



Mineral Point, Wisconsin

CITY OF MINERAL POINT

137 HIGH STREET, SUITE 1
MINERAL POINT, WI 53565
608-987-2361

AGENDA

CITY OF MINERAL POINT COMMON COUNCIL MEETING

Tuesday, May 13, 2025, 6:00 PM

City Hall Community Room/Virtually

****ALL AGENDA ITEMS LISTED MAY HAVE ACTION TAKEN****

- 1. Call to Order. Roll Call. Confirmation of Compliance with the Open Meetings Law.**
- 2. Pledge of Allegiance.**
- 3. Persons Desiring to be Heard** – Five-minute limit except by consent of Council; no action will be taken on any item that is not specifically listed on the agenda.
- 4. Public Hearing** – regarding the vacation and discontinuance of Margaret Street and John Street in the City of Mineral Point, Iowa County, Wisconsin. **Action:** Open public hearing/Hear testimony/Close public hearing.
- 5. Mayor's Correspondence.**
 - Recognition of International Firefighters Day and honoring Fallen Firefighters, May 4.
 - Recognition of Clerks week, May 4 -10.
 - Recognition of National Police Week, May 11 – 17.
 - Recognition of EMS Week, May 18 – 24.
- 6. Administrator's Report.**
- 7. Clerk-Treasurer's Correspondence.**
- 8. Consent Agenda.**
 - a. Approval of Minutes and Proceedings from the April 8 and April 15, 2025 meetings.
 - b. Approval of monthly bills. *Finance Committee recommendation to be reported at Council meeting.*
- 9. New Business.**
 - a. Consideration of hiring Jayne Lindsey as pool manager. *Personnel Committee recommendation to be reported at the meeting.*
 - b. Consideration of agreement for Engineering Consulting Services with Vierbicher Associates, Inc. for the revitalization of Cornish Heritage Park. *Finance Committee Recommendation to be reported at the meeting.*
 - c. Consideration of Resolution 2025-07, Resolution to vacate and discontinue Margaret Street and John Street in the City of Mineral Point, Iowa County, Wisconsin.
 - d. Consideration of Resolution 2025-08, Preliminary Resolution Declaring Intent to Exercise Special Assessment Powers Relative to the Installation of Curb and Gutter, Sidewalks, and replacement of Lead/Galvanized Water Service Lines Along a Portion of N. Wisconsin Street, Washington Street, and Davis Street in the City of Mineral Point, Iowa County, Wisconsin.
- 10. Adjourn.**

OFFICE OF THE CITY CLERK-TREASURER

Mayor – Danny Clark

City Administrator | Matthew Honer | administrator@cityofmineralpointwi.gov

City Clerk-Treasurer | Christy Skelding | cityclerk@cityofmineralpointwi.gov



Mineral Point, Wisconsin

CITY OF MINERAL POINT

137 HIGH STREET, SUITE 1
MINERAL POINT, WI 53565
608-987-2361

[Join the meeting now](#), Meeting ID: 227 123 199 383 2, Passcode: fK7Pv2LZ

Dial in by phone, +1 872-256-4172,,768106180#, Phone conference ID: 768 106 180#

Agenda Posted and Distributed: Thursday, May 8, 2025.

Reasonable accommodations for participation in this meeting by persons with disabilities, as defined by the Americans with Disabilities Act, will be made upon request and if feasible. Please contact the City Clerk's office (608-987-2361) at least 24 hours before the scheduled meeting so that necessary accommodations can be provided.

OFFICE OF THE CITY CLERK-TREASURER

Mayor – Danny Clark

City Administrator | Matthew Honer | administrator@cityofmineralpointwi.gov

City Clerk-Treasurer | Christy Skelding | cityclerk@cityofmineralpointwi.gov



Mineral Point, Wisconsin

City of Mineral Point

137 HIGH STREET, SUITE 1
MINERAL POINT, WI 53565
608-987-2361

NOTICE OF PUBLIC HEARING
CITY OF MINERAL POINT COMMON COUNCIL
TUESDAY, MAY 13, 6:00 p.m.
City Hall - Community Room

NOTICE IS HEREBY GIVEN that the City of Mineral Point Common Council will meet at the place, date, and time indicated above to consider a resolution to vacate and discontinue Margaret Street and John Street in the City of Mineral Point, Iowa County, Wisconsin.

The Resolution affects the title to the real estate described as follows:

A parcel of land 60 feet in width lying east of Shakerag Street, and 20 feet west of East Line of Staveley's Addition, and south of Lots 22 through 28 and North of Lots 15 through 21, all of Staveley's Addition to the City of Mineral Point, Iowa County, Wisconsin, according to the recorded plat thereof.

AND

A parcel of land 40 feet in width lying east of Miners Cart Way, and 20 feet west of the East Line of Staveley's Addition, and south of Lots 35 through 39 and north of Lots 29 through 34, all of Staveley's Addition to the City of Mineral Point, Iowa County, Wisconsin, according to the recorded plat thereof.

All interested persons, their agents, or representatives may appear at said hearing and address the Common Council regarding the resolution to vacate and discontinue Margaret Street and John Street.

Published: April 17, April 24, and May 1, 2025

Christy Skelding
City Clerk/Treasurer

MINUTES

CITY OF MINERAL POINT COMMON COUNCIL MEETING

Tuesday, April 8, 2025 – 6:00 PM

City Hall Community Room/Virtually

CALL TO ORDER/ROLL CALL

Meeting called to order by Mayor Clark at 6:00 PM.

Christensen	Present		Graber	Present
Weier	Present		Burrows	Present (6:04)
McKeon	Present		Allendorf	Present
Martin	Present		Galle	Present
Others Present: Administrator Honer, Clerk-Treasurer Skelding, Chris Goodney, Mark Digman, Mary Glindinning, Chad Whitford, David Hamlin, Kayla Hamlin, Ryan Fox, Library Director Diane Palzkill, Matthew Payne, Water & Sewer Superintendent Nate Fosbinder, Police Chief Bob Weier				

PERSONS DESIRING TO BE HEARD –

Matthew Payne – 324 Dodge St: Stated public words of appreciation to the City for responding to its citizen's requests. Payne shared a few instances of public safety and all issues have been remedied immediately. Sometimes people don't remember to tell everyone about all of the good things that happen. He thanked City Staff.

Diane Palzkill – 329 Dodge St: Spoke on behalf of the Library. This week is National Library week. She would like everyone to recognize what makes the library thrive. The Mineral Point Library is celebrating 114 years of service.

MAYOR'S CORRESPONDENCE –

Mayor Clark recognized Clerk-Treasurer Skelding for her becoming a Wisconsin Certified Municipal Clerk.

Mayor Clark read proclamations for Child Abuse Prevention, National Library Week, and Arbor Day.

Mayor Clark also thanked the dedicated fireman with the Mineral Point Fire Department for the responding to the call at City Hall today.

ADMINISTRATOR'S REPORT –

Administrator Honer stated that the water loss rate from the annual PSC report was down to 32% this year. This is a decrease from 45% last year.

CLERK-TREASURER'S CORRESPONDENCE – There was a 66% voter turnout at the April 1st election. She thanked all of the poll workers for their willingness to serve their community for each election.

CONSENT AGENDA

- Approval of Certified Survey Map in the Extra-Territorial Zone, requested by Jacob and Tricia Johnson, for property located in the NW ¼ of the NE ¼ of Section 20, Township 5 North, Range 3 East.
- Approval of Certified Survey Map in the Extra-Territorial Zone, requested by Kurt Wedig, for property located on lots 22, 23, 24, 25, and 26 of the Ridge Point Estates Subdivision, SE ¼ of the SE ¼ of Section 2, Township 4 North, Range 2 East.
- Approval of March 11, 2025 Minutes and Proceedings.
- Approval of monthly bills.

Finance Committee recommended approval of the monthly bills.

Motion (Weier/Allendorf) to approve the consent agenda as presented. Motion carried, all voting aye (8-0).

NEW BUSINESS

CONSIDERATION OF AWARDING CONSTRUCTION BIDS FOR 2025 INFRASTRUCTURE IMPROVEMENTS ON DAVIS, WASHINGTON, AND N. WISCONSIN STREETS.

Mark Digman, Delta 3, stated that 11 bids were opened at the Delta 3 office for this project. The bids received were excellent. They came in around \$150,000 below what was anticipated. JI Construction was the low bidder. They have done a number of projects for the City over the years. Delta 3 recommends awarding contract #1 with JI Construction in the amount of \$584,976. Because of the way the bids came in, Washington Street and Wisconsin Street can be included in the project. The contractor is anticipating to begin construction around June 1, 2025.

Motion (Allendorf/McKeon) to award the construction bid to JI Construction for 2025 infrastructure improvements on Davis, Washington, and N. Wisconsin Streets. Motion carried by roll call, all voting aye, (8-0).

CONSIDERATION OF PRELIMINARY LAYOUT FOR COMMERCE AND SOUTH STREETS RECONSTRUCTION IN 2026.

Digman presented the preliminary layout for the Commerce and South Street project in 2026. From Commerce Street at the 5-point intersection down to Old Darlington Road, the street width varies quite a bit. There is no continuous legal sidewalk on either side of the road currently.

There are currently 66 total parking stalls on Commerce and South Streets. The proposed layout recommended by the steering committee was to keep as close to current as possible, but with parking on both sides of Commerce Street and adding a sidewalk on the west side of Commerce Street to connect the South Street parking lot to Fountain Street.

With this layout, parking stalls will increase from 66 spots to 73 spots.

On South Street, they are proposing to close off a portion of South Street, on the west end of the street, and create a green space. There is also a proposed sidewalk all along the south side of South Street.

The Steering Committee is heavily focused on walkability and pedestrian safety.

Motion (Burrows/Allendorf) to approve the preliminary layout for Commerce and South Streets reconstruction in 2026. Motion carried, all voting aye (8-0).

POSSIBLE CONSIDERATION OF TENNIS COURT AND PARKING LOT PROJECT AT SOLDIER'S MEMORIAL PARK.

Administrator Honer passed out an updated opinion of probable costs which includes just the tennis/pickleball courts. The estimated cost of the parking lot, two new tennis courts, and two new pickleball courts is \$1.1M. With just the courts and not the parking lot included, the estimated cost is \$714,000.

The DNR has a Land and Water Conservation Fund Grant available, with a maximum award for the entire region being \$523,000.

The Finance Committee met and discussed. Chair Galle stated that the Finance Committee was shocked with the pricing. They agreed to apply for a grant for just the pickleball and tennis court. If the full grant were to be awarded to the City, the balance that the City is responsible for paying would be approximately \$197,000.

The total cost of the courts alone is \$714,000. The Iowa County Tennis and Pickleball Association has committed \$100,000 cash for this project. Honer believes the City could get favorable in-kind donations through contractors in the City.

The preliminary design was constructed as budget conscious as possible.

Mayor Clark stated the City needs to live within its means. He believes the projected numbers are very high.

Burrows suggested perhaps looking at one tennis court and one pickleball court.

Council recommends Honer submitting the grant application for the tennis and pickleball courts, and plan to borrow for the amount the City owes.

Motion (Allendorf/Christensen) to approve Administrator Honer submitting a grant application to the DNR for the Tennis/Pickleball courts portion of the project only. Motion carried by roll call, all voting aye (8-0).

CONSIDERATION OF THE SALE OF PROPERTY ADJACENT TO ANTOINE STREET.

Administrator Honer stated that the City put an RFP out for the lots that front Antoine Street. These lots are buildable lots already. Three proposals were received.

Proposal 1: \$30,000 for 1 lot (186 Antoine) for a single-family spec. home.

Proposal 2: \$30,000 for lot (186 Antoine preferred but will consider any of the lots) for a single-family home for a personal build.

Proposal 3: \$114,000 for all three lots to build 3 duplexes, one on each lot.

Property Committee and Finance Committee both recommend proposal #3.

Motion (Allendorf/McKeon) to approve the sale of property adjacent to Antoine Street to Midwest Roofing with proposal #3. Motion carried, all voting aye (8-0).

CONSIDERATION OF SUMMER PARK AND POOL STAFFING.

Administrator Honer provided an update on summer staffing. This year, the city is creating a Pool Manager position, working approximately 20 hours per week for 12 weeks. The responsibilities of the pool manager are to make sure there is supervision for the lifeguards, create staff schedules, order concessions, etc.

The city is also offering an incentive of \$125 for lifeguards to help offset costs associated with buying a swimsuit or certification fees, but only if they work 150 hours.

With some recent staffing changes, the city is looking to have three summer park workers. There is some flexibility in the budget to work with these positions. There is a total savings in personnel between parks and streets of approximately \$28,000 for 2025.

The Personnel and Finance Committees recommend approval.

Motion (Allendorf/Graber) to approve the summer park and pool staffing plan as presented. Motion carried, all voting aye (8-0).

CONSIDERATION OF RESOLUTION 2025-05 RELATING TO THE CITY OF MINERAL POINT'S PARTICIPATION IN THE WISCONSIN ECONOMIC DEVELOPMENT CORPORATION'S COMMUNITY DEVELOPMENT INVESTMENT GRANT PROGRAM.

The Finance Committee recommends approval of Resolution 2025-05.

Stockton Hardware, LLC, got approval from WEDC to move forward. This resolution states that the City is the applicant and acts as a pass through for the money.

Motion (Burrows/Allendorf) to approve Resolution 2025-05 relating to the City of Mineral Point's participation in the Wisconsin Economic Development Corporation's Community Development Investment Grant Program. Motion carried, all voting aye (8-0).

INTRODUCTION OF RESOLUTION TO VACATE PORTIONS OF DOTY STREET.

This resolution shows that the Doty Street right-of-way is what you would consider the bank's parking lot. With this resolution, the city will abandon the northern 56 feet of the right-of-way and that land will go back to the adjacent lots.

No action taken.

MOTION TO CONVENE IN CLOSED SESSION VIA ROLL CALL VOTE PURSUANT TO WIS. STATS. §19.85(1)(c) FOR CONSIDERATION OF EMPLOYMENT, PROMOTION, COMPENSATION, OR PERFORMANCE EVALUATION DATA OF ANY PUBLIC EMPLOYEE OVER WHICH THE GOVERNMENTAL BODY HAS JURISDICTION OR EXERCISES RESPONSIBILITY (STREETS FOREMAN POSITION).

Motion (Martin/McKeon) to convene into closed session at 7:07 p.m. for the purpose stated on the agenda. Motion carried by roll call, all voting aye (8-0).

Motion (Martin/McKeon) to reconvene into open session at 7:14 p.m. Motion carried by roll call, all voting aye (8-0).

Motion (Allendorf/Graber) to approve the hiring of Chad Whitford as Streets Foreman. Motion carried by roll call, all voting aye (8-0).

ADJOURNMENT

Motion (McKeon/Graber) to adjourn at 7:16 p.m. Motion carried, all voting aye (8-0).

Matthew Honer, City Administrator

Approved:

PROCEEDINGS

CITY OF MINERAL POINT COMMON COUNCIL MEETING

Tuesday, April 8, 2025 – 6:00 PM

City Hall Community Room/Virtually

CALL TO ORDER/ROLL CALL

Meeting called to order by Mayor Clark at 6:00 PM.

Christensen	Present		Graber	Present
Weier	Present		Burrows	Present (6:04)
McKeon	Present		Allendorf	Present
Martin	Present		Galle	Present
Others Present: Administrator Honer, Clerk-Treasurer Skelding, Chris Goodney, Mark Digman, Mary Glindinning, Chad Whitford, David Hamlin, Kayla Hamlin, Ryan Fox, Library Director Diane Palzkill, Matthew Payne, Water & Sewer Superintendent Nate Fosbinder, Police Chief Bob Weier				

PERSONS DESIRING TO BE HEARD –

Matthew Payne – 324 Dodge St: Stated public words of appreciation to the City for responding to its citizen's requests. Payne shared a few instances of public safety and all issues have been remedied immediately. Sometimes people don't remember to tell everyone about all of the good things that happen. He thanked City Staff.

Diane Palzkill – 329 Dodge St: Spoke on behalf of the Library. This week is National Library week. She would like everyone to recognize what makes the library thrive. The Mineral Point Library is celebrating 114 years of service.

MAYOR'S CORRESPONDENCE –

Mayor Clark recognized Clerk-Treasurer Skelding for her becoming a Wisconsin Certified Municipal Clerk.

Mayor Clark read proclamations for Child Abuse Prevention, National Library Week, and Arbor Day.

Mayor Clark also thanked the dedicated fireman with the Mineral Point Fire Department for the responding to the call at City Hall today.

ADMINISTRATOR'S REPORT –

Administrator Honer stated that the water loss rate from the annual PSC report was down to 32% this year. This is a decrease from 45% last year.

CLERK-TREASURER'S CORRESPONDENCE – There was a 66% voter turnout at the April 1st election. She thanked all of the poll workers for their willingness to serve their community for each election.

CONSENT AGENDA

- Approval of Certified Survey Map in the Extra-Territorial Zone, requested by Jacob and Tricia Johnson, for property located in the NW ¼ of the NE ¼ of Section 20, Township 5 North, Range 3 East.
- Approval of Certified Survey Map in the Extra-Territorial Zone, requested by Kurt Wedig, for property located on lots 22, 23, 24, 25, and 26 of the Ridge Point Estates Subdivision, SE ¼ of the SE ¼ of Section 2, Township 4 North, Range 2 East.
- Approval of March 11, 2025 Minutes and Proceedings.
- Approval of monthly bills.

Finance Committee recommended approval of the monthly bills.

Motion (Weier/Allendorf) to approve the consent agenda as presented. Motion carried, all voting aye (8-0).

NEW BUSINESS

CONSIDERATION OF AWARDING CONSTRUCTION BIDS FOR 2025 INFRASTRUCTURE IMPROVEMENTS ON DAVIS, WASHINGTON, AND N. WISCONSIN STREETS.

Motion (Allendorf/McKeon) to award the construction bid to JI Construction for 2025 infrastructure improvements on Davis, Washington, and N. Wisconsin Streets. Motion carried by roll call, all voting aye, (8-0).

CONSIDERATION OF PRELIMINARY LAYOUT FOR COMMERCE AND SOUTH STREETS RECONSTRUCTION IN 2026.

Motion (Burrows/Allendorf) to approve the preliminary layout for Commerce and South Streets reconstruction in 2026. Motion carried, all voting aye (8-0).

POSSIBLE CONSIDERATION OF TENNIS COURT AND PARKING LOT PROJECT AT SOLDIER'S MEMORIAL PARK.

Motion (Allendorf/Christensen) to approve Administrator Honer submitting a grant application to the DNR for the Tennis/Pickleball courts portion of the project only. Motion carried by roll call, all voting aye (8-0).

CONSIDERATION OF THE SALE OF PROPERTY ADJACENT TO ANTOINE STREET.

Motion (Allendorf/McKeon) to approve the sale of property adjacent to Antoine Street to Midwest Roofing with proposal #3. Motion carried, all voting aye (8-0).

CONSIDERATION OF SUMMER PARK AND POOL STAFFING.

Motion (Allendorf/Graber) to approve the summer park and pool staffing plan as presented. Motion carried, all voting aye (8-0).

CONSIDERATION OF RESOLUTION 2025-05 RELATING TO THE CITY OF MINERAL POINT'S PARTICIPATION IN THE WISCONSIN ECONOMIC DEVELOPMENT CORPORATION'S COMMUNITY DEVELOPMENT INVESTMENT GRANT PROGRAM.

Motion (Burrows/Allendorf) to approve Resolution 2025-05 relating to the City of Mineral Point's participation in the Wisconsin Economic Development Corporation's Community Development Investment Grant Program. Motion carried, all voting aye (8-0).

INTRODUCTION OF RESOLUTION TO VACATE PORTIONS OF DOTY STREET.

No action taken.

MOTION TO CONVENE IN CLOSED SESSION VIA ROLL CALL VOTE PURSUANT TO WIS. STATS. §19.85(1)(c) FOR CONSIDERATION OF EMPLOYMENT, PROMOTION, COMPENSATION, OR PERFORMANCE EVALUATION DATA OF ANY PUBLIC EMPLOYEE OVER WHICH THE GOVERNMENTAL BODY HAS JURISDICTION OR EXERCISES RESPONSIBILITY (STREETS FOREMAN POSITION).

Motion (Martin/McKeon) to convene into closed session at 7:07 p.m. for the purpose stated on the agenda. Motion carried by roll call, all voting aye (8-0).

Motion (Martin/McKeon) to reconvene into open session at 7:14 p.m. Motion carried by roll call, all voting aye (8-0).

Motion (Allendorf/Graber) to approve the hiring of Chad Whitford as Streets Foreman. Motion carried by roll call, all voting aye (8-0).

ADJOURNMENT

Motion (McKeon/Graber) to adjourn at 7:16 p.m. Motion carried, all voting aye (8-0).

Matthew Honer, City Administrator

Approved:

MINUTES

CITY OF MINERAL POINT COMMON COUNCIL ORGANIZATIONAL MEETING

Tuesday, April 15, 2025 – 6:00 PM

City Hall Community Room

CALL TO ORDER/ROLL CALL

Meeting called to order by Mayor Danny Clark at 6:00 PM.

Christensen	Present		Graber	Absent
Weier	Present		Burrows	Present
McKeon	Present		Allendorf	Present
Ramshur	Present		Goodney	Present
Others Present: Clerk-Treasurer Skelding, Administrator Honer, Fire Chief Deven Walrack, Mary Glindinning, Gary Galle, Dean Martin, Cory Bennett, Police Chief Bob Weier, John Spady, Matthew Payne, Library Director Diane Palzkill				

PERSONS DESIRING TO BE HEARD – None.

MAYOR'S CORRESPONDENCE

Mayor Clark expressed his gratitude to Alderman Galle for his 8 years of service on City Council, and Dean Martin for his 9 years of service on City Council.

Mayor Clark officially welcomed Alders Alex Ramshur and Chris Goodney to the City Council.

Mayor Clark appointed Council members to standing committees for 2025-2026.

NEW BUSINESS

ELECT COUNCIL PRESIDENT FOR 2025-2026

Mayor Clark recommended Keith Burrows as Council President.

Motion (Weier/Christensen) to elect Alderman Keith Burrows as Council President. Motion carried, all voting aye (7-0).

APPROVE APPOINTMENTS OF CITY OFFICIALS

The following offices are up for re-appointment: Zoning Administrator Matthew Honer, Building Inspector Chris Michaels, City Forrester Robert Murphy, Police Chief Bob Weier, and City Attorney Eric Hagen.

Motion (Allendorf/Burrows) to appoint city officials for 2025-2026 as presented. Motion carried, all voting aye, with Alder Weier abstaining (7-0-1).

APPROVE BOARD, COMMISSION, COMMITTEE APPOINTMENTS FOR TERMS EXPIRING APRIL 2024

Motion (Allendorf/Christensen) to approve board, commission, and committee appointments for terms expiring April 2024, as presented. Motion carried, all voting aye (7-0).

APPROVAL OF RESOLUTION 2025-06, DESIGNATING THE CITY ADMINISTRATOR AS THE AUTHORIZED REPRESENTATIVE FOR THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES OUTDOOR RECREATION GRANT APPLICATION.

Motion (Burrows/McKeon) to approve Resolution 2025-06, designating the City Administrator as the authorized representative for the Wisconsin Department of Natural Resources Outdoor Recreation Grant application. Motion carried, all voting aye (7-0).

CONSIDERATION OF A DEVELOPERS' AGREEMENT RELATED TO THE SALE OF LOTS LOCATED AT 182, 184, AND 186 ANTOINE STREET.

Administrator Honer walked through the provisions of the agreement with the Council.

Motion (Allendorf/McKeon) to approve the developers agreement related to the sale of lots located at 182, 184, and 186 Antoine Street. Motion carried by roll call, all voting aye (7-0).

ADJOURNMENT

Motion (McKeon/Allendorf) to adjourn at 6:18 PM. Motion carried, all voting aye (7-0).

Matthew Honer, City Administrator

Approved:

PROCEEDINGS

CITY OF MINERAL POINT COMMON COUNCIL ORGANIZATIONAL MEETING

Tuesday, April 15, 2025 – 6:00 PM

City Hall Community Room

CALL TO ORDER/ROLL CALL

Meeting called to order by Mayor Danny Clark at 6:00 PM.

Christensen	Present		Graber	Absent
Weier	Present		Burrows	Present
McKeon	Present		Allendorf	Present
Ramshur	Present		Goodney	Present
Others Present: Clerk-Treasurer Skelding, Administrator Honer, Fire Chief Deven Walrack, Mary Glindinning, Gary Galle, Dean Martin, Cory Bennett, Police Chief Bob Weier, John Spady, Matthew Payne, Library Director Diane Palzkill				

PERSONS DESIRING TO BE HEARD – None.

MAYOR’S CORRESPONDENCE

Mayor Clark expressed his gratitude to Alderman Galle for his 8 years of service on City Council, and Dean Martin for his 9 years of service on City Council.

Mayor Clark officially welcomed Alders Alex Ramshur and Chris Goodney to the City Council.

Mayor Clark appointed Council members to standing committees for 2025-2026.

NEW BUSINESS

ELECT COUNCIL PRESIDENT FOR 2025-2026

Mayor Clark recommended Keith Burrows as Council President.

Motion (Weier/Christensen) to elect Alderman Keith Burrows as Council President. Motion carried, all voting aye (7-0).

APPROVE APPOINTMENTS OF CITY OFFICIALS

Motion (Allendorf/Burrows) to appoint city officials for 2025-2026 as presented. Motion carried, all voting aye, with Alder Weier abstaining (7-0-1).

APPROVE BOARD, COMMISSION, COMMITTEE APPOINTMENTS FOR TERMS EXPIRING APRIL 2024

Motion (Allendorf/Christensen) to approve board, commission, and committee appointments for terms expiring April 2024, as presented. Motion carried, all voting aye (7-0).

APPROVAL OF RESOLUTION 2025-06, DESIGNATING THE CITY ADMINISTRATOR AS THE AUTHORIZED REPRESENTATIVE FOR THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES OUTDOOR RECREATION GRANT APPLICATION.

Motion (Burrows/McKeon) to approve Resolution 2025-06, designating the City Administrator as the authorized representative for the Wisconsin Department of Natural Resources Outdoor Recreation Grant application. Motion carried, all voting aye (7-0).

CONSIDERATION OF A DEVELOPERS’ AGREEMENT RELATED TO THE SALE OF LOTS LOCATED AT 182, 184, AND 186 ANTOINE STREET.

Motion (Allendorf/McKeon) to approve the developers agreement related to the sale of lots located at 182, 184, and 186 Antoine Street. Motion carried by roll call, all voting aye (7-0).

ADJOURNMENT

Motion (McKeon/Allendorf) to adjourn at 6:18 PM. Motion carried, all voting aye (7-0).

Matthew Honer, City Administrator

Approved:

Council Check Report
Tuesday, May 13, 2025

	Regular	Manual	Pay Apps	Total
Pooled Cash - General	30,869.71	41,900.76		72,770.47
Pooled Cash - Library	17,182.90	4,032.72		21,215.62
Pooled Cash - Debt Service				-
Pooled Cash- Outlay Fund				
Pooled Cash - Capital Projects	11,313.50			11,313.50
Pooled Cash - Water	11,746.09	7,110.01		18,856.10
Pooled Cash - Sewer	11,888.82	9,665.05		21,553.87
Pooled Cash-TID #2	3,512.00			3,512.00
Pooled Cash- ARPA				
Pooled Cash- Revolving Loan Fund				
Sewer Loan Checking	1,563.00			1,563.00
Police/City Garage Fund				
MP Summer Rec	1,882.00			1,882.00
DARE Program	27.20			27.20
Capital Project Checking-MCB				-
Total	\$ 89,985.22	\$ 62,708.54	\$ -	\$ 152,693.76

Finance Committee Approval

Keith Burrows

Chris Goodney

Mike Christensen

Alternate



October 24, 2024

Matthew Honer, City Administrator
City of Mineral Point
137 High Street, Suite 1
Mineral Point, WI 53565

Re: Agreement for Engineering Consulting Services
Cornish Heritage Park
City of Mineral Point, WI

Dear Mr. Honer:

Vierbicher Associates, Inc. (Consultant) is pleased to submit this Agreement to provide Engineering and Landscape Architect Services to City of Mineral Point (Client). All sections included in this Agreement and the General Terms and Conditions form the basis for this Agreement.

I. PROJECT UNDERSTANDING

Client is applying for a Vibrant Spaces Grant through the Wisconsin Economic Development Corporation (WEDC) to revitalize an existing downtown park located south of Jail Alley, north of High Street, west of the Mineral Point Opera House, and east of the Chamber of Commerce building (Exhibit A). The Client has created a preliminary concept plan detailing the design of the park (Exhibit B).

II. SCOPE OF SERVICES

A. General

Consultant shall provide surveying, landscape architecture, and engineering services to update the concept plan provided by the Client (Exhibit B).

A topographic survey will be performed to confirm existing conditions of the site. The site will be designed to have minimal slope to maximize usable space of the park, while still allowing drainage of the stormwater to the northeast.

It is assumed that a stormwater management device (ie. stormwater pond) will not be needed given the site is under 1 acre of disturbance, per the Wisconsin Department of Natural Resources (WDNR) requirements. Stormwater runoff will discharge from the site to the north at a controlled rate using runoff storage that is incorporated into the landscaping.

B. Specific Services Provided by Consultant

1. Survey Phase:

- a) **Topographic Site Map:** A topographic site map shall be completed over the area identified on the attached Exhibit A. The topographic site map shall depict the following items:
- (1) Substantial, visible, above-ground structures and improvements, including any existing buildings, driveways, and parking lots lying within the exterior boundaries of the subject site.
 - (2) Street trees and trees larger than 12" diameter at breast height (dbh).
 - (3) Utilities shall be shown based on maps provided to the Consultant by the City of Mineral Point, and as located in the field by Digger's Hotline. The size and invert elevation of sanitary sewers and storm sewers shall be measured by Consultant where practical. Where measurement of said utilities is not practical, size and invert elevations shall be shown based on available record drawings.
 - (4) Topographic survey shots shall be taken at regular intervals and in sufficient detail to prepare a digital terrain model within the exterior boundaries of the subject site.
 - (5) Contours at one-foot intervals shall be depicted. The Datum upon which the elevations and contours are based shall be noted on the face of the map, (i.e., assumed, NAVD27, NAVD88).

The topographic map does not constitute a boundary survey according to the Minimum Standards for Property Surveys, Chapter A-E7 of the Wisconsin Administrative Code. Consultant shall research available surveys of record and show the property boundary based on found surveys of record to the extent feasible.

2. **Engineering Phase:**

- a) **Schematic Design (SD):** Consultant shall prepare a Schematic Design Site Plan that shall represent the concepts provided to Consultant by Client. The SD shall result in a plan that constitutes an approximate 30% design. Consultant shall prepare the following:
- (1) **Schematic Design Plan:** The SD Site Plan shall show the existing conditions along with the general location of proposed buildings, roads, driveways, parking lots, wet utilities, and grading.
 - (2) **Opinion of Probable Cost (OPC):** An OPC shall be prepared at this phase if requested by Client.
- b) **Design Development (DD):** Based on the site plan provided or approved by the Client from the SD phase, Consultant shall prepare the DD drawings. The DD phase shall result in a plan that constitutes an approximate 60% design. The intent is that the plans will be provided to Client to be included in the City of Mineral Point submittal package. Preparation of the submittal package including printing, coordination, and applications shall be completed by Others. This item assumes one revision to the site plan. Any additional changes to the site plan during this

phase will be considered an additional service. Consultant shall prepare the following plans:

- (1) Demolition Plan: A demolition plan shall be prepared to include existing utility structures and other site features to be removed, deconstructed, and demolished. Scope assumes all building demolition plans and specifications will be provided by others. The scope does not include the preparation of the reuse and recycling plan or any other plans or permit approvals associated with demolition.
- (2) Site Plan: Site plan shall be prepared based on the schematic site plan provided or approved by Client during the SD phase. The site plan shall dimensionally show the wet utilities, grading, sidewalks, curb and gutter, and amenities such as trees, benches, retaining walls, etc. Retaining wall design is not included in the scope of this agreement.
- (3) Grading and Erosion Control Plan: A grading and erosion control plan shall be prepared to include existing and proposed contours, and other features necessary to depict the existing and proposed drainage conditions.
- (4) Wet Utility Plan: Wet utility plans shall be prepared to show the location of the required storm sewer facilities including the type and location of all appurtenant components of each utility.
- (5) Landscape Plan: A landscape plan shall be prepared to illustrate proposed landscape and decorative hardscape treatment for the site, including building foundation(s), surface parking area(s), hardscape areas, stormwater management and general site landscaping. The landscape design will be based on municipal requirements (if applicable), existing vegetation to remain (if any), and providing shade, screening and wayfinding for the site. The landscape plan will include:
 1. Proposed plant species, locations, planting sizes and quantities,
 2. Proposed landcover treatments including mulches and turf/native seedings,
 3. Proposed decorative hardscape materials and finishes,
 4. Proposed site furnishing locations and styles,
 5. A rendered site/landscape plan for presentation purposes.

The landscape plan will include sufficient detail to allow for plan review and bidding. All above-grade landscape areas (green roof, roof deck, etc) are excluded from this scope but can be included at additional cost.

- c) **Construction Documents**: Upon conditional approval by the City of Mineral Point, the plans shall be finalized including spot grades, rim grades, invert grades, and the types of materials to be used (storm, sanitary, water, etc.). Necessary detail drawings shall be prepared at this time. This item shall include addressing relevant comments from the

regulatory agencies. Upon completion of this item, plans shall be ready to be issued for construction.

Consultant shall prepare construction specification sections for the portion of the project-specific to the Consultant's work. The project specifications shall be consistent with CSI MasterFormat – 2004 Edition.

An opinion of probable cost for the proposed improvements is included in the scope.

- d) **Finalize Landscape Construction Plans:** Based upon approval conditions and feedback from the review process, the landscape plan will be fully developed to allow for bidding and construction. This plan will include (in addition to items included in the submittal plan(s)):

- (1) Proposed mulch, groundcover, and edging materials;
- (2) Planting and hardscape details;
- (3) Construction specification sections for items related to landscape and decorative hardscape installation.

This item is subject to local sales tax.

- e) **Meetings:** Consultant shall attend design team and municipal meetings for the project as requested. An allowance has been included for the purpose of this proposal based on the anticipated meetings below that includes 6 hours. This task shall be billed on a time and expense basis.

- (1) Owner & Team Conference Calls (3);
- (2) Common Council Meeting (1).

- f) **Bidding Phase Services:** Coordinate the bidding process including issuing bidding documents through QuestCDN.com online bid document distribution service. Answer questions during the bid process to provide clarification to the bid documents and issue addenda if necessary.

- (1) Attend the bid opening and prepare a tabulation of the bids received.
- (2) Make a recommendation to the Client concerning the award of the project to the lowest responsible bidder.
- (3) Coordinate securing a contract between the Owner and Contractor using standard Engineer's Joint Contract Documents Committee (EJCDC) documents.

- h) **Contract Administration:** Consultant shall provide Construction Contract Administration services as noted below:

- (1) Issue and/or review Addenda of applicable Site Civil work.
- (2) Perform shop drawing review for applicable Site Civil items.

- (3) Respond to contractor requests for information (RFI) related to Site Civil work.
 - (4) A final walkthrough and preparation of construction punch list at project conclusion. Client is responsible for coordination with Contractor to ensure punch list requirements are met.
- i) **Construction Staking:** Consultant shall provide one-time horizontal and vertical staking consisting of the following:
- (1) **Storm Sewer:** Storm sewer shall be staked including offsets at structures and at intervals of approximately 100' along pipe runs. Stakes shall indicate an offset distance to the pipe and include a cut/fill to the pipe flow line. This work assumes 4 trips to stake the storm sewer.
 - (2) **Sidewalk Staking:** Sidewalk staked shall consist of offsets stakes along the alignment of the sidewalk. Offsets shall be at 25' intervals located 2'-3' behind the sidewalk. Cut/fill elevations shall be provided to the finished elevation of the sidewalk.
 - (3) **Site Amenities:** Site Amenities will be staked as required.
 - (4) Staking provided shall be for the sole use by the Client for the purpose intended. Consultant shall not be responsible for work performed by others use of the stakes provided.
 - (5) Staking shall be completed at the request of Client provided a minimum of 48 hours notice is given.
 - (6) Staking assumes that the ground elevation shall be within 1-foot of the finished sub-grade elevation for each item to be staked and the site shall be free and clear of any obstructions that would prevent the stakes from being placed in the required locations.
 - (7) This contract assumes a one-time staking for each of the various components described, unless stated otherwise. Any re-staking that may be required shall be completed as an additional service on a time and expense basis.

III. SERVICES NOT PROVIDED AS PART OF THIS PROJECT

In addition to the "Services Not Provided as Part of This Agreement" section indicated in the attached General Terms and Conditions, the following services are not included as part of this work.

- A. Grant Administration
- B. Certified Survey Map (CSM)
- C. Fire Escape Design
- D. Stormwater Management Plan
- E. Lighting Plan

IV. INFORMATION PROVIDED BY OTHERS

In order to complete our scope of services, the following information shall be provided by others:

- A. Concept plans (in AutoCAD)

V. SCHEDULE

- A. This Agreement is based upon the following anticipated schedule:

Activity	Date
1. Authorization to Proceed-----	March 14, 2025
2. Schematic Design-----	April 2025
3. Design Development -----	May 2025
4. Construction Documents-----	May 2025
5. Bidding Phase-----	June 2025
6. Construction Administration-----	July- Aug 2025

VI. SCHEDULE OF DELIVERABLES

The following deliverables shall be provided to the Client throughout the course of the project:

- A. Finalized Landscape Plan
- B. Topographic Survey
- C. Grading Plan
- D. Utility Plan (Storm Sewer)

VII. DESIGNATION OF RESPONSIBLE PARTIES

The designated responsible parties representing the Client and Consultant, respectively, shall have authority to transmit instructions, receive information, and render decisions relative to the project on behalf of each respective party.

Overall coordination and project supervision for Consultant is the responsibility of Logan Hansen, Project Leader. He, along with other personnel, shall provide the services required for the various aspects of the project. Please direct all communications that have a substantive impact on the project to Logan.

The Client designates Matt Honer as its representative. Consultant shall direct all communications that have a substantive impact on the project to that individual, and that individual's responses shall be binding on the Client.

VIII. FEES

- A. The Fixed Fee to provide the scope of services described herein is as follows:

Survey Phase	
1. Topographic Survey	\$2,000
Survey Phase Total.....	\$2,000
Engineering Phase	
1. Schematic Design	\$1,000
2. Design Development Drawings.....	\$5,500
3. Construction Documents	\$3,000

4.	Finalize Landscape Plan	\$2,400
5.	Meetings (T&E/Estimate).....	\$600
6.	Bidding Phase Services	\$3,500
7.	Contract Administration	\$1,750
8.	Construction Staking.....	\$2,000

Engineering Phase Total.....\$19,750

TOTAL\$21,750

- B.** These fees assume that the work will be completed within the time frame set forth herein. If significant delays to the project occur, which are not due to the negligence of the Consultant including, by way of example and not limitation, decisions of the Client, regulatory approvals, deferrals to the next construction season or calendar year, etc., the Consultant reserves the right to negotiate and adjust an appropriate change to the fees.
- C.** Reimbursable expenses are included in the above stated fees. Where sub-consultants are required, a 10% administrative charge has been included.

IX. GENERAL TERMS AND CONDITIONS

The General Terms and Conditions dated 4-1-22 and attached hereto are incorporated herein by reference.

We appreciate the opportunity to work with you on this project. If this Agreement is acceptable to you, please sign the Authorization below and return one copy to our Reedsburg office. Should you have any questions or require any additional information, please feel free to contact me.

Sincerely,



Logan Hansen, PE
Project Leader

Enclosures: General Terms and Conditions
Exhibit A – Project Area Map
Exhibit B – Concept Map

AUTHORIZATION TO PROCEED

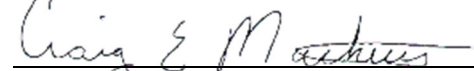
In witness whereof, the parties have made and executed this Agreement as of the day and year written below.

Client

Matthew Honer, City Administrator
City of Mineral Point
137 High Street, Suite 1
Mineral Point, WI 53565

Date

Consultant



Craig Mathews, PE, Principal
Vierbicher Associates, Inc.
201 E. Main Street, Suite 100
Reedsburg, WI 53959

October 24, 2024

Date

© Vierbicher Associates, Inc.

**VIERBICHER ASSOCIATES, INC. (CONSULTANT)
GENERAL TERMS AND CONDITIONS OF SERVICES**

1. Services Not Provided as Part of This Agreement

Environmental studies, resident construction observation services, archaeological investigations, soil borings, geotechnical investigations, flood plain analysis, wetland delineations, public hearing representation, easements, property descriptions or surveys, negotiations for property rights acquisitions, and other detailed studies or investigations, unless specifically identified in this Agreement for Services, are not included as part of this work.

2. Hazardous Environmental Conditions

Unless specifically identified in this Agreement for Services, it is acknowledged by both parties that Consultant's scope of services does not include any services related to the discovery, identification, presence, handling, removal, transportation, or remediation at the site, or the inspection and testing of hazardous materials, such as asbestos, mold, lead paint, PCBs, petroleum, hazardous waste, or radioactive materials. Client acknowledges that Consultant is performing professional services for Client, and Consultant is not and shall not be required to become an "arranger," "operator," "generator" or "transporter" of hazardous substances as defined in the Comprehensive Environmental Response, Compensation, and Liability Act of 1990 (CERCLA). Client shall defend, indemnify and hold Consultant harmless from and against any CERCLA-based claims.

3. Additional Services

The Scope of Services in this Agreement is intended to cover services normally required for this type of project. However, occasionally events occur beyond the control of the Consultant or the Client that create a need for additional services beyond those required for a standard agreement.

The Consultant and/or Client shall promptly and in a timely manner bring to the attention of the other the potential need to change the Scope of Services set forth above, necessitated by a change in the Scope of Project, Scope of Services, or the Schedule. When a change in the Scope of Services, Schedule, or Fees is agreed to by the Consultant and Client, it shall be initiated by written authorization of both parties.

4. Client's Responsibility

- A. Provide Consultant with all criteria and full information as to Client's requirements for the project, including design objectives and constraints, capacity and performance requirements, flexibility, expandability, and any budgetary limitations; furnish previous plans, studies and other information relevant to the project; furnish copies of all design and construction standards which Client will require to be included in the drawings and specifications; and furnish copies of Client's standard forms, and conditions, including insurance requirements and related documents for Consultant to include in the bidding documents, or otherwise when applicable.
- B. Furnish to Consultant any other information pertinent to the project including reports and data relative to previous designs, or investigations at or adjacent to the site, including hazardous environmental conditions and other data such as reports, investigations, actions or citations.
- C. Consultant shall be entitled to rely, without liability, on the accuracy and completeness of any and all information provided by Client, Client's Consultants and contractors, and information from public records, without the need for independent verification.
- D. Arrange for safe access to and make all provisions for Consultant to enter upon public and private property as required for Consultant to perform services under this Agreement.

- E. Examine all alternate solutions, studies, reports, sketches, drawings, specifications, proposals, and other documents presented by Consultant and render timely decisions pertaining thereto.
- F. For projects involving construction, attend any pre-bid conference, bid opening, pre-construction conferences, construction progress and other job related meetings, and substantial completion and final payment inspections.
- G. For projects involving construction, if more than one prime contract is to be awarded for the work designed or specified by Consultant, designate a person or entity to have authority and responsibility for coordinating the activities among the various prime contractors, and define and set forth in writing the duties, responsibilities, and limitations of authority of such individual or entity and the relation thereof to the duties, responsibilities, and authority of Consultant.
- H. For projects involving construction, retain a qualified contractor, licensed in the jurisdiction of the Project to implement the construction of the Project. In the construction contract, Client shall require Contractor to: (1) obtain Commercial General Liability Insurance and auto liability insurance and name Client, Consultant, and Consultant's employees and subconsultants as additional insureds of those policies; and (2) indemnify and hold harmless Client, Consultant, and Consultant's employees and subconsultants from and against any and all claims, damages, losses, and expenses ("Claims"), including but not limited to reasonable attorneys' fees and economic or consequential damages, arising in whole or in part out of any act or omission of the Contractor, any subcontractor, or anyone directly or indirectly employed by any of them.
- I. If Client designates a Construction Manager or Contractor or an individual or entity other than, or in addition to, Consultant to represent Client at the site, the Client shall define and set forth in writing the duties, responsibilities, and limitations of authority of such other party and the relation thereof to the duties, responsibilities, and authority of Consultant as defined in this Agreement.
- J. Provide information relative to all concealed conditions, subsurface conditions, soil conditions, as-built information, and other site boundary conditions. Consultant shall be entitled to rely upon the accuracy and completeness of such information. If Client does not provide such information, Consultant shall assume that no conditions exist that will negatively affect the Scope of Services or Project and Client will be responsible for extra costs and/or damages resulting from the same.

5. Additional General Considerations (for projects involving construction)

- A. Consultant shall not at any time have any responsibility to supervise, direct, or have control over any contractor's work, nor shall Consultant have authority over or responsibility for the means, methods, techniques, sequences, or procedures of construction selected or used by any contractor, for safety precautions and programs incident to a contractor's work progress, nor for any failure of any contractor to comply with laws and regulations applicable to contractor's work.
- B. Consultant neither guarantees the performance of any contractor nor assumes responsibility for any contractor's failure to furnish and perform its work in accordance with the contract between Owner and such contractor.
- C. Consultant shall not be responsible for the acts or omissions of any contractor, subcontractor or supplier, or of any contractor's agents or employees or any other persons (except Consultant's own employees) at the project site or otherwise furnishing or performing any of construction work; or for any decision made on interpretations or clarifications of the

construction contract given by Owner without consultation and advice of Consultant.

6. Fees

- A. The fees set forth in this Agreement are based on the assumption that the work will be completed within the time frame set forth herein. If significant delays to the project occur, which are not due to the negligence of the Consultant, e.g. decisions of the Client, regulatory approvals, deferrals to the next construction season or calendar year, etc., the Consultant reserves the right to negotiate and adjust an appropriate change to the fees.
- B. Consultant may submit invoices monthly for work completed to date. Fixed fees will be submitted on the basis of percent of the Scope of Services completed. Estimated fees will be submitted on the basis of time and expense incurred in accordance with Consultant's fee schedule in effect at the time the costs are incurred.
- C. Invoices are due upon receipt. For invoices not paid after 30 days, interest will accrue at the rate of 1 ½% per month. Payments will be credited first to interest and then to principal. In the event any portion of the account remains unpaid after 90 days after the billing, Consultant may initiate collection action and the Client shall be responsible for all costs of collection, including reasonable attorneys' fees. As a matter of business practice, Consultant would intend to file lien rights against the property if payment is not received before lien rights would expire. Consultant shall have the right to suspend its services without any liability arising out of or related to such suspension in the event invoices are not paid within 30 days of receipt.
- D. When estimates of fees or expenses are quoted, they are simply that, estimates. Actual costs invoiced may be higher or lower due to actual fees or expenses incurred. When fees or expenses are anticipated to be higher or lower than estimated, Consultant shall make every effort to inform Client in a timely manner, even prior to incurring the costs, if possible.
- E. Consultant will bill additional services, if requested, in accordance with the fee schedule in effect at the time the work is performed or as otherwise negotiated.

7. Sales Tax for Landscape Design Services

State and local sales tax will be applied to projects for Landscape Design Services, where applicable. The sales tax will be reflected on regular Client invoices. Should sales tax be imposed, they shall be in addition to Consultant's agreed upon compensation.

Those services subject to the sales tax will be identified in the Agreement and on invoices sent to the Client.

Applicable sales tax will not be applied to projects for Landscape Design Services if the Client provides a Tax Exempt Certificate.

8. Dispute Resolution

In the event a dispute shall develop between the Client and the Consultant arising out of or related to this Agreement, the Client and Consultant agree to use the following process to resolve the dispute:

- A. The Client and Consultant agree to first negotiate all disputes between them in good faith for a period of at least 30 days from notice first being served in writing to the Client or Consultant of the dispute.
- B. If the Client and Consultant are unable to resolve the dispute by negotiation as described above, the Client and Consultant agree to submit the dispute to non-binding mediation. Such mediation shall be conducted in accordance with Construction Industry Dispute Resolution procedures of the American Arbitration Association.

- C. If the Client and Consultant are unable to resolve the dispute by negotiation or by mediation, they are free to utilize whatever other legal remedies are available to settle the dispute subject to the "Controlling Laws" section of these General Terms and Conditions located below.

9. Insurance

A. Consultant

Consultant maintains general liability and property insurance; vehicle liability; and workers' compensation coverage meeting state and federal mandates. Consultant also carries professional liability insurance. Certificates of Insurance will be provided upon written request.

B. Client

The Client shall procure and maintain, at its expense, general liability, property insurance and, if appropriate, workers' compensation and builders risk insurance. Client waives all claims against the Consultant arising out of losses or damages to the extent such losses or damages are covered by the foregoing insurance policies maintained by the Client.

C. Contractor

For projects involving construction, Contractor shall procure, as directed by the Client and/or as provided in the specifications or general conditions of the contract for construction, Certificates of Insurance for the type and amounts as directed by the Client, and shall require the Contractor to name the Client and Consultant as an additional insured under the Contractor's general and auto liability policies as defined in 4.H. above.

10. Limitations of Liability/Indemnity

A. Definitions:

- 1) Contract Administration. Contract Administration includes services related to construction as outlined in the Agreement. These services may include Construction Staking, Construction Observation, and/or Administration of the Construction Contract between the Owner and Contractor.
- 2) Construction Documents. Documents (plans, and/or specifications) conveying a design intent, used by a qualified, capable Contractor for construction of a project.

B. Limitation of Liability

In recognition of the relative risks, rewards and benefits of different types of projects to both the Client and Consultant, the risks have been allocated such that the Client agrees to the following depending upon the services outlined in the Agreement.

- 1) For Agreements that include Contract Administration or the development of construction documents with Contract Administration:

The Consultant, Consultant's subconsultants (if any), and their agents or employees shall not be jointly, severally, or individually liable to Client for any and all injuries, damages, claims, losses or expenses arising out of this Agreement from any cause or causes in excess of the available limits of Consultant's professional liability insurance policy. Such causes include, but are not limited to, Consultant's negligence, errors, omissions, strict liability, or breach of Agreement.
- 2) For Agreements that include the development of construction documents but do not include Contract Administration services as outlined in the Agreement:

The Consultant, Consultant's subconsultants (if any), and their agents or employees shall not be jointly, severally, or individually liable to Client for any and all injuries, damages, claims, losses or expenses arising out of this Agreement from any cause or causes in excess of five times the fee received by the Consultant, not including reimbursable subconsultant fees and expenses, or the available limits of Consultant's professional liability insurance policy, whichever is less. Such causes include, but are not limited to, Consultant's negligence, errors, omissions, strict liability or breach of Agreement.

- 3) For Agreements that do not include the development of construction documents or Contract Administration services as outlined in the Agreement:

The Consultant, Consultant's subconsultants (if any), and their agents or employees shall not be jointly, severally, or individually liable to Client for any and all injuries, damages, claims, losses or expenses arising out of this Agreement from any cause or causes in excess of two times the fee received by the Consultant, not including reimbursable subconsultant fees and expenses, or the available limits of Consultant's professional liability insurance policy, whichever is less. Such causes include, but are not limited to, Consultant's negligence, errors, omissions, strict liability or breach of Agreement.

- C. Client and Consultant each agree to indemnify and hold the other harmless, and their respective officers and employees from and against liability for losses, damages and expenses, including reasonable attorneys' fees recoverable under applicable law, to the extent they are caused by the indemnifying party's negligent acts, errors or omissions. In the event claims, losses, damages or expenses are caused by the joint or concurrent negligence of Client and Consultant, they shall be borne by each party in proportion to its negligence (whether sole, concurrent, or contributory). Neither Client nor Consultant shall have a duty to provide the other an up-front defense of any claim.
- D. Nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by Client or Consultant to any contractor, subcontractor, supplier, other individual or entity, or to any surety for or employee or any of them.

All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Client and Consultant and not for the benefit of any other party.

11. Betterment

If any item or component of the Project is required due to the omission from the construction documents, Consultant's liability shall be limited to the reasonable costs of correction of the construction, less the cost to Client if the omitted component had been initially included in the contract documents. All costs of errors, omissions, or other changes that result in betterment to the Project shall be borne by Client and shall not be a basis of claim against Consultant. It is intended by this provision that Consultant will not be responsible for any cost or expense that provides betterment, upgrade, added value, or enhancement of the Project.

12. Use of Documents

All documents prepared or furnished by Consultant pursuant to this Agreement are instruments of Consultant's professional service, and Consultant shall retain an ownership and property interest therein, including all copyrights. Consultant grants Client a license to use instruments of Consultant's professional service for the purpose of planning, constructing, occupying or maintaining the project or as otherwise intended. Reuse or modification of any such documents by Client, without Consultant's written permission and professional involvement in the applicable reuse or modification, shall be at Client's sole risk, and Client agrees to waive all claims against and defend, indemnify and hold Consultant harmless from

all claims, damages and expenses, including attorneys' fees, arising out of such reuse by Client or by others acting through Client.

13. Survey Stakes for Construction (for projects involving construction)

Stakes placed by Consultant for use by the Contractor shall only be used for the specific purpose indicated. Any use of stakes by the Client for purposes other than indicated and/or communicated by the Consultant, without Consultant's written permission, shall be at Client's sole risk, and Client agrees to indemnify and hold Consultant harmless for all claims, damages and expense, including attorneys' fees, arising out of such unauthorized use by Client or others acting through Client.

14. Use of Electronic Media

Copies of documents that may be relied upon by Client are limited to the printed copies (also known as hard copies) that are signed or sealed by Consultant except for electronic copies of documents available for printing by contractors during bidding and/or construction from QuestCDN.com or as specified in this Agreement for Services or as specifically indicated in writing by Consultant. Files in electronic formats, or other types of information furnished by Consultant to Client such as text, data or graphics, are only for convenience of Client. Any conclusion or information obtained or derived from such electronic files will be at the user's sole risk. When transferring documents in electronic formats, Consultant makes no representations as to long-term compatibility, usability, or readability of documents resulting from the use of software application packages, operating systems or computer hardware differing from those in use by Consultant at the beginning of the project.

15. Opinions of Cost

When included in Consultant's scope of services, opinions or estimates of probable construction cost are prepared on the basis of Consultant's experience and qualifications and represent Consultant's judgment as a professional generally familiar with the industry. However, since Consultant has no control over the cost of labor, materials, equipment or services furnished by others, over contractor's methods of determining prices, or over competitive bidding or market conditions, Consultant cannot and does not warrant or guarantee that proposals, bids, or the actual construction cost will not vary from Consultant's opinions or estimates of probable construction cost.

16. Approvals

Client acknowledges that the approval process necessary to estimate or maintain a project timeline is both unpredictable and outside the Consultant's control. Consultant does not guarantee reviews or approvals by any governing authority or outside agency, nor the ability to achieve or maintain any project timeline.

17. Certifications

Consultant shall not be required to sign any documents, no matter by whom requested, that would result in Consultant's having to certify, quantify, or warrant the existence of conditions that Consultant cannot ascertain or otherwise represent information or knowledge inconsistent with Consultant's scope of services for the Project.

18. Third Parties

Nothing contained in this Agreement shall create a contractual relationship with, or a cause of action in favor of, a third party against either the Client or Consultant. Consultant's services hereunder are being performed solely for the benefit of the Client, and no other entity shall have any claims against Consultant because of this Agreement or Consultant's performance of services hereunder.

19. No Express or Implied Warranty

Consultant makes no representation nor does consultant extend any warranty of any kind, either express or implied, to client with respect to this agreement or the project and hereby disclaims all implied warranties of merchantability, fitness for a particular purpose, or noninfringement of the intellectual property rights of third parties with respect to any and all of the foregoing.

20. Damages Waiver

In no event shall consultant be liable to client, or anyone, for any consequential, incidental, indirect, special, punitive, or exemplary damages including, without limitation, loss of use, lost income, lost profits, loss of reputation, unrealized savings, diminution in property value, cost of replacement, business or goodwill, suffered or incurred by such other party in connection with the this agreement or the project, arising out of any and all claims including, but not limited to, tort, strict liability, statutory, breach of contract, and breach of express and implied warranty claims (should it be determined that such warranty claims survive the disclaimers set forth in this agreement).

21. Standard of Care

The Standard of Care for all professional services performed or furnished by Consultant under this Agreement shall be the skill and care used by members of Consultant's profession practicing under similar circumstances or similar scope of services at the same time and in the same locality.

22. Termination

The obligation to provide further services under this Agreement may be terminated:

A. For Cause

- 1) By either party upon 30 days written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof, through no fault of the terminating party. The failing party shall have the right, within 30 days, to correct or remedy the cited failures.
- 2) By Consultant
 - a) Upon seven days written notice if Consultant believes that he is being requested by Client to furnish or perform services contrary to Consultant's responsibilities as a licensed professional. Consultant shall have no liability to Client on account of such termination.
 - b) Upon seven days written notice if the Consultant's services for the project are delayed or suspended for more than 90 days for reasons beyond Consultant's control.
 - c) Upon seven days written notice if the Client has failed to pay for previous services rendered and/or if his account is more than 60 days past due.

B. To Discontinue Project

By Client effective upon the receipt of notice by Consultant.

C. Reimbursement for Services

Consultant shall be reimbursed for all services and expenses rightfully incurred prior to termination.

23. Force Majeure/Project Schedule

Neither party shall be deemed in default of this Agreement to the extent that any delay or failure in the performance of its obligations results from any cause beyond its reasonable control and without its negligence. . In the event Consultant is hindered, delayed, or prevented from performing its obligations under this Agreement as a

result of any cause beyond its reasonable control, including but not limited to delays due to power or data system outages, acts of nature, public health emergencies including but not limited to infectious disease outbreaks and pandemics, governmental orders or directives, failure of any governmental or other regulatory authority to act in a timely manner, failure of the Client to furnish timely information or approve or review Consultant's services or design documents, or delays caused by faulty performance by Client's contractors or consultants, the time for completion of Consultant's services shall be extended by the period of resulting delay and compensation equitably adjusted. Client agrees that Consultant shall not be responsible for damages, nor shall the Consultant be deemed in default of this Agreement due to such delays.

24. Successors, Assigns and Beneficiaries

- A. Client and Consultant each is hereby bound and the partners, successors, executors, administrators and legal representatives of Client and Consultant are hereby bound to the other party by this Agreement and to the partners, successors, executors, administrators and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements and obligations of this Agreement.
- B. Neither Client nor Consultant may assign, sublet, or transfer any rights under or interest (including, but without limitation, moneys that are due or may become due) in this Agreement without the written consent of the other, except to the extent that any assignment, subletting, or transfer is mandated or restricted by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty of responsibility under this Agreement.

25. Municipal Financial Advisor Services

The Consultant is not registered with the Securities and Exchange Commission as a municipal advisor. Consultant does not perform municipal advisory services (as covered under the Dodd-Frank Wall Street Reform and Consumer Protection Act, signed into law on July 21, 2010, as it relates to financial products and services). In the event Client desires such services, it is the Client's responsibility to retain an independent registered advisor for that purpose.

26. Controlling Laws

This Agreement is to be governed by the laws of the state in which the project is located and in force at the time of completion of deliverables.

27. Entire Agreement

These General Terms and Conditions and the accompanying Agreement constitute the full and complete Agreement between Client and Consultant and supersedes all prior understandings and agreements between the parties and may be changed, amended, added to, superseded, or waived only if Client and Consultant specifically agree in writing to such amendment of the Agreement. There are no promises, agreements, conditions, undertakings, warranties, or representations, oral or written, express or implied, between the parties other than as set forth in these General Terms and Conditions and accompanying Agreement. In the event of any inconsistency between these General Terms and Conditions, the proposal, Agreement, purchase order, requisition, notice to proceed, or like document, these General Term and Conditions shall govern.

28. Authority

The person signing the accompanying agreement acknowledges that if the person is signing in a capacity other than individually, the execution and delivery of this document has been duly authorized and the member, owner, officer, partner or other representative who is executing this document have the full power, authority and right to do so, and that such execution is sufficient and legally binding on the entity on whose behalf this document is signed, to enable the document to be enforceable in accord with its terms.

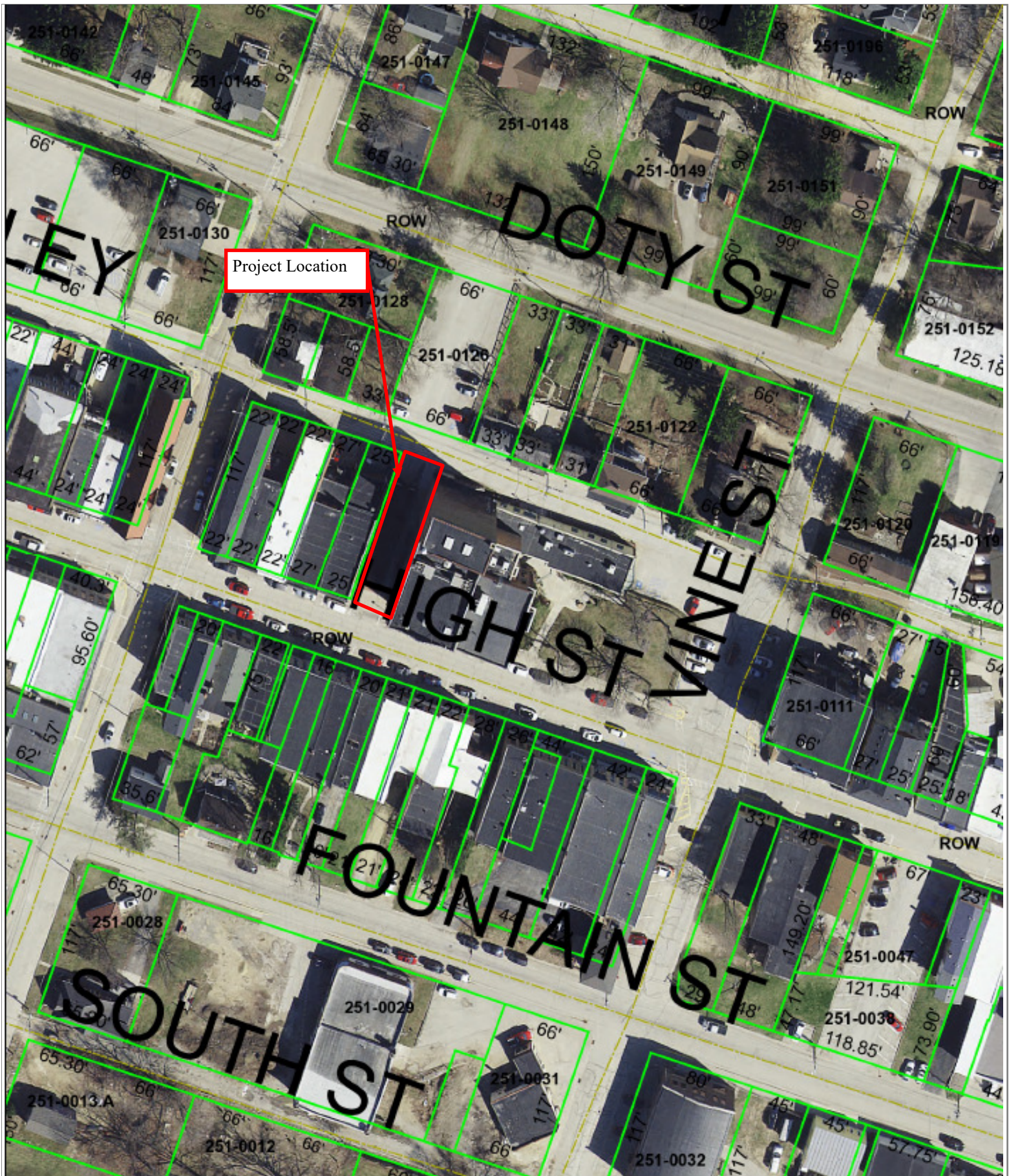


Exhibit A - Project Area Map



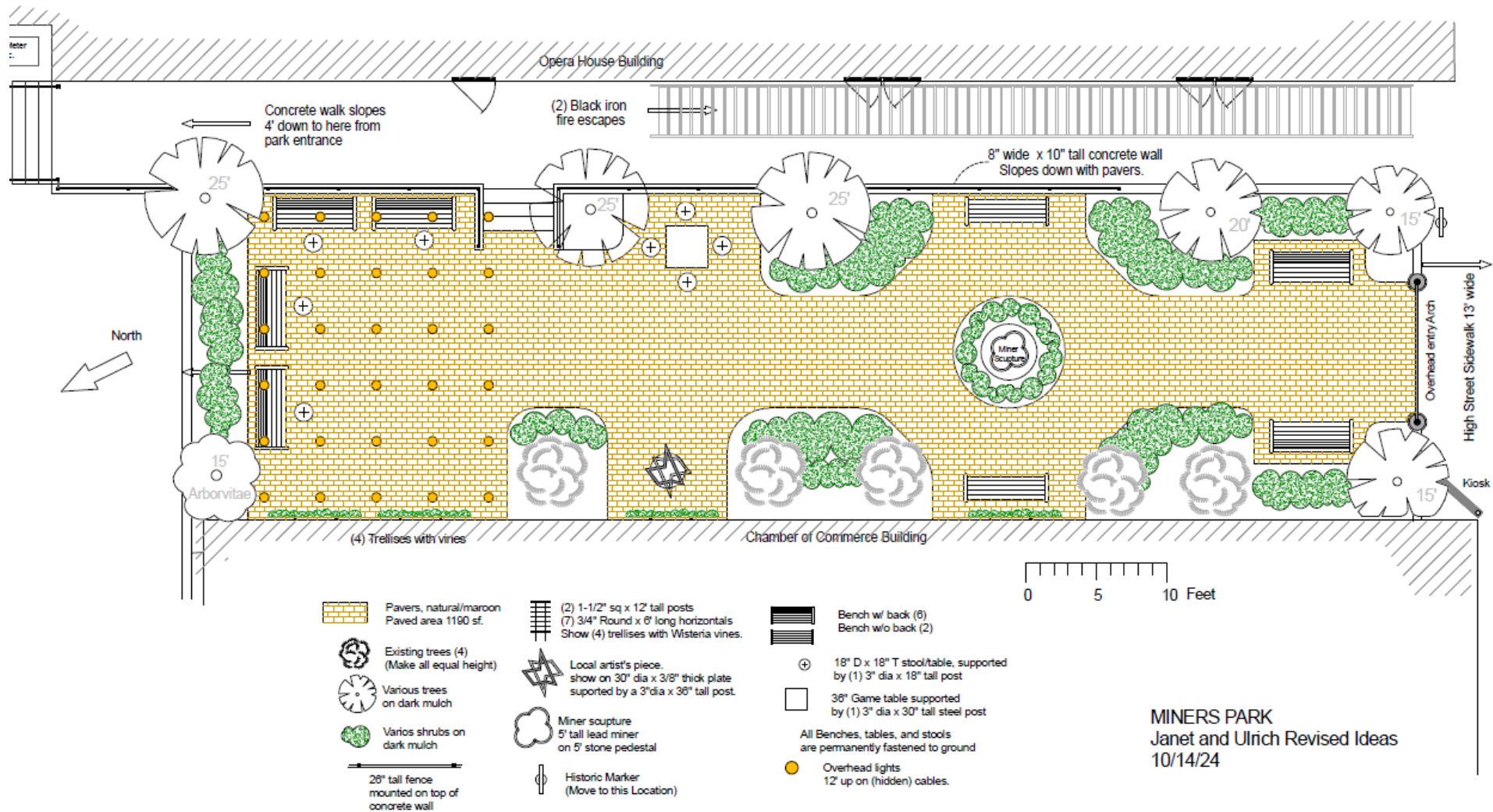


Exhibit B - Concept Plan



Opinion of Probable Cost
11/5/2024
Cornish Heritage Park
City of Mineral Point

Bid Item Ref. No.	Description	Unit of Measure	Estimated Quantity	Unit Price	Item Total
Sitework					
1	Mobilization, Performance & Payment Bonds	LS	1	\$ 5,000.00	\$ 5,000.00
2	Site Clearing & Grubbing	LS	1	\$ 2,500.00	\$ 2,500.00
3	Common Excavation	LS	1	\$ 5,000.00	\$ 5,000.00
4	Base Aggregate Dense - 1 1/4"	TON	90	\$ 30.00	\$ 2,700.00
5	Trucked In Topsoil	CY	65	\$ 15.00	\$ 975.00
6	New Shrub (Deciduous)	EA	10	\$ 70.00	\$ 700.00
7	New Shrub (Perennials)	EA	10	\$ 30.00	\$ 300.00
8	Tree	EA	12	\$ 500.00	\$ 6,000.00
9	Interlocking Block Retaining Wall	VSF	410	\$ 50.00	\$ 20,500.00
10	Concrete Sidewalk (4")	SF	200	\$ 10.00	\$ 2,000.00
11	Benches	EA	10	\$ 1,500.00	\$ 15,000.00
12	Poured Concrete Steps	VSF	10	\$ 140.00	\$ 1,400.00
13	Metal Railing	LF	100	\$ 300.00	\$ 30,000.00
14	Pavers	SF	1400	\$ 22.00	\$ 30,800.00
Subtotal - Street & Site work					\$ 122,875.00
Contingency (10%)					\$ 12,287.50
Total Site Work -					\$ 135,162.50

Bid Item Ref. No.	Description	Unit of Measure	Estimated Quantity	Unit Price	Item Total
Storm Sewer					
15	Storm Sewer - Structure and Piping	LS	1	\$ 7,500.00	\$ 7,500.00
Subtotal - Storm Sewer & Storm Water Mgmt					\$ 7,500.00
Contingency (10%)					\$ 750.00
Total Storm Sewer -					\$ 8,250.00
Total - Cornish Heritage Park					\$ 130,375.00
Contingency (10%)					\$ 13,037.50
Engineering					\$ 21,750.00
Total -Cornish Heritage Park					\$ 165,162.50

Bid Item Ref. No.	Description	Unit of Measure	Estimated Quantity	Unit Price	Item Total
Alternate					
14A	Stamped, Colored Concrete	SF	1400	\$ 15.00	\$ 21,000.00

This Engineer's Opinion of Probable Cost is made on the basis of our experience and qualifications. It represents our best judgment as experienced and qualified design professionals based on our information available at the time the cost opinion is made. It should be recognized that Vierbicher Associates, Inc. does not have control over the cost of materials or services furnished by others, over market conditions, or contractors methods of determining their prices. Accordingly, Vierbicher Associates, Inc. cannot and does not guarantee that bids or actual costs will not vary from this opinion.



RESOLUTION NO. 2025 – 07

RESOLUTION TO VACATE AND DISCONTINUE MARGARET STREET AND JOHN STREET IN THE CITY OF MINERAL POINT, IOWA COUNTY, WISCONSIN

WHEREAS, Wisconsin Statute section 66.1003(4)(a) permits a Common Council to vacate any street or portion of a street in the City when the public interest requires it; and

WHEREAS, Margaret Street and John Street were dedicated by plat on May 17, 1849, have never been opened or worked, do not permit the best use of property adjoining the streets and do not serve a public purpose; *and*

WHEREAS, the Common Council, has determined it is in the best interest of the public and the City that Margaret Street and John Street be vacated; and

WHEREAS, this resolution was introduced at a Common Council meeting held March 11, 2025; and

WHEREAS, a notice of the proposed discontinuance and vacation of Margaret Street and John Street and a public hearing thereon was posted on or before April 22, 2025, and a copy of said notice was delivered or mailed to the owners of all the frontage of the lands abutting the streets proposed to be vacated and discontinued at least 30 days prior to the public hearing on the proposed discontinuance; and

WHEREAS, a public hearing was held on May 13, 2025, pertaining to the proposed discontinuance and vacation of Margaret Street and John Street; and

WHEREAS, a resolution was adopted on May 13, 2025, vacating and discontinuing Margaret Street and John Street; and

WHEREAS, the Common Council finds that all of the procedural requirements provided by law have been complied with and fully met;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF MINERAL POINT, IOWA COUNTY, WISCONSIN, AS FOLLOWS:

1. Margaret Street, more particularly described below, shall be and hereby is declared and ordered vacated and discontinued:

A parcel of land 60 feet in width lying east of Shakerag Street, and 20 feet west of East Line of Staveley's Addition, and south of Lots 22 through 28 and North of Lots 15 through 21, all of Staveley's Addition to the City of Mineral Point, Iowa County, Wisconsin, according to the recorded plat thereof.

2. John Street, more particularly described below, shall be and hereby is declared and ordered vacated and discontinued:

A parcel of land 40 feet in width lying east of Miners Cart Way, and 20 feet west of the East Line of Staveley's Addition, and south of Lots 35 through 39 and north of Lots 29 through 34, all of Staveley's Addition to the City of Mineral Point, Iowa County, Wisconsin, according to the recorded plat thereof.

3. This resolution together with a copy of the plat or map attached hereto as Exhibit "A", incorporated herein by this reference, shall be filed in the office of the Register of Deeds for Iowa County, Wisconsin, as required by law.

Adopted and approved this 13th day of May 2025.

Danny Clark, Mayor

ATTEST:

Christy Skelding, City Clerk/Treasurer

It was moved by _____ and seconded by _____
that the foregoing resolution be adopted.

Upon roll call vote, the following voted Aye: _____

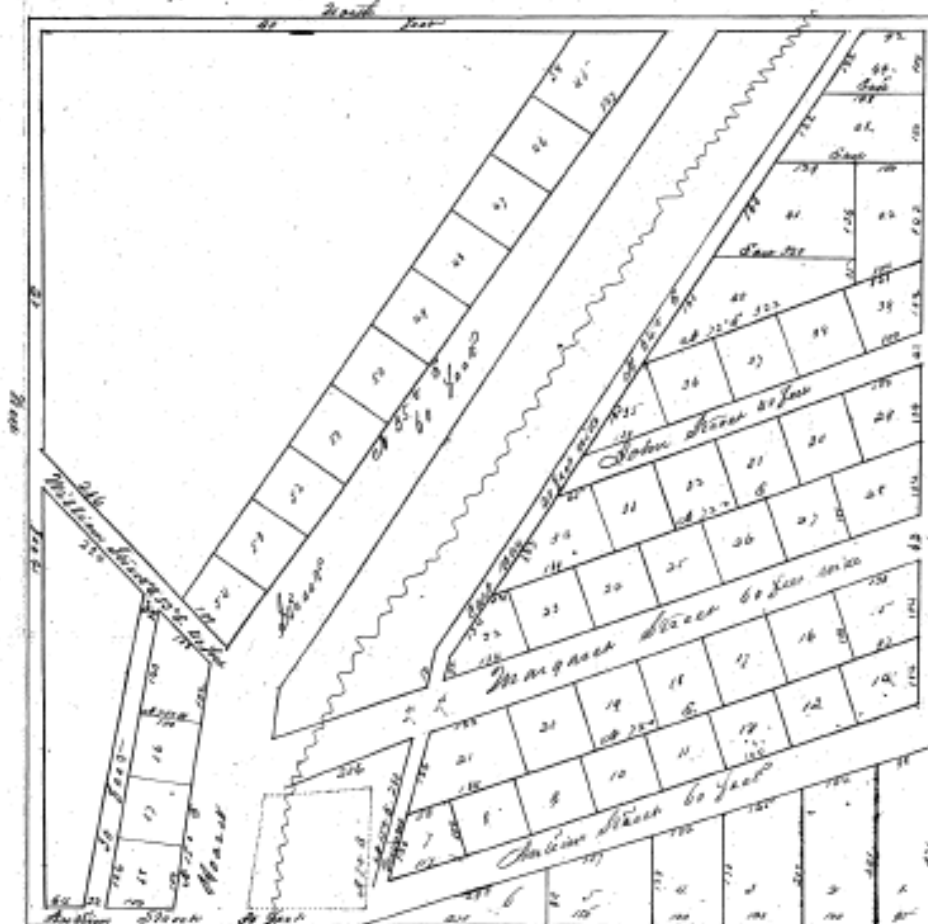
The following voted No: _____

The Mayor declared the resolution adopted.

EXHIBIT "A"

*I see Order June 3, 1976 Vol. 313 Book page 398
Mildred G. Jones, Reg. of Deeds, Margaret L. Capron*

Early's Addition to Mineral Point.



Received for Rent May 17th 1849 of J. J. Smith & Co.

East of the South West quarter of the South West
quarter of Section 32, in Iron Co., of Range Three East, on a base of 80
feet to an inch by H. W. Cowper.

The Square Side - are not shown as a best square. All Measurements to Commence at the South East Corner.

State of Wisconsin
County of Iron

May 17th 1889,

Democracy appears before the
 designs of the party. In the Grand and State affairs, William Lloyd and
 a champion for the annexed plot of slavery, addition to the Sin of Animal Fair
 It is his first act and deed, and desires that the same might be second according
 to Law: William Lloyd now returned and the day was year also returned

The above Plot is bounded
on a South of 100 Feet to river
banks.

Miss E. A. Carney

Edwin H. Casson
Not. Pub. Am. Co. Worcester



May 13, 2025

Mineral Point, Wisconsin

☒ New Business ☐ Unfinished Business ☐ Reports ☐ Closed Session ☐ Ordinance/Resolution	Meeting: City Council
Department Reporting: Administration	Submitted by: Matthew Honer
ISSUE: Consideration of Resolution 2025-08, Preliminary Resolution Declaring Intent to Exercise Special Assessment Powers Relative to the Installation of Curb and Gutter, Sidewalks, and replacement of Lead/Galvanized Water Service Lines Along a Portion of N. Wisconsin Street, Washington Street, and Davis Street in the City of Mineral Point, Iowa County, Wisconsin.	
BACKGROUND/ANALYSIS: The installation of new water mains, new curb and gutter, and new sidewalk all have financial implications for adjacent property owners. Section 51.18 of the Municipal Code of the City of Mineral Point states that property owners, at their expense, must replace the lead or galvanized water service lines if the water main is being replaced. A water service line is the line that connects a home's plumbing to the public infrastructure, specifically the piping between the curb stop at the edge of the street and the meter in the basement. Property owners with Lead Service Lines should plan to have their lead service lines replaced as soon as possible to prevent any construction delays. If property owners with lead service lines do not replace their water service by the deadline provided, the City will have its contractor replace the water service line and will assess the property owner the full cost. Section 91.06 of the Municipal Code of the City of Mineral Point states that the city shall pay 50% of the cost of construction of new sidewalks and curb and gutter, and shall assess the remainder of the cost against the abutting property owners. 10 properties residents within the project boundary have lead/galvanized water service lines that need to be replaced. 1 property within the project boundary will have new sidewalk installed. 10 properties within the project boundary will have new curb and gutter installed.	
RECOMMENDATION: Approve the preliminary resolution as presented.	
FISCAL IMPACT: Total assessment for the curb and gutter est. \$10,234.77. Total assessment for new sidewalk est. \$3,325.00. The project contractor did not provide bids on the replacement of private lead/galvanized service lines.	
ATTACHMENTS: none.	

RESOLUTION NO. 2025 – 08

PRELIMINARY RESOLUTION DECLARING INTENT TO EXERCISE SPECIAL ASSESSMENT POWERS RELATIVE TO THE INSTALLATION OF CURB AND GUTTER, SIDEWALKS, AND REPLACEMENT OF LEAD/GALVANIZED WATER SERVICE LINES ALONG A PORTION OF N. WISCONSIN STREET, WASHINGTON STREET, AND DAVIS STREET IN THE CITY OF MINERAL POINT, IOWA COUNTY, WISCONSIN.

WHEREAS, street and water system improvements are being made to a portion of Davis Street, Washington Street, and N. Wisconsin Street located within the City of Mineral Point;

WHEREAS, the Common Council of the City has determined that it is in the best interest of the City to install new curb and gutter alongside portions of N. Wisconsin Street and Washington Street where it does not currently exist as part of this project;

WHEREAS, the Common Council of the City has determined that it is in the best interest of the City to install new sidewalks alongside a section of Davis Street where it does not currently exist as part of this project;

WHEREAS, Section 51.18 *Lead Water Service Line Replacement* of the City of Mineral Point's municipal code establishes a comprehensive program for the removal and replacement of lead or galvanized pipe water service lines in use within the City utilities water system and in private systems;

WHEREAS, in coordination with a project reconstructing a water system, Section 51.18 of the municipal code requires that owners of existing lead or galvanized water service lines be informed of the existence of a lead or galvanized water service line and the owner's responsibility to replace the line at the owner's expense;

WHEREAS, the City is required to provide advanced notice to property owners with existing lead or galvanized service lines informing them of their options to contract with a licensed contractor to complete the replacement or have the City's contractors complete the replacement;

WHEREAS, plans and specifications for the installation of new curb and gutter on N. Wisconsin Street and Washington Street, new sidewalks on Davis Street, and reconstruction of the water system on N. Wisconsin Street, Washington Street, and Davis Street have been prepared;

WHEREAS, after reviewing said plans and specifications, it appears to the Common Council that certain property owners will be benefited by the installation of new curb and gutter and new sidewalks within the project area and certain customers will be required to replace their lead or galvanized water service lines;

WHEREAS, the City is authorized by Wis. Stat. sec. 66.0703 to levy special assessments against those property owners benefited by the installation of new curb and gutter, new sidewalks, and who choose to have the City's contractors complete the replacement of lead or galvanized water service lines;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF MINERAL POINT, IOWA COUNTY, WISCONSIN, AS FOLLOWS:

1. In the judgment of this Council, it is expedient and necessary and in the best interest of the City and properties affected thereby that new curb and gutter be installed, new sidewalk be installed, and lead or galvanized water service lines be replaced more specifically described below in accordance with the plans and specifications prepared.

2. The Common Council hereby declares its intention to exercise its police power under Wis. Stat. sec. 66.0703 to levy special assessments upon property within the following area:

All property within the City Limits of Mineral Point fronting upon the east and west sides of N. Wisconsin Street from its intersection with Washington Street to its intersection with Mineral Street,

All property within the City Limits of Mineral Point fronting upon the north and south sides of Washington Street from its intersection with N. Wisconsin Street to its intersection with Pine Street, and

All property within the City Limits of Mineral Point fronting upon the north and south sides of Davis Street from its intersection with Pine Street to its intersection with Chestnut Street,

for benefits conferred upon such property by the installation of new curb and gutter, new sidewalks, and upon properties that choose to have the City's contractor complete the replacement of lead or galvanized water service lines in said area and for the health, safety and general welfare of the municipality and its inhabitants.

3. This public improvement shall include the installation of new curb and gutter, new sidewalk, and replacement of lead or galvanized water service lines in accordance with the plans and specifications prepared by the City's Engineers, incorporated into this resolution as Exhibit A.

4. The total amount assessed against the properties in the described assessment district shall not exceed the total cost of the improvements.

5. Upon completion of the Project, the Engineer shall prepare a final report in the manner prescribed by law. The report shall contain a statement of the final cost of the improvements and a schedule of the proposed assessments.

6. Upon completion of the report, the City Clerk shall file the same and shall cause notice to be given stating the nature of the proposed improvement, the general boundary lines of the proposed assessment district, the time and place at which the report may be inspected and the time and place of the public hearing on the matters contained in the preliminary resolution and the report, unless the public hearing is waived by all of the owners of the property affected by this assessment. This notice shall be published as a Class 1 notice under ch. 985, Stats, and a copy shall be mailed at least 10 days prior to the date

that the final resolution shall be considered to every interested party whose address is known or can be ascertained with reasonable diligence.

7. It is hereby declared by this Council that this Council intends to levy 50% of the cost of the installation of new curb and gutter, 50% of the cost of the installation of new sidewalk, and the full cost of the replacement of lead or galvanized water service lines against the property identified above.

8. The assessment payment plan will be determined by the council as part of their final resolution to exercise assessment.

9. The hearing shall be held at City Hall/Community Room located at 137 High Street, Suite 1, Mineral Point, Wisconsin 53565 at a time and date set by the clerk in accordance with Sec. 66.0703(7), Wis. Stats.

Adopted and approved this 13th day of May 2025.

CITY OF MINERAL POINT

Danny Clark, Mayor

ATTEST:

Christy Skelding, City Clerk-Treasurer

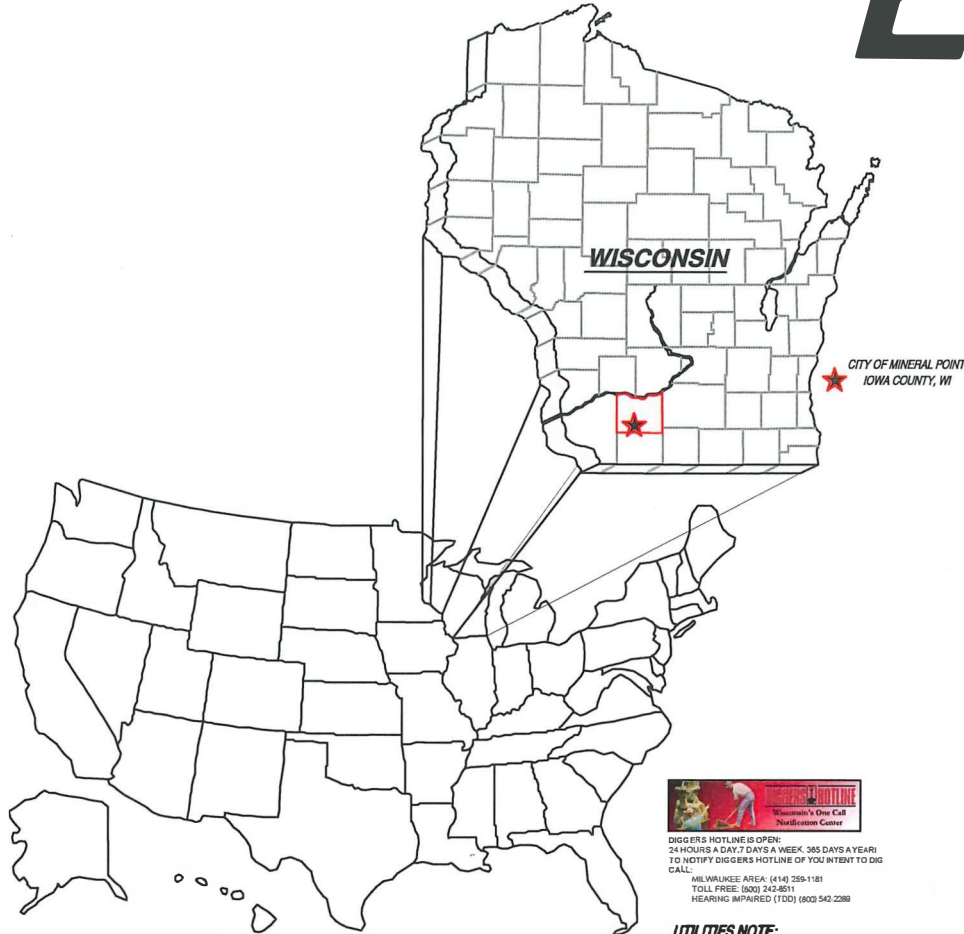
It was moved by _____ and seconded by _____
that the foregoing resolution be adopted. Upon roll call vote,
the following voted Aye: _____

The following voted No: _____
The Mayor declared the resolution adopted.

EXHIBIT A

PROPOSED 2025 INFRASTRUCTURE IMPROVEMENTS - MINERAL POINT

OWNER: CITY OF MINERAL POINT

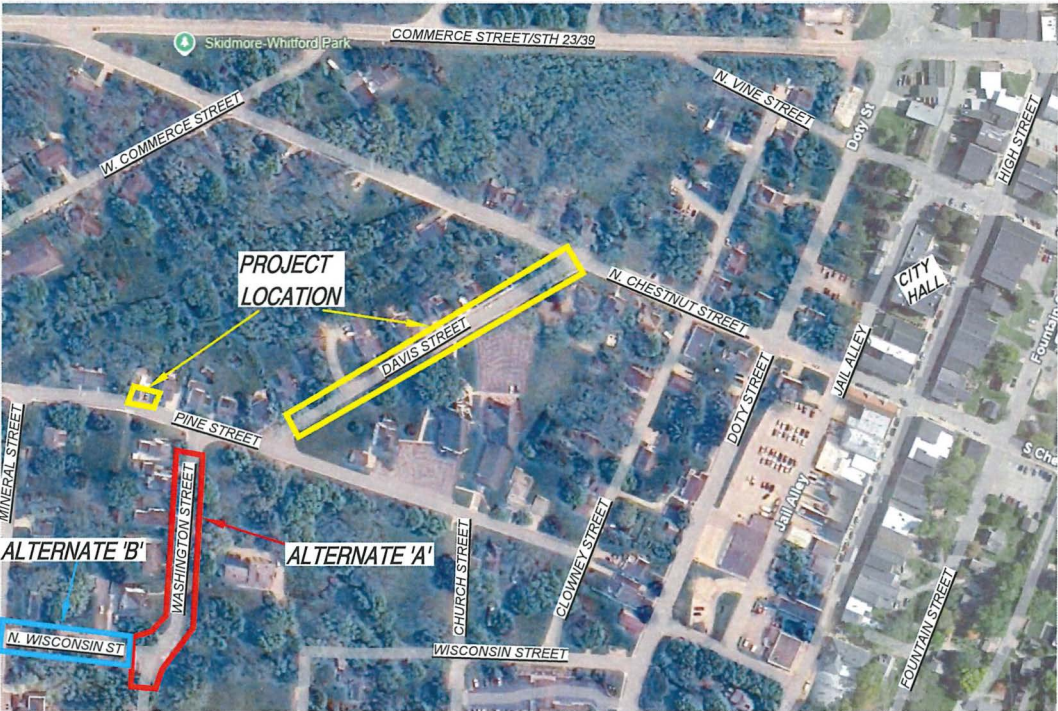


DIGGERS HOTLINE IS OPEN:
24 HOURS A DAY 7 DAYS A WEEK, 365 DAYS A YEAR
TO NOTIFY DIGGER HOTLINE OF YOUR INTENT TO DIG
CALL:
MILWAUKEE AREA: (414) 259-1181
TOLL FREE: (800) 242-8611
HEARING IMPAIRED: (712) (800) 542-2289

UTILITIES NOTE:
THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THE PLAN HAVE BEEN OBTAINED BY FIELD CHECKS, A UTILITY LOCATE THROUGH DIGGER HOTLINE, AND SEARCHES OF AVAILABLE RECORDS. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT, BUT THE SURVEYOR DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHOULD VERIFY LOCATIONS WITH THE UTILITY COMPANIES AND THE OWNER PRIOR TO STARTING ANY EXCAVATION.

SHEET INDEX:

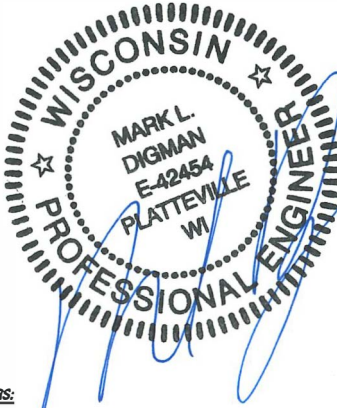
SHEET TITLE:	SHEET DESCRIPTION:	DATE OF ISSUE:	DATE OF REVISION:
G000	TITLE SHEET & PROJECT LOCATION MAP	MARCH 24, 2025	*
G001	LEGEND & GENERAL NOTES	MARCH 24, 2025	*
C101	PLAN & PROFILE - N. WISCONSIN STREET - ALTERNATE 'B'	MARCH 24, 2025	*
C102	PLAN & PROFILE - WASHINGTON STREET - ALTERNATE 'A'	MARCH 24, 2025	*
C103 - C104	PLAN & PROFILE - DAVIS STREET	MARCH 24, 2025	*
C105	PLAN VIEW - INTERSECTION GRADING	MARCH 24, 2025	*
C201	DETAILS - TRAFFIC CONTROL, MAP, AND NOTES	MARCH 24, 2025	*
C202	DETAILS - EROSION CONTROL & NOTES	MARCH 24, 2025	*
C203	DETAILS - EROSION CONTROL MAP	MARCH 24, 2025	*
C204	DETAILS - WATER SYSTEM	MARCH 24, 2025	*
C205	DETAILS - STORM SEWER & TABLES	MARCH 24, 2025	*
C206	DETAILS - STREET	MARCH 24, 2025	*
C207	DETAILS - ADA & TYPICAL CROSS-SECTIONS	MARCH 24, 2025	*
C301	CROSS-SECTIONS - N. WISCONSIN STREET - ALTERNATE 'B'	MARCH 24, 2025	*
C302 - C303	CROSS-SECTIONS - WASHINGTON STREET - ALTERNATE 'A'	MARCH 24, 2025	*
C304 - C306	CROSS-SECTIONS - DAVIS STREET	MARCH 24, 2025	*



PROJECT LOCATION MAP
SCALE: N.T.S.

PROJECT INFORMATION:

OWNER: CITY ADMINISTRATOR MR. MATTHEW HONER CITY OF MINERAL POINT 137 HIGH STREET, SUITE 1 MINERAL POINT, WI 53655 (608) 987-2361	OWNER: CLERK-TREASURER MS. CHRISTY SKELDING CITY OF MINERAL POINT 137 HIGH STREET, SUITE 1 MINERAL POINT, WI 53655 (608) 987-2361	WATER AND SANITARY SEWER UTILITIES: CITY OF MINERAL POINT MR. NATE FOSBINDER 137 HIGH STREET, SUITE 1 MINERAL POINT, WI 53655 OFFICE: (608) 987-8088 CELL: (608) 574-2108	STREETS AND STORM SEWERS: CITY OF MINERAL POINT 137 HIGH STREET, SUITE 1 MINERAL POINT, WI 53655 (608) 987-2361
TELEPHONE UTILITY: FRONTIER CONSTRUCTION DETAILER MR. JERRY MOORE 100 COMMUNICATIONS DRIVE SUN PRAIRIE, WI 53590 CELL: (608) 742-9507	CABLE TELEVISION UTILITY: CHARTER COMMUNICATIONS MR. NEIL HUNTAMER 2701 DANIELS STREET MADISON, WI 53718 CELL: (608) 219-1321	ELECTRICAL & NATURAL GAS UTILITIES: ALLIANT ENERGY MR. CHAD NOVAK 480 SHAKERAG STREET MINERAL POINT, WI 53655 CELL: (608) 574-1037	



ENGINEER:
DELTA 3
EAST WALES, OHIO
PROFESSIONAL CIVIL, MECHANICAL, & STRUCTURAL ENGINEERING
CIVIL, MECHANICAL, & STRUCTURAL ENGINEERING
875 SOUTH CHESTNUT STREET
MADISON, WISCONSIN 53718
PHONE: (608) 348-5355
FAX: (608) 348-5355
888 JACKSON STREET
MADISON, WI 53701
PHONE: (608) 542-9025

FOR QUESTIONS
REGARDING THIS PROJECT,
PLEASE CONTACT:
MARK DIGMAN, P.E.
DELTA 3 ENGINEERING, INC.
TELEPHONE: (608) 348-5355

CONSENT STATEMENT
ALL RIGHTS RESERVED, AND NO
REPRODUCTION WITHOUT CONSENT. ALL
DRAWINGS, SPECS., REPORTS, DATA, AND
OTHER DOCUMENTS CONTAINED ON THIS
PLAN SHEET ARE CREATED BY AND FOR
DELTA 3 ENGINEERING AND THEIR
CLIENTS' USE. USE, REPRODUCTION, OR
DISTRIBUTION OF ANY CONTENT HEREIN,
IN ANY FORM, WHETHER PRINTED,
ELECTRONIC, OR OTHERWISE, REQUIRES
THE EXPLICIT WRITTEN PERMISSION OF
THE OWNER.

PROPOSED 2025 INFRASTRUCTURE
IMPROVEMENTS - MINERAL POINT
MINERAL POINT, WISCONSIN
PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET
OWNER: CITY OF MINERAL POINT, 137 HIGH STREET, SUITE 1, MINERAL POINT, WI 53655

REVISIONS:	NO.	DATE	DESCRIPTION
AS-BUILT:	1	3/24/2025	

FOR BID	
PROJECT NUMBER	023-205
SHEET SCALE	NOT TO SCALE
DRAWN BY	C. COYIER
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	TITLE SHEET & PROJECT LOCATION MAP

LEGEND

EX. CON. MANHOLE

EX. ECC. MANHOLE

EX. LIFT STATION

EX. CLEAN OUT

EX. FIRE HYDRANT

EX. WATER SERVICE

EX. WATER VALVE

EX. YARD HYDRANT

EX. CATCH BASIN

EX. STORM INLET

EX. NATURAL GAS VALVE

EX. NATURAL GAS METER

EX. POWER POLE

EX. LIGHT POLE

EX. WARNING SIREN

EX. TEL. PEDESTAL

EX. MAILBOX

EX. LP TANK

EX. SATELLITE DISH

EX. POST OR POLE

EX. STREET SIGN

EX. EVERGREEN TREE

EX. DECIDUOUS TREE

EX. TREE STUMP

EX. BUSH/SHRUB

EX. TREE/BRUSH LINE

EX. WINDMILL

EX. PARK BENCH

EX. BENCHMARK

SURVEY CONTROL POINT

EX. PROPERTY PIN

RIGHT-OF-WAY

PROPERTY LINE

EASEMENT

EX. SAN. S. LATERAL

EX. 6" SAN. S. MAIN

EX. 8" SAN. S. MAIN

EX. 10" SAN. S. MAIN

EX. 12" SAN. S. MAIN

EX. 15" SAN. S. MAIN

EX. FLOW DIRECTION

EX. CAPPED SERVICE

EX. WATER SERVICE

EX. 4" WATER MAIN

EX. 6" WATER MAIN

EX. 8" WATER MAIN

EX. 10" WATER MAIN

EX. 12" WATER MAIN

EX. <12" STORM SEWER

EX. 12" STORM SEWER

EX. 15" STORM SEWER

EX. 18" STORM SEWER

EX. 24" STORM SEWER

EX. 27" STORM SEWER

EX. 30" STORM SEWER

EX. 36" STORM SEWER

EX. 42" STORM SEWER

EX. 48" STORM SEWER

EX. CURB AND GUTTER

EX. U.GRD N. GAS UTILITY

EX. U.GRD ELECTRIC UTILITY

EX. U.GRD CABLE TV UTILITY

EX. U.GRD TELEPHONE UTILITY

EX. FENCE

EX. RAILROAD TRACKS

EX. CONTOUR

EX. DRAINAGE SWALE

PROP. SANITARY SEWER LATERAL

PROP. <6" SANITARY SEWER MAIN

PROP. 6" SANITARY SEWER MAIN

PROP. 8" SANITARY SEWER MAIN

PROP. 10" SANITARY SEWER MAIN

PROP. 12" SANITARY SEWER MAIN

PROP. 15" SANITARY SEWER MAIN

PROP. 18" SANITARY SEWER MAIN

PROP. CIPP LINER

PROP. FLOW DIRECTION

PROP. WATER SERVICE

PROP. <4" WATER MAIN

PROP. 4" WATER MAIN

PROP. 6" WATER MAIN

PROP. 8" WATER MAIN

PROP. 10" WATER MAIN

PROP. 12" WATER MAIN

PROP. 15" WATER MAIN

PROP. <12" STORM SEWER

PROP. 12" STORM SEWER

PROP. 15" STORM SEWER

PROP. 18" STORM SEWER

PROP. 24" STORM SEWER

PROP. 30" STORM SEWER

PROP. 36" STORM SEWER

PROP. 48" STORM SEWER

PROP. CURB AND GUTTER

PROP. CURB BACK OPENING

PROP. U.GRD GAS UTILITY

PROP. U.GRD ELECTRIC UTILITY

PROP. U.GRD CABLE TV UTILITY

PROP. U.GRD TELEPHONE UTILITY

PROP. U.GRD FIBER OPTIC UTILITY

PROP. OVERHEAD ELECTRIC

PROP. CROSSING OF N. GAS UTILITY

PROP. UTILITY POLE

PROP. LIGHT POLE

PROP. FENCE

TEMPORARY EASEMENT

CONSTRUCTION EASEMENT

ESTIMATED DISTURBANCE LIMITS

PROP. CONTOUR

PROP. DRAINAGE SWALE

PROP. SILT FENCE

PROP. EROSION CONTROL SEDIMENT LOG

PROP. PAVEMENT MARKING

PAINTED TRAFFIC ARROW

ADA PARKING DESIGNATION

PARKING STALL COUNT

RADIUS POINT/SIZE STA. ON CENTERLINE

PROP. HANDICAP RAMP WITH DETECTABLE WARNING FIELD

SOIL BORING LOCATION

RIVER FLOW DIRECTION

PROP. 4" DIA. SANITARY MANHOLE

PROP. 5" DIA. SANITARY MANHOLE

PROP. MANHOLE CHIMNEY REHABILITATION / TOP ADJUSTMENT

PROP. SANITARY LIFT STATION

PROP. TYPE "X" CURB & GUTTER

PROP. REVERSE-PITCH CURB & GUTTER

PROP. HOT MIX ASPHALT PAVEMENT (DRIVEWAY)

PROP. 4" CONCRETE SIDEWALK

PROP. 6" CONCRETE PAVEMENT

PROP. 8" CONCRETE PAVEMENT

PROP. GRAVEL SHOULDER / DRIVEWAY

EROSION MATTING (MILD SLOPES)

EROSION MATTING (STEEP SLOPES)

PROP. REGRADING AND LANDSCAPING

PROP. RIP-RAP

PROP. STORM STRUCTURES - PROFILE

PROP. STORM PIPE(RCP) - PROFILE

PROP. STORM PIPE(CMP OR HDPE) - PROFILE

PROP. SANITARY STRUCTURE - PROFILE

PROP. WATER MAIN PIPE - PROFILE

PROP. CLAY LINER - PROFILE

PROP. SANITARY SEWER FORCE MAIN - PROFILE

PROP. SPOT REPAIR - PROFILE / PLAN VIEW

PROP. CASING PIPE - PROFILE

PROP. CLEARING AND GRUBBING

PROP. BUILDING REMOVAL

PROP. SIDEWALK REMOVAL

PROP. PRESSURE-REDUCING VALVE STATION

PROP. FIRE HYDRANT

PROP. WATER SERVICE

PROP. WATER SERVICE WITH VALVE BOX SLEEVE

PROP. WATER VALVE

PROP. WATER BEND - HORIZONTAL

PROP. WATER BEND - VERTICAL

PROP. WATER BEND <5"

PROP. WATER TEE

PROP. WATER CROSS

PROP. WATER REDUCER

PROP. MJ PLUG

PROP. 4" DIA. STORM MANHOLE

PROP. 5" DIA. STORM MANHOLE

PROP. INLET

PROP. 4" DIA. INLET

PROP. 6" DIA. INLET

PROP. 4" DIA. CATCH BASIN- W/ 2'X3' CASTING

PROP. 5" DIA. CATCH BASIN- W/ 2'X3' CASTING

PROP. 6" DIA. CATCH BASIN- W/ 2'X3' CASTING

PROP. 4'X6' CATCH BASIN W/2'X3' CASTING

PROP. CURB OPENING CASTING

PROP. 2'X3' CATCH BASIN

PROP. ADJUSTED CATCH BASIN TOP

PROP. WISDOT TYPE 8 INLET

PROP. WISDOT TYPE 9 INLET

PROP. CMP ENDWALL

PROP. RCP ENDWALL

KEY NOTES 100 :

100 PROPOSED SILT FENCE FOR EROSION CONTROL.
101 PROPOSED SEDIMENT LOG FOR EROSION CONTROL.
102 PROPOSED TRACKING PAD FOR EROSION CONTROL.
103 RE-GRADE YARD/DITCH LINE (MIN. SLOPE 1.0%).
104 PROPOSED EROSION MAT CLASS I, TYPE B'.
105 INSTALL TYPE 'D' INLET PROTECTION.
106 PROPOSED MAIL BOX RELOCATION.
107 ITEM TO REMAIN.
108 CONTRACTOR TO REMOVE ITEM.
200 PROPOSED SANITARY SEWER [SIZE].
201 NEW SANITARY SEWER LATERAL [SIZE].
202 REPLACE EXISTING SANITARY SEWER LATERAL.
203 RECONNECT EXISTING SANITARY SEWER LATERAL.
204 CONNECTION TO EXISTING SANITARY SEWER PIPE/STRUCTURE.
205 REMOVE EXISTING SANITARY SEWER PIPE /STRUCTURE.
206 REHABILITATE SANITARY MANHOLE; SEE TABLE 'B'.
207 SANITARY SEWER SPOT REPAIR.
208 ABANDON AND CAP EXISTING SANITARY SEWER.
209 ABANDON EXISTING SANITARY SEWER LATERAL.
210 CONTRACTOR TO FIELD VERIFY SANITARY SEWER LATERAL LOCATION/ACTIVITY AND REPLACE ACCORDING TO ENGINEER.
211 REPLACE SANITARY LATERAL W/ CLEAN OUT.
212 REPLACE SANITARY LATERAL - CONNECTION TO EXISTING SANITARY SEWER.
300 PROPOSED WATER MAIN [SIZE].
301 NEW WATER SERVICE [SIZE].
302 REPLACE EXISTING WATER SERVICE WITH 1" WATER SERVICE.
303 RECONNECT EXISTING WATER SERVICE.
304 DIRECTIONAL DRILL PROPOSED WATER SERVICE.
305 CONNECTION TO EXISTING WATER MAIN.
306 EXISTING HYDRANT TO BE REMOVED AND SALVAGED TO OWNER.
307 REMOVE EXISTING WATER MAIN VALVE BOX/STRUCTURE.
308 ADJUST EXISTING WATER MAIN VALVE BOX.
309 ABANDON, DRAIN, & CAP EXISTING WATER MAIN.
310 ABANDON EXISTING WATER SERVICE.
311 CONTRACTOR TO FIELD VERIFY WATER SERVICE LOCATION/ACTIVITY AND REPLACE ACCORDING TO ENGINEER.
312 CONTRACTOR TO PROVIDE 4" POLYSTYRENE INSULATION.
313 HYDRANT DRAIN PORT TO BE PLUGGED DUE TO HIGH WATER TABLE.
400 PROPOSED STORM SEWER [SIZE].
401 CONNECT EXISTING ROOF DRAIN TO CURB OPENING/STRUCTURE.
402 CONNECTION TO EXISTING STORM SEWER PIPE/STRUCTURE.
403 REMOVE EXISTING STORM SEWER PIPE/STRUCTURE.
404 ABANDON & CAP EXISTING STORM SEWER.
405 ADJUST EXISTING STORM STRUCTURE.
406 LARGE RIP RAP OVER FABRIC
407 FIELD VERIFY LOCATION AND DEPTH OF PIPE.
408 REHABILITATE STORM STRUCTURE; SEE TABLE 'E'.
409 PROPOSED CONCRETE FLUME.
410 NEW STORM SEWER LATERAL
411 RECONNECT STORM SEWER LATERAL
500 TREE & STUMP TO BE REMOVED (LESS THEN 12")
501 TREE & STUMP TO BE REMOVED (12" & GREATER)
502 SHRUB TO BE REMOVED.
503 CLEAR AND GRUB BRUSH LINE AS NECESSARY TO COMPLETE CONSTRUCTION. ALL CLEARING TO BE VERIFIED BY PROJECT ENGINEER.
504 REMOVE AND REINSTALL/REPLACE EXISTING LANDSCAPING, FENCE, RETAINING WALL, ETC. (IF NECESSARY).
505 REMOVE EXISTING LANDSCAPING, FENCE, RETAINING WALL, ETC.
506 POLE/PEDESTAL TO BE SECURED BY UTILITY COMPANY DURING CONSTRUCTION.
507 POLE TO BE RELOCATED BY UTILITY COMPANY.
508 GUY WIRE TO BE RELOCATED BY UTILITY COMPANY.
509 PEDESTAL TO BE RELOCATED BY UTILITY COMPANY.
510 UTILITY CONFLICT - TO BE RELOCATED/ADJUSTED BY UTILITY COMPANY.
511 POTENTIAL UTILITY CONFLICT - VERIFY WITH UTILITY COMPANY.
512 CAUTION! - UTILITY CROSSING.
513 PROVIDE AND INSTALL DECORATIVE LANDSCAPE ROCK.
600 REMOVE EXISTING CURB & GUTTER.
601 PROPOSED 24" CONCRETE CURB & GUTTER.
602 PROPOSED 30" CONCRETE CURB & GUTTER.
603 PROPOSED 36" CONCRETE CURB & GUTTER.
604 MATCH TO EXISTING CURB & GUTTER.
605 PROVIDE TYPE 'X' CURB.
606 PROVIDE REVERSE-PITCH CURB & GUTTER.
607 PROVIDE CURB TAPER.
608 REMOVE ASPHALT/CONCRETE/WALL/STEPS/GRAVEL.
609 PROPOSED 4" CONCRETE SIDEWALK.
610 PROPOSED 6" CONCRETE SIDEWALK/DRIVEWAY.
611 PROPOSED 6" CONCRETE PAVEMENT.
612 PROPOSED 8" CONCRETE PAVEMENT.
613 PROPOSED CONCRETE STEPS. STEP RISE HEIGHT AND STEP TREAD DEPTH SHALL MEET APPLICABLE BUILDING CODES. CONTRACTOR SHALL CONFIRM REQUIRED NUMBER OF STEPS WITH PROJECT ENGINEER PRIOR TO INSTALL.
614 PROPOSED GRAVEL SHOULDER.
615 REGRADE EXISTING GRAVEL.
616 PROPOSED GRAVEL DRIVEWAY.
617 REMOVE & REPLACE GRAVEL DRIVEWAY.
618 REMOVE GRAVEL DRIVEWAY & REPLACE WITH BITUMINOUS DRIVEWAY/APRON.
619 REMOVE & REPLACE HMA PAVEMENT.
620 REMOVE & REPLACE HMA PAVEMENT DRIVEWAY.
621 PROPOSED HMA PAVEMENT.

NOTES:

TRAFFIC CONTROL NOTE:
ALL CONTRACTORS MUST CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION. ONE LANE OF TRAFFIC MUST REMAIN OPEN DURING AND AFTER ALL CONSTRUCTION ACTIVITIES FOR EMERGENCY VEHICLE ACCESS.

STREET SIGN NOTE:
CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING, STORING, AND RESETTling ALL PERMANENT SIGNS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING SIGNS UNTIL REMOVED. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL TEMPORARY SIGNS THAT MAY BE REQUIRED.

TRAFFIC SIGN NOTE:
CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC SIGNS FOR ANY TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION. ALL DISTURBED TRAFFIC SIGNS MUST BE REPLACED AND INSTALLED AS PER LOCAL REGULATIONS AT THE COMPLETION OF THE PROJECT.

EROSION CONTROL NOTE:
CONTRACTOR TO INSTALL BACKFILL MATERIAL INTO
THE EXCAVATED TRENCH AS SOON AS POSSIBLE TO
IMPLEMENT EROSION CONTROL.

PROPERTY LINE AND RIGHT-OF-WAY NOTE:
ALL RIGHT-OF-WAYS AND PROPERTY LINES SHOWN
ARE APPROXIMATE AND FOR ILLUSTRATIVE
PURPOSES ONLY. A PROPERTY SURVEY PERFORMED
BY A PROFESSIONAL LAND SURVEYOR SHOULD BE
COMPLETED TO DETERMINE THE ACTUAL PROPERTY
LINE AND RIGHT-OF-WAY LOCATIONS.

MAILBOX RELOCATION NOTE:
CONTRACTOR TO RELOCATE EXISTING MAILBOXES DURING CONSTRUCTION (COORDINATE AND VERIFY WITH LOCAL POSTAL SERVICE ON LOCATION). RESET BEHIND CURB AND GUTTER OR SHOULDER ACCORDING TO THE REQUIREMENTS OF THE LOCAL POSTMASTER UPON COMPLETION OF STREET CONSTRUCTION.

TREE TRIMMING NOTE:
CONTRACTOR TO PROPERLY TRIM ALL TREE
BRANCHES, ROOTS, AND BUSHES DISTURBED DUE TO
SANITARY SEWER, WATER SYSTEM, STORM SEWER,
AND STREET CONSTRUCTION.

TREE REMOVAL NOTE:
CONTRACTOR TO CONTACT ENGINEER OR **OWNER**
FOR VERIFICATION PRIOR TO ANY TREE REMOVAL.

SAW CUT NOTE:
CONTRACTOR TO PROVIDE FULL DEPTH SAW CUTS
AND REPLACE PAVEMENT.

UTILITIES' NOTE:
THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THE PLAN HAVE BEEN OBTAINED BY FIELD CHECKS. A UTILITY LOCATE THROUGH DIGGER'S HOTLINE, AND SEARCHES OF AVAILABLE RECORDS. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT, BUT THE SURVEYOR DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHOULD VERIFY LOCATIONS W/ THE UTILITY COMPANIES AND **OWNER** PRIOR TO STARTING ANY EXCAVATION.

SANITARY SEWER LATERAL NOTE:
THE LOCATION OF EXISTING SANITARY SEWER LATERALS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND STATUS OF EACH SANITARY SEWER LATERAL ENCOUNTERED. ONLY ACTIVE SANITARY SEWER LATERALS SHALL BE CONNECTED TO THE NEW SANITARY SEWER MAIN.

622 MATCH TO EXISTING EDGE PAVEMENT.
623 PROPOSED RESIDENTIAL HMA PAVEMENT DRIVEWAY.
624 PROPOSED COMMERCIAL HMA PAVEMENT DRIVEWAY.
625 REMOVE & REPLACE 4" CONCRETE SIDEWALK.
626 REMOVE & REPLACE 6" CONCRETE SIDEWALK/DRIVEW
627 PROPOSED HANDICAP RAMP WITH - D. WARN. FIELD [S
628 SAW CUT PCC PAVEMENT.
629 SAW CUT HMA PAVEMENT.
630 PROPOSED BITUMINOUS WEDGE CURB.
631 PROPOSED ROAD BASE DRAINAGE SYSTEM.
632 PROPOSED GRASSED GRAVEL SHOULDER.

CASTING NOTE:
ALL EXISTING MANHOLE CASTINGS AND STORM
SEWER CASTINGS TO BE REMOVED AND/OR
REPLACED SHALL BE SALVAGED TO THE **OWNER**.

WATER SYSTEM NOTE:
CONTRACTOR TO SALVAGE EXISTING HYDRANTS TO BE REMOVED TO THE **OWNER**. REMOVE EXISTING HYDRANTS TO A MINIMUM DEPTH OF 4'-0" OR SALVAGE IN WORKING CONDITION (AS SPECIFIED BY THE ENGINEER).

TRACER WIRE NOTE:
TRACER WIRE (12 GAUGE) TO BE INSTALLED WITH
ALL POLYVINYL CHLORIDE (PVC) WATER MAIN.

CABLE-BOND NOTE:
ALL PROPOSED CLASS 52 DUCTILE IRON PIPE WATER
MAIN TO BE CABLE-BOND.

WATER SERVICE NOTE:
CONTRACTOR TO VERIFY STATUS AND LOCATION OF
EACH WATER SERVICE ENCOUNTERED. CONTRACTOR
TO REPLACE ACCORDING TO ENGINEER. ONLY
ACTIVE WATER SERVICES SHALL BE CONNECTED TO
THE NEW WATER MAIN.

GALVANIZED/LEAD WATER SERVICE NOTE:
HOMEOWNER TO REPLACE EXISTING LEAD WATER
SERVICE FROM END OF **CONTRACT #1** TO METER IN
HOUSE. **CONTRACT #1** TO COORDINATE WATER
SERVICE REPLACEMENT WITH HOMEOWNER'S PRIVATE
CONTRACTOR.

SITE RESTORATION NOTE:
CONTRACTOR WILL BE RESPONSIBLE FOR
REPLACEMENT OF ALL DISTURBED PROJECT AREA
COMPONENTS INCLUDING, BUT NOT LIMITED TO,
EXISTING CONCRETE, BITUMINOUS PAVEMENT,
GRAVEL, CULVERTS, WATER AND SANITARY SEWER
SYSTEM COMPONENTS, STORM SEWER SYSTEM
COMPONENTS, TREES, LAWN ORNAMENTS, FENCING,
YARD LANDSCAPING, RETAINING WALLS, MAILBOXES,
AND LANDSCAPE AREAS.

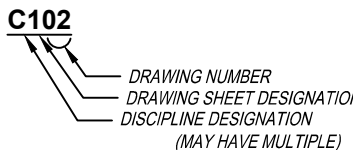
PROPERTY DAMAGES:
THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ADJACENT PROPERTY AND FOR ANY DAMAGE TO THE SITE OR TO ADJACENT PROPERTY INCIDENTAL TO THE CONSTRUCTION ACTIVITIES. AFTER THE COMPLETION OF CONSTRUCTION, ANY AREAS ADJACENT TO THE CONSTRUCTION SITE DAMAGED BY THE CONTRACTOR DURING EXECUTION OF THE CONTRACT SHALL BE RESTORED TO MATCH THE PRECONSTRUCTION CONDITIONS.

<u>DISCIPLINE</u>	<u>DESIGNATION</u>
REMOVAL	R
GENERAL	G
CIVIL	C
LANDSCAPE	L
AQUATIC	AQ
ARCHITECTURAL	A
STRUCTURAL	S
ELECTRICAL	E
INSTRUMENTATION/CONTROLS	N
PROCESS	D
PLUMBING	P
HVAC /MECHANICAL	M

DISCIPLINE DESIGNATORS

<u>TYPE</u>	<u>DESIGNATION</u>
NOTES & SCHEDULES	0
PLANS	1
ELEVATIONS & DETAILS	2
CROSS-SECTIONS	3
DIAGRAMS	4

DRAWING SHEET DESIGNATION



SHEET NUMBER IDENTIFICATION

ENGINEER



**FOR QUESTIONS
REGARDING THIS PROJECT,
PLEASE CONTACT:**

MARK DIGMAN, P.E.
DELTA 3 ENGINEERING, INC.
TELEPHONE: (608) 348-5355

CONSENT STATEMENT

ALL RIGHTS RESERVED, AND NO REPRODUCTION WITHOUT CONSENT. ANY DRAWINGS, SPECS, REPORTS, DATA, AND OTHER DOCUMENTS CONTAINED ON THIS PLAN SHEET ARE CREATED BY AND FOR DELTA 3 ENGINEERING AND THEIR CLIENTS' USE. USE, REPRODUCTION, OR DISTRIBUTION OF ANY CONTENT HEREIN IN ANY FORM, WHETHER PRINTED, ELECTRONIC, OR OTHERWISE, REQUIRE THE EXPLICIT WRITTEN PERMISSION OF THE OWNER.

PROPOSED 2025 INFRASTRUCTURE IMPROVEMENTS - MINERAL POINT

MINERAL POINT, WISCONSIN

PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET
OWNER: CITY OF MINERAL POINT; 137 HIGH STREET, SUITE 1; MINERAL POINT, WI 53565

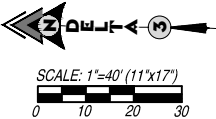
[illegible]

FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	NOT TO SCALE
DRAWN BY	C COVIER
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	LEGEND & GENERAL NOTES

SHEET TITLE:

G001

**SHEET
NUMBER # 02 of 20**



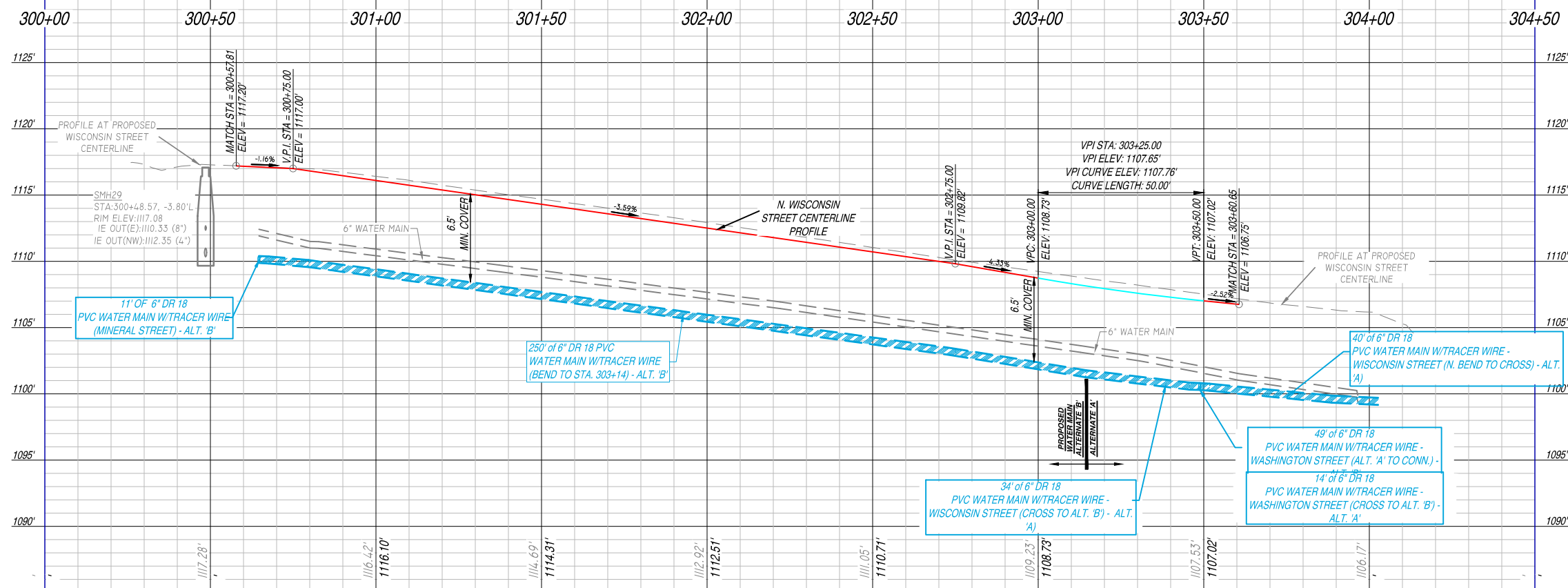
**FOR QUESTIONS
REGARDING THIS PROJECT,
PLEASE CONTACT:**

CONSENT STATEMENT

MINERAL POINT, WISCONSIN

FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	SEE BAR SCALE
DRAWN BY	C. LOHRMANN, C. COYIER
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	PLAN & PROFILE - N. WISCONSIN STREET

SHEET
NUMBER # 03 of 20



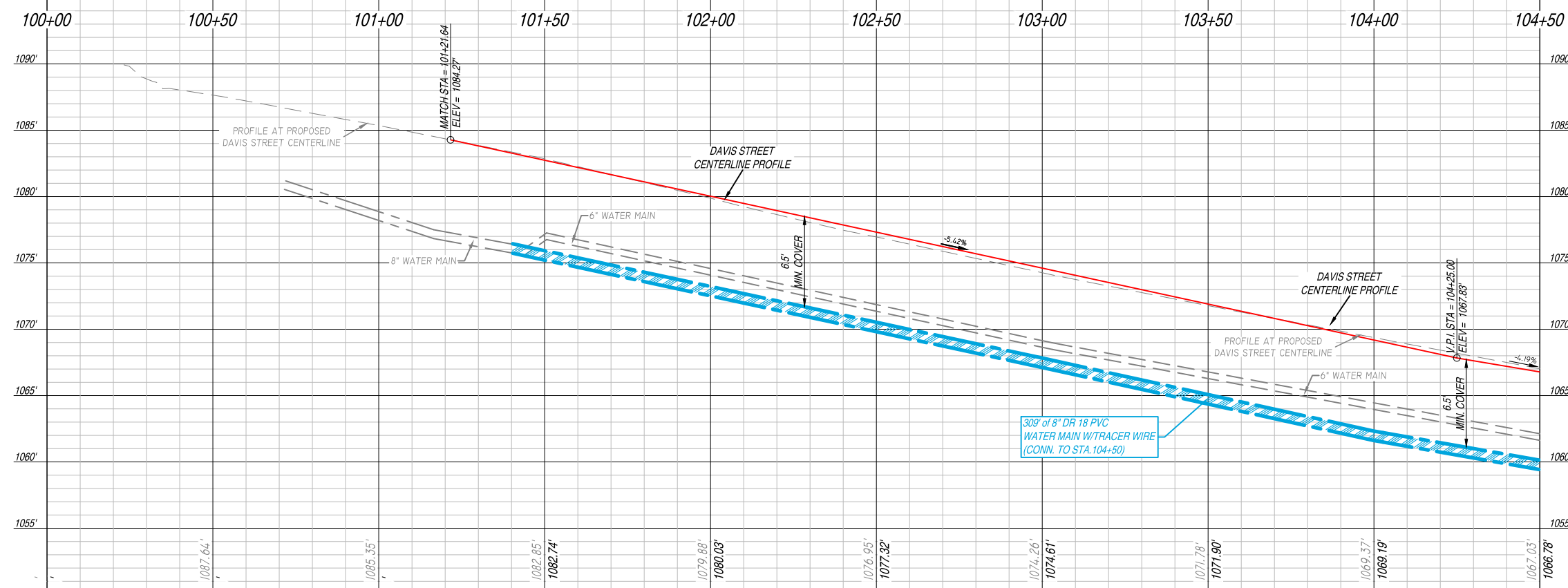


MARK DIGMAN, P.E.
DELTA 3 ENGINEERING, INC.
TELEPHONE: (608) 348-5355

**PROPOSED 2025 INFRASTRUCTURE
IMPROVEMENTS - MINERAL POINT**

MINERAL POINT, WISCONSIN

PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET
OWNER: CITY OF MINERAL POINT; 137 HIGH STREET, SUITE 1; MINERAL POINT, WI 53565

[illegible]

FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	SEE BAR SCALE
DRAWN BY	C. LOHRMANN, C. COYNE
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	PLAN & PROFILE - DAVIS STREET

SHEET TITLE:

C103

**SHEET
NUMBER # 05 of 20**



**FOR QUESTIONS
REGARDING THIS PROJECT,
PLEASE CONTACT:**

MARK DIGMAN, P.E.
DELTA 3 ENGINEERING, INC.
TELEPHONE: (608) 348-5355

CONSENT STATEMENT
ALL RIGHTS RESERVED, AND NO REPRODUCTION WITHOUT CONSENT. ALL DRAWINGS, SPECS., REPORTS, DATA, AND OTHER DOCUMENTS CONTAINED ON THIS PLAN SHEET ARE CREATED BY AND FOR DELTA 3 ENGINEERING AND THEIR CLIENTS' USE. USE, REPRODUCTION, OR DISTRIBUTION OF ANY CONTENT HEREIN IN ANY FORM, WHETHER PRINTED, ELECTRONIC, OR OTHERWISE, REQUIRES THE EXPLICIT WRITTEN PERMISSION OF THE OWNER.

PROPOSED 2025 INFRASTRUCTURE IMPROVEMENTS - MINERAL POINT

MINERAL POINT, WISCONSIN

PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET
OWNER: CITY OF MINERAL POINT; 137 HIGH STREET, SUITE 1; MINERAL POINT, WI 53565

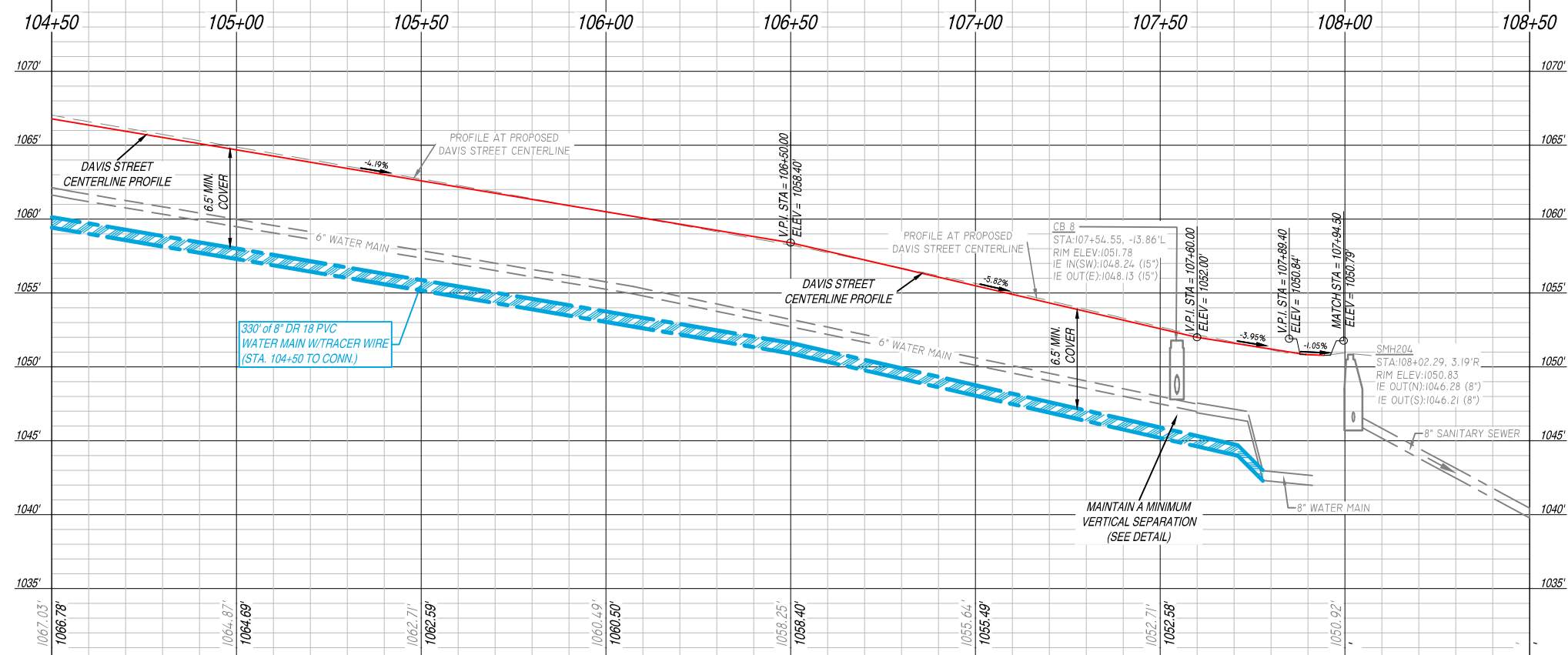
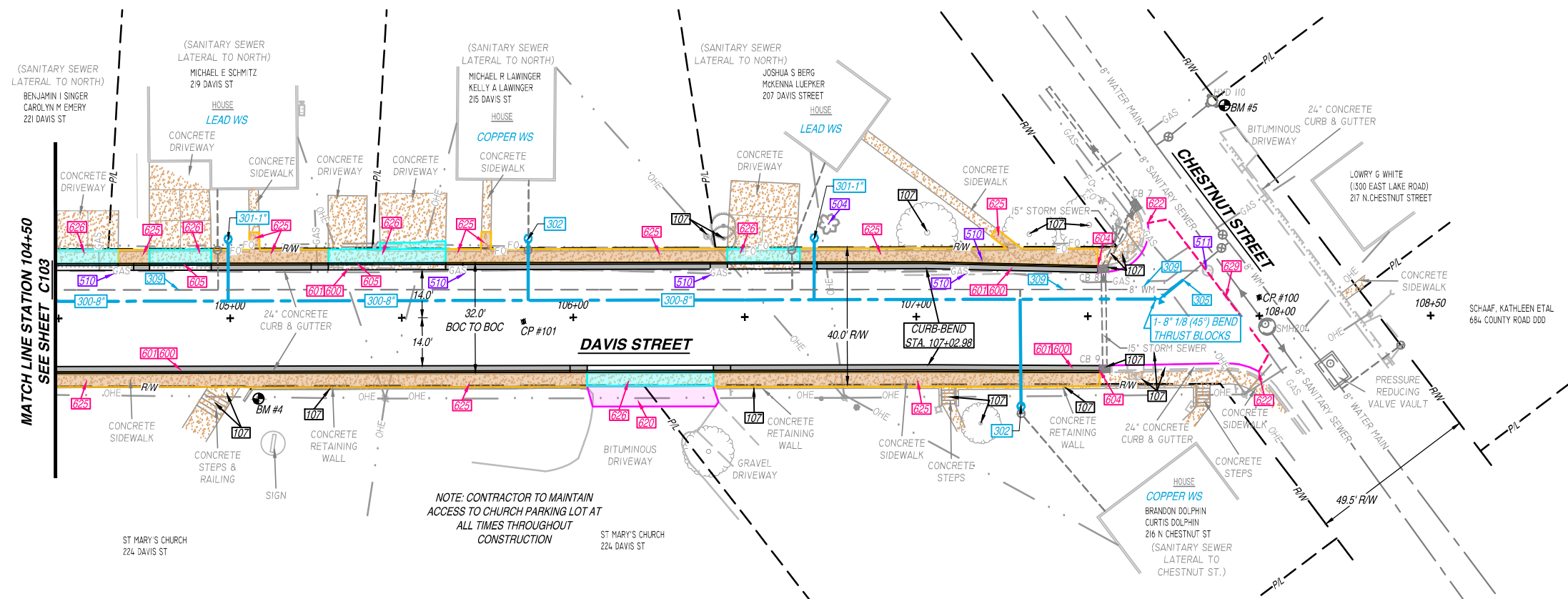
[illegible]

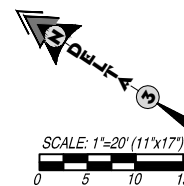
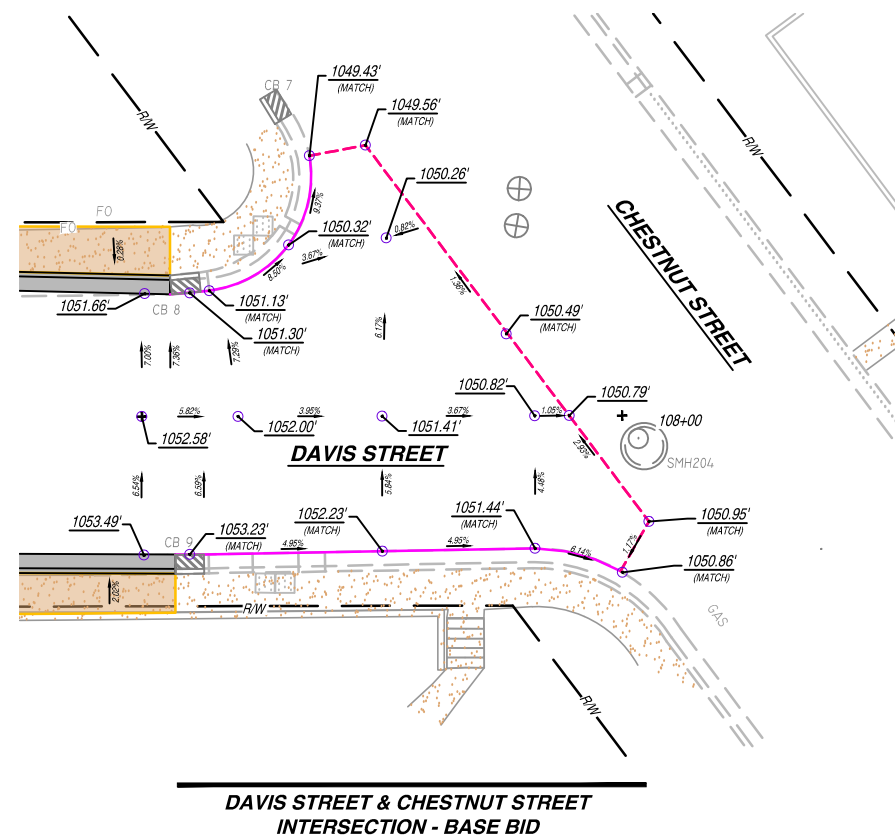
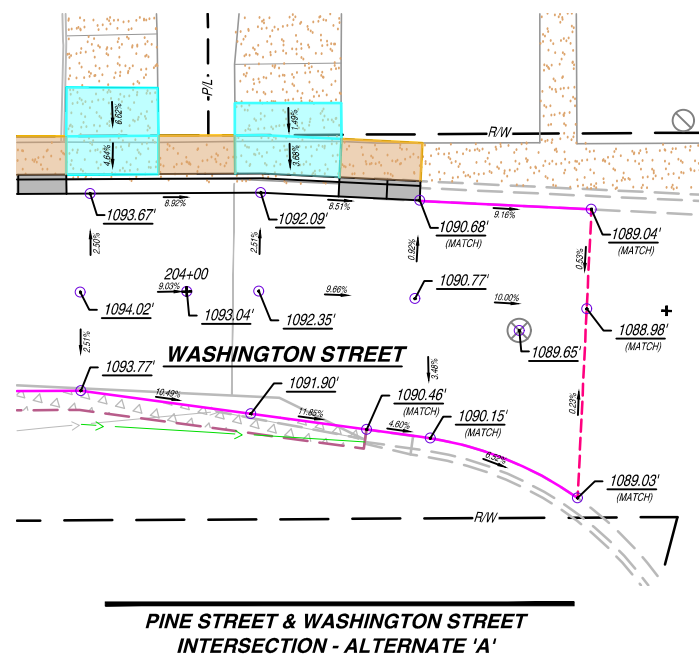
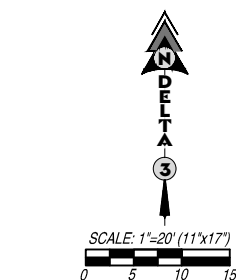
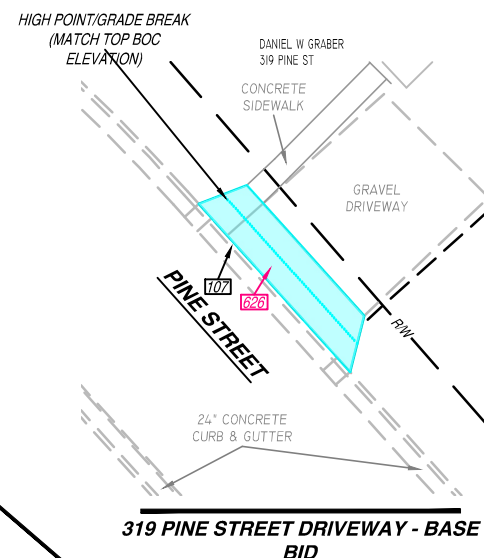
FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	SEE BAR SCALE
DRAWN BY	C.COYIER
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	PLAN & PROFILE - DAVIS STREET

SHEET TITLE:

C104

SHEET
NUMBER 06 of 20





ENGINEER:

 **DELTA 3**
EVERY ANGLE COVERED

PROFESSIONAL CIVIL, MUNICIPAL, & STRUCTURAL ENGINEERING
GRANT WRITING • LAND DEVELOPMENT • PLANNING & CAD SERVICES

875 SOUTH CHESTNUT STREET PHONE: (608) 348-5355
PLATTEVILLE, WISCONSIN 53818

888 JACKSON STREET PHONE: (563) 542-6005
MILWAUKEE, WISCONSIN 53233

**FOR QUESTIONS
REGARDING THIS PROJECT,
PLEASE CONTACT:**

MARK DIGMAN, P.E.
DELTA 3 ENGINEERING, INC.
TELEPHONE: (608) 348-5355

CONSENT STATEMENT
ALL RIGHTS RESERVED, AND NO
REPRODUCTION WITHOUT CONSENT. ALL
DRAWINGS, SPECS., REPORTS, DATA, AND
OTHER DOCUMENTS CONTAINED ON THIS
PLAN SHEET ARE CREATED BY AND FOR
DELTA 3 ENGINEERING AND THEIR
CLIENTS' USE. USE, REPRODUCTION, OR
DISTRIBUTION OF ANY CONTENT HEREIN
IN ANY FORM, WHETHER PRINTED,
ELECTRONIC, OR OTHERWISE, REQUIRES
THE EXPLICIT WRITTEN PERMISSION OF
THE OWNER.

**PROPOSED 2025 INFRASTRUCTURE
IMPROVEMENTS - MINERAL POINT**

MINERAL POINT, WISCONSIN

PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET
OWNER: CITY OF MINERAL POINT; 137 HIGH STREET, SUITE 1; MINERAL POINT, WI 53565

[illegible]

FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	SEE BAR SCALE
DRAWN BY	C. LOHRMANN, C. COYNE
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	PLAN VIEW - INTERSECTION GRADING

SHEET TITLE:

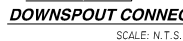
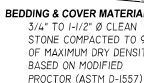
C105

SHEET
NUMBER # 07 of 20

MARK DIGMAN, P.E.
DELTA 3 ENGINEERING, INC.
TELEPHONE: (608) 348-5355

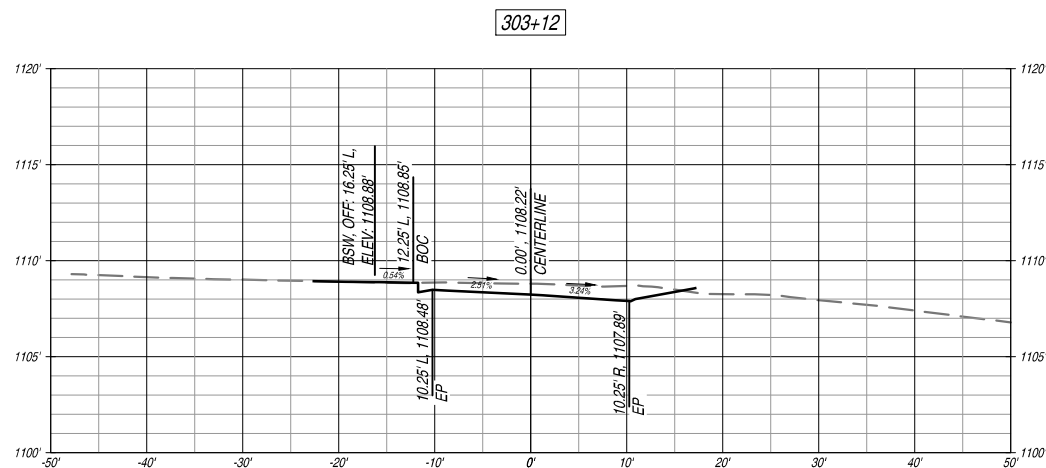
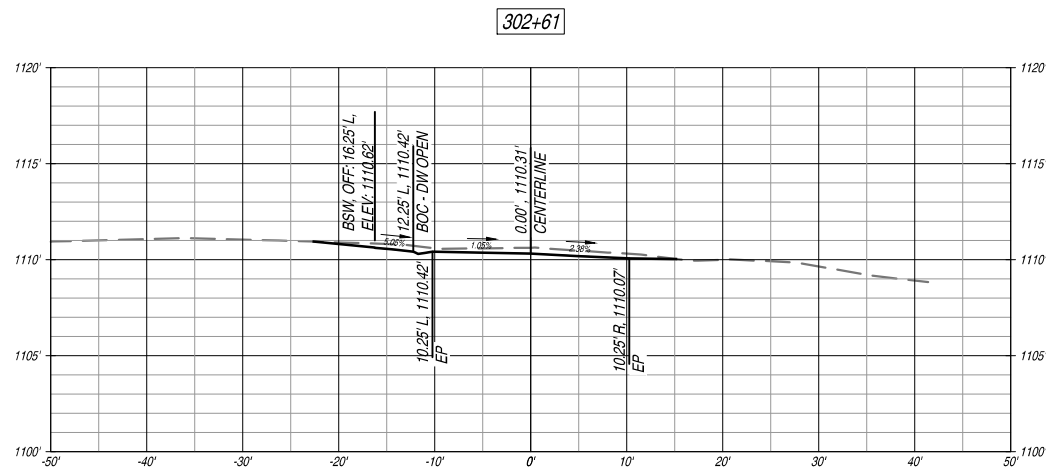
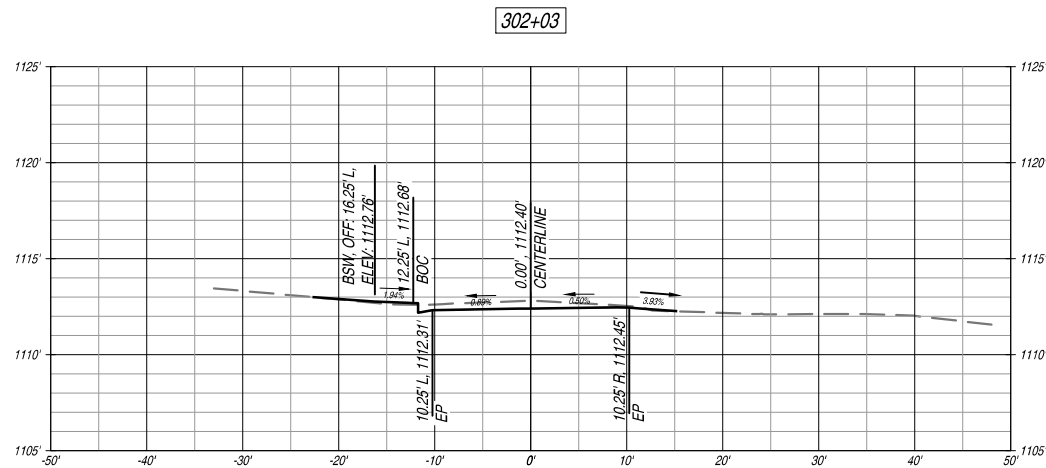
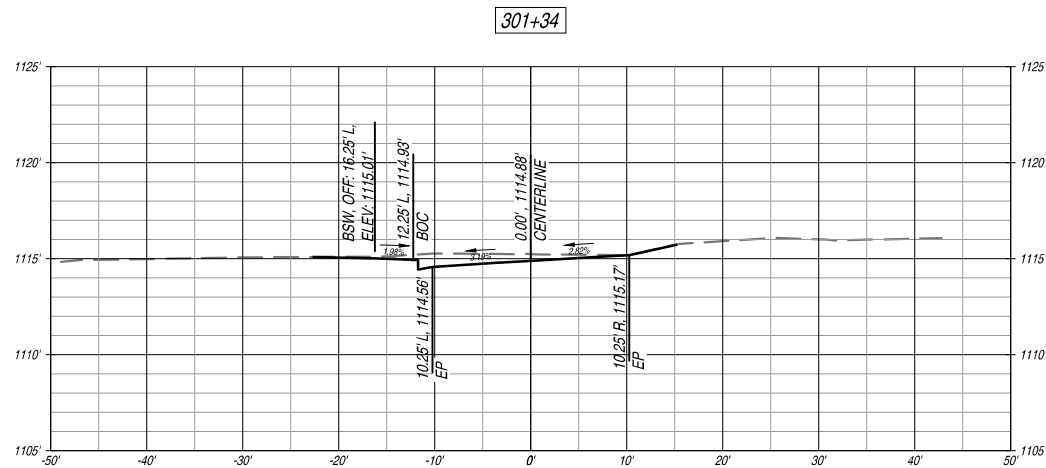
ALL RIGHTS RESERVED, AND NO REPRODUCTION WITHOUT CONSENT. ALL DRAWINGS, SPECS., REPORTS, DATA, AND OTHER DOCUMENTS CONTAINED ON THIS PLAN SHEET ARE CREATED BY AND FOR DELTA 3 ENGINEERING AND THEIR CLIENTS' USE. USE, REPRODUCTION, OR DISTRIBUTION OF ANY CONTENT HEREIN, IN ANY FORM, WHETHER PRINTED, ELECTRONIC, OR OTHERWISE, REQUIRES THE EXPLICIT WRITTEN PERMISSION OF THE OWNER.

**NOTE: CONTRACTOR HAS THE OPTION TO PROVIDE AND INSTALL 7.50' BURY HYDRANTS AND ACHIEVE THE PROPOSED FINISHED FLANGE ELEVATION BY PROVIDING AND INSTALLING EITHER HYDRANT EXTENSIONS OR VERTICAL BENDS.*



C205

**SHEET
NUMBER # 12 of 20**



MINERAL POINT, WISCONSIN

MINERAL POINT, WISCONSIN

PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET

OWNER: CITY OF MINERAL POINT; 137 HIGH STREET, SUITE 1; MINERAL POINT, WI 53565

[illegible]

FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	HORIZ.-1"=10' VERT.-1"=5'
DRAWN BY	C. COYIER
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	CROSS-SECTIONS - WISCONSIN STREET

C301

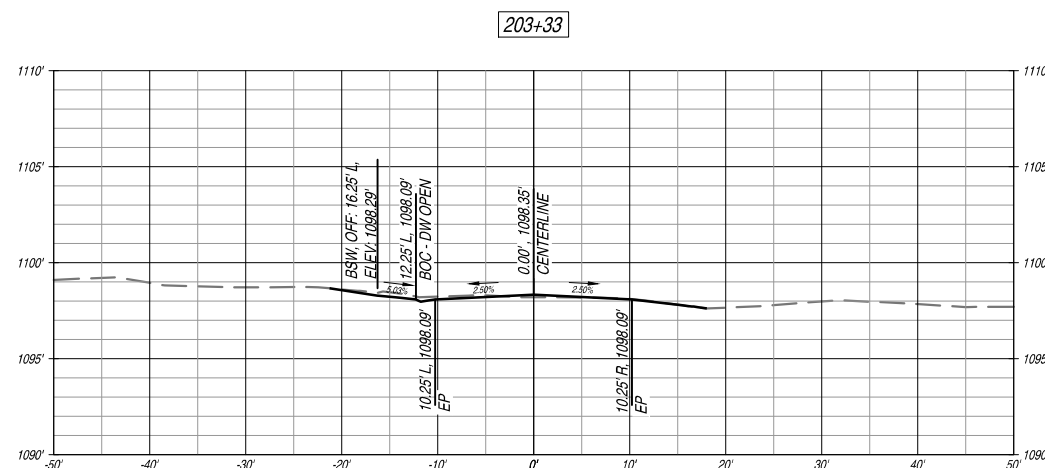
MINERAL POINT CITY, MISSOURI

PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET

OWNER: CITY OF MINERAL POINT; 137 HIGH STREET, SUITE 1; MINERAL POINT, WI 53565

FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	HORIZ.-1"=10' VERT.-1"=5'
DRAWN BY	C. COYIER
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	CROSS-SECTIONS - WASHINGTON STREET

**SHEET
NUMBER # 16 of 20**



MARK DIGMAN, P.E.
DELTA 3 ENGINEERING, INC.
TELEPHONE: (608) 348-5355

ALL RIGHTS RESERVED, AND NO REPRODUCTION WITHOUT CONSENT. ALL DRAWINGS, SPECS, REPORTS, DATA, AND OTHER DOCUMENTS CONTAINED ON THIS PLAN SHEET ARE CREATED BY AND FOR DELTA 3 ENGINEERING AND THEIR CLIENTS' USE. USE, REPRODUCTION, OR DISTRIBUTION OF ANY CONTENT HEREIN, IN ANY FORM, WHETHER PRINTED, ELECTRONIC, OR OTHERWISE, REQUIRES THE EXPLICIT WRITTEN PERMISSION OF THE OWNER.

MINERAL POINT, WISCONSIN

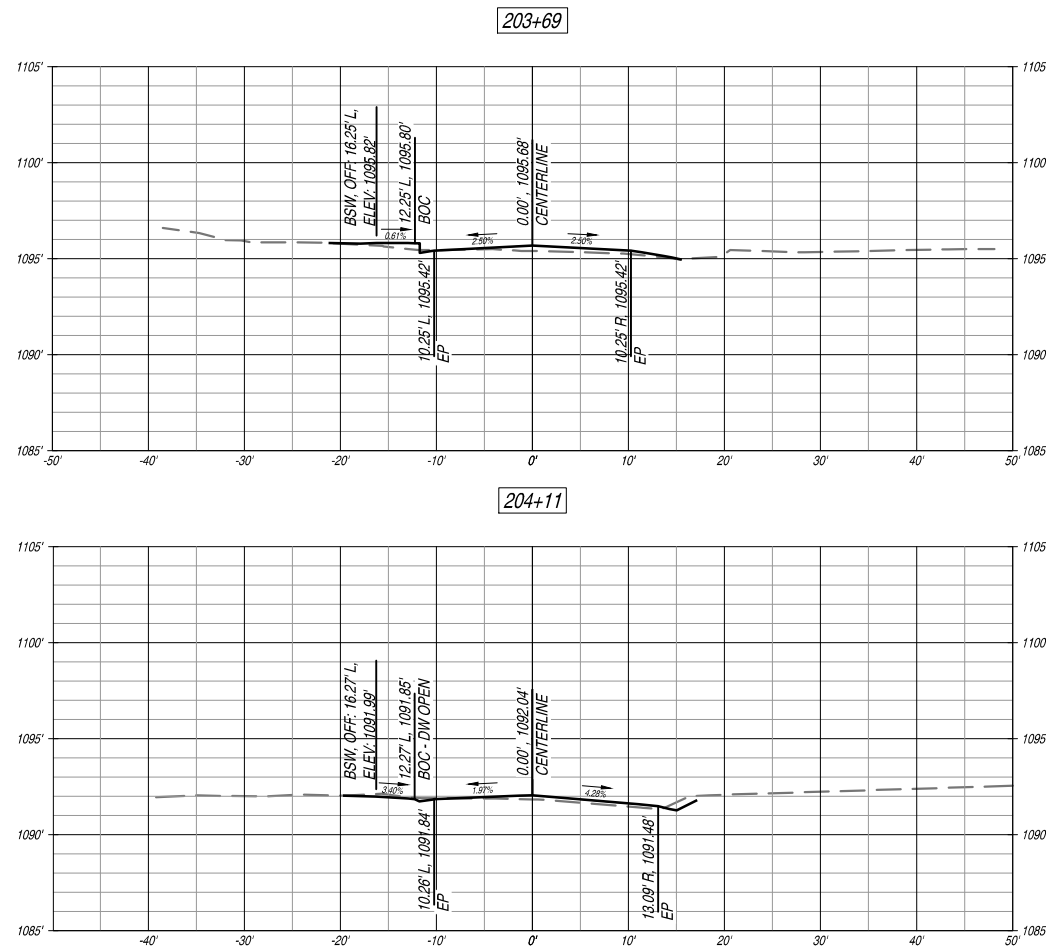
PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET
OWNER: CITY OF MINERAL POINT; 137 HIGH STREET, SUITE 1; MINERAL POINT, WI 53565

[illegible]

FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	HORIZ.-1"=10' VERT.-1"=5'
DRAWN BY	C.COYIER
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	CROSS-SECTIONS - WASHINGTON STREET

C303

**SHEET
NUMBER # 17 of 20**

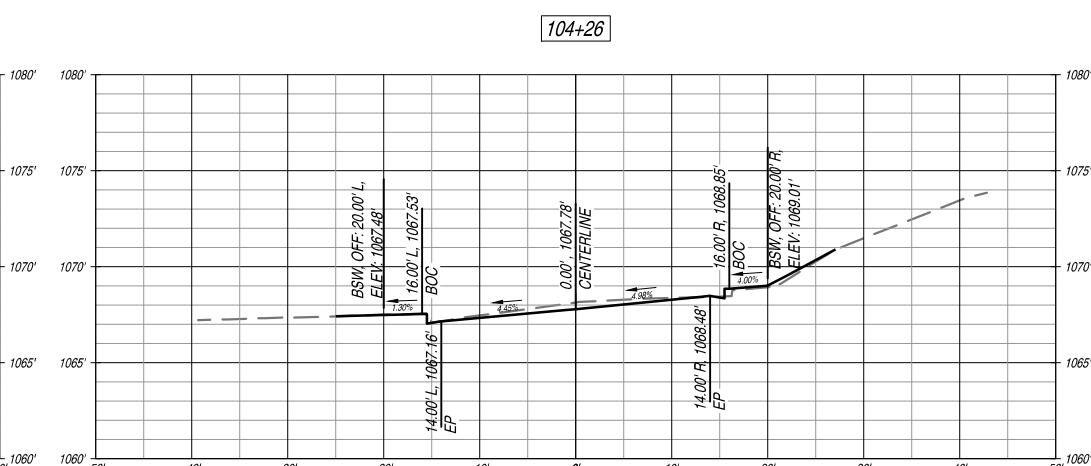
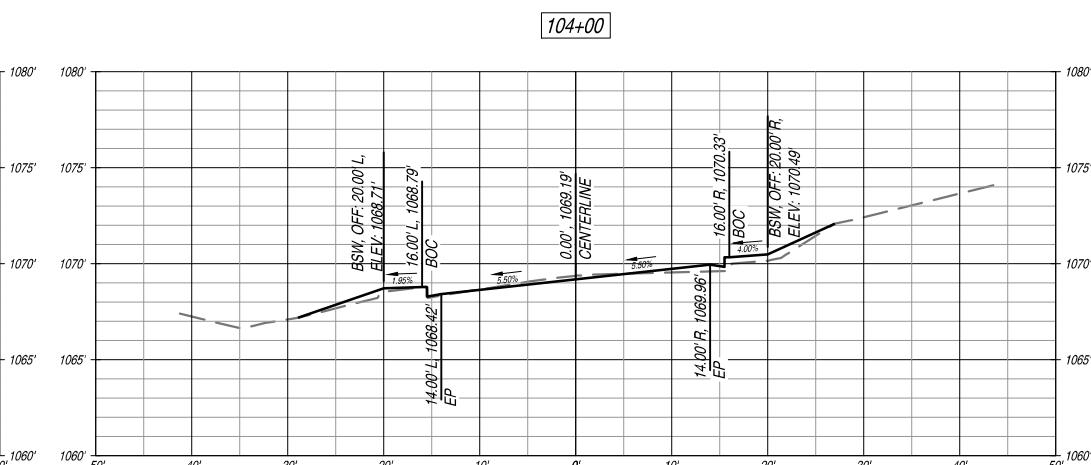
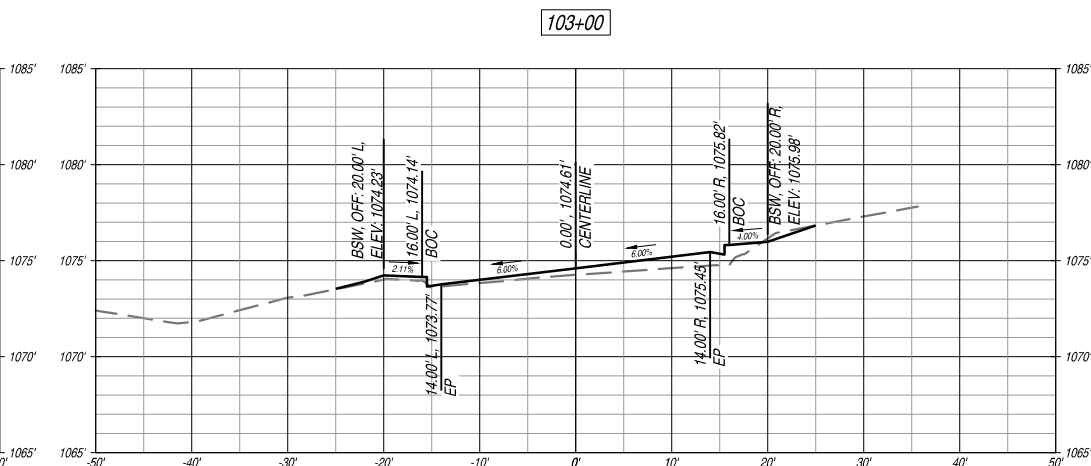
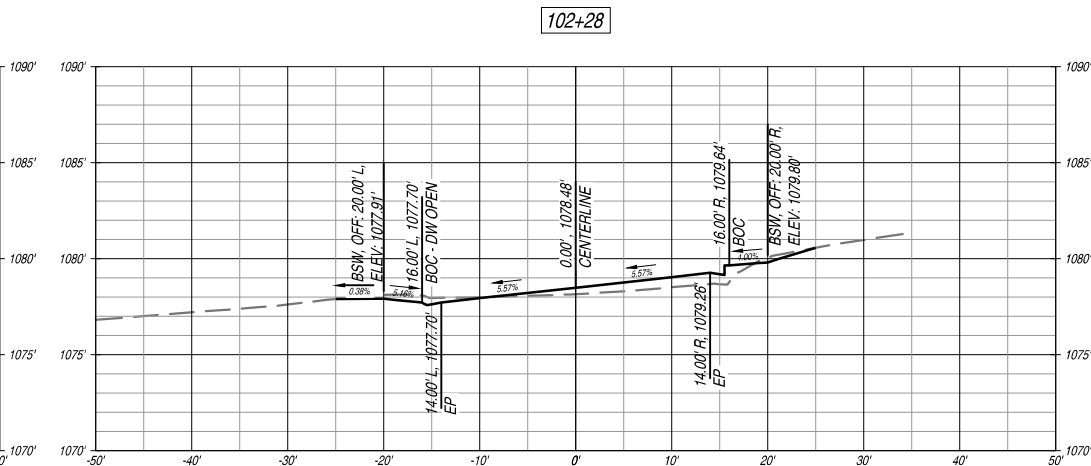


MINERAL POINT, WISCONSIN

PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET
OWNER: CITY OF MINERAL POINT; 137 HIGH STREET, SUITE 1; MINERAL POINT, WI 53565

FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	HORIZ.-1"=10' VERT.-1"=5'
DRAWN BY	C. COYIER
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	CROSS-SECTIONS - DAVIS STREET

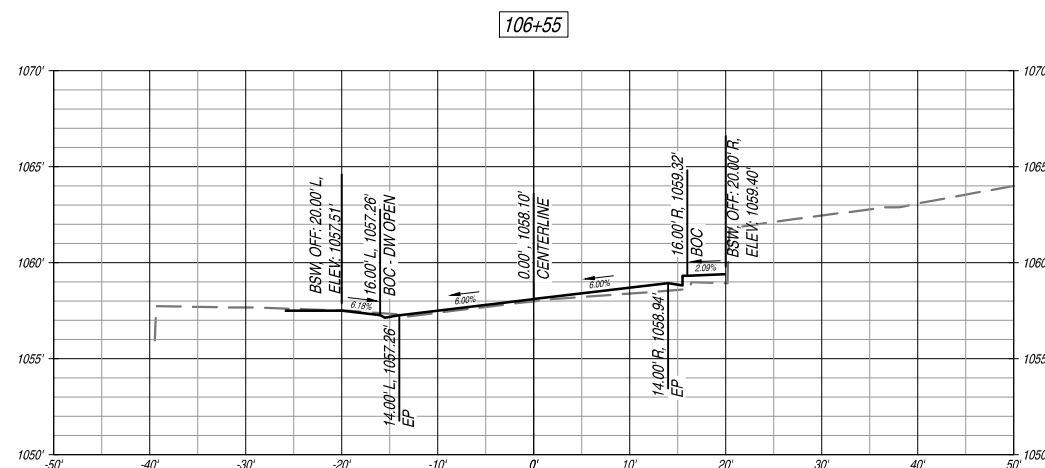
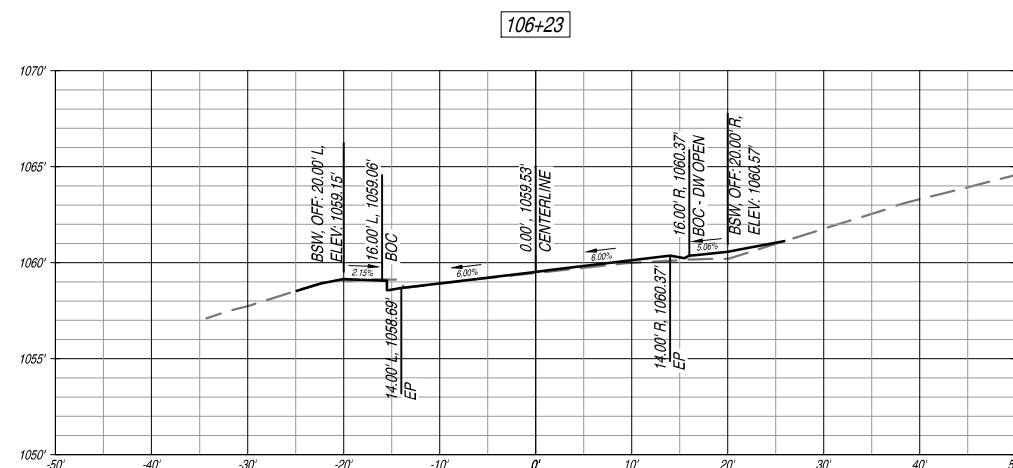
C304

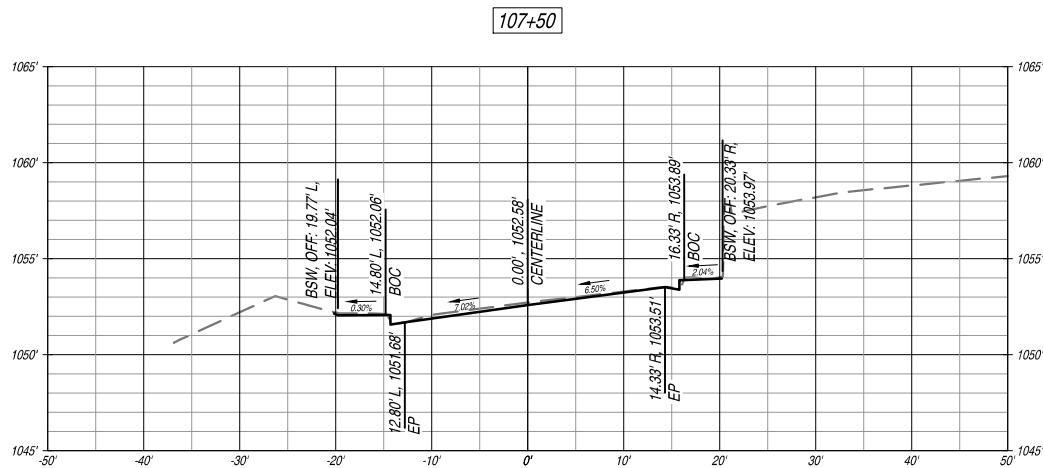


PROJECT LOCATION: DAVIS STREET, WASHINGTON STREET, & N. WISCONSIN STREET
OWNER: CITY OF MINERAL POINT; 137 HIGH STREET, SUITE 1; MINERAL POINT, WI 53565

FOR BID	
PROJECT NUMBER	D23-205
SHEET SCALE	HORIZ.-1"=10' VERT.-1"=5'
DRAWN BY	C. COYIER
DATE ISSUED	MARCH 24, 2025
SHEET DESC.	CROSS-SECTIONS - DAVIS STREET

C305





**SHEET
NUMBER # 20 of 20**

EXHIBIT “A”