIGNATING BODY

We find that the applicant meets the general standards in the resolution adopted or to be adopted by this body. Said resolution, passed or to be passed under IC 6-1.1-12.1, provides for the following limitations:

- A. The designated area has been limited to a period of time not to exceed _____ calendar years* (*see below*). The date this designation expires is _____.
- B. The type of deduction that is allowed in the designated area is limited to:
 1. Redevelopment or rehabilitation of real estate improvements Yes No
 2. Residentially distressed areas Yes No
- C. The amount of the deduction applicable is limited to \$ _____.
- D. Other limitations or conditions (*specify*) _____
- E. Number of years allowed: Year 1 Year 2 Year 3 Year 4 Year 5 (* see below)
 Year 6 Year 7 Year 8 Year 9 Year 10
- F. For a statement of benefits approved after June 30, 2013, did this designating body adopt an abatement schedule per IC 6-1.1-12.1-17?
 Yes No
 If yes, attach a copy of the abatement schedule to this form.
 If no, the designating body is required to establish an abatement schedule before the deduction can be determined.

We have also reviewed the information contained in the statement of benefits and find that the estimates and expectations are reasonable and have determined that the totality of benefits is sufficient to justify the deduction described above.

Approved (<i>signature and title of authorized member of designating body</i>)	Telephone number ()	Date signed (<i>month, day, year</i>)
Printed name of authorized member of designating body	Name of designating body	
Attested by (<i>signature and title of attester</i>)	Printed name of attester	

* If the designating body limits the time period during which an area is an economic revitalization area, that limitation does not limit the length of time a taxpayer is entitled to receive a deduction to a number of years that is less than the number of years designated under IC 6-1.1-12.1-17.

- A. For residentially distressed areas where the Form SB-1/Real Property was approved prior to July 1, 2013, the deductions established in IC 6-1.1-12.1-4.1 remain in effect. The deduction period may not exceed five (5) years. For a Form SB-1/Real Property that is approved after June 30, 2013, the designating body is required to establish an abatement schedule for each deduction allowed. The deduction period may not exceed ten (10) years. (See IC 6-1.1-12.1-17 below.)
- B. For the redevelopment or rehabilitation of real property where the Form SB-1/Real Property was approved prior to July 1, 2013, the abatement schedule approved by the designating body remains in effect. For a Form SB-1/Real Property that is approved after June 30, 2013, the designating body is required to establish an abatement schedule for each deduction allowed. (See IC 6-1.1-12.1-17 below.)

IC 6-1.1-12.1-17
Abatement schedules

Sec. 17. (a) A designating body may provide to a business that is established in or relocated to a revitalization area and that receives a deduction under section 4 or 4.5 of this chapter an abatement schedule based on the following factors:

- (1) The total amount of the taxpayer's investment in real and personal property.
 - (2) The number of new full-time equivalent jobs created.
 - (3) The average wage of the new employees compared to the state minimum wage.
 - (4) The infrastructure requirements for the taxpayer's investment.
- (b) This subsection applies to a statement of benefits approved after June 30, 2013. A designating body shall establish an abatement schedule for each deduction allowed under this chapter. An abatement schedule must specify the percentage amount of the deduction for each year of the deduction. An abatement schedule may not exceed ten (10) years.
- (c) An abatement schedule approved for a particular taxpayer before July 1, 2013, remains in effect until the abatement schedule expires under the terms of the resolution approving the taxpayer's statement of benefits.



COMPLIANCE WITH STATEMENT OF BENEFITS REAL ESTATE IMPROVEMENTS

State Form 51766 (R6 / 4-23)

Prescribed by the Department of Local Government Finance

20 26 PAY 20 27

FORM CF-1 / Real Property

INSTRUCTIONS:

1. Property owners must file this form with the county auditor and the designating body for their review regarding the compliance of the project with the Statement of Benefits (Form SB-1/Real Property).
2. This form must accompany the initial deduction application (Form 322/RE) that is filed with the county auditor.
3. This form must also be updated each year in which the deduction is applicable. It is filed with the county auditor and the designating body before May 15 or by the due date of the real property owner's personal property return that is filed in the township where the property is located. (IC 6-1.1-12.1-5.3(f))
4. With the approval of the designating body, compliance information for multiple projects may be consolidated on one (1) compliance form (Form CF-1/Real Property).

PRIVACY NOTICE

The cost and any specific individual's salary information is confidential; the balance of the filing is public record per IC 6-1.1-12.1-5.3 (k) and (l).

