



AGENDA FOR AUGUST 5th, 2026
BALDWIN CITY COUNCIL REGULAR MEETING
7:00 p.m.
(Revised 07/31/2026)

7:00 p.m. Call to Order

- a. Pledge of Allegiance
- b. Additions/Corrections to Agenda
- c. Approval of Regular Meeting Agenda With/Without Additions/Corrections

Treasurer's Report:

Sheriff's Report:

Fire Department Report:

- a. Discuss/Approve/Disapprove Cost Modification for Pool Fill and Fire Department Water

Public Comment Requests:

- Scott Schmidt, 14215 285th Avenue NW – Encroachment Agreement for Access on City Property by Elk Lake

Approval of Consent Agenda *(Items on Consent Agenda are reviewed in total by the City Council and may be approved through one motion. Any item on the Consent Agenda may be removed by any of the City Council Members for separate consideration.)*

- Approve Budget Meeting Minutes for July 13th, 2026
- Approve City Council Meeting Minutes for July 15th, 2026
- Approve Special City Council Meeting Minutes for July 27th, 2026
- Approve City of Baldwin Salary & Payment Schedule
- Approve Building Permit Report for May and June 2026
- Approve Resignation for Planning Commissioner, Chad Gerads
- Approve Resolution 26-26 for Revised Site and Building Plans for Andy's Electric (PID# 01-00009-3105)
- Approve Resolution 26-27 Amending a Conditional Use Permit for Burell Consulting/AT&T Mobility (28829 104th Street)

Public Hearing – Adoption of an Interim Ordinance Imposing a Moratorium and Authorizing Study of Telecommunication Antennas and Antenna Support Structures

Disclaimer: This agenda has been prepared to provide information regarding an upcoming meeting of the Baldwin City Council. This document does not claim to be complete and is subject to change. A quorum of the Baldwin City Council must be present. Five Copies of the agenda and one copy of the packet materials are available for review by the public. The meeting will be video and audio recorded for transcription purposes only.

Planning Items:

- a. Discuss/Approve/Disapprove Resolution 26-25; Preliminary Plat and Final Plat Approval to be known as Buck Creek
- b. Discuss Code Enforcements

Park Committee Report – Tom Rush

- a. Discuss/Approve/Disapprove Split Rail Fence at Sandy Lake Beach up to \$500.00

Cemetery Update – Tom Rush**Tabled Items:**

- a. Discuss/Approve/Disapprove Quote from NSU of \$14,566.48 for Telemetry Units – Jay Swanson

New Business:

- a. Discuss/Approve/Disapprove Meals for Election Judges – Jay Swanson
- b. Discuss/Approve/Disapprove Discontinuing Baldwin Newspaper – Scott Case
- c. Discuss/Approve/Disapprove Revising Current Newsletter – Scott Case
- d. Discuss/Approve/Disapprove Quotes for New Service Counter at City Hall – Jay Swanson
- e. Discuss/Approve/Disapprove Request for Proposals for Annual Auditing Services Contract – Jay Swanson
- f. Schedule Budget Meeting – Jay Swanson
- g. Discuss/Approve/Disapprove 2026 Crack Sealing Quotes – Alan Walker
- h. Discuss/Approve/Disapprove 2026 Micro Surfacing Quotes – Alan Walker
- i. Discuss/Approve/Disapprove Sandy Lake Time Extension Change Order – Alan Walker
- j. Discuss/Approve/Disapprove Taking Over Outdoor Warning Sirens from Sherburne County – Jay Swanson
- k. Discuss/Approve/Disapprove Quote from NSU for Frontier Trails WWTF Permit Reissuance Submittal of \$1980.00 – Jay Swanson
- l. Discuss IT Security and Upgrades – Scott Case

Announcements:

- a. Primary Election Tuesday, August 11th, 2026. Polls Open from 7:00 a.m. to 8:00 p.m.
- b. City Council Meeting with the Planning Commission Wednesday, August 12th, 2026 at 7:00 a.m.
- c. Next City Council Meeting Wednesday, August 19th, 2026 at 7:00 p.m.
- d. Baldwin Fire Dance August 29th, 2026 from 8:00 pm. To Midnight
- e. Baldwin Fire Department Open House September 12th, 2026 from 11:00 a.m. to 3:00 p.m.
- f. Baldwin FunFest September 19th, 2026 from 11:00 a.m. to 3:00 p.m. held at Young Park

Any Other Business:

Approve Bills for Payment:

Adjourn:

[illegible]



Sherburne County Sheriff
13880 Business Center Dr
Elk River MN 55330
Ph: (763) 765-3500

CAD Summary Report - City of Baldwin July 2026

Printed On: 08/03/26 09:27

Sherburne County Sheriff

	07/26	Total
91000 DRUGS/NARCOTICS	3	3
91450 DWI	1	1
91600 DISTURBING THE PEACE	4	4
91650 HARASSMENT	8	8
91800 PROPERTY DAMAGE	3	3
9201 DAR/DAS/DAC	4	4
92200 CRIMES AGAINST ADMIN JUS	1	1
92700 TRESPASS	1	1
92750 FRAUD COMPLAINT	3	3
9302 ANIMAL LOST	1	1
9312 ANIMAL FOUND	1	1
9314 ABANDONED VEHICLE	1	1
9420 ACCIDENT-MV-PERSONAL INJ	1	1
9462 ACCIDENT-VEHICLE VS ANIMA	2	2
9560 ANIMAL COMPLAINT	2	2
9562 DOG COMPLAINT	2	2
9563 DOG BITE	1	1
9600 FIRE-OTHER	1	1
9601 FIRE-DWELLING	3	3
9603 FIRE-VEHICLE	1	1
9604 FIRE-GRASS	1	1
9730 MEDICAL	14	14
9762 ALARM-MEDICAL	1	1
9800 MISCELLANEOUS PUBLIC	1	1
9801 DOMESTIC	5	5
9802 PUBLIC ASSIST	6	6
9803 AGENCY ASSIST	5	5
9805 CIVIL COMPLAINT	7	7
9807 TRAFFIC STOP	63	63
9808 TRAFFIC COMPLAINT	6	6



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CAD Summary Report - City of Baldwin July 2026

Printed On: 08/03/26 09:27

9810 GARBAGE/LITTERING	1	1
9811 SUSPICIOUS PERSON	2	2
9812 SUSPICIOUS VEHICLE	5	5
9813 JUVENILE COMPLAINT	2	2
9817 SECURITY CHECK	9	9
9818 EXTRA PATROL	19	19
9819 LOUD MUSIC COMPLAINT	1	1
9823 CHECK THE WELFARE	21	21
9829 FIREWORKS COMPLAINT	3	3
9834 PARKING COMPLAINT	1	1
9850 PAPER SERVICE	16	16
9853 SUSPICIOUS ACTIVITY	8	8
9863 HAZARDOUS ROAD CONDITIONS	3	3
9900 MISCELLANEOUS OFFICER	12	12
9904 WARRANT ARREST	3	3
9937 911 HANG UP	3	3
M5350 JUVENILE RUNAWAY	2	2
Park Patrol	4	4
Public lift assist	1	1
VEHICLE LOCKOUT	1	1
Total	270	270

THE CITY OF BALDWIN PUBLIC COMMENT REQUEST FORM

As a courtesy, the City Council provides a public comment period as part of the agenda of its regular meetings. This is your chance to address the City Council on matters not on the agenda. Persons may address the City Council during the public comment period, provided they do so in compliance with the City's Administrative Policy.

Those wishing to address the City Council at the public comment portion of the meeting must comply with the following:

1. Fill out the form below, detach and present it to the Clerk/Treasurer or Mayor prior to the public comment portion of the meeting.
2. Each speaker is limited to 5 minutes. The Public comment section of the meeting is limited to 30 minutes total.
 - Speakers not heard will be first to present at the next City Council meeting or can be placed at the end of the current meeting agenda.
 - A person may only speak during the public comment period one time per month unless the Mayor/Acting Mayor approves another request form from the person to speak on a different subject.
3. Comments must relate to matters within the City Council's authority and be limited to the subject listed on the submitted request form.
4. The Mayor/Acting Mayor will review the request forms and will not allow a person to speak during the comment period if their request is not consistent with the Administrative Policy. Any commenter that fails to limit their comments to the listed subject, to the allowed time, or otherwise does not act in accordance with the Administrative Policy forfeits their opportunity to present to the City Council.
5. No one will be allowed to disrupt a City Council meeting.
6. The City Council will decide what action, if any, is appropriate to respond to the comments made.

Thank you!

TO ALL PERSONS ADDRESSING THE CITY COUNCIL AT PUBLIC COMMENT:

In order to accurately record your name and address to the official minutes of this meeting, please complete the following and hand it to the clerk, before addressing the City Council.

DATE: 8/5/2026

NAME: Scott Schmidt

ADDRESS: 14215 285th Ave NW Zimmerman

PHONE: 763-443-4124

SUBJECT TO BE PRESENTED TO THE CITY COUNCIL:

Public water way project access to lake Encroachment agreement with City of Baldwin



 **DRAFT**

BALDWIN CITY COUNCIL SPECIAL MEETING

JULY 13th, 2026

Present – Mayor Jay Swanson, City Council Members; Tom Rush, Alan Walker, and Scott Case

Absent – City Council Member Jeff Holm

Call to Order – The July 13th, 2026 special meeting of the City of Baldwin was called to order by Mayor Jay Swanson at 7:00 p.m.

Pledge of Allegiance – All present recited the Pledge of Allegiance

Review 2026 Budget/Line Items for Each Fund and Establish 2027 Budget/Line Items – The City Council reviewed all the expenditure budget lines and compared the 2025 budget lines alongside the 2026 YTD actuals. There was discussion on expenditure increases over the past few years for repair of vehicles, tires, personal protective equipment (PPE) and fuel. Upcoming road maintenance projects include micro surfacing, crack and chip sealing. The City Council will be scheduling another budget meeting to review line items, discuss amendments and analyze revenues.

Adjourn - Case/Walker unanimous to approve adjourning at 10:30 p.m.

Submitted By: (s/) Joan Heinen
Clerk/Treasurer
City of Baldwin

Approved By: (s/) Jay Swanson
Mayor
City of Baldwin

Date

Attendees: Bruce West



BALDWIN CITY COUNCIL REGULAR MEETING

 **DRAFT**

JULY 15th, 2026

Present – Mayor Jay Swanson, City Council; Tom Rush, Alan Walker and Scott Case

Absent - Jeff Holm

Also Present – City Planning & Zoning Administrator; Dan Licht from The Planning Company (TPC), City Attorney; Bob Ruppe from Couri & Ruppe LLC, City Engineer; Sam Jochum from Hakanson Anderson

Call to Order – The July 15th 2026 regular meeting of the City of Baldwin was called to order by Mayor Jay Swanson at 7:00 p.m.

Pledge of Allegiance – All present recited the Pledge of Allegiance

Prayer Request from Delmas Hines

Additions/Corrections to Agenda

Approval of Regular Meeting Agenda With/Without Additions/Corrections - Rush/Case unanimous to approve as amended.

June 2026 Final Treasurer's Report – Beginning balance of \$1,155,438.43, receipts of \$765,726.26, disbursements of \$205,365.34; check number 29525 – 29594, void check number 29520 and 29436 from April and May 2026, 11 EFT payments, leaving an unaudited ending balance of \$1,715,799.35.

July 2026 Preliminary Treasurer's Report – The Clerk/Treasurer reported a beginning balance of \$1,715,799.35, receipts of \$81,406.27, disbursements of \$344,741.62, leaving an unaudited ending balance of \$1,452,464.00.

Public Comment Requests - None

Approval of Consent Agenda – Case/Rush unanimous to approve the Consent Agenda.

- Approve City Council Meeting Minutes for July 1st, 2026

Planning Items:

Discuss/Approve/Disapprove Resolution 26-20; Conditional Use Permit for Vertical Bridge/The Towers LLC at 28509 128th Street – City Attorney Ruppe said he reviewed the application and agrees with the City Planner that the proposed location is not a residential area as defined by the Zoning Ordinance. City Attorney Ruppe and City Planner Licht recommend approval of the application. City Attorney Ruppe explained



that denial of the application may result in a lawsuit that the City could lose, as the current ordinance permits cell towers in the area with conditions.

Motion by Case to adopt Resolution 26-20 approving a Conditional Use Permit for Vertical Bridge. Second by Swanson.

The City Council discussed further. City Planner Licht explained that if a motion fails due to a tie vote, the Council Members voting no must state for the record the reason for their vote. Rush asked the application was tabled, what would be the date that the decision would need to be made by. Licht stated that the City Council must act to approve or deny the application by August 28, 2026.

Motion carried 4-0.

Discuss/Approve/Disapprove Directing City Staff to Notice a Public Hearing and Preparing an Interim Ordinance Establishing a Moratorium on Application for Communication Towers – Case/Walker unanimous to approve City Staff to notice a public hearing and prepare an Interim Ordinance establishing a moratorium on application for communication towers.

Schedule Joint Meeting with the Planning Commission on August 12th to Discuss Cell Tower Ordinance Revisions. Side Lot Setback Requirements on Smaller Lots and Other Planning Commission Information. – Rush/Case unanimous to approve a joint meeting between the Planning Commission and City Council. This meeting will be scheduled for August 12th, 2026 which is typically the Special Planning Commission Meeting night.

Engineering:

Discuss/Approve/Disapprove Resolution 26-23; Construction Plans, Project Specifications and Authorizing Advertisement for Bids for the 2026 Microsurfacing Project – Rush/Case unanimous to approve Resolution 26-23.

Discuss/Approve/Disapprove Request for Quotes for the 2026 Crack Sealing Project – Case/Rush unanimous to approve going out for quotes for the 2026 crack sealing project. The quotes will be sent out on July 16th, 2026 and will need to be submitted by August 3rd, 2026 before 10:00 a.m.

Discuss Hakanson Anderson Construction and Observation for the 2026 Crack Sealing Project – Jochum, City Engineer, stated that this is an hourly rate for their office to manage the crack sealing project. Jochum asked the City Council if they wanted someone managing the project full-time or just occasional check-ins. Swanson stated that the answer would be “as required.” Swanson requested further discussion when the bids are opened.

Discuss/Approve/Disapprove Construction Pay Application No. 2 for the 2026 Street Reconstruction Project – Case/Rush unanimous to approve pay application No. 2 for the 2026 Street Reconstruction project of \$91,728.20.

Discuss Construction Cost Estimate for Chip Sealing – The estimate received from Hakanson Anderson is \$11.50 per square yard for chip seal over a gravel roadway and \$5.90 per square yard for chip seal over an existing chip seal roadway. The preliminary quantities are approximately 1,880 square yards of gravel roadways and 25,300 square yards of exiting chip seal roadways. Using the unit costs identified, the total estimated construction cost is approximately \$170,890. Rush stated that the \$5.90 can be used because most roads just need chip seal over the existing chip seal except for a few by Sandy Lake. The City Council was in agreement with Hakanson Anderson preparing cost estimates for chip sealing.

Discuss Resident Meeting Date for 303rd Avenue Street Reconstruction Project – The City Council is considering holding a meeting for the residents on 303rd Avenue to show plans, explain effects, and identify affected residents. The presentation will show an aerial view of 303rd Avenue with proposed roadway edges and new right-of-way lines. Hakanson Anderson is proposing the meeting be held on July 27th, 2026 at 7:00 p.m. **Rush/Walker unanimous to approve** meeting on July 27th, 2026 and for Hakanson Anderson to mail letters to the residents. There are approximately 10-12 residents on this road.

Discuss/Approve/Disapprove Ordinance 2026-09; Amending Ordinance 100 Right-of-Way Permits and Resolution 26-24 – **Rush/Walker unanimous to approve** Ordinance 2026-09.

Discuss/Approve/Disapprove Resolution 26-24; Delegating Authority to Issue Certain Public Right-Of-Way Permits – **Case/Walker unanimous to approve** Resolution 26-24.

Frontier Trails Update:

Discuss June 2026 Wastewater Operation Summary – June 2026 Wastewater operation summary for the month of June 2026 stated that the aerator was broken.

Discuss Revenues and Expenditures for Frontier Trails SSD – Swanson reported that the expenditures for the month of June were \$6759.44 and revenues were \$7595.99.

Road Report:

Discuss Public Works Report – Full Public Works Report on file in the Clerk's office or online at baldwinmn.gov under Government/Agenda & Minutes/Agenda Packet.

Discuss/Approve/Disapprove Micro Surface Project Striping – The estimate received from Hakanson Anderson for stripping the roads after the micro surfacing project would be \$33,900.00 construction cost for only striping roads that currently have striping now and \$41,900.00 for construction costs for striping all streets within the



project. **Rush/Walker unanimous to disapprove** striping for the micro surfacing project.

Tabled Items:

Discuss/Approve/Disapprove Quote from NSU of \$14,566.48 for Telemetry Units – Rush/Case unanimous to table until the August 5th, 2026 City Council meeting.

Discuss/Approve/Disapprove Eliminating Direct Deposit for Fire Department Payroll – Rush/Case unanimous to approve eliminating direct deposit for Fire Department payroll.

Discuss/Approve/Disapprove Survey on 100th Street – The estimated cost for staking the proposed right of way easement on 100th Street would be \$6230.00. This cost includes office preparation work for point computations, approximately 20 hours of field work, and equipment costs per Hakanson Anderson's normal rate. **Case/Walker approved, Rush disapproved, motion carried with a 3-1 vote.**

New Business:

Discuss Expenditure Procedure for Continuing Education for Public Works – Rush discussed that at the June 3rd, 2026 City Council meeting, continuing education for Public Works was to be paid upfront and reimbursed after passing of the course. The full expenditure for these courses was \$3750.00 for a multi-week class and each course was approximately \$700.00. Rush stated that this needs to be fair across all departments and the city should have a policy. Rush does not think the employee should pay for the classes upfront. The City Council discussed that the current practice for fire department training was that most training is paid for by the State of Minnesota. The fire fighters must pass courses to be reimbursed and failure to pass requires reimbursement to the city. Swanson stated that the fire department training should not be compared to staff continuing education. Swanson stated that the classes need to be job-appropriate and that the cost thresholds under \$1,000.00 could be approved by the City Council. Case would like to obtain copies of continuing education/reimbursement policies from other cities.

Discuss Cameras at Young Park – Walker stated that the cameras currently at Young Park should be moved to the trails and the city should upgrade the current cameras at Young Park. Case requested the cost for new cameras and wi-fi installation at Young Park. Case stated that the camera location would also need to be determined.

Discuss/Approve/Disapprove Quotes for Tree Removal at Elk Lake Rain Garden – The City received two quotes to remove a tree at Elk Lake Rain Garden. The quote from North Metro Tree Service was \$3250.00 and the quote from Jake's Top-Notch Tree Service was \$1,500.00. **Rush/Case unanimous to approve** quote from Jake's Top-Notch Tree Service for \$1,500.00.



Discuss/Approve/Disapprove Discontinuing Task Tracking Spreadsheets for Staff – Rush discussed that he has received enough information from the task tracking spreadsheets that have been emailed to the City Council. Case stated that this should be done for a full year as discussed at the January 21st, 2026 City Council meeting. Swanson would like a full year of data to understand staffing needs for various tasks (e.g., snowplowing, mowing, run reports for fire department etc.) The City Council desires an Excel spreadsheet with formulas for easy daily entry and automatic updates.

Discuss/Approve/Disapprove Restitution for Vandalism at Young Park - Case/Rush unanimous to approve proceeding with restitution for damages done at Young Park on July 1st, 2026.

Discuss Tire Skid Marks at Young Park Parking Lot – City Attorney will contact Sherburne County Attorney's Office to inquire about willingness to enforce, contract modification, and preferred ordinance language including reckless driving conduct in nature. **Case/Walker unanimous to approve** City Attorney contacting Sherburne County Attorney's Office.

Discuss/Approve/Disapprove Scheduling Infrastructure Meeting – Rush/Case unanimous to approve scheduling next Infrastructure meeting.

Discuss Park Rental – Park rental last weekend was cancelled due to the heat. Rush is requesting City Council input on if it's okay to reschedule for another weekend in August. Case would like certain inclement weather to be added to our refund/cancellation policy. **Case/Walker unanimous to approve** rescheduling the July 12th, 2026 park rental to another date in August.

Rush/Case unanimous to approve Park Committee discussing Park Rental refund/cancellation policy and bring their recommendations back to the City Council.

Announcements:

- a. July 14th – July 28th, Filing Period Opens for Municipal Office of Mayor; Four Year Term and Two Positions for City Council; Four-Year Term
- b. Park Committee Meeting Thursday, July 16th, 2026 at 7:00 p.m.
- c. Planning Commission Meeting Wednesday, July 22nd, 2026 at 7:00 p.m.
- d. Next City Council Meeting Wednesday, August 5th, 2026 at 7:00 p.m.
- e. Primary Election Tuesday, August 11th, 2026. Polls Open from 7:00 a.m. to 8:00 p.m.
- f. National Night Out August 4th, 2026 from 6:00 p.m. to 8:30 p.m. at Baldwin City Hall and Blue Hill Township
- g. Baldwin Fire Dance August 29th, 2026 from 8:00 pm. to Midnight
- h. Baldwin Fire Department Open House September 12th, 2026 from 11:00 a.m. to 3:00 p.m.
- i. Baldwin FunFest September 19th, 2026 from 11:00 a.m. to 3:00 p.m. held at Young Park

Any Other Business – Rush stated that the Fire Department garage sale is today and tomorrow.



Case discussed that the calculation for the Clerk's pay increase was calculated incorrectly by the Deputy Clerk. The City Council approved the 15% increase, but the dollar amount was incorrect on the spreadsheet that the City Council viewed.

Approve Bill for Payment – Rush/Case unanimous to approve check numbers 29626 – 29663 for \$75,963.95, 36 EFT for Fire Department payroll for 55,223.09 and 7 EFT payments for \$6990.77 for a total of \$138,177.81.

At the July 1st City Council meeting, check number 29624 for \$24,035.97 was held. The City Council wanted the City Engineer to verify the work that had been completed at Hardy Homestead. Total approved payments at tonight's meeting were \$162,213.78.

Adjourn – Rush/Walker unanimous to approve adjourning at 9:44 p.m.

Submitted By: (s/) Joan Heinen
Clerk/Treasurer
City of Baldwin

Approved By: (s/) Jay Swanson
Mayor
City of Baldwin

Date

Attendees: Delmas Hines, Dave & Chris Durelle, Judith Kantor, Jeff Knutson, Pat Boudreau, Bruce West, Dave & Brenda Cowles, Tim Derrick, Jan Takata, Jonathan Clover and Val Hardy.



DRAFT

BALDWIN CITY COUNCIL SPECIAL MEETING

JULY 27th, 2026

Present – Mayor Jay Swanson, City Council Members; Tom Rush and Alan Walker

Absent – Council Members Scott Case, and Jeff Holm

Also Present – City Engineer, Shane Nelson with Hakanson Anderson

Call to Order – The July 27th, 2026 special meeting of the City of Baldwin was called to order by Mayor Jay Swanson at 7:00 p.m.

Pledge of Allegiance – All present recited the Pledge of Allegiance

Roadway Improvement Project Informational Meeting – City Engineer went through PowerPoint Presentation. The purpose of the meeting is to receive resident feedback on the potential reconstruction of 303rd Avenue before proceeding with the project. Full presentation online at Baldwinmn.gov under Agenda/Minutes, Agenda Packet. A few residents are concerned on trees being removed. The City Council will discuss at the August 19th, 2026 City Council meeting if a survey can be completed so residents will know the impacted areas.

Adjourn – Rush/Walker unanimous to approve adjourning at 8:17 p.m.

Submitted By: (s/) Joan Heinen
Clerk/Treasurer
City of Baldwin

Approved By: (s/) Jay Swanson
Mayor
City of Baldwin

Date

Attendees: Lonnie Wolgast, Jeffrey Brown, Philip Larson, Charles & Dannie McConaughay, Troy & Shelley Scheffel and Mary Blattner.

CITY OF BALDWIN SALARY & PAYMENT SCHEDULE

- 1. MAYOR, CITY COUNCIL & CLERK/TREASURER:**

Monthly Base Pay (Mayor/City Council Only)	\$100.00
Per Meeting (Mayor/City Council)	\$100.00
Per Hour (Mayor/City Council Only)	\$25.00
Per Hour (Clerk/Treasurer)	\$37.00-\$44.00
Mileage (Per Mile) for Council Approved Meetings & Activities	IRS Allowable - \$.70 as of 1/1/2025
- 2. DEPUTY CLERK:** \$24.00 - \$30.00/Hour
(Typing, word processing, mailings, filing,
Phone messages, Assisting people, Special Planning
Commission and Park meetings)
- 3. ADMIN SUPPORT:** \$18.00 - \$22.00/Hour
(Typing, word processing, filing, Cemetery, Planning Commission)
- 4. ROAD MAINTENANCE WORKER:** \$29.00 - \$38.00/Hour
Snow Plowing and Sanding with City Truck
Patching Blacktop as needed, Brushing, Installing Signs
Maintaining an Inventory of Road Conditions & Equipment
GENERAL WORK: Striping, Shoveling, Maintenance Duties
City Hall Maintenance: Custodial duties (i.e. City Hall
Cleaning, Windows, Bathrooms, Trash Removal,
Lawn Mowing, Weed Whipping.
Cemetery Maintenance: Mowing, Weed Whipping, Trash Removal as needed.
- 5. ASSISTANT TO ROAD MAINTENANCE WORKER (Summer help):**
General work as directed by the City Council \$Prevailing Minimum Wage
- 6. ELECTION JUDGES:** \$18.00/Hour
HEAD ELECTION JUDGES: \$20.00/Hour
- 7. ANIMAL CONTROL (plus mileage)** \$100.00/per animal
- 8. VETERINARIAN EXPENSE (Room & Board/Disposal)** Up to \$300.00
- 9. GOPHER FEET BOUNTY (Must live in the City of Baldwin)** \$2.00/Pair
- 10. DCPE PERA CONTRIBUTION (ELECTED OFFICIALS) – 5% of Gross Wages**
- 11. COORDINATED PERA CONTRIBUTION (ELIGIBLE EMPLOYEES) – 7.5% of Gross Wages**
- 12. PLANNING COMMISSION** *Approved 2/26/24* \$50.00/Meeting
- 13. PARK COMMITTEE** *Approved 4/1/24* \$35.00/Meeting
- 14. CEMETARY COORDINATOR** \$100.00/Monthly

Revised 9/10/2024 Revised 7/8/2026

Revised 1/29/2025

New Public – Township Information



Contract Area: City of Baldwin - May 2026

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2026-062	5/11/2026	30649 114TH ST NW	Swimming Pool	\$ 548.15	\$ 383.71	\$ 356.30	\$ 285.04	\$ 668.75
BA2026-079	5/11/26	30686 137TH ST NW	Additional Plan Review (Minimum)	\$ 47.50			\$ -	\$ 47.50
BA2026-079	5/1/2026	30686 137TH ST NW	Accessory Structure	\$ 323.60	\$ 226.52	\$ 257.84	\$ 206.27	\$ 432.79
BA2026-081	5/6/2026	13098 295TH AVE NW	Additional Plan Review (Minimum)	\$ 47.50			\$ -	\$ 47.50
BA2026-092	5/4/2026	11915 317TH AVE NW	Non-Residential Alteration/Remodel	\$ 174.65	\$ 122.26	\$ 113.52	\$ 90.82	\$ 213.07
BA2026-096	5/4/2026	30847 141ST ST NW	Building New Construction	\$ 2,104.65	\$ 1,473.26	\$ 1,368.02	\$ 1,094.42	\$ 2,567.67
BA2026-097	5/7/2026	31540 125 1/2 ST NW Suite 103	Building Alteration/Remodel	\$ 472.55	\$ 330.79	\$ 307.16	\$ 245.73	\$ 576.51
BA2026-099	5/4/2026	30847 141ST ST NW	New Septic	\$ 450.00			\$ -	\$ 350.00
BA2026-101	5/7/2026	30413 136TH ST NW	Building Solar	\$ 764.15	\$ 534.91	\$ 496.70	\$ 397.36	\$ 932.27
BA2026-104	5/6/2026	29476 131ST ST NW	Deck	\$ 125.00	\$ 87.50	\$ 81.25	\$ 65.00	\$ 152.50
BA2026-106	5/6/2026	29334 139TH CT NW	Deck	\$ 125.00	\$ 87.50	\$ 81.25	\$ 65.00	\$ 152.50
BA2026-108	5/13/2026	13098 295TH AVE NW	New Septic	\$ 450.00			\$ -	\$ 350.00
BA2026-109	5/13/2026	29428 131ST ST NW	New Septic	\$ 450.00			\$ -	\$ 350.00
BA2026-110	5/13/2026	30322 136TH ST NW	New Septic	\$ 450.00			\$ -	\$ 350.00
BA2026-113	5/14/2026	30305 136TH ST NW	Building Accessory Structure	\$ 356.70	\$ 249.69	\$ 231.86	\$ 185.49	\$ 435.18
BA2026-114	5/1/2026	27944 128TH ST NW	Mechanical Addition	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-115	5/11/2026	28609 131ST ST NW	Deck	\$ 141.55	\$ 99.09	\$ 92.01	\$ 73.61	\$ 172.69



Contract Area: City of Baldwin - May 2026

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2026-116	5/11/2026	10240 321ST AVE NW	Plumbing Water Heater	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-117	5/4/2026	9734 321ST AVE NW	Plumbing Water Heater	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-118	5/4/2026	31603 127TH ST NW	Roof	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-119	5/5/2026	30686 137TH ST NW	Mechanical Boiler	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-120	5/13/2026	30125 97TH ST NW	Building Alteration/Remodel	\$ 191.20	\$ 133.84	\$ 124.28	\$ 99.42	\$ 233.26
BA2026-121	5/13/2026	30125 97th St NW	Plumbing Alteration/Remodel	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-123	5/7/2026	29428 131ST ST NW	Plumbing New Construction	\$ 150.00	\$ 105.00		\$ -	\$ 105.00
BA2026-124	5/7/2026	30322 136TH ST NW	Plumbing New Construction	\$ 150.00	\$ 105.00		\$ -	\$ 105.00
BA2026-125	5/7/2026	29428 131ST ST NW	Mechanical New Construction	\$ 150.00	\$ 105.00		\$ -	\$ 105.00
BA2026-126	5/7/2026	30322 136TH ST NW	Mechanical New Construction	\$ 150.00	\$ 105.00		\$ -	\$ 105.00
BA2026-127	5/6/2026	28513 127TH ST NW	A/C	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-128	5/7/2026	13098 295TH AVE NW	Plumbing New Construction	\$ 150.00	\$ 105.00		\$ -	\$ 105.00
BA2026-129	5/7/2026	13098 295TH AVE NW	Mechanical New Construction	\$ 150.00	\$ 105.00		\$ -	\$ 105.00
BA2026-131	5/7/2026	30847 141ST ST NW	Mechanical New Construction	\$ 150.00	\$ 105.00		\$ -	\$ 105.00
BA2026-132	5/7/2026	30847 141ST ST NW	Plumbing New Construction	\$ 150.00	\$ 105.00		\$ -	\$ 105.00
BA2026-133	5/7/2026	27931 116TH ST NW	Roof	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-135	5/14/2026	11720 305TH AVE NW	Window/Door	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-136	5/19/2026	10225 299TH AVE NW	Window/Door	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-138	5/12/2026	12935 302ND AVE NW	Siding	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-139	5/12/2026	27956 142ND ST NW	Miscellaneous Mechanical	\$ 185.00	\$ 129.50		\$ -	\$ 129.50



Contract Area: City of Baldwin - May 2026

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2026-140	5/28/2026	13226 289TH AVE NW	New Construction	\$ 3,333.15	\$ 2,333.21	\$ 2,166.55	\$ 1,733.24	\$ 4,066.45
BA2026-142	5/14/2026	12843 312TH AVE NW	Mechanical Furnace	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-145	5/26/2026	14234 296TH AVE NW	Window/Door	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-146	5/19/2026	11573 290TH AVE NW	Furnace & A/C	\$ 185.00	\$ 129.50		\$ -	\$ 129.50
BA2026-149	5/28/2026	28124 PAR DR NW	Replacement Septic	\$ 450.00			\$ -	\$ 350.00
BA2026-150	5/20/2026	30605 117TH ST NW	Furnace & A/C	\$ 185.00	\$ 129.50		\$ -	\$ 129.50
BA2026-153	5/28/2026	10339 311TH AVE NW	Accessory Structure	\$ 488.15	\$ 341.71	\$ 317.30	\$ 253.84	\$ 595.55
BA2026-156	5/28/2026	13820 277TH AVE NW	Window/Door	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-157	5/28/2026	10240 299TH AVE NW	Window/Door	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-160	5/29/2026	10733 308TH AVE NW	Siding	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
TOTAL				\$ 15,248.50	\$ 9,032.45	\$ 5,994.04	\$ 4,795.23	\$ 15,672.68

*Minimum Permit Fee \$75 / Plan Review \$50



Contract Area: City of Baldwin - June 2026

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2026-088	6/16/26	xxxx 131ST ST NW	Non-Residential Accessory Structure	\$ 353.85	\$ 247.70	\$ 230.00	\$ 184.00	\$ 431.70
BA2026-098	6/8/2026	11520 282ND CT NW	Building Accessory Structure	\$ 174.65	\$ 122.26	\$ 113.52	\$ 90.82	\$ 213.07
BA2026-143	6/3/2026	30312 138TH ST NW	Building New Construction	\$ 1,976.40	\$ 1,383.48	\$ 1,284.66	\$ 1,027.73	\$ 2,411.21
BA2026-144	6/16/2026	12724 316 1/2 AVE NW	Replacement Septic	\$ 450.00		\$ -	\$ -	\$ 350.00
BA2026-147	6/4/2026	30964 116TH ST NW	Deck	\$ 158.10	\$ 110.67	\$ 102.77	\$ 82.22	\$ 192.89
BA2026-148	6/16/2026	9804 302ND AVE NW	Replacement Septic	\$ 450.00		\$ -	\$ -	\$ 350.00
BA2026-151	6/3/2026	30312 138TH ST NW	New Septic	\$ 450.00		\$ -	\$ -	\$ 350.00
BA2026-152	6/8/2026	14262 277TH AVE NW	Building Accessory Structure	\$ 515.15	\$ 360.61	\$ 334.85	\$ 267.88	\$ 628.49
BA2026-154	6/29/2026	28405 128th St NW	Building Accessory Structure	\$ 307.05	\$ 214.94	\$ 199.58	\$ 159.66	\$ 374.60
BA2026-155	6/11/2026	28348 135TH ST NW	Deck	\$ 174.65	\$ 122.26	\$ 113.52	\$ 90.82	\$ 213.07
BA2026-158	6/17/2026	14250 277TH AVE NW	New Construction	\$ 2,327.40	\$ 1,629.18	\$ 1,512.81	\$ 1,210.25	\$ 2,839.43
BA2026-159	6/5/2026	11573 290TH AVE NW	Plumbing Alteration/Remodel	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-161	6/4/2026	13818 298TH AVE NW	Egress Window	\$ 125.00	\$ 87.50	\$ 81.25	\$ 65.00	\$ 152.50
BA2026-162	6/5/2026	11573 290TH AVE NW	Building Alteration/Remodel	\$ 174.65	\$ 122.26	\$ 113.52	\$ 90.82	\$ 213.07
BA2026-163	6/29/2026	11760 283RD AVE NW	A/C	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-164	6/10/2026	29098 128th ST NW	Building Accessory Structure	\$ 515.15	\$ 360.61	\$ 334.85	\$ 267.88	\$ 628.49
BA2026-165	6/24/2026	14249 278TH Ave NW	Building New Construction	\$ 2,232.90	\$ 1,563.03	\$ 1,451.39	\$ 1,161.11	\$ 2,724.14
BA2026-166	6/9/2026	28602 97TH ST NW	Plumbing Water Heater	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-167	6/1/2026	28115 LAKE DIANN RD NW	Water Conditioner	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-169	6/30/2026	30304 136TH ST NW	Building New Construction	\$ 1,598.40	\$ 1,118.88	\$ 1,038.96	\$ 831.17	\$ 1,950.05



Contract Area: City of Baldwin - June 2026

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2026-171	6/16/2026	12740 289TH AVE NW	Replacement Septic	\$ 450.00		\$ -	\$ -	\$ 350.00
BA2026-172	6/22/2026	14300 294TH AVE NW	Deck	\$ 174.65	\$ 122.26	\$ 113.52	\$ 90.82	\$ 213.07
BA2026-173	6/9/2026	10203 316TH AVE NW	Window/Door - Cancelled 7/13/26. Original Permit \$125, with 80% Refund available.	\$ 25.00	\$ 17.50	\$ -	\$ -	\$ 17.50
BA2026-174	6/8/2026	10205 325TH AVE NW	Roof	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-175	6/8/2026	30649 114TH ST NW	Gas Line	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-176	6/10/2026	12133 305TH AVE NW	Window/Door	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-179	6/9/2026	13838 306TH AVE NW	Plumbing Addition	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-180	6/15/2026	30305 136th St NW	New Septic	\$ 450.00			\$ -	\$ 350.00
BA2026-181	6/11/2026	14231 288TH AVE NW	A/C	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-183	6/11/2026	13838 306TH AVE NW	Mechanical Addition	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-184	6/11/2026	13014 286TH AVE NW	Furnace & A/C	\$ 185.00	\$ 129.50	\$ -	\$ -	\$ 129.50
BA2026-185	6/15/2026	13949 325TH AVE NW	Roof	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-186	6/15/2026	31014 105TH ST NW	Window/Door	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-187	6/26/2026	12526 319TH AVE NW	Non-Residential Mechanical Addition	\$ 764.15	\$ 534.91	\$ 496.70	\$ 397.36	\$ 932.27
BA2026-188	6/17/2026	28426 131ST ST NW	Window/Door	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-189	6/18/2026	30305 136TH ST NW	Miscellaneous Mechanical	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-190	6/18/2026	30305 136TH ST NW	Plumbing Accessory Structure	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50



Contract Area: City of Baldwin - June 2026

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2026-191	6/17/2026	13737 283RD AVE NW	Roof	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-192	6/18/2026	27931 116th St NW	Basement Finish	\$ 174.65	\$ 122.26	\$ 113.52	\$ 90.82	\$ 213.07
BA2026-192	6/18/2026	27931 116th St NW	Investigative Fee	\$ 75.00				\$ 75.00
BA2026-193	6/18/2026	30847 141st ST NW	Mechanical Gas Fireplace	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2026-195	6/22/2026	30312 138TH ST NW	Plumbing New Construction	\$ 150.00	\$ 105.00	\$ -	\$ -	\$ 105.00
BA2026-196	6/22/2026	30312 138TH ST NW	Mechanical New Construction	\$ 150.00	\$ 105.00	\$ -	\$ -	\$ 105.00
BA2026-198	6/23/2026	13337 290TH AVE NW	A/C	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-201	6/24/2026	13226 289TH AVE NW	Building New Construction	\$ 150.00	\$ 105.00	\$ -	\$ -	\$ 105.00
BA2026-202	6/25/2026	13226 289TH AVE NW	Miscellaneous Mechanical	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-204	6/26/2026	13094 286TH AVE NW	Building Alteration/Remodel	\$ 323.60	\$ 226.52	\$ 210.34	\$ 168.27	\$ 394.79
BA2026-205	6/26/2026	13094 286TH AVE NW	Plumbing Alteration/Remodel	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-208	6/26/2026	31041 134TH ST NW	Siding	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-211	6/29/2026	32315 104TH ST NW	Roof	\$ 125.00	\$ 87.50	\$ -	\$ -	\$ 87.50
BA2026-214	6/30/2026	29428 131ST ST NW	Mechanical New Construction	\$ 150.00	\$ 105.00	\$ -	\$ -	\$ 105.00
TOTAL				\$ 17,955.40	\$ 10,941.28	\$ 7,845.76	\$ 6,276.61	\$ 19,042.89

*Minimum Permit Fee \$75 / Plan Review \$50

Kayla Nielsen

From: Chad Gerads <chadnorthland@gmail.com>
Sent: Tuesday, July 21, 2026 5:24 PM
To: Kayla Nielsen
Subject: Re: Baldwin/ Scott Case Retirement

Follow Up Flag: Follow up
Flag Status: Flagged

Kayla,
I will be unable to attend today's meeting due to work commitments.
With that said, I am going to have to resign from this position.

When I applied and interviewed, I was optimistic I could make the schedule work.

Over the last few weeks, my career has expected more of me, and I acknowledge the best decision is for someone to take my place who can fully commit to the planning commission.

If something changes in the future, I am eager to become more involved.

I want to thank everyone for their welcoming, and I appreciate being apart of a community that is lead my passionate residents.

-Chad Gerads

On Tue, Jul 21, 2026 at 12:45 PM Kayla Nielsen <deputy.clerk@baldwinmn.gov> wrote:

Hello -

Please see the attached flyer. We will be celebrating Scott Case's retirement from the Fire Department on Friday, August 7 at 5:00 pm.
Please let me know if you have any questions.

Thank you

Kayla Nielsen

Deputy Clerk/Treasurer

Phone: (763) 389-8931

Fax: (763) 389-2751



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Baldwin Mayor and City Council

FROM: D. Daniel Licht

REPORT DATE: 29 July 2026

RE: Baldwin – Andy’s Electric (01-00009-3105); Revised Site/Building Plans

TPC FILE: 269.02

BACKGROUND

Andy’s Electric is proposing to develop a 5.03-acre parcel located on the south side of 313th Avenue west of US Highway 169. The proposed development requires Site and Building Plan Review as outlined by Chapter 9 of the Zoning Ordinance. Site and Building Plan Review applications are subject to the recommendations of the Planning Commission and approval of the City Council.

The Planning Commission considered an initial Site and Building Plan Review application at its meeting on 25 March 2026. The City Council subsequently approved the Site and Building Plans subject to the conditions recommended by the Planning Commission at its meeting on 1 April 2026. Following City Council approval, the developer completed the required wetland delineation, which identified larger wetland areas within the subject property and potential impacts related to the site design. Under the Wetland Conservation Act, wetland impacts must be avoided as a first option if reasonable development of a property is still feasible.

The developer has revised the site plan to minimize wetland impacts resulting from the proposed development. The revised site plan includes an initial 6,520-square-foot building with potential for a 3,500-square-foot addition. The Planning Commission reviewed the revised site plan at its meeting on 22 July 2026.

Exhibits:

- Site Location Map
- Civil plan set dated June 2026 (13 sheets)
- Certificate of Survey

ANALYSIS

Comprehensive Plan. The Comprehensive Plan guides development of high quality, high value industrial businesses that expand tax base and create employment opportunities within Baldwin. The proposed development is intended to accommodate the owner's electrical contracting business. Providing opportunity for new and expanded businesses within Baldwin is consistent with the economic development goals of the Comprehensive Plan.

Zoning. The subject property is zoned I1, General Industrial District. Occupancy of the proposed building is planned for the property owner's electrical contractor business. Use of the building space for office, shop, and warehouse purposes by an electrical contractor is a permitted use within the I1 District. Any other occupants of the building or its expansion will be required to be a permitted, interim, or conditional use within the I1 District.

Surrounding Uses. The subject property is surrounded by the following existing and planned land uses:

Direction	Land Use Plan	Zoning Map	Existing Use
North	Commercial	C1 District	Lifestyle Tint
East	Industrial	I1 District	Undeveloped
South	Rural	R1 District	Single family dwellings
West	Industrial	I1 District	Miller Tax & Book Keeping Central Fleet Services

The only potential compatibility issue with surrounding uses is the existing residential dwellings to the south and the nonconforming residential dwellings to the west. The subject property is separated from the single family dwellings to the south by significant tree stands, wetlands, and distance. The orientation of the proposed building also effectively screens any site activity from the residential uses to the south.

Lot Requirements. Section 900-71-7 of the Zoning Ordinance requires lots within the I1 District to be a minimum of 30,000 square feet in area, a minimum of 150 feet in width, and a minimum of 200 feet in depth. The subject property is 5.03 acres, or 221,720.4 square feet, in area. The width of the subject property is 315 feet and the depth of the property is 695 feet. The subject property complies with the minimum lot requirements of the I1 District.

Setbacks. Section 900-71-8 of the Zoning Ordinance establishes the following setbacks applicable to the proposed building including the potential addition. The location of the proposed initial building and the potential future addition comply with all setback requirements.

Yard	Required	Proposed
313 th Ave (not platted)	100ft.	110ft.
Interior Side	50ft.	E: 50ft. W: 50ft.
Rear Yard	50ft.	+500ft.

Building Materials. The exterior finish requirements applicable to the proposed building for industrial uses facing 313th Avenue are established in Section 900-D.2 of the Zoning Ordinance. Revised plans for the proposed principal building are required to be submitted to verify compliance with the exterior finish requirements of the Zoning Ordinance, subject to review and approval by the Zoning Administrator.

Building Height. Section 900-71-9.A of the Zoning Ordinance limits the height of principal buildings within the I1 District to 35 feet. Building height is defined by the Zoning Ordinance as measured to the mid-point of a pitched roof. The height of the proposed building is to be verified at the time a building permit is applied for and is subject to review and approval by the Zoning Administrator.

Access. The site plan proposes two accesses to 313th Avenue.

Section 1.08.3(b) of the Right-of-Way Ordinance requires the driveway to be set back a minimum of 75 feet from the intersection of two public streets. The west driveway is to be set back 80 feet from the centerline of 126th Street and 313th Avenue.

Section 1.08.3(c) of the Right-of-Way Ordinance requires the driveway to be set back a minimum of 10 feet from the side lot lines. The proposed accesses are each more than 10 feet from the side lot lines and comply with the Right-of-Way Ordinance.

Section 1.08.4(b) of the Right-of-Way Ordinance limits the access width to 24 feet measured at the right-of-way line or edge of pavement, unless approved by the City Engineer. The west access is proposed as 49 feet wide, and the east access is proposed as 39 feet wide. The civil plans include turning radii for a semi-tractor trailer, demonstrating the need for accesses wider than 24 feet.

Off-Street Parking. Section 900-21-4.B.1.a of the Zoning Ordinance requires that off-street areas be set back 15 feet from public rights-of-way or roadway easements. The off-street drive aisles and parking spaces comply with the setback requirements of the Zoning Ordinance.

Section 900-21-7 of the Zoning Ordinance establishes the minimum number of off-street parking spaces to be provided for specific uses, which is calculated in the table below for the initial 6,520-square-foot building.

Use	Gross Floor Area	Net Floor Area	Parking Required	Required Spaces
Office	1,520sf.	1,368sf.	1/250sf.	6
Warehouse	5,000sf.	4,500sf.	1/2000sf.	3
Total				9

The site plan illustrates 18 off-street parking spaces, including one Americans with Disabilities Act van-accessible space. The 18 off-street parking spaces are sufficient for the initial building and exceed the number of spaces required by the Zoning Ordinance. The calculation of required parking spaces will need to be reevaluated in the future if the building is proposed to be expanded.

Section 900-21-6.A of the Zoning Ordinance requires off-street parking spaces to be a minimum of 9 feet wide by 18 feet deep. The parking spaces shown on the site plan comply with these dimensions and are accessed by drive aisles at least 26 feet in width to allow sufficient area for maneuvering and to access the loading doors on the north elevation of the building.

Section 900-21-6.B.2 of the Zoning Ordinance requires that off-street parking spaces and drive aisles for industrial uses be surfaced with asphalt or concrete. The site plan illustrates that the off-street parking area is to be surfaced with asphalt.

Section 900-21-6.B.3 of the Zoning Ordinance requires a 6-inch concrete curb at the perimeter of off-street parking areas. The site plan illustrates concrete curb as required within the front yard.

The design and construction of off-street parking areas is to be subject to review and approval of the City Engineer.

Landscaping. Section 900-19-2 of the Zoning Ordinance requires all industrial uses to provide a landscape plan and specifications for plantings to be installed with an emphasis upon the following areas:

- a. *The boundary or perimeter of the proposed site at points adjoining other property.*
- b. *The immediate perimeter of the structure.*
- c. *The perimeter of parking and loading areas within the front yard or side yard of a corner lot abutting a public right-of-way.*
- d. *Quantities:*

<i>Districts</i>	<i>Yard</i>		
	<i>Front</i>	<i>Side</i>	<i>Rear</i>
<i>Industrial; only lots abutting US Highway 169, 128th Street, 313th Avenue, or Rum River Drive</i>	<i>-1 shade or evergreen tree/50ft. of frontage - Turf grass</i>	<i>Turf grass</i>	<i>Turf grass or natural landscape</i>
<i>Other Industrial</i>	<i>Turf grass</i>	<i>Turf grass</i>	<i>Turf grass or natural landscape</i>

The subject property is required to provide a minimum of three deciduous shade or evergreen trees within the front yard along 313th Avenue. Deciduous trees are required to be a minimum of 2.5 caliper inches and evergreen trees must be a minimum of 6 feet in height at the base of the leader. A landscape plan illustrating the required trees will be required to be submitted with application for a building permit and is subject to review and approval by the Zoning Administrator.

Lighting Plan. Section 900-16-10 of the Zoning Ordinance establishes performance standards for outdoor lighting. Industrial uses are required to provide a plan for any lighting used to illuminate a building, structure, parking, or other area within the lot, which must be arranged to deflect light away from any adjoining property or from any public right-of-way. A lighting plan that includes photometric illumination patterns, light intensity, fixture shielding, and height specifications is to be submitted and is subject to review and approval by the Zoning Administrator prior to issuance of a building permit.

Waste Storage. The site and building plans do not identify a location for waste and recycling container storage for the proposed use. Any outdoor waste and recycling containers are required to be within an enclosure that screens the containers from view of public streets and adjacent properties. Plans for an exterior waste and recycling container enclosure are subject to review and approval by the Zoning Administrator.

Signs. The submitted plans do not identify freestanding or wall signs to be placed upon the property. Installation of any signs upon the property must comply with Chapter 23 of the Zoning Ordinance and requires a sign permit approved by the Zoning Administrator.

Stormwater Management. Plans for grading, erosion control, and stormwater management have been submitted for the property. As noted in the background section, a wetland delineation was completed that necessitated changes to the site plan. The revised setback still impacts delineated wetland areas but only to the extent allowed as a de minimis impact.

The City Engineer has reviewed the remaining wetland impacts together with the revised grading, drainage, and erosion control plans and given approval. The property owner will also be required to execute a Stormwater Maintenance Agreement prior to issuance of a building permit.

Utilities. Provision of sewer and water utilities for the proposed use of the subject property is to be provided by a Subsurface Sewage Treatment System and a private well. All plans for construction of a Subsurface Sewage Treatment System and a private well are subject to review and approval by the Building Official prior to issuance of a building permit.

RECOMMENDATION

The revised site and building plans comply with the provisions of the Zoning Ordinance, subject to conditions that will be addressed administratively by City staff during the building permit review. Our office recommends approval of the application as outlined below. The Planning Commission voted unanimously to recommend approval of the revised site and building plans.

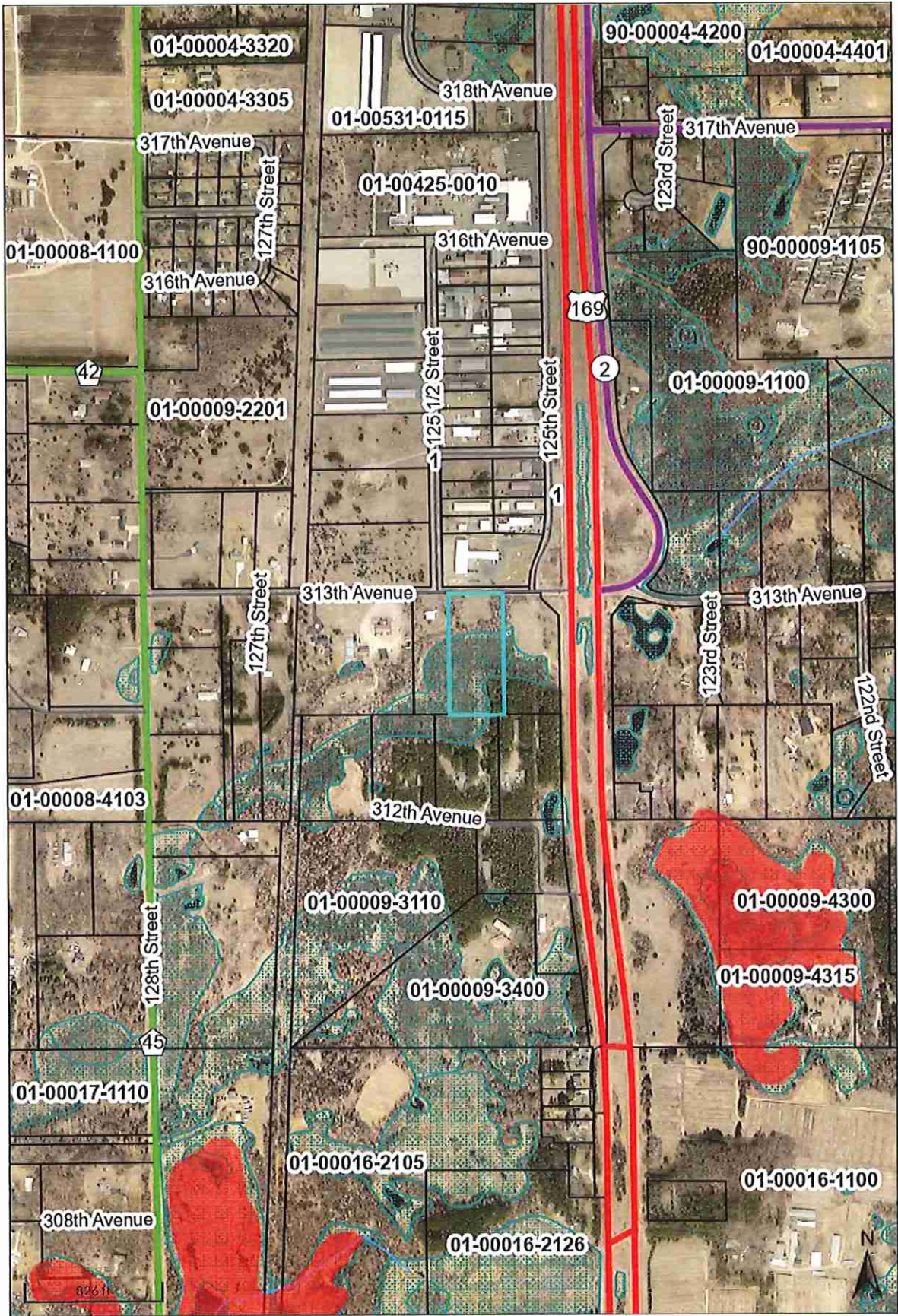
POSSIBLE MOTION

Motion to adopt Resolution 26-26 of site and building plans for PID 01-00009-3105 subject to the following conditions:

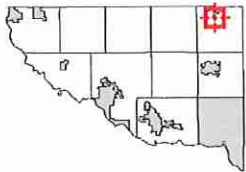
1. The subject property shall be developed in accordance with the site and building plans submitted to the City, subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-5 of the Zoning Ordinance.
2. Expansion of the principal building shall require only approval of a building permit provided that the structure complies with the provisions of the Zoning Ordinance then in effect, subject to review and approval of the Zoning Administrator.
3. Uses occupying the subject property shall include only those permitted uses allowed within the I1 District, or those conditional or interim uses subject to approval of the necessary zoning application; residential occupancy of the principal building is prohibited.
4. The exterior finish of the principal building shall comply with Section 900-D.2 of the Zoning Ordinance, subject to review and approval by the Zoning Administrator.
5. The height of the principal building shall comply with Section 900-71-9.A, subject to review and approval by the Zoning Administrator.

6. A landscape plan shall be submitted for the subject property to include planting of the minimum number of trees as required by the Zoning Ordinance, subject to review and approval by the Zoning Administrator.
 7. The design and construction of off-street parking areas shall be subject to review and approval by the City Engineer.
 8. A photometric lighting plan detailing intensity, fixture design, and height that complies with Section 900-16-10 of the Zoning Ordinance shall be submitted prior to issuance of a building permit, subject to review and approval by the Zoning Administrator.
 9. Any exterior storage of waste containers shall be within an enclosure that screens the area from view of public rights-of-way and adjacent properties, subject to review and approval by the Zoning Administrator.
 10. All signs shall comply with Chapter 23 of the Zoning Ordinance, subject to issuance of a sign permit by the Zoning Administrator.
 11. All wetland delineation, grading, drainage, and erosion control plans shall be subject to review and approval by the City Engineer.
 12. The property owner shall enter into a Stormwater Maintenance Agreement drafted by the City Attorney and subject to approval of the City Council.
 13. All utility plans shall be subject to review and approval by the Building Official.
- c. Joan Heinen, City Clerk/Treasurer
Sam Jochum, City Engineer
Bob Ruppe, City Attorney
Andy Schreder, Building Official

Andy's Electric
Site Location Map

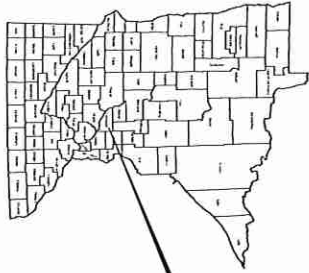


Overview



Legend

- Public Water Inventory**
- Not Classified
 - General Development
 - Natural Environment
 - Recreational Development
- Roads**
- MN Highway; US Highway
 - Municipal-State Aid Street
 - Municipal Street
 - Township Road
 - State Forest Road
 - Bureau of Fish and Wildlife Road
 - Connector (Ramp)
 - Privately Maintained Public Access Road
 - County Road
 - County-State Aid Highway
- Other Features**
- Parcels
 - Streams
 - Wetlands



PROJECT LOCATION
CITY OF BALDWIN, SHERBURNE COUNTY, MINN.

ANDYS ELECTRIC
BALDWIN, MINNESOTA
JUNE 2026

PROJECT INFORMATION:

OWNER - ANDY'S ELECTRIC	
NAME: ANDREW FRANEY	
ADDRESS: PO BOX 160, PRINCETON, MN 55377	
BUILDER/ARCHITECT - STRUCTURAL BUILDINGS	
NAME: ERIC STINGRABER	
ADDRESS: 12926 FIRST ST., BECKER, MN 55308	
ENGINEER - WIDDETH	
NAME: CHRISTOPHER J. DAHN	
ADDRESS: 13076 FIRST ST., BECKER, MN 55308	



SHEET INDEX TABLE	
SHEET NUMBERS	SHEET TITLE
C100	TITLE SHEET
C200	LEGEND SHEET
C300	DETAILS
C401	DETAILS
W400	EXISTING CONDITIONS
C500	DEMOLITION PLAN
C600	SITE PLAN
C700	VEHICLE TRACKING MOVEMENT
C800	UTILITY PLAN
C900	SWYTH SUBSTATION
C1000	ORIGINATING PLAN
C1100	EMERGENCY CONTROL PLAN
C1200	FIREFIGHTER DRAINAGE

MAP SOURCE & YEAR: AUTOCAD GEOLOCATION MAPPING, 2026
MAP DESCRIPTION: PARTIAL MAP OF BALDWIN, SHERBURNE COUNTY, MINNESOTA

WIDSETH
ARCHITECTS • ENGINEERS • INTERIORS • SUSTAINABLE

DRAWN BY:
DME
CHECKED BY:
CJD

CHARACTERISTICS	1870	1900	1920	1940	1960	1980	2000
POPULATION	1,000,000	1,500,000	2,000,000	2,500,000	3,000,000	3,500,000	4,000,000
GDP	100	150	200	250	300	350	400
UNEMPLOYMENT	10%	12%	15%	18%	20%	22%	25%
INFLATION	2%	3%	4%	5%	6%	7%	8%
INTEREST RATE	5%	6%	7%	8%	9%	10%	11%
GOVERNMENT EXPENDITURE	10%	12%	15%	18%	20%	22%	25%
GOVERNMENT REVENUE	8%	10%	12%	15%	18%	20%	22%
GOVERNMENT DEBT	5%	7%	10%	12%	15%	18%	20%
GOVERNMENT DEFICIT	2%	2%	3%	3%	2%	2%	3%
GOVERNMENT SURPLUS	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT BALANCE	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT LIABILITIES	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT ASSETS	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT NET WORTH	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT DEBT TO GDP	5%	7%	10%	12%	15%	18%	20%
GOVERNMENT DEFICIT TO GDP	2%	2%	3%	3%	2%	2%	3%
GOVERNMENT SURPLUS TO GDP	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT BALANCE TO GDP	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT LIABILITIES TO GDP	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT ASSETS TO GDP	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT NET WORTH TO GDP	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT DEBT TO POPULATION	5%	7%	10%	12%	15%	18%	20%
GOVERNMENT DEFICIT TO POPULATION	2%	2%	3%	3%	2%	2%	3%
GOVERNMENT SURPLUS TO POPULATION	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT BALANCE TO POPULATION	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT LIABILITIES TO POPULATION	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT ASSETS TO POPULATION	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT NET WORTH TO POPULATION	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT DEBT TO GDP AND POPULATION	5%	7%	10%	12%	15%	18%	20%
GOVERNMENT DEFICIT TO GDP AND POPULATION	2%	2%	3%	3%	2%	2%	3%
GOVERNMENT SURPLUS TO GDP AND POPULATION	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT BALANCE TO GDP AND POPULATION	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT LIABILITIES TO GDP AND POPULATION	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT ASSETS TO GDP AND POPULATION	0%	0%	0%	0%	0%	0%	0%
GOVERNMENT NET WORTH TO GDP AND POPULATION	0%	0%	0%	0%	0%	0%	0%

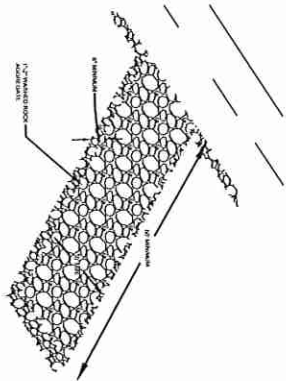
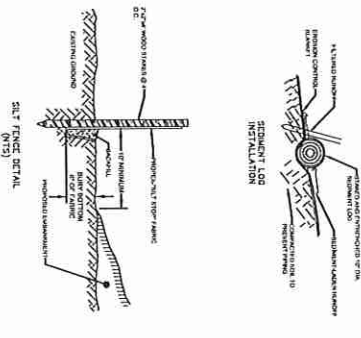
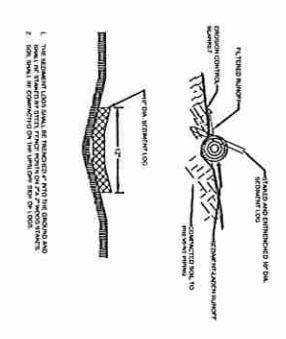
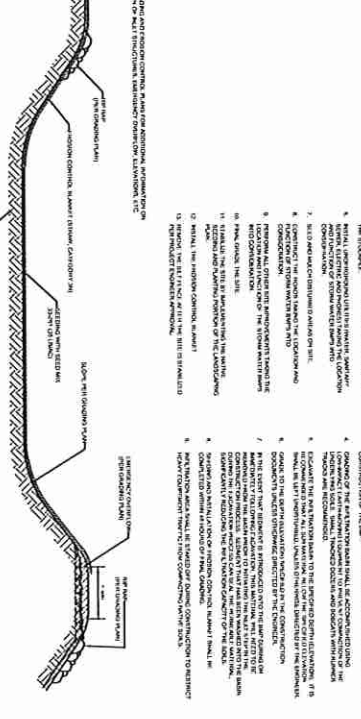
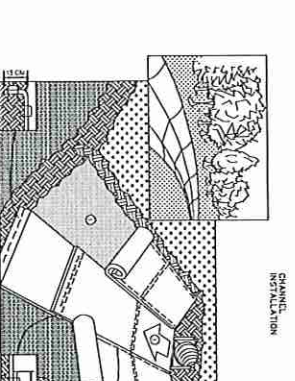
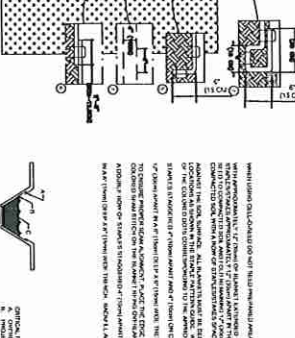
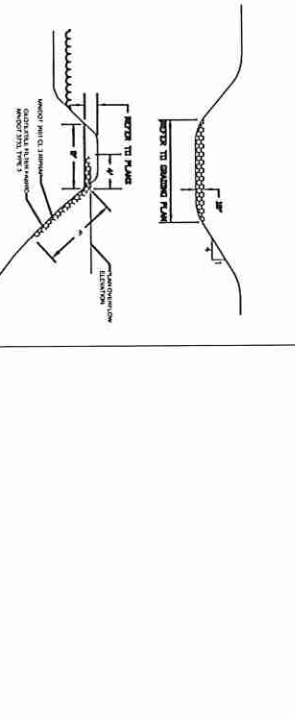
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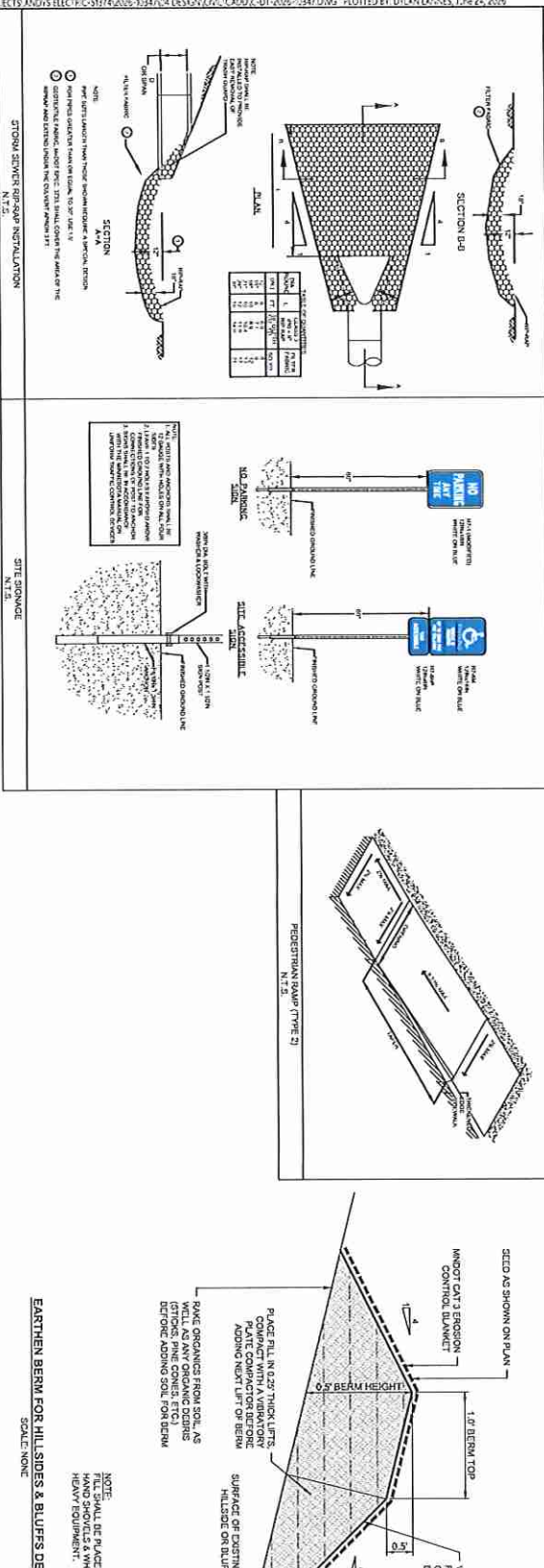
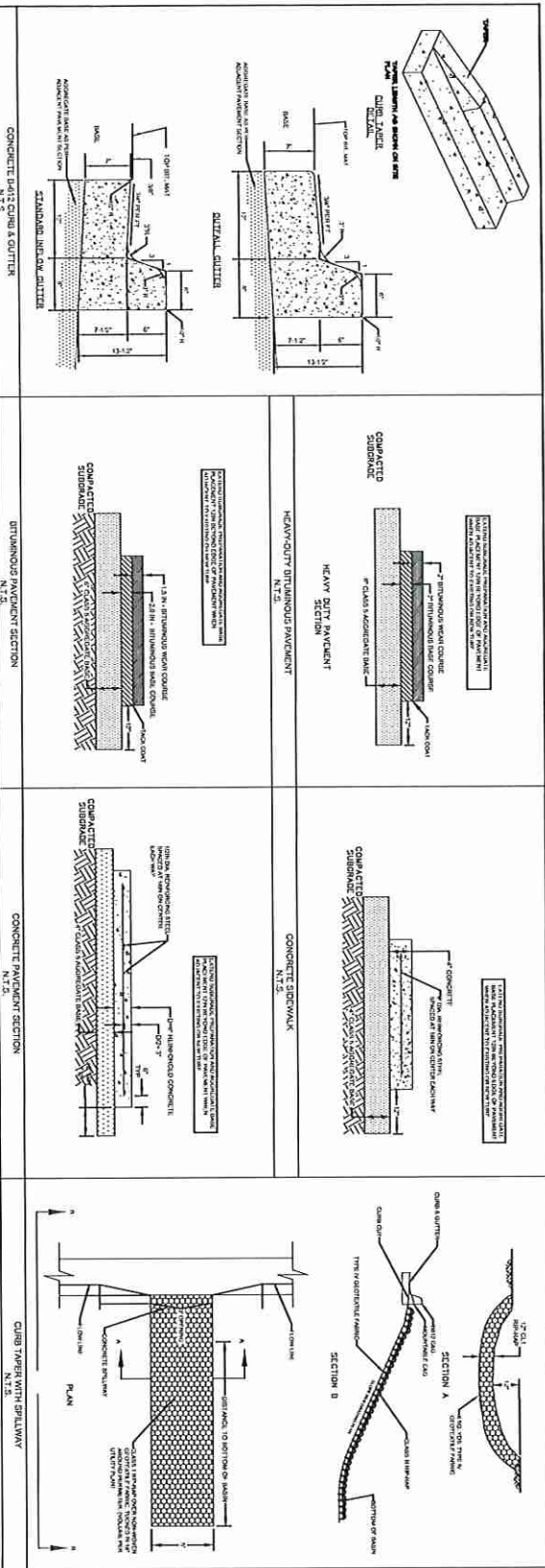
Andys Electric Project in The City of Baldwin, MN

TITLE SHEET

C1.00

PROJECT # 2026-10247

	 1. THE SEGMENT CONTROL SHALL BE INSTALLED AT THE END OF THE ROAD AND SHALL BE CONSTRUCTED TO THE FOLLOWING DETAIL:	 1. THE SEGMENT CONTROL SHALL BE INSTALLED AT THE END OF THE ROAD AND SHALL BE CONSTRUCTED TO THE FOLLOWING DETAIL:	 1. THE INfiltration BASIN SHALL BE CONSTRUCTED TO THE FOLLOWING DETAIL:
	 1. THE EROSION CONTROL MATTING SHALL BE CONSTRUCTED TO THE FOLLOWING DETAIL:	 1. THE EMERGENCY EROSION CONTROL WEIR SHALL BE CONSTRUCTED TO THE FOLLOWING DETAIL:	 1. THE EMERGENCY EROSION CONTROL WEIR SHALL BE CONSTRUCTED TO THE FOLLOWING DETAIL:



WIDSETH
ARCHITECTS • DESIGNERS • CONSULTANTS • BARRISTERS

DRIVEN BY
DNL

CHECKED BY
CD

DESIGNED BY
CD

PROJECT # 2024-1000

Andys Electric Project in The City of Baldwin, MN

DETAILS

C3.01

THIS SHEET IS ONLY VALID IF PRINTED IN COLOR



PROPOSED LEGEND

	BITUMINOUS SURFACE - LIGHT DUTY
	BITUMINOUS SURFACE - HEAVY DUTY
	CONCRETE SURFACE
	CURB & GUTTER
	BUILDING

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.

- UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE 2023 EDITION OF THE STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION.

AND BACILLI/SURFACE RESTORATION, WATERMAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PUBLISHED BY THE CITY ENGINEER ASSOCIATION OF MINNESOTA AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION"

PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2020 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OBTAINED BY THE LOCAL AGENCY.

- THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.

- THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 30.2, ENTITLED "STANDARD AND PRACTICE FOR THE COLLECTION, EVALUATION, AND RECORDATION OF EXISTING UTILITIES DATA FOR THE DESIGN OF NEW UTILITIES AND RECORDATION OF EXISTING UTILITIES DATA FOR THE DESIGN OF NEW UTILITIES".

- CONTRACTOR SHALL CALL GOPHER STATE ONE CALL PRIOR TO BEGINNING REMOVALS.

- PEDESTRIAN FAN(S) SHALL BE CONSTRUCTED IN ACCORDANCE WITH MBDI STANDARD 5-297.250 AND 5-297.254.

- FOLLOWING ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MINDOI STANDARD PRACTICES

*** STANDARD PLATE: 3040H
*** SPECIFICATION REFERENCE: 2501, 2502, 2503
*** METAL ABRON CONNECTIONS

STANDARD PLATE: 3124B
SPECIFICATION REFERENCE: 2506

CONCRETE CURB & GUTTER DESIGN B:
STANDARD PLATE: 7100H

*** SPECIFICATION REFERENCE: 2531

PRINCIPAL STRUCTURE SETTBACKS:

FRONT: 100 FT - FROM TOWNSHIP ROAD CENTERLINE
SIDE: 50 FT - UNPLATTED PARCEL

20 FT - PAVED LOT
 50 FT - UNPAVED PARCEL
 30 FT - UNPAVED LOT

2011 - POC II CD
SITE INFORMATION:

PARKING SETBACKS:
FRONT: 15 FT. (FROM ROW LINE)

310L: 10 FT
310A: 10 FT

PARKING COUNT	
1. 2015-2016	2015-2016

[illegible]

EXISTING			
			0

PROPOSED - PHASE 1	1	14
PROPOSED - PHASE 2		

[illegible]

SCALE IN FEET

The City of Baldwin, MN	C6.0
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PLAN	PROJECT # 2026
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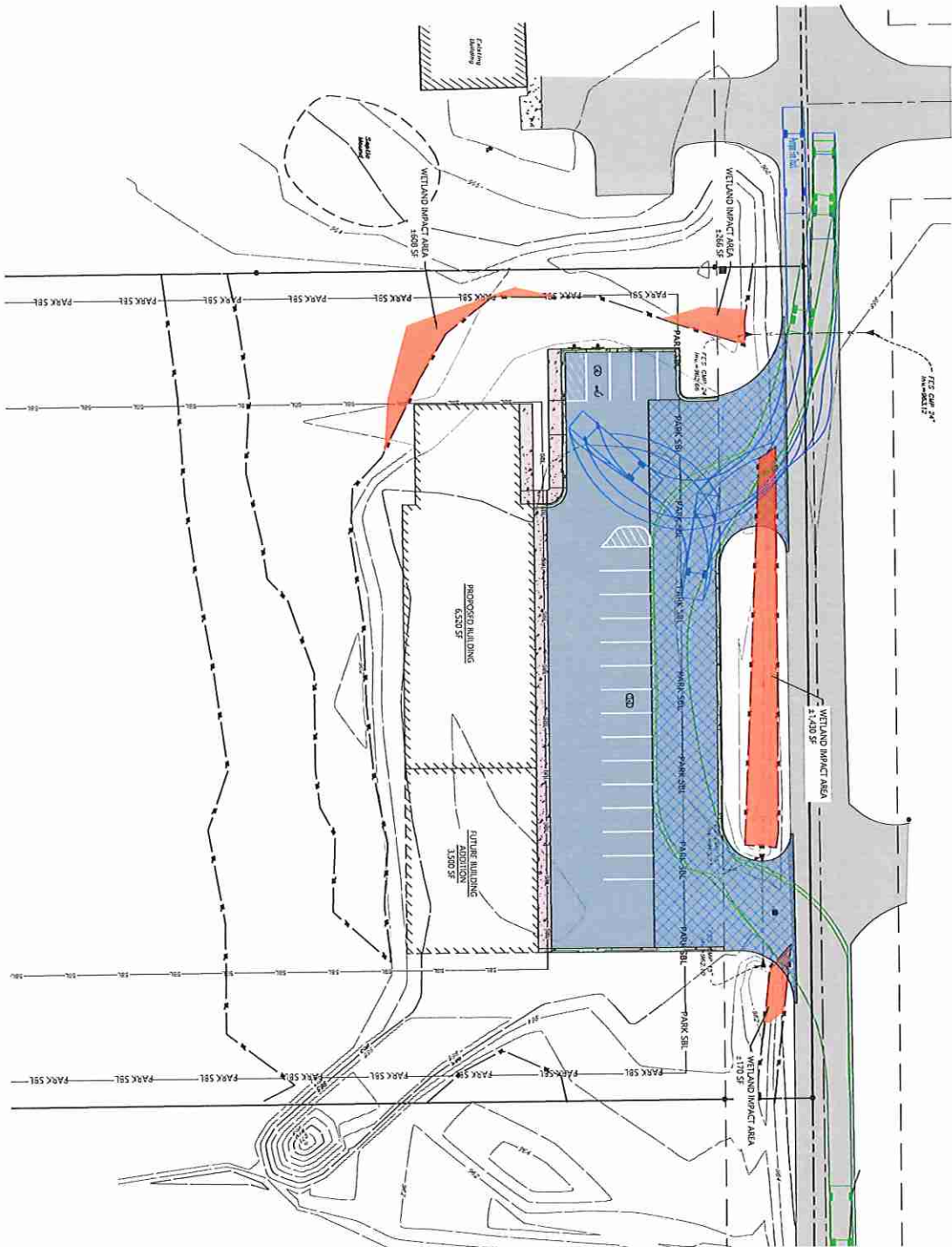
PROJECT: ANDY'S ELECTRIC PROJECT IN THE CITY OF BALDWIN, MINN.
SHEET: WETLAND IMPACT AREA
DATE: 10/24/2025
BY: J. H. H. / J. H. H.

DATE: 10/24/2025
BY: J. H. H. / J. H. H.

Andy's Electric Project in The City of Baldwin, MINN.

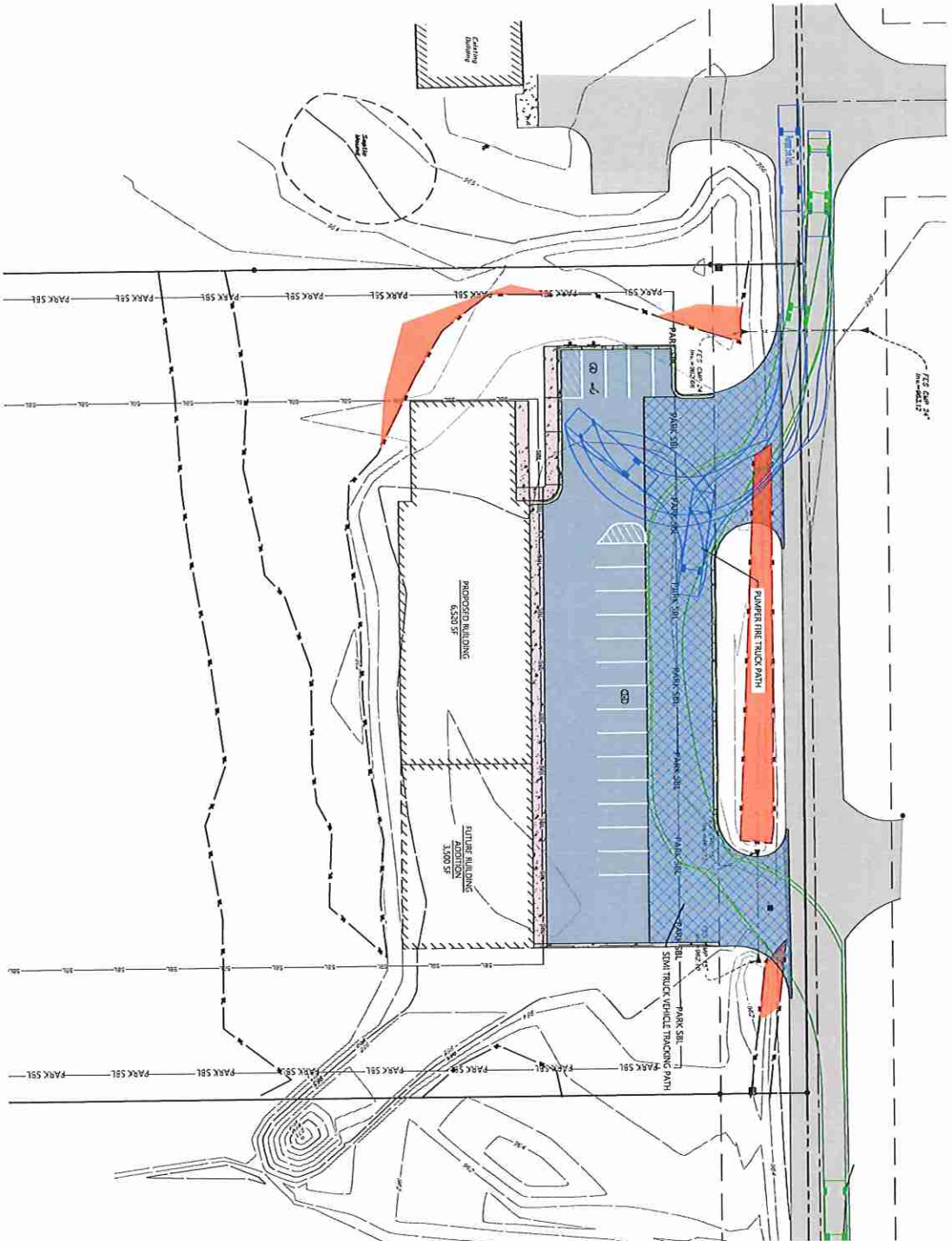
WETLAND IMPACT AREA

C6.01
PROJECT # 2024-1047



PROPOSED LEGEND
WETLAND IMPACT AREAS (WITHIN GRADING LIMITS)

THIS SHEET IS ONLY VALID IF PRINTED IN COLOR



PROPOSED LEGEND



THIS SHEET IS ONLY VALID IF PRINTED IN COLOR

WIDSETH
ARCHITECTS • ENGINEERS • DESIGNERS • SURVEYORS

DRAWN BY:
DML
CHECKED BY:
CD

THIS DOCUMENT IS THE PROPERTY OF WIDSETH ARCHITECTS, ENGINEERS, DESIGNERS, SURVEYORS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WIDSETH ARCHITECTS, ENGINEERS, DESIGNERS, SURVEYORS.

DATE: 11/11/2025
REVISION: 1
DESCRIPTION: 1
DATE: 11/11/2025
REVISION: 1
DESCRIPTION: 1

Andys Electric Project in The City of Baldwin, MN
VEHICLE TRACKING MOVEMENT

C7.00
PROJECT # 31174-2026







Andys Electric Project in The City of Baldwin, MN

WIDSETH

ARCHITECTS • ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS

PROJECT NO. 2026-10-17
DATE: 10/24/2026
PROJECT NAME: ANDY'S ELECTRIC PROJECT IN THE CITY OF BALDWIN, MINN.
PROJECT LOCATION: 10000 10TH AVE S, BALDWIN, MN 55005

DATE: 10/24/2026
BY: DANIEL L. LEE
CHECKED BY: DANIEL L. LEE
PROJECT NO. 2026-10-17

PROJECT NO. 2026-10-17

PROJECT NