



December 17, 2024

Dear Property Owner:

An application has been received by Brian Head Town requesting a Plat Amendment to Lot 14 – Block B and Lot 3 – Block D at Ski Haven Chalet Units A and B (also known as 231 E. Snowman Dr. and 137 S. Snow Shoe Drive in Brian Head, Utah. The Plat amendment will realign the lot lines between the parcels increasing the number of parcels from 2 lots to 3 lots. This may or may not affect your property. Brian Head Town is sending out this notice as per Utah Code Annotated Title 10, Chapter 9a, Part 2 and the Brian Head Land Management Code 9-1-8.

- A. Anyone wishing to review the information on the proposed Plat Amendment may do so at the Brian Head Town Hall during normal business hours of 9:00 a.m. to 4:30 p.m. Monday through Friday.
- B. Anyon wishing to make comments about the proposed Plat Amendment may submit written comments to the Brian Head Deputy Clerk at cclaridge@bhtown.utah.gov or by mail to PO Box 190068, Brian Head, UT 84719 no later than January 6, 2025, by 4:30 p.m.
- C. The Brian Head Planning Commission will hold a Public Meeting at the BRIAN HEAD TOWN HALL COUNCIL CHAMBERS located at 56 North Highway 143, Brian Head, UT 84719 on January 7, 2025, during their regular meeting scheduled to begin at 1:00 p.m. or shortly thereafter.

If you have any questions or should need additional information, please do not hesitate to contact our offices during normal business hours.

Respectfully,
Brian Head Town

Greg Sant
Building and Planning Official
 BRIAN HEAD

Enclosure



STAFF REPORT TO THE PLANNING COMMISSION

SUBJECT: Minor Plat Alterations
AUTHOR: Greg Sant
DEPARTMENT: Planning and Building
DATE: January 7, 2025
TYPE OF ITEM: Administration Action

SUMMARY:

The Planning Commission will review the proposed lot split from 2 lots to 3 lots at Ski Haven Chalet Units A and B, Lot 14 – Block B and Lot 3 – Block D. The existing addresses are 231 E Snowman Dr. and 137 S. Snow Shoe Dr

BACKGROUND:

On November 27, 2024, the staff received an application from JOHN Stark and James Vincent to split 2 existing lots into 3 lots. The existing 2 lots are part of 2 different recorded plats: Ski Haven Chalet Unit A for Lot 3 – Block D and Ski Haven Chalet for Lot 14 – Block B. (See Exhibit A). By vacating these lots out of their plats, they can now be subdivided into 3 lots as shown on the Proposed Ski Haven Chalet Amended Units A and B.

STANDARDS FOR REVIEW:

The following are the Standards for Review for a Minor Plat Alteration:

1. The proposed subdivision and use conform to the Town General Plan, Zoning Regulations, Public Works Standards, Design Standards chapter 12 of this title, and other relevant sections of this title.
2. The proposed method for fire protection complies with this title, and other regulations as applicable.
3. The layout/design is responsive to the constraints of topography, soil types, geologic hazards, watercourses and floodplains, and visual impacts. (amd. ord. 24-014, 10-8-24)
4. Adequate public services are available to meet the needs of the proposed subdivision, including roads, water, sewer, storm water, gas, electric, telecommunications, trails, transit, snow storage areas, police and fire protection, and recreation.
5. Provide evidence to show that there is no encumbrance, lien or conveyance restricting the intended use of the lot.
6. Provide evidence from the County Treasurer that all ad valorem taxes applicable to the property have been paid.
7. Provide signature blocks on the plat signed by a representative of public utilities which identify their approval.

FINDINGS AND ANALYSIS:

1. The proposed amendment to the subdivisions conforms to the Town General Plan and Zoning regulations as outlined in the LMC. All lots will be .45 to .48 acres in size.
2. Fire Protection will not change and complies with all Town regulations.

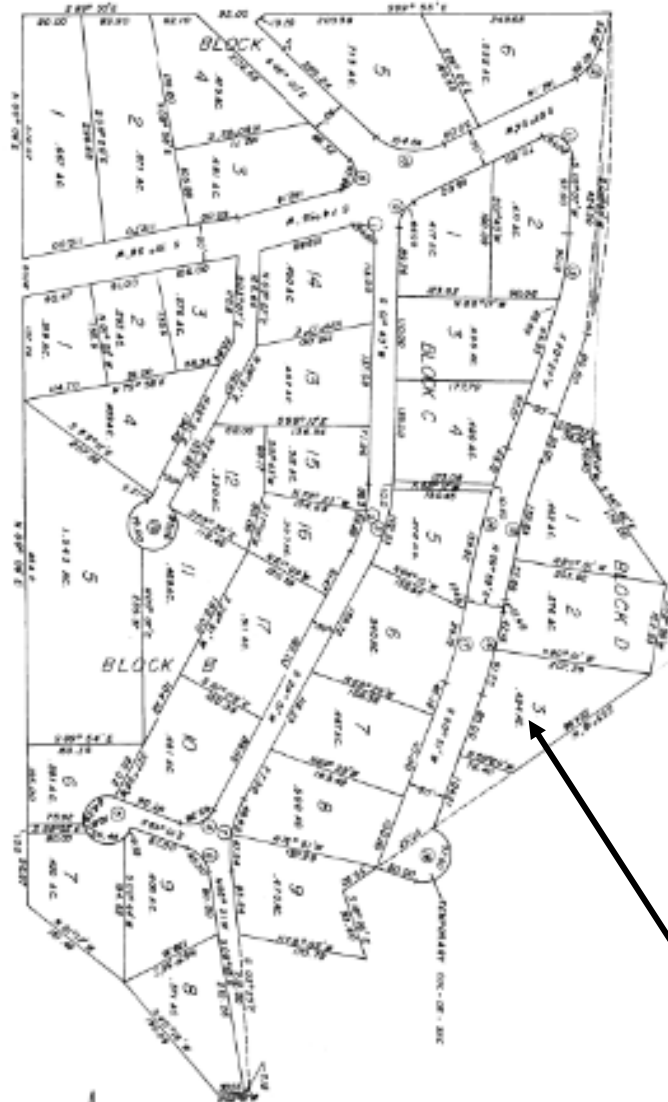
3. The layout and design is responsive to the constraints of topography and geologic hazards.
4. This area is in an SAA that will start in the spring of next year. The new lot is not included in this SAA and the Applicant will need to negotiate with the SAA contractor to install the improvements at the Applicant's cost.
5. There is no incumbrance restricting the intended use of this lot.
6. All property taxes have been paid for 2024.
7. Applicants have worked with the County Recorder as to the best way to handle this alteration since it is spread over 2 plats. The proposed amended plat is attached for review. The Commission shall review signature block to insure that it is correct.

PROPOSED MOTION:

Staff recommends that this plat amendment be approved with the following motion: I move that the Minor Plat Alteration at 231 E. Snowman Dr. and 137 S. Snow Shoe Dr., also know as Ski Haven Chalet Units A and B; Lot 14 – Block B and Lot 3 – Block D be approved per the Findings and Analysis outlined above.

ATTACHMENTS:

- A – Exhibit A
- B – Vacated Lot 3 and 14 plats
- C – Proposed Amended plat for Units A and B