SECTION 1 TAXPAYER INFORMATION		
Name of Taxpayer MUD PUDDLE HOLDINGS LLC		County Hancock
Address of Taxpayer (number and street, city, state, and ZIP code) 13692 Kingston Drive, Fishers, IN 46055		DLGF Taxing District Number 30-017
Name of Contact Person Mike Cook	Telephone Number (317) 529-8290	Email Address michael.cook.indiana@gmail.com
SECTION 2 LOCATION AND DESCRIPTION OF PROPERTY		
Name of Designating Body Fortville Town Council		Resolution Number 2022-11A
Location of Property 3251 W. 1000 N., Fortville, IN 46040 (Parcel 30-02-17-100-008.000-017)		Estimated Start Date (month, day, year) 09/30/2023
Description of Real Property Improvements Development of a 32,000sqft "Butler" building on Lot 3 in the Debo Cook Park Minor Plat, as record in Inst. No 202209557 with masonry facade. Current tenant as of the time of this form preparation include Surface Prep.		Actual Start Date (month, day, year) 09/30/2024
		Estimated Completion Date (month, day, year) 12/31/2024
		Actual Completion Date (month, day, year) 07/01/2025
SECTION 3 EMPLOYEES AND SALARIES		
EMPLOYEES AND SALARIES	AS ESTIMATED ON SB-1	ACTUAL
Current Number of Employees		36
Salaries		\$1,773,026
Number of Employees Retained		
Salaries		
Number of Additional Employees		36
Salaries		\$1,773,026
SECTION 4 COST AND VALUES		
COST AND VALUES	REAL ESTATE IMPROVEMENTS	
AS ESTIMATED ON SB-1	COST	ASSESSED VALUE
Values Before Project	\$	\$
Plus: Values of Proposed Project	\$ 3,000,000	\$
Less: Values of Any Property Being Replaced	\$	\$
Net Values Upon Completion of Project	\$ 3,000,000	\$
ACTUAL	COST	ASSESSED VALUE
Values Before Project	\$	\$
Plus: Values of Proposed Project	\$ 2,338,547	\$ 5,186,000
Less: Values of Any Property Being Replaced	\$	\$
Net Values Upon Completion of Project	\$ 2,338,547	\$ 5,186,000
SECTION 5 WASTE CONVERTED AND OTHER BENEFITS PROMISED BY THE TAXPAYER		
WASTE CONVERTED AND OTHER BENEFITS	AS ESTIMATED ON SB-1	ACTUAL
Amount of Solid Waste Converted		
Amount of Hazardous Waste Converted		
Other Benefits:		
SECTION 6 TAXPAYER CERTIFICATION		
I hereby certify that the representations in this statement are true.		
Signature of Authorized Representative 	Title MANAORIS Member	Date Signed (month, day, year) 4/16/26

OPTIONAL: FOR USE BY A DESIGNATING BODY WHO ELECTS TO REVIEW THE COMPLIANCE WITH STATEMENT OF BENEFITS (FORM CF-1)

INSTRUCTIONS: (IC 6-1.1-12.1-5.3 and IC 6-1.1-12.1-5.9)

1. Not later than forty-five (45) days after receipt of this form, the designating body may determine whether or not the property owner has substantially complied with the Statement of Benefits (Form SB-1/Real Property).
2. If the property owner is found **NOT** to be in substantial compliance, the designating body shall send the property owner written notice. The notice must include the reasons for the determination, including the date, time, and place of a hearing to be conducted by the designating body. The date of this hearing may not be more than thirty (30) days after the date this notice is mailed. A copy of the notice may be sent to the county auditor and the county assessor.
3. Based on the information presented at the hearing, the designating body shall determine whether or not the property owner has made reasonable efforts to substantially comply with the Statement of Benefits (Form SB-1/Real Property), and whether any failure to substantially comply was caused by factors beyond the control of the property owner.
4. If the designating body determines that the property owner has **NOT** made reasonable efforts to comply, the designating body shall adopt a resolution terminating the property owner's deduction. If the designating body adopts such a resolution, the deduction does not apply to the next installment of property taxes owed by the property owner or to any subsequent installment of property taxes. The designating body shall immediately mail a certified copy of the resolution to: (1) the property owner; (2) the county auditor; and (3) the county assessor.

We have reviewed the CF-1 and find that:

The Property Owner **IS** in Substantial Compliance

The Property Owner **IS NOT** in Substantial Compliance

Other (specify) _____

Reasons for the Determination (attach additional sheets if necessary)

[Handwritten Signature]

Signature of Authorized Member: **TONYA DAVIS, TOWN COUNCIL PRES.** Date Signed (month, day, year): **04/20/2026**

Attested By: *[Handwritten Signature]* Designating Body: **Fortville Town Council**

ADAM ZAKLIKOWSKI, PLNG. + BLDG. DIR.

If the property owner is found not to be in substantial compliance, the property owner shall receive the opportunity for a hearing. The following date and time has been set aside for the purpose of considering compliance. (Hearing must be held within thirty (30) days of the date of mailing of this notice.)

Time of Hearing: AM PM Date of Hearing (month, day, year): _____ Location of Hearing: _____

HEARING RESULTS (to be completed after the hearing)

Approved Denied (see Instruction 4 above)

Reasons for the Determination (attach additional sheets if necessary)

Signature of Authorized Member: _____ Date Signed (month, day, year): _____

Attested By: _____ Designating Body: **Fortville Town Council**

APPEAL RIGHTS [IC 6-1.1-12.1-5.9(e)]

A property owner whose deduction is denied by the designating body may appeal the designating body's decision by filing a complaint in the office of the clerk of the Circuit or Superior Court together with a bond conditioned to pay the costs of the appeal if the appeal is determined against the property owner.

FOR REFERENCE ONLY



**STATEMENT OF BENEFITS
REAL ESTATE IMPROVEMENTS**

Slate Form 51767 (R6 / 10-14)

Prescribed by the Department of Local Government Finance

20__ PAY 20__

FORM SB-1 / Real Property

PRIVACY NOTICE

Any information concerning the cost of the property and specific salaries paid to individual employees by the property owner is confidential per IC 6-1.1-12.1-5.1.

This statement is being completed for real property that qualifies under the following Indiana Code (check one box):

- Redevelopment or rehabilitation of real estate improvements (IC 6-1.1-12.1-4)
- Residentially distressed area (IC 6-1.1-12.1-4.1)

INSTRUCTIONS:

1. This statement must be submitted to the body designating the Economic Revitalization Area prior to the public hearing if the designating body requires information from the applicant in making its decision about whether to designate an Economic Revitalization Area. Otherwise, this statement must be submitted to the designating body BEFORE the redevelopment or rehabilitation of real property for which the person wishes to claim a deduction.
2. The statement of benefits form must be submitted to the designating body and the area designated an economic revitalization area before the initiation of the redevelopment or rehabilitation for which the person desires to claim a deduction.
3. To obtain a deduction, a Form 322/RE must be filed with the County Auditor before May 10 in the year in which the addition to assessed valuation is made or not later than thirty (30) days after the assessment notice is mailed to the property owner if it was mailed after April 10. A property owner who failed to file a deduction application within the prescribed deadline may file an application between March 1 and May 10 of a subsequent year.
4. A property owner who files for the deduction must provide the County Auditor and designating body with a Form CF-1/Real Property. The Form CF-1/Real Property should be attached to the Form 322/RE when the deduction is first claimed and then updated annually for each year the deduction is applicable. IC 6-1.1-12.1-5.1(b)
5. For a Form SB-1/Real Property that is approved after June 30, 2013, the designating body is required to establish an abatement schedule for each deduction allowed. For a Form SB-1/Real Property that is approved prior to July 1, 2013, the abatement schedule approved by the designating body remains in effect. IC 6-1.1-12.1-17

SECTION 1		TAXPAYER INFORMATION			
Name of taxpayer DEBO Properties, LLC / DEBO COOK I, LLC					
Address of taxpayer (number and street, city, state, and ZIP code) 13692 Kingston Drive, Fishers, IN 46055					
Name of contact person Mike Cook		Telephone number (317) 529-8290		E-mail address MICHAEL.COOK.INDIANA@GMAIL.COM	
SECTION 2		LOCATION AND DESCRIPTION OF PROPOSED PROJECT			
Name of designating body Fortville Town Council				Resolution number	
Location of property State Parcel 30-02-17-100-008.000.017 (Town of Fortville)		County Hancock		DLGF taxing district number 30-017	
Description of real property improvements, redevelopment, or rehabilitation (use additional sheets if necessary) Building 2 of a two building development totaling approximately 32,000 sf located on Lot 3 in the Debo Cook Park Minor Plat, as recorded in Inst. No. 202209557 in the office of the Hancock County Recorder, with masonry facade, to be marketed predominantly to small manufacturing and industrial users. Building 2 will be built on a speculative basis and employment data is therefore not available at this time.				Estimated start date (month, day, year) 09/30/2023	
				Estimated completion date (month, day, year) 12/31/2024	
SECTION 3 ESTIMATE OF EMPLOYEES AND SALARIES AS RESULT OF PROPOSED PROJECT					
Current number	Salaries	Number retained	Salaries	Number additional	Salaries
SECTION 4 ESTIMATED TOTAL COST AND VALUE OF PROPOSED PROJECT					
	REAL ESTATE IMPROVEMENTS				
	COST		ASSESSED VALUE		
	Current values		0.00		
	Plus estimated values of proposed project		3,000,000.00		
	Less values of any property being replaced		0.00		
Net estimated values upon completion of project		3,000,000.00			
SECTION 5 WASTE CONVERTED AND OTHER BENEFITS PROMISED BY THE TAXPAYER					
Estimated solid waste converted (pounds) _____			Estimated hazardous waste converted (pounds) _____		
Other benefits					
SECTION 6 TAXPAYER CERTIFICATION					
I hereby certify that the representations in this statement are true.					
Signature of authorized representative <i>Michael D. Cook</i>				Date signed (month, day, year) August 19, 2022	
Printed name of authorized representative Michael Cook			Title Managing Member		

FOR USE OF THE DESIGNATING BODY

We find that the applicant meets the general standards in the resolution adopted or to be adopted by this body. Said resolution, passed or to be passed under IC 6-1.1-12.1, provides for the following limitations:

- A. The designated area has been limited to a period of time not to exceed 10 calendar years* (see below). The date this designation expires is 10 yrs. after construction completion.
- B. The type of deduction that is allowed in the designated area is limited to:
 1. Redevelopment or rehabilitation of real estate improvements Yes No
 2. Residentially distressed areas Yes No
- C. The amount of the deduction applicable is limited to \$ See Schedule in Confirmatory Res.
- D. Other limitations or conditions (specify) See Schedule in Confirmatory Res.
- E. Number of years allowed: Year 1 Year 2 Year 3 Year 4 Year 5 (* see below)
 Year 6 Year 7 Year 8 Year 9 Year 10
- F. For a statement of benefits approved after June 30, 2013, did this designating body adopt an abatement schedule per IC 6-1.1-12.1-17?
 Yes No
 If yes, attach a copy of the abatement schedule to this form. See Confirmatory Res.
 If no, the designating body is required to establish an abatement schedule before the deduction can be determined.

We have also reviewed the information contained in the statement of benefits and find that the estimates and expectations are reasonable and have determined that the totality of benefits is sufficient to justify the deduction described above.

Approved (signature and title of authorized member of designating body)	Telephone number	Date signed (month, day, year)
<i>[Signature]</i>	(317) 485-4044	9/29/22
Printed name of authorized member of designating body	Name of designating body	
<i>[Signature]</i>	Fortville Town Council	
Attested by (signature and title of attester)	Printed name of attester	
<i>[Signature]</i> Planning + Bldg. Director	Adam Zaklikowski	

* If the designating body limits the time period during which an area is an economic revitalization area, that limitation does not limit the length of time a taxpayer is entitled to receive a deduction to a number of years that is less than the number of years designated under IC 6-1.1-12.1-17.

- A. For residentially distressed areas where the Form SB-1/Real Property was approved prior to July 1, 2013, the deductions established in IC 6-1.1-12.1-4.1 remain in effect. The deduction period may not exceed five (5) years. For a Form SB-1/Real Property that is approved after June 30, 2013, the designating body is required to establish an abatement schedule for each deduction allowed. The deduction period may not exceed ten (10) years. (See IC 6-1.1-12.1-17 below.)
- B. For the redevelopment or rehabilitation of real property where the Form SB-1/Real Property was approved prior to July 1, 2013, the abatement schedule approved by the designating body remains in effect. For a Form SB-1/Real Property that is approved after June 30, 2013, the designating body is required to establish an abatement schedule for each deduction allowed. (See IC 6-1.1-12.1-17 below.)

IC 6-1.1-12.1-17

Abatement schedules

Sec. 17. (a) A designating body may provide to a business that is established in or relocated to a revitalization area and that receives a deduction under section 4 or 4.5 of this chapter an abatement schedule based on the following factors:

- (1) The total amount of the taxpayer's investment in real and personal property.
 - (2) The number of new full-time equivalent jobs created.
 - (3) The average wage of the new employees compared to the state minimum wage.
 - (4) The infrastructure requirements for the taxpayer's investment.
- (b) This subsection applies to a statement of benefits approved after June 30, 2013. A designating body shall establish an abatement schedule for each deduction allowed under this chapter. An abatement schedule must specify the percentage amount of the deduction for each year of the deduction. An abatement schedule may not exceed ten (10) years.
- (c) An abatement schedule approved for a particular taxpayer before July 1, 2013, remains in effect until the abatement schedule expires under the terms of the resolution approving the taxpayer's statement of benefits.