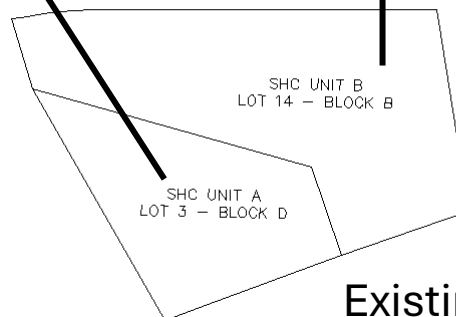
Ski Haven Chalet Unit A



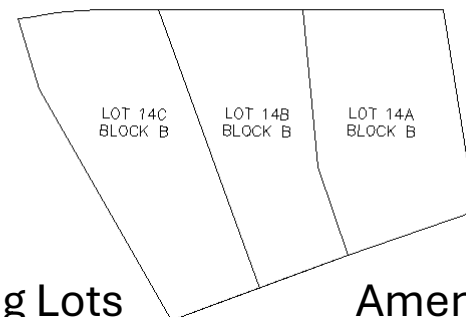
Ski Haven Chalet Unit B

CURRENT LOTS 3D & 14B
Q

LOT LINE ADJUST LOTS 3D & 14B
TO MAKE (3) BUILDABLE PARCELS



Existing Lots



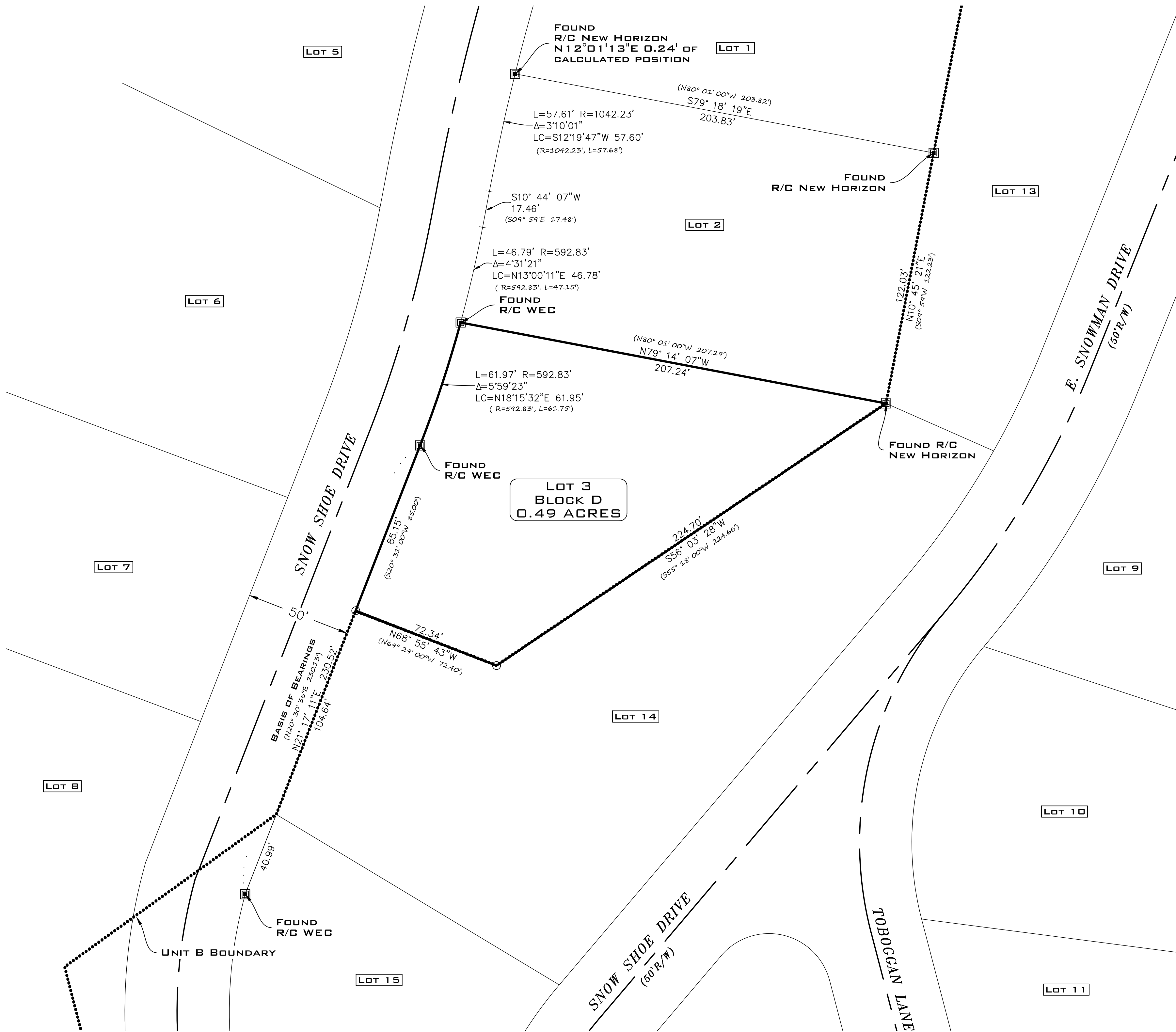
Amended Lots



VACATED LOT 3

SKI HAVEN CHALETS, BLOCK D, UNIT A

WITHIN SECTION 2, TOWNSHIP 36 SOUTH, RANGE 9 WEST, SALT LAKE BASE AND MERIDIAN



NOTES:

THE SHOWN ACREAGE IS THE SURVEYED AREA, NOT THE RECORD.

OWNERSHIP:

JOHN I. STARK, CYNTHIA L. STARK, HUSBAND AND WIFE AS JOINT TENANTS, AS TO AN UNDIVIDED 50% INTEREST AND JAMES VINCENT, TRUSTEE OF THE JAMES VINCENT FAMILY TRUST, DATED NOVEMBER 18, 2021, AS TO AN UNDIVIDED 50% INTEREST.
14008 CASTLEMAINE AVENUE
BAKERSFIELD, CA 93314-9135

AS PART OF THIS SURVEY, RED SANDS GEOMATICS, LLC HAS CONDUCTED FIELD SEARCHES FOR EVIDENCE AND MONUMENTATION. FOUND EVIDENCE AND MONUMENTATION IS REPRESENTED HEREON. DOCUMENTS OF RECORD REVIEWED AND CONSIDERED AS PART OF THIS SURVEY ARE NOTED BELOW. THERE MAY EXIST OTHER EVIDENCE, MONUMENTATION AND DOCUMENTS THAT COULD AFFECT THIS SURVEY. NEW EVIDENCE, MONUMENTATION, OR DOCUMENTS THAT MAY ALTER THE CONCLUSIONS OF THIS SURVEY SHOULD BE PRESENTED TO THE SURVEYOR FOR HIS REVIEW AND CONSIDERATION.

- PLAT:
 - Ski Haven Chalets Unit A, 1968
 - Ski Haven Chalets Unit B, 1970
 - Ski Haven Chalets Unit B Amending Lots 4-8, 2024
- RECORD OF SURVEY:
 - Lot 3, Block D, Unit B, INSITE ENGINEERING, 2008
 - Lot 2, Block D, Unit A, New Horizon. (NOT RECORDED AT TIME OF THIS SURVEY)

- LEGEND
- ABBREVIATIONS LINES SYMBOLS
- SET #5 REBAR & RED PLASTIC CAP MARKED RED SANDS GEOMATICS 12480028 (UNLESS NOTED)
 - FOUND EXISTING CORNER AS DESCRIBED
 - NOTHING SET
 - PROPERTY LINE
 - FENCE LINE
 - ADJACENT PROPERTY LINE
 - STREET CENTER LINE
 - PROPERTY LINE TO BE REMOVED
 - EASEMENT AS DESCRIBED
 - 1/2 SECTION LINE
 - R/C REBAR AND CAP MARKED AS SHOWN
 - P.O.B. POINT OF BEGINNING



SURVEYOR'S CERTIFICATE

I, MICHAEL J STEWART, A PROFESSIONAL LAND SURVEYOR, LICENSE NUMBER 12480028, HOLD THIS LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT AND HAVE COMPLETED THIS PLAT OF THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-27A-608. I CERTIFY THAT I HAVE COMPLETED THE SURVEY SHOWN HEREON IN ACCORDANCE WITH SECTION 17-23-17 AS OUTLINED IN SECTION 17-27A-608(6)(B)(iii)(A), AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE HEREON OWNERS, I HAVE MADE THIS PLAT OF:
"VACATED LOT 3, SKI HAVEN CHALETS, BLOCK D, UNIT A".

MICHAEL J. STEWART UT L.S. 12480028

DATE

SURVEY NARRATIVE

THE PURPOSE OF THIS AMENDED PLAT IS TO VACATE LOT 3 IN PREPARATION TO JOIN SAID LOT WITH LOT 14, BLOCK B, UNIT B, SKI HAVEN CHALETS AND THEN TO SUBDIVIDE THE 2 JOINED LOTS INTO 3 LOTS. THIS AMENDMENT WAS REQUESTED BY THE OWNERS. ALL OTHER LOTS AND DIMENSIONS REMAIN UNCHANGED. I HAVE CONDUCTED A FIELD SURVEY OF THE SHOWN PROPERTY AND HAVE DISCOVERED DIFFERENCES IN RECORDED BEARINGS AND DISTANCES WHICH ARE SHOWN FOR INFORMATIONAL AND RETRACEMENT PURPOSES ONLY. DUE TO THE LEGAL AND CONVEYING CHARACTERISTIC OF A SUBDIVISION PLAT, PRIORITY IS BEING PLACED UPON THE ORIGINAL BEARING AND DISTANCES. IT IS THE INTENT OF THIS AMENDMENT TO ONLY CHANGE THE ABOVE MENTIONED LOTS AND TO LEAVE EVERYTHING ELSE AS IT HAS BEEN RECORDED, RELIED UPON, AND CONVEYED IN DEEDS AND OTHER LEGAL DOCUMENTS, THUS PRESERVING THE INTEGRITY AND BONA FIDE RIGHTS OF ADJACENT OWNERS (UTAH STATE CODE: 17-27A-6). EASEMENTS AFFECTED BY THIS AMENDMENT ARE DEPICTED HEREON. THE BASIS OF BEARINGS FOR THIS SURVEY IS BASED ON THE BELOW STATED COORDINATE SYSTEM AND CAN BE MEASURED BETWEEN THE FOUND WEC REBAR AND CAPS THAT ARE MARKING THE LINE BETWEEN THE CURVES FOUND ALONG THE EASTERLY RIGHT-OF-WAY OF SNOW SHOE DRIVE, N21°17'11"E 230.52 FEET. THE GPS COORDINATE SYSTEM USED IN FIELD MEASUREMENTS WAS THE UTAH COORDINATE SYSTEM 1983 SOUTH ZONE, US SURVEY FEET, SCALED TO GROUND WITH NO ROTATION APPLIED. ORIGINAL BEARINGS HAVE BEEN ROTATED TO MATCH SAID COORDINATE SYSTEM.

LEGAL DESCRIPTION

ALL OF LOT 3 OF SKI HAVEN CHALETS, BLOCK D, UNIT A AS RECORDED IN THE OFFICE OF THE IRON COUNTY RECORDER, UTAH.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE RESPECTIVE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY EXECUTE THE SAME TO VACATE LOT 3 OF SKI HAVEN CHALETS, BLOCK D, UNIT A, TO BE HEREAFTER KNOWN AS VACATED LOT 3 OF SKI HAVEN CHALETS, BLOCK D, UNIT A. THE UNDERSIGNED HEREBY DEDICATE ALL VACATED LOT 3 OF SKI HAVEN CHALETS, BLOCK D, UNIT A, AS SET FORTH HEREIN, TO JOHN I. STARK, CYNTHIA L. STARK, HUSBAND AND WIFE AS JOINT TENANTS, AS TO AN UNDIVIDED 50% INTEREST, AND JAMES VINCENT, TRUSTEE OF THE JAMES VINCENT FAMILY TRUST, DATED NOVEMBER 18, 2021, AS TO AN UNDIVIDED 50% INTEREST, THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. IN WITNESS WHEREOF, WE HAVE SET OUR HAND THIS THE ____ DAY OF ____, 20__.

JOHN I. STARK, CYNTHIA L. STARK, HUSBAND AND WIFE AS JOINT TENANTS, AS TO AN UNDIVIDED 50% INTEREST, AND JAMES VINCENT, TRUSTEE OF THE JAMES VINCENT FAMILY TRUST, DATED NOVEMBER 18, 2021, AS TO AN UNDIVIDED 50% INTEREST.

JOHN I. STARK JAMES VINCENT, TRUSTEE

CYNTHIA L. STARK

NOTARY ACKNOWLEDGMENT

STATE OF _____)
COUNTY OF _____) S.S.

ON THE ____ DAY OF ____, 20__, JOHN I. STARK AND CYNTHIA L. STARK, HUSBAND AND WIFE AS JOINT TENANTS, AS TO AN UNDIVIDED 50% INTEREST; PERSONALLY APPEARED BEFORE ME, AND DULY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME.

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN _____

NOTARY PUBLIC (SIGNATURE) _____
NO STAMP REQUIRED (UTAH CODE 46-1-16(6))

NOTARY ACKNOWLEDGMENT

STATE OF _____)
COUNTY OF _____) S.S.

ON THE ____ DAY OF ____, 20__, JAMES VINCENT, TRUSTEE OF THE JAMES VINCENT FAMILY TRUST, DATED NOVEMBER 18, 2021, AS TO AN UNDIVIDED 50% INTEREST; PERSONALLY APPEARED BEFORE ME, AND DULY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME.

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN _____

NOTARY PUBLIC (SIGNATURE) _____
NO STAMP REQUIRED (UTAH CODE 46-1-16(6))

DRAWN BY: MJS SURVEY DATE: SEPT 5, 2024

REV. #	DATE	DESCRIPTION

SHEET

1 OF 1

BRIAN HEAD SURVEYOR
I HEREBY VERIFY THAT THIS OFFICE EXAMINED THIS AMENDED SUBDIVISION PLAT AND HEREBY RECOMMENDS APPROVAL ON THIS ____ DAY OF ____ 20__.
_____ BRIAN HEAD TOWN SURVEYOR

BRIAN HEAD ATTORNEY
APPROVED AS TO FORM, THIS ____ DAY OF ____ 20__.
_____ BRIAN HEAD ATTORNEY

LAND USE AUTHORITY
ON THIS ____ DAY OF ____ 20__, THE BRIAN HEAD PLANNING COMMISSION, DOES HEREBY CERTIFY THAT THE SHOWN PLAT HAS BEEN APPROVED BY SAID AUTHORITY AND RECOMMENDS APPROVAL.
_____ CHAIRMAN PLANNING COMMISSION BRIAN HEAD TOWN, UT

BRIAN HEAD TOWN MANAGER APPROVAL
I HEREBY VERIFY THAT THE TOWN MANAGER REVIEWED THIS PLAT AND APPROVED IT ON THIS ____ DAY OF ____ 20__ WITH ALL COMMITMENTS AND OBLIGATIONS PERTAINING THERETO.
ATTEST: TOWN CLERK _____ TOWN MANAGER BRIAN HEAD, UT

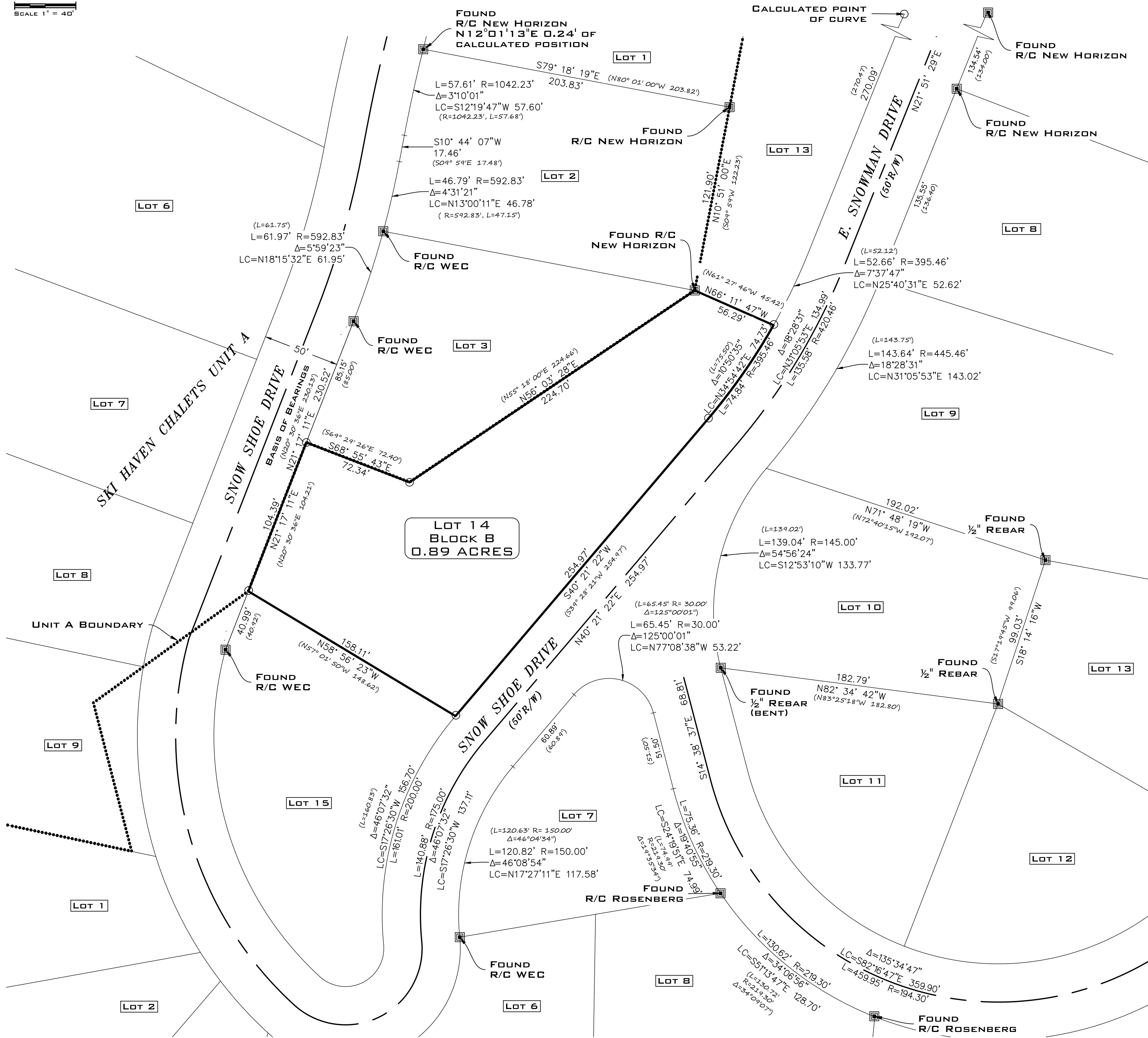
CERTIFICATE OF RECORDING
_____ IRON COUNTY RECORDER



VACATED LOT 14

SKI HAVEN CHALETS, BLOCK B, UNIT B

WITHIN SECTION 2, TOWNSHIP 36 SOUTH, RANGE 9 WEST, SALT LAKE BASE AND MERIDIAN



NOTES:

THE SHOWN ACREAGE IS THE SURVEYED AREA, NOT THE RECORD.

THE RECORD PLAT ONLY SHOWS CURVE LENGTH AND NO OTHER CURVE DATA.

OWNERSHIP:

JOHN I. STARK, CYNTHIA L. STARK, HUSBAND AND WIFE AS JOINT TENANTS, AS TO AN UNDIVIDED 50% INTEREST AND JAMES VINCENT, TRUSTEE OF THE JAMES VINCENT FAMILY TRUST, DATED NOVEMBER 18, 2021, AS TO AN UNDIVIDED 50% INTEREST.
14008 CASTLEMAINE AVENUE
BAKERSFIELD, CA 93314-9135

AS PART OF THIS SURVEY, RED SANDS GEOMATICS, LLC HAS CONDUCTED FIELD SEARCHES FOR EVIDENCE AND MONUMENTATION. FOUND EVIDENCE AND MONUMENTATION IS REPRESENTED HEREON. DOCUMENTS OF RECORD REVIEWED AND CONSIDERED AS PART OF THIS SURVEY ARE NOTED BELOW. THERE MAY EXIST OTHER EVIDENCE, MONUMENTATION AND DOCUMENTS THAT COULD AFFECT THIS SURVEY. NEW EVIDENCE, MONUMENTATION, OR DOCUMENTS THAT MAY ALTER THE CONCLUSIONS OF THIS SURVEY SHOULD BE PRESENTED TO THE SURVEYOR FOR HIS REVIEW AND CONSIDERATION.

- PLAT:
 - Ski Haven Chalets Unit A, 1968
 - Ski Haven Chalets Unit B, 1970
 - Ski Haven Chalets Unit B Amending Lots 4-8, 2024
- RECORD OF SURVEY:
 - Lot B, Block B, Unit B, INSITE ENGINEERING, 2008
 - Lot 2, Block D, Unit A, NEW HORIZON. (NOT RECORDED AT TIME OF THIS SURVEY)

LEGAL DESCRIPTION

ALL OF LOT 14 OF SKI HAVEN CHALETS, BLOCK B, UNIT B AS RECORDED IN THE OFFICE OF THE IRON COUNTY RECORDER, UTAH.

- SET #5 REBAR & RED PLASTIC CAP MARKED RED SANDS GEOMATICS 12480028 (UNLESS NOTED)
- FOUND EXISTING CORNER AS DESCRIBED
- NOTHING SET
- PROPERTY LINE
- FENCE LINE
- ADJACENT PROPERTY LINE
- STREET CENTER LINE
- PROPERTY LINE TO BE REMOVED
- EASEMENT AS DESCRIBED
- REBAR AND CAP MARKED AS SHOWN
- P.O.B. POINT OF BEGINNING



SURVEYOR'S CERTIFICATE

I, MICHAEL J. STEWART, A PROFESSIONAL LAND SURVEYOR, LICENSE NUMBER 12480028, HOLD THIS LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT AND HAVE COMPLETED THIS PLAT OF THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-27A-608. I CERTIFY THAT I HAVE COMPLETED THE SURVEY SHOWN HEREON IN ACCORDANCE WITH SECTION 17-23-17 AS OUTLINED IN SECTION 17-27A-608(6)(B)(iii)(A), AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE HEREON OWNERS, I HAVE MADE THIS PLAT OF:
"VACATED LOT 14, SKI HAVEN CHALETS, BLOCK B, UNIT B".

MICHAEL J. STEWART UT L.S. 12480028

DATE

SURVEY NARRATIVE

THE PURPOSE OF THIS AMENDED PLAT IS TO VACATE LOT 14 IN PREPARATION TO JOIN SAID LOT WITH LOT 3, BLOCK D, UNIT A, SKI HAVEN CHALETS AND THEN TO SUBDIVIDE THE 2 JOINED LOTS INTO 3 LOTS. THIS AMENDMENT WAS REQUESTED BY THE OWNERS. ALL OTHER LOTS AND DIMENSIONS REMAIN UNCHANGED. I HAVE CONDUCTED A FIELD SURVEY OF THE SHOWN PROPERTY AND HAVE DISCOVERED DIFFERENCES IN RECORDED BEARINGS AND DISTANCES WHICH ARE SHOWN FOR INFORMATIONAL AND RETRACEMENT PURPOSES ONLY. DUE TO THE LEGAL AND CONVEYING CHARACTERISTIC OF A SUBDIVISION PLAT, PRIORITY IS BEING PLACED UPON THE ORIGINAL BEARING AND DISTANCES. IT IS THE INTENT OF THIS AMENDMENT TO ONLY CHANGE THE ABOVE MENTIONED LOTS AND TO LEAVE EVERYTHING ELSE AS IT HAS BEEN RECORDED, RELIED UPON, AND CONVEYED IN DEEDS AND OTHER LEGAL DOCUMENTS, THUS PRESERVING THE INTEGRITY AND BONA FIDE RIGHTS OF ADJACENT OWNERS (UTAH STATE CODE: 17-27A-6). EASEMENTS AFFECTED BY THIS AMENDMENT ARE DEPICTED HEREON. IN SURVEYING SAID LOT 3 AND LOT 14 I HAVE DISCOVERED A GAP BETWEEN THE PLATS OF SKI HAVEN CHALET UNIT A AND UNIT B. ALL OF THE EVIDENCE I FOUND IN EACH UNIT FITS WELL WITHIN THEIR RESPECTIVE PLAT, HOWEVER, UPON TRYING TO MERGE THE TWO A GAP IS CREATED. THUS, I HAVE ESTABLISHED THE NECESSARY ROADS AND THEN HAVE GIVEN LOT 3 SENIOR RIGHTS GIVING THE LOTS IN UNIT B THE EXCESS. FURTHERMORE, UNIT B, DOES NOT SHOW ANY CURVE DATA ON THE RECORD PLAT. THE BASIS OF BEARINGS FOR THIS SURVEY IS BASED ON THE BELOW STATED COORDINATE SYSTEM AND CAN BE MEASURED BETWEEN THE FOUND WEC REBAR AND CAPS THAT ARE MARKING THE LINE BETWEEN THE CURVES FOUND ALONG THE EASTERLY RIGHT-OF-WAY OF SNOW SHOE DRIVE, N21°17'11"E 230.52 FEET. THE GPS COORDINATE SYSTEM USED IN FIELD MEASUREMENTS WAS THE UTAH COORDINATE SYSTEM 1983 SOUTH ZONE, US SURVEY FEET, SCALED TO GROUND WITH NO ROTATION APPLIED. ORIGINAL BEARINGS HAVE BEEN ROTATED TO MATCH SAID COORDINATE SYSTEM.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE RESPECTIVE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY EXECUTE THE SAME TO VACATE LOT 14 OF SKI HAVEN CHALETS, BLOCK B, UNIT B, TO BE HEREAFTER KNOWN AS VACATED LOT 14 OF SKI HAVEN CHALETS, BLOCK B, UNIT B. THE UNDERSIGNED HEREBY DEDICATE ALL VACATED LOT 14 OF SKI HAVEN CHALETS, BLOCK B, UNIT B, AS SET FORTH HEREIN, TO JOHN I. STARK, CYNTHIA L. STARK, HUSBAND AND WIFE AS JOINT TENANTS, AS TO AN UNDIVIDED 50% INTEREST, AND JAMES VINCENT, TRUSTEE OF THE JAMES VINCENT FAMILY TRUST, DATED NOVEMBER 18, 2021, AS TO AN UNDIVIDED 50% INTEREST. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT. THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES, IN WITNESS WHEREOF, WE HAVE SET OUR HAND THIS _____ DAY OF _____, 20____.

JOHN I. STARK, CYNTHIA L. STARK, HUSBAND AND WIFE AS JOINT TENANTS, AS TO AN UNDIVIDED 50% INTEREST. AND JAMES VINCENT, TRUSTEE OF THE JAMES VINCENT FAMILY TRUST, DATED NOVEMBER 18, 2021, AS TO AN UNDIVIDED 50% INTEREST.

JOHN I. STARK

JAMES VINCENT, TRUSTEE

CYNTHIA L. STARK

NOTARY ACKNOWLEDGMENT

STATE OF _____)
COUNTY OF _____) S.S.

ON THE _____ DAY OF _____, 20____, JOHN I. STARK AND CYNTHIA L. STARK, HUSBAND AND WIFE AS JOINT TENANTS, AS TO AN UNDIVIDED 50% INTEREST; PERSONALLY APPEARED BEFORE ME, AND DULY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME.

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN _____

NOTARY PUBLIC (SIGNATURE) _____
NO STAMP REQUIRED (UTAH CODE 46-1-16(6))

NOTARY ACKNOWLEDGMENT

STATE OF _____)
COUNTY OF _____) S.S.

ON THE _____ DAY OF _____, 20____, JAMES VINCENT, TRUSTEE OF THE JAMES VINCENT FAMILY TRUST, DATED NOVEMBER 18, 2021, AS TO AN UNDIVIDED 50% INTEREST; PERSONALLY APPEARED BEFORE ME, AND DULY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME.

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN _____

NOTARY PUBLIC (SIGNATURE) _____
NO STAMP REQUIRED (UTAH CODE 46-1-16(6))

DRAWN BY: MJS/AH SURVEY DATE: SEPT 5, 2024

REV. #	DATE	DESCRIPTION

SHEET

1 OF 1

BRIAN HEAD SURVEYOR

I HEREBY VERIFY THAT THIS OFFICE EXAMINED THIS AMENDED SUBDIVISION PLAT AND HEREBY RECOMMENDS APPROVAL ON THIS _____ DAY OF _____, 20____.

BRIAN HEAD TOWN SURVEYOR

BRIAN HEAD ATTORNEY

APPROVED AS TO FORM, THIS _____ DAY OF _____, 20____.

BRIAN HEAD ATTORNEY

LAND USE AUTHORITY

ON THIS _____ DAY OF _____, 20____, THE BRIAN HEAD PLANNING COMMISSION, DOES HEREBY CERTIFY THAT THE SHOWN PLAT HAS BEEN APPROVED BY SAID AUTHORITY AND RECOMMENDS APPROVAL.

CHAIRMAN PLANNING COMMISSION
BRIAN HEAD TOWN, UT

BRIAN HEAD TOWN

MANAGER APPROVAL

I HEREBY VERIFY THAT THE TOWN MANAGER REVIEWED THIS PLAT AND APPROVED IT ON THIS _____ DAY OF _____, 20____, WITH ALL COMMITMENTS AND OBLIGATIONS PERTAINING THERETO.

ATTEST:
TOWN CLERK _____

TOWN MANAGER
BRIAN HEAD, UT

CERTIFICATE OF RECORDING

IRON COUNTY RECORDER

IRON COUNTY RECORDER



ITEM: ROCKY MOUNTAIN POWER BUILDING/GRADING PERMIT

AUTHOR: Greg Sant
DEPARTMENT: Planning and Building Department
DATE: January 7, 2025
TYPE OF ITEM: Administrative Action

PROPERTY: 512 N. HIGHWAY 143,
PARCEL #A-1138-0007-0000 AND SA-A-1138-0030-0000

SUMMARY:

Rocky Mountain Power (RMP) has hired Bulloch Dirt Works to prepare their substation site on Highway 143. Planning Commission will review their application for a Grading Permit in order to take Administrative Action.

BACKGROUND:

RMP contacted the Town a few months ago regarding upgrades to their existing substation. The inquiry was general in nature and the Town has been waiting for RMP to make applications for permits. Unfortunately, because of some miscommunications within RMP, they neglected to obtain those permits and are now looking to get a grading permit as soon as possible. On November 18, 2024 we did give them a Tree Removal Permit. On November 22, 2024 RMP (through Bulloch Dirt Works) applied for a Grading Permit.

On December 3, 2024 the planning Commission reviewed the application and tabled it as the applicant had yet to finalize the grading plan and the wall design that will surround the project. The final grading plan has now been submitted and reviewed by the town engineer, Alpha Engineering. The town engineer has approved the grading plan as has the Planning and building Department. There was a wall design submitted, however the staff is waiting for a more detailed submission.

APPLICATION REQUIREMENTS:

Applicant will submit a Written Description of the Proposed Grading Activity that addresses the following:

1. The grading, excavating, trenching, and clearing being proposed.
2. The timeframe in which the work will be completed.
3. Equipment which will be used to conduct the operation.
4. Quantities to be removed from or brought to the site.
5. Plan for storage and disposal of materials.
6. Measures the applicant will take to mitigate erosion, noise, dust, smell, safety concerns and other potential nuisances during construction. (ord. 22-010, 9-27-22)

BUILDING STANDARDS FOR REVIEW:

1. The proposed uses, structure and site improvements shall conform to the following:
 - a. Town General Plan.
 - b. Zoning regulations and other relevant sections of this title.

- c. Applicable building codes as adopted by the state.
 - d. General design standards of chapter 12 of this title, and;
 - e. Other applicable laws.
2. The design shall be sensitive to the constraints of topography, soil types, geologic hazards, watercourses and floodplains, visual impacts and preservation of views.
 3. Utilities and services shall be available and adequate to meet the needs of the proposed structure and uses. (2010 Code, amd. ord. 15-004, 4-28-2015)

GRADING STANDARDS FOR REVIEW:

All grading, excavating, filling, and clearing operations which are performed under this chapter shall be consistent with section 9-12 of this title (Design Standards), and shall be designed to:

1. Prevent significant erosion and soil stability issues by:
 - a. Minimizing cuts and fills on steep or hazardous terrain.
 - b. Limit clearing of vegetation or disturbances of the soil to areas of proven stability, taking into consideration geologic hazards and soil conditions.
 - c. Ensuring landscaping and restoration within one year of completing the grading work.
 - d. Properly retaining any potentially unsafe slopes.
2. Ensure that the natural runoff capacity of streams, natural or historic runoff drainages, and improved storm drainage ditches or infrastructure shall not be exceeded causing flooding, erosion, or silting.
3. Comply with Standards & Specifications for Public Works Construction for utility construction and trench backfilling as well as the construction requirements and standards set forth in 9-10-2(E) of this title.
4. Preserve the natural aesthetics of a mountain town consistent with the General Plan by:
 - a. Avoiding unnecessary clearing or burying of vegetation
 - b. Ensuring that all excavation work, including spoil piles, do not create an attractive nuisance or hazard to the general public.
 - c. Eliminating scars from cuts and fills, and preserve the natural scenic beauty of the area, such as rounding off sharp angles at the top, toe and sides of cut and fill slopes and matching or blending the natural contours and undulation of the land.
 - d. Preserving trees and other native vegetation where possible and in accordance with fire-safe principles.
 - e. Carefully removing, storing, and replacing a layer of fertile topsoil in disturbed areas for re-vegetation where feasible.

ANALYSIS:

The Grading Plan is attached for review. The following Findings of Fact are based on RMP's submittal for the Building/Grading Permit:

The Building Findings of Fact are as follows:

1. The Substation Permit conforms as follows:
 - a. The Proposed Use is consistent with the General Plan.
 - b. The Property is zoned light industrial and a substation is a Permitted Use in this zone.
 - c. The plans for the substation meet federal codes that are approved at the state and federal level.

- d. The General Design Standards only apply to the screening that is being installed around the perimeter of the site. RMP has verbally agreed to install a decorative concrete wall around the site the design of which will be agreed to at a future time.
2. The site was chosen years ago and everyone agrees that it is not the best location for this use. However, it is in the General Plan, follows the zoning ordinance and is a permitted use. With that said, the decorative concrete wall will ensure that the visual impact is minimized.
 3. Utilities are adequate at this site, in fact, the project will ensure that Brian Head has sufficient power infrastructure for years to come.

The Grading Findings of Fact are as follows:

1. The grading, excavating, trenching, and clearing being proposed unfortunately is to clear the entire site of trees. This is required for safety reasons, i.e. trees falling onto the transformers, etc. and in keeping people out of the site. The grades and elevations of the site are already set by the existing substation. The site will be brought to a finished elevation of the existing substation. This will require both cut and fill.
2. The timeframe in which the work will be completed is by Spring of 2025. Grading is anticipated to start immediately and finish grading before there is more snow this season. It is necessary to get the new pad ready for generators to be installed in mid-April 2025. At that time the proposed walls shown will be constructed. These walls will screen the new substation, and generators, as well as provide protection of the public safety.
3. Standard heavy equipment will be used to conduct the operation, including Loaders, Graders, Dump Trucks, and Bulldozers. Smaller equipment will include bobcats, etc.
4. Quantities to be removed from or brought to the site. – The site upon which this work will take place is 1.01 acres. There has been approximately 145 cubic yards of organic material removed from the site to date. There will be approximately 432 cubic yards of cut with approximately 163 cubic yards of imported fill. The site will be graded as to control all drainage and runoff.
5. Plan for storage and disposal of materials. – Most of the cut material will be hauled off. Some material will be used for the ramp at the east corner next to Apple Annies. This ramp will be used as access to the substation. Other materials that will be used from the cut material are rocks and boulders that will be used along the common property line with Apple Annies as a stone retaining wall.
6. Measures the applicant will take to mitigate erosion, noise, dust, smell, safety concerns and other potential nuisances during construction. (ord. 22-010, 9-27-22) – Per the Town Code, the Applicant will be required to mitigate erosion through landscaping and gravel placement, they will be required to follow all noise ordinance standards as well as all dust control measures.
7. Screening – Applicant has verbally agreed to use a decorative concrete wall that will meet Town standards to enclose this project.
8. There are 2 sites that are owned by RMP. This subject site is 1.01 acres, and the existing substation sits on .53 acres and has approximately 50% open space associated with it. Staff would suggest that the property line between the 2 parcels be vacated so that the overall site is 1.54 acres and the open space requirement will be met.

STAFF RECOMMENDATIONS:

After reviewing the plans and meeting with representatives of RMP and Bulloch Dirt Works, it is the recommendation of staff to approve this Grading Plan based on the Findings of Facts and with the following conditions:

1. All work to follow the Grading Plan as submitted.
2. All measures to mitigate erosion, noise, dust smell and safety to be followed as outlined in the LMC.
3. The new site will be screened by a decorative concrete wall, the design of which will be agreed to by both RMP and Brian Head Town. Wall to be completed by the time the generators are installed in the spring of 2025. Furthermore, low vegetation will be installed around walls to breakup walls.
4. RMP will vacate the property line between the 2 parcels so that the larger 1.54 acre parcel meets the zoning requirements.

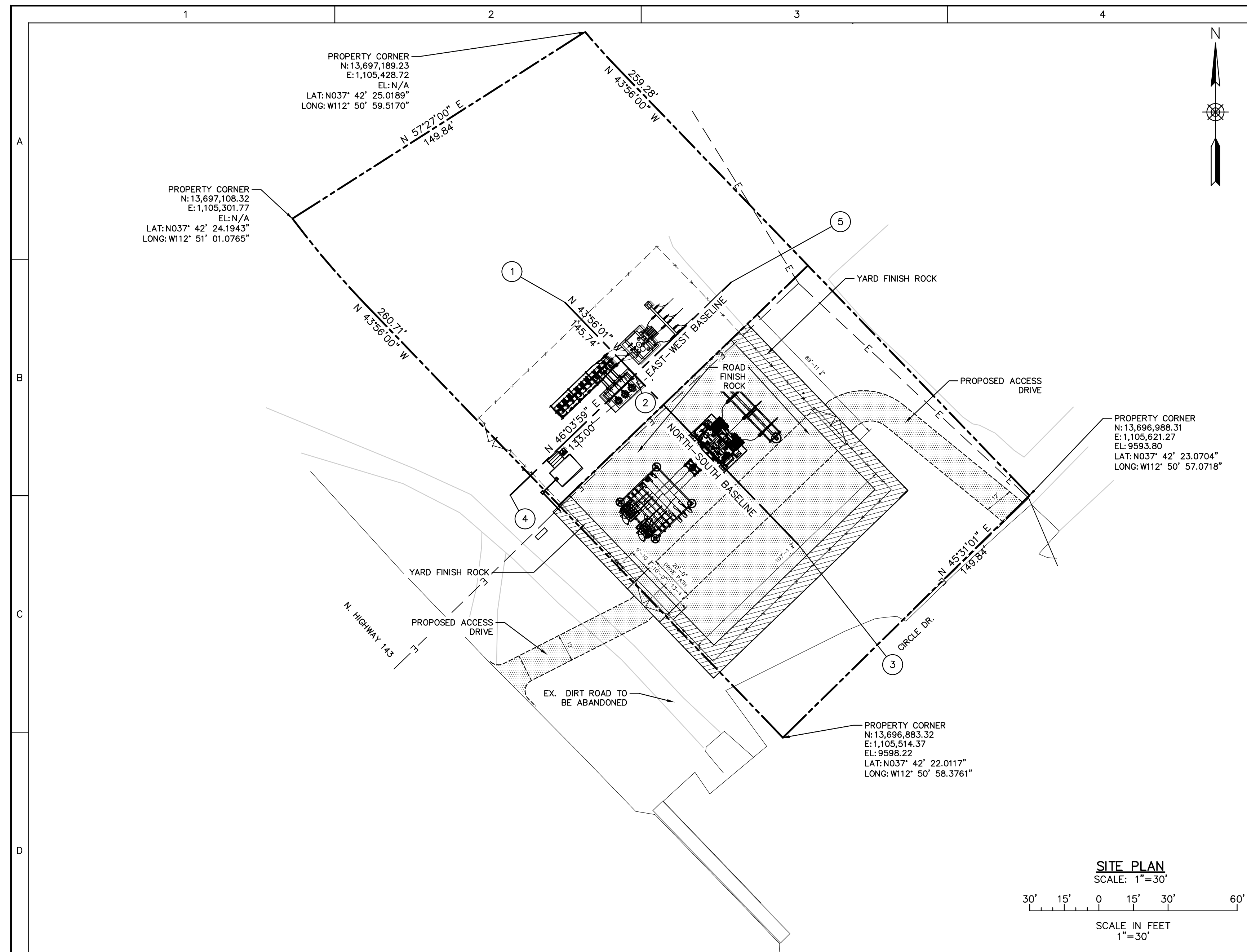
PROPOSED MOTION:

I move to approve the Grading Plan submitted by Rocky Mountain Power at 512 N. Highway 143 with the above recommendations from Staff.

Attachments:

RMP Description, Grading Plan

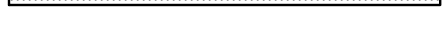
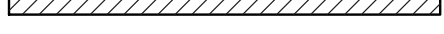
Soil Report is available at Town Hall.



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LEGEND

	BASE LINE
	LIMITS OF CONSTRUCTION
	TOP OF SLOPE
	EDGE OF ROAD
	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	MAJOR CONTOUR
	MINOR CONTOUR
	CHAIN LINK FENCE W/ BARB
	EXISTING FENCE
	EXISTING ELECTRICAL LINE
	EDGE OF DIRT
	EDGE OF ASPHALT
	CHAINLINK FENCE NO BARB
	STORM SEWER LINE
	ROAD ROCK
	YARD ROCK
	EX. DIRT ROAD TO BE ABANDONED
	RIPRAP

| CIVIL SPECIFICATION SECTIONS

- 02030 FENCE REMOVAL
- 02110 CLEARING AND GRUBBING
- 02120 SITE GRADING
- 02121 GENERAL EXCAVATION AND BACKFILL
- 02122 TRENCH EXCAVATION AND BACKFILL
- 02134 ROAD FINISH ROCK
- 02132 YARD FINISH ROCK
- 02130 AGGREGATE BASE COURSE
- 02274 RIP RAP
- 02275 GEOTEXTILES
- 02910 SEEDING AND EROSION CONTROL

REFERENCE DRAWINGS

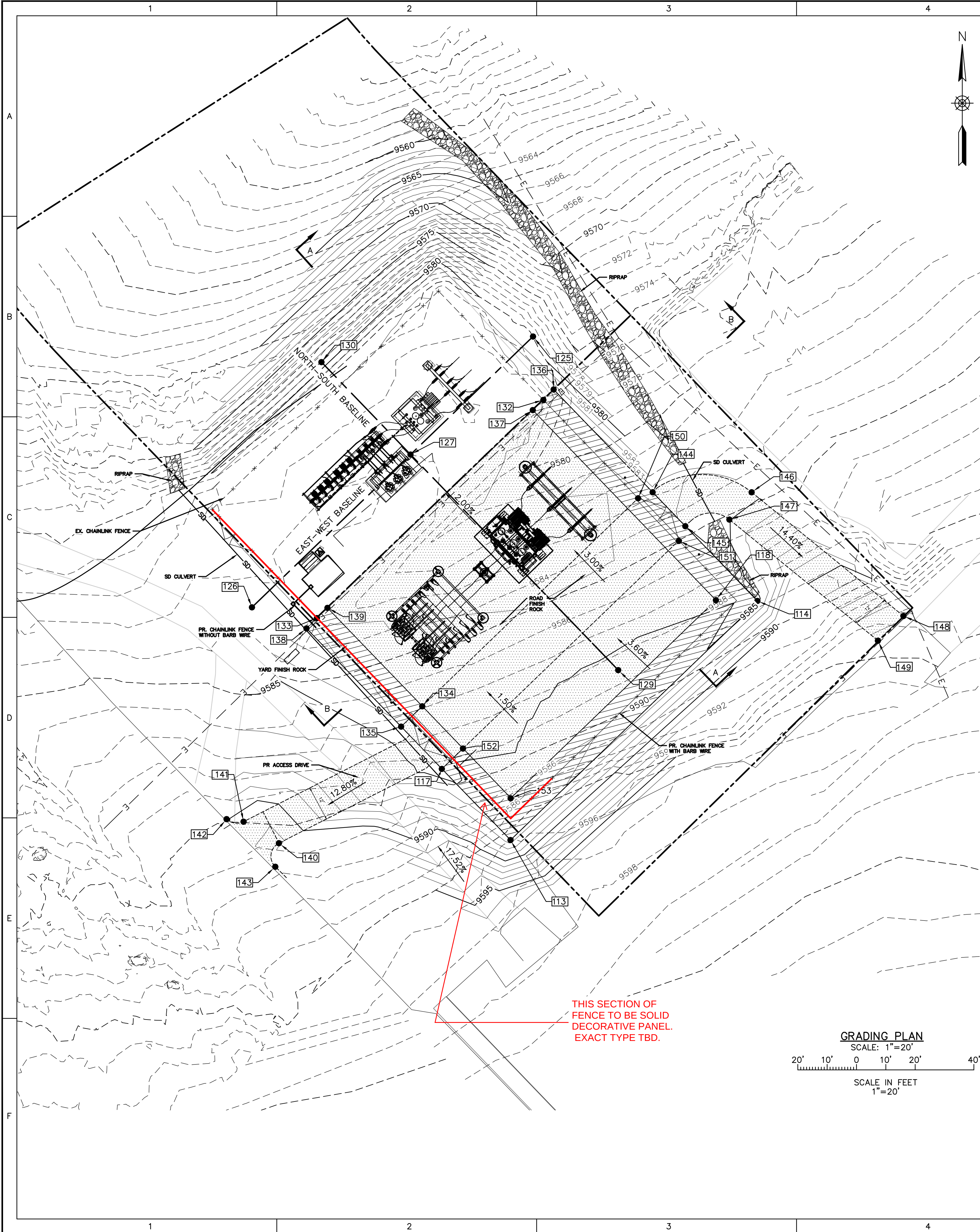
	BASELINE MONUMENT NORTHING & EASTING COORDINATES
①	NORTH BASELINE MONUMENT: N: 13697092.02, E: 1105419.87, ELEV: 9579.12
②	INTERSECTION BASELINE MONUMENT: N: 13697040.52, E: 1105450.22, ELEV: 9582.91
③	SOUTH BASELINE MONUMENT: N: 13696967.07, E: 1105520.99, ELEV: 9585.23
④	WEST BASELINE MONUMENT: N: 1396953.71, E: 1105396.18, ELEV: 9583.49
⑤	EAST BASELINE MONUMENT: N: 13697080.74, E: 1105491.96, ELEV: 9579.93

NOTE: THE DRAWING IS BASED UPON UNIVERSAL TRANSVERSE
MERCATOR SYSTEM, UTM83-12F. NAD83 DATUM, ZONE 12, US FOOT,
CENTRAL MERIDIAN 111D W. THE COORDINATE ARE PROVIDED AS
NORTHING AND EASTING.

BRIAN HEAD SUBSTATION IRON COUNTY, UTAH GRADING PLAN OVERALL SITE PLAN		CIVIL		E		D		C		B		A	
PROJ/TRA#		DISCIPLINE ENG.		NO.		DATE		ENGINEER		DES./ DR.		APPROVED	
P.L.#		-											
DATE:		11/15/2024											
ENG.		SJC		DES.		SJC							
DR.		DLH		CH.		KLS							
SHEET		1		APPROVAL ENG.		-							
SCALE:		1" = 30'											
REVISION		O		220337.00									

	GENERAL CONTRACTOR NOTES	GENERAL CONTRACTOR NOTES	GENERAL CONTRACTOR NOTES	GENERAL CONTRACTOR NOTES
E	ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES, INDUSTRY STANDARDS AND UTILITY COMPANY REQUIREMENTS. THESE DESIGN DRAWINGS PRESENT THE CIVIL CONCEPTS OF THIS PROJECT AND ARE NOT INTENDED TO SERVE AS THE CONTRACTOR'S SHOP DRAWINGS. CERTAIN ITEMS MAY NOT BE COMPLETELY DETAILED ON THESE DRAWINGS. SUCH ITEMS SHALL BE CONSTRUCTED TO THE CODES AND STANDARDS AS NOTED. THE STANDARDS AND REQUIREMENTS OF LOCAL GOVERNING AGENCIES SHALL TAKE PRECEDENCE. GRADING SHALL BE PERFORMED TO THE PLANS, ELEVATIONS, PROFILES, SECTIONS, DETAILS AND SPECIFICATIONS UNLESS APPROVED IN ADVANCE TO DO OTHERWISE. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE OPERATION OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA THROUGHOUT THE CONSTRUCTION PROCESS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL EXISTING UTILITIES WHICH ARE DISTURBED "IN KIND" AS PART OF THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE PROJECT OBJECTIVES WITH ALL RESPECTIVE UTILITY COMPANIES, AND SHALL REQUEST LOCATES OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION, HEIGHT AND DEPTH OF ALL UTILITIES AND STRUCTURES WITHIN THE PROJECT AREA IF THEY EXIST. THE PIPE LENGTHS SHOWN ON THESE PLANS ARE ESTIMATED. THE FINAL LENGTHS SHALL BE DETERMINED BY FIELD CONDITIONS. FOR THE EXACT LOCATION OF EXISTING AND PROPOSED ELECTRICAL EQUIPMENT, FOUNDATIONS, CABLE TRENCHES, CABLES, STRUCTURES, GROUNDING WIRES AND CONDUITS SEE THE ELECTRICAL PLANS. FIELD VERIFY THE LOCATION OF ALL EXISTING ITEMS. NOTIFY THE PROJECT ENGINEER IF ANY EXISTING UTILITIES (SUCH AS PIPES, CONDUITS, VAULTS, BOXES, RIMS, CLEANOUTS, ETC.) ARE IN CONFLICT WITH THE PROPOSED GRADING OR UTILITY PLAN.	IF UTILITY SHUTDOWNS, INSPECTIONS, AND ACCEPTANCE TESTS ARE REQUIRED THEY SHALL BE COORDINATED IN ADVANCE WITH THE APPROPRIATE PARTIES. DOWNTIME FOR UTILITIES SHALL BE HELD TO A MINIMUM AND TEMPORARY BYPASSES SHALL BE PROVIDED WHERE NECESSARY TO MAINTAIN PROPER SERVICE. DO NOT INTERRUPT UTILITIES THAT ARE SERVING FACILITIES OCCUPIED BY THE OWNER OR BY OTHERS UNLESS GRANTED IN WRITING BY THE PROJECT MANAGER OR PROJECT ENGINEER, AND ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES ACCORDING TO THE REQUIREMENTS AS INDICATED. IF EXISTING PIPELINES ARE TO BE ABANDONED, ALL OPEN ENDS, HOLES, OR OTHER OPENINGS SHALL BE PLUGGED WITH CONCRETE, OR AS SPECIFIED BY THE LOCAL GOVERNING AGENCIES, WHICH SHALL TAKE PRECEDENCE. ALL COSTS INVOLVED WITH THIS WORK SHALL BE INCLUDED IN THE CONTRACT PRICES FOR GRADING WORK. THE CONTRACTOR SHALL GIVE THE APPROPRIATE INSPECTION AGENCY TWO (2) WORKING DAYS ADVANCE NOTICE WHEN REQUESTING INSPECTIONS. THE LOCATION OF PROPERTY LINES, EXISTING STRUCTURES, FIXTURES AND UNDERGROUND UTILITIES ARE DRAWN FROM THE BEST AVAILABLE AS-BUILT AND SURVEYED INFORMATION. THIS DOES NOT GUARANTEE THAT THE LOCATION OF EXISTING ITEMS ARE EXACT OR COMPLETE. SITE CONSTRUCTION PRACTICES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. THE CONTRACTOR SHALL MAINTAIN ON-SITE, LEGIBLE MATERIAL SAFETY DATA SHEETS FOR ALL HAZARDOUS MATERIALS USED ON-SITE. ANY OFF-SITE PROPERTY FOUND DAMAGED SHALL BE REPLACED TO THE SATISFACTION OF THE INSPECTOR, DIRECTOR OF THE AFFECTED AGENCY OR THE OWNER OF THE PROPERTY. THE WORK SCHEDULE SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND WITH ANY LOCAL ORDINANCES.	THE CONTRACTOR SHALL SECURE THE JOB AT THE END OF EACH DAY. ON-DUTY AND OFF-DUTY CONTACTS AND PHONE NUMBERS FOR THE CONTRACTOR SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL COORDINATE WITH THE FACILITY MANAGER TO MANAGE THE PROJECT'S IMPACT TO SECURITY AND SAFETY MATTERS. ANY REVISIONS MADE TO THE APPROVED PLANS REQUIRE SUBSEQUENT APPROVAL BY THE APPROPRIATE AUTHORITY. PROVIDE A MINIMUM OF ONE (1) SET OF FULL SIZE, REDLINED RECORD DRAWINGS TO THE COMPANY AT THE COMPLETION OF THE PROJECT. REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOILS, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS, INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF SITE AT AN APPROVED LOCATION. NO OPEN BURNING OF WASTE MATERIALS SHALL BE PERMITTED ON THE SITE WITHOUT APPROVAL FROM THE OWNER'S REPRESENTATIVE AND APPROPRIATE REGULATORY AGENCIES. DUST SHALL BE CONTROLLED AT ALL TIMES BY WATERING OR OTHER APPROVED METHODS. DIRT DEBRIS, TRASH OR OTHER CONSTRUCTION MATERIALS SHALL BE CONTAINED WITHIN CONSTRUCTION BOUNDARIES AT ALL TIMES AND SHALL BE CLEANED AND REMOVED DAILY AS NECESSARY. EXCESS EXCAVATED MATERIALS SHALL BE PROMPTLY DISPOSED OF TO AN APPROVED LOCATION AT THE CONTRACTOR'S EXPENSE. EXCAVATED MATERIAL TO BE REUSED AS BACKFILL MAY BE TEMPORARILY STOCKPILED AS INDICATED ON THE GRADING PLAN, BUT SHALL BE WATERED AND/OR COVERED TO PREVENT BLOWING ONTO ADJACENT PROPERTIES. THE CONTRACTOR SHALL ALSO PREVENT CONSTRUCTION DEBRIS FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY IMPLEMENTING PREVENTATIVE MEASURES SUCH AS DAMMING OR TEMPORARY CLOSURES (ALSO SEE THE EROSION CONTROL PLAN).	CODES AND STANDARDS: AMERICAN CONCRETE INSTITUTE ACI 318, CURRENT EDITION THE ASPHALT INSTITUTE MANUAL SERIES, CURRENT EDITION AMERICAN WATER WORKS ASSOC. STD. SPECS, CURRENT EDITION STATE OF UTAH PLUMBING SPECIALTY CODE, CURRENT EDITION NFPA NATIONAL ELECTRICAL CODE, CURRENT EDITION LOCAL EROSION AND SEDIMENT CONTROL STANDARDS I.B.C. WITH ALL AMENDMENTS, CURRENT EDITION LOCAL D.O.T. STANDARD SPECIFICATIONS, CURRENT EDITION SPECIFICATIONS FOR HWY. CONSTRUCTION, CURRENT EDITION FIRE DEPARTMENT REGULATIONS NATIONAL FIRE PROTECTION ASSOCIATION, CURRENT EDITION
F				

05/02/74 D. HURLEY



GRADING DRAWING NOTES

LAYOUT.

1. THE BASELINES SHALL BE ESTABLISHED AS SHOWN, AND THE EAST-WEST BASELINE SHALL BE PERPENDICULAR TO THE NORTH-SOUTH BASELINE.
2. THE BASIS OF HORIZONTAL AND VERTICAL CONTROL ARE SHOWN ON SHEET 1. THE CONTRACTOR IS RESPONSIBLE FOR SETTING PROJECT BENCHMARKS AS REQUIRED FROM THE SURVEY MONUMENTS, AND SHALL PROTECT ALL MONUMENTS FROM DISTURBANCE THROUGHOUT CONSTRUCTION. IF ANY MONUMENTS ARE DISPLACED THEY SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
3. ALL RADII OF INTERNAL ROADWAYS ARE 5 FEET UNLESS OTHERWISE NOTED.

GRADING UNLESS OTHERWISE DESIGNATED:

1. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL OBTAIN A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) GENERAL PERMIT OR NOTICE OF INTENT (NOI) TO BE POSTED ON SITE. THE CONTRACTOR SHALL IMPLEMENT THE BEST MANAGEMENT PRACTICES (BMP'S) AS DEFINED IN THE SWPPP.
2. IF STORM WATER STRUCTURES (SUCH AS DITCHES, PONDS, CATCH BASINS, PIPES, ETC.) ARE INCLUDED IN THE DESIGN OF THE PROPOSED SUBSTATION, THEY SHALL BE INSTALLED AND/OR CONSTRUCTED TO A FINISHED STATE AS SOON AS PRACTICAL IN ORDER TO CONVEY RUNOFF DURING CONSTRUCTION AND TO PREVENT EROSION.
3. THE TOP LAYER OF UNSUITABLE ORGANIC TOPSOIL WITHIN THE GRADING LIMITS SHALL BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES. AFTER THE SITE HAS BEEN GRADED TO SUB-GRADE THE SITE SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK (WITH 90 P.S.I. TIRE PRESSURE). SOILS THAT ARE OBSERVED TO RUT OR DEFLECT GREATER THAN ONE INCH UNDER THE MOVING LOAD OF THE LOADED DUMP TRUCK SHALL BE STRIPPED TO FIRM, UNDISTURBED SOIL AND REPLACED WITH AN APPROVED BACKFILL PER SPECIFICATIONS.
4. EXCAVATED SOIL THAT CANNOT BE USED FOR FILL OR LANDSCAPING SHALL BE DISPOSED OF OFF-SITE UNLESS PRE-APPROVED TO STOCKPILE AT AN APPROVED LOCATION. TOPSOIL THAT WILL BE USED FOR SEED BEDDING SOIL SHALL BE TEMPORARILY STOCKPILED, RE-SEED ALL CUT AND FILL SLOPES OUTSIDE OF THE SUBSTATION PER NOTE 18.
5. ELEVATIONS SHOWN ON THE GRADING PLAN ARE FINISHED GRADE ELEVATIONS (UNLESS NOTED OTHERWISE), WHICH IS DEFINED AS THE TOP OF FINISH ROCK WHERE YARD AND ROAD ROCK IS SHOWN. THE SUB-GRADE ELEVATIONS ARE BELOW THE FINISH ROCK, WHICH IS THE TOP OF PIT RUN ROCK, STRUCTURAL BACKFILL, AGGREGATE BASE OR UNDISTURBED EARTH. ALL GRADES SHALL BE COMPACTED AS REQUIRED IN THE SPECIFICATIONS. SEE THE TYPICAL SECTIONS AND DETAILS SHOWN ON SHEET 4.
6. THREE (3) INCH COMPACTED THICKNESS OF BASE ROCK SHALL BE PLACED OVER THE SUBSTATION YARD AREA SUB-GRADE FOR A CONSTRUCTION PAD IF WEATHER WARRANTS.
7. CUT AND FILL SLOPES SHALL BE AT A MAXIMUM SLOPE OF 2:1.
8. NATIVE BACKFILL RG-1 (IF APPROVED FOR USE) AND IMPORTED STRUCTURAL FILL RG-2 SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER ASTM D-1557. SEE SITE GRADING SPECIFICATION, SECTION 02120.
9. FINISH ROCK SHALL NOT BE INSTALLED UNTIL ALL UNDERGROUND CONDUITS, GROUNDING AND UTILITIES ARE INSTALLED AND TRENCHES ARE BACKFILLED.
10. ALL AREAS NOT DESIGNATED AS ROADWAYS WITHIN THE SUBSTATION, AND THE FIVE (5) FOOT SHOULDER ADJACENT TO AND OUTSIDE OF THE SUBSTATION FENCE, SHALL RECEIVE FOUR (4) INCHES OF YARD FINISH ROCK. THERE SHALL BE A MINIMUM OF SIX (6) INCHES OF NATIVE RG-1 OR IMPORTED STRUCTURAL FILL RG-2 TO REPLACE THE SUB-GRADE IF IT IS UNSUITABLE AND CANNOT MEET COMPACTION REQUIREMENTS AFTER PROOF-ROLLING. SEE TYPICAL SECTION ON DETAIL SHEET.
11. ALL AREAS DESIGNATED AS NEW ROADWAY SHALL HAVE SIX (6) INCHES OF AGGREGATE BASE COURSE AND FOUR (4) INCHES OF ROAD FINISH ROCK. SEE TYPICAL SECTION ON DETAIL SHEET.
12. AGGREGATE BASE COURSE AND FINISH ROAD ROCK SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER ASTM D-1557. SEE SPECIFICATIONS FOR DETAILS.
13. THE ACCESS ROAD CONNECTION SHALL BE GRADED AND SURFACED AS DETAILED TO THE LIMITS AS SHOWN ON THE PLANS. APPROACH WORK SHALL BE PERFORMED ACCORDING TO HIGHWAY GENERAL PROVISIONS FOR APRONS AND APPROACHES.
14. FOR GEOTECHNICAL INFORMATION REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY GEOSTRATA, PROJECT NO. 22033.00, DATED 09/23/2024.
15. CULVERTS SHALL BE TWELVE (12) INCHES IN DIAMETER ASTM C-76 CLASS IV REINFORCED CONCRETE PIPES.
16. CLEAR & GRADE DITCHES AS REQUIRED FOR NEW CULVERTS AND INSTALL RIPRAP AT PIPE ENDS AS DETAILED ON PLANS.
17. DISTURBED SLOPES OUTSIDE OF THE SUBSTATION AREA SHALL HAVE A CULTIVATED SURFACE SOIL OR ADEQUATE GROWING MEDIUM IN A CONDITION FAVORABLE FOR SEED GROWTH. REMOVE ALL ROCKS, WEEDS, DEBRIS AND MATTER DETRIMENTAL TO SEED GERMINATION AND GROWTH. THE SEED MIXTURE SHALL INCLUDE A VARIETY OF GRASSES WHICH ARE SUITABLE TO THE LOCAL CLIMATE, AND SHALL BE SUPPLIED BY A STATE CERTIFIED SEED VENDOR. THE SEED AND FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY THE SEED SUPPLIER. IF MULCH IS USED IT SHALL BE FREE OF NOXIOUS WEED SEEDS AND PLANTS, AND IT SHALL BE PROCESSED TO HAVE THE ABILITY TO COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL. THE CONTRACTOR SHALL USE HYDRO-SEEDING TECHNIQUES, OR AN APPROVED EQUIVALENT, TO APPLY THE SEED AND MULCH. IF VEGETATION CANNOT BE ESTABLISHED DUE TO THE CLIMATE CONDITIONS THEN BLANKETS SHALL BE INSTALLED ON SIDE SLOPES THAT ARE VULNERABLE TO EROSION (SEE DETAILS ON SHEET X). ALL SEEDS AND APPLICATION TECHNIQUES SHALL BE PRE-APPROVED.

ESTIMATED QUANTITIES:

EARTHWORK QUANTITIES SHOWN ARE ESTIMATES ONLY AND ARE IN BANK CUBIC YARDS WITH NO ALLOWANCE FOR SHRINK OR SWELL. THE CONTRACTORS SHALL CALCULATE THEIR OWN ITEMIZED EARTHWORK AND MATERIAL QUANTITIES FOR THIS PROJECT.

QUANTITIES DO NOT INCLUDE EXCAVATED OR FILL MATERIAL FOR FOUNDATION WORK.

PROPERTY AREA	1.01 ACRES
LIMITS OF CONSTRUCTION (DISTURBED AREA)	0.80 ACRES
TOPSOIL (ORGANICS) REMOVAL	461 C.Y.
EXCAVATED NATIVE SOIL USED FOR FILL	231 C.Y.
EXPORTED OR STOCKPILED TOPSOIL	230 C.Y.
TOTAL EXPORTED TOPSOIL	0* C.Y.
TOTAL EXPORTED CUT	0* C.Y.
IMPORTED FINISH YARD ROCK & ROAD ROCK	462 C.Y.
TOTAL IMPORTED MATERIAL	462 C.Y.

NOTE: *APPROX 1000 CY OF EXCESS SUBSOIL AND TOPSOIL TO BE LOST ON ON SITE

NOTE: THE DRAWING IS BASED UPON UNIVERSAL TRANVERSE MERCATOR SYSTEM, UTM83-12F. NAD83 DATUM, ZONE 12, US FOOT, CENTRAL MERIDIAN 111D W. THE COORDINATE ARE PROVIDED AS NORTHING AND EASTING.

Point Table				
Point #	Raw Description	Elevation	Northing	Easting
113	CORNER OF YARD ROCK	9596.000	13696909.1627	1105484.2799
117	EDGE OF ROAD & YARD ROCK	9589.290	13696933.4004	1105460.8845
127	W-E & N-S INTERSECTION	9582.918	13697040.5230	1105450.2220
129	SOUTH BASELINE	9585.233	13696967.0684	1105520.9921
125	EAST BASELINE	9579.930	13697080.7400	1105491.9645
114	CORNER OF YARD ROCK	9582.918	13696990.6292	1105568.4172
130	NORTH BASELINE	9579.124	13697072.0213	1105419.8749
126	WEST BASELINE	9583.490	13696988.4609	1105396.1849
118	EDGE OF ROAD & YARD ROCK	9582.918	13696990.8924	1105554.2775
135	EDGE OF ROAD & YARD ROCK	9587.354	13696947.8032	1105447.0080
134	EDGE OF ROAD & YARD ROCK	9584.260	13696954.7415	1105454.2094
136	EDGE OF YARD ROCK	9580.727	13697062.6936	1105498.9865
132	EAST EX/PR FENCE CONNECTION	9582.352	13697059.1295	1105495.4774
137	EDGE OF ROAD & YARD ROCK	9582.210	13697055.6618	1105491.8753
139	EDGE OF ROAD & YARD ROCK	9583.815	13696988.2662	1105421.9171
133	WEST EX/PR FENCE CONNECTION	9583.976	13696984.7891	1105418.3169
138	EDGE OF YARD ROCK	9584.045	13696981.2700	1105414.7643
140	ACCESS DR PT	9591.281	13696908.0736	1105405.3664
141	ACCESS DR PT	9590.323	13696915.4043	1105393.3163
142	ACCESS DR PC	9589.922	13696916.2876	1105387.5496
143	ACCESS DR PC	9591.755	13696900.0454	1105404.1367
144	W-ACCESSDR-PT	9583.630	13697027.6702	1105532.7264
145	W-ACCESSDR-PT	9584.112	13697016.1118	1105543.8611
146	W-ACCESSDR-PC	9584.526	13697027.6639	1105566.4724
147	W-ACCESSDR-PC	9584.960	13697018.3644	1105558.8883
148	ACCESSDR-PT	9593.809	13696985.4934	1105618.1809
149	ACCESSDR-PT	9594.455	13696977.0949	1105609.4919
150	GATE	9584.255	13697025.6128	1105527.7691
151	GATE	9584.554	13697011.0797	1105541.6432
152	EDGE OF ROAD & YARD ROCK	9584.923	13696940.3386	1105468.0859
153	EDGE OF ROAD & YARD ROCK	9585.530	13696923.3784	1105484.3464

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NOTE:
SEE SHEET 220339.00 FOR
PROFILES, SECTIONS AND DETAILS.

PRELIMINARY

BRIAN HEAD SUBSTATION IRON COUNTY, UTAH GRADING PLAN SITE DEVELOPMENT PLAN		CIVIL		 A BURNS & MCDONNELL COMPANY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
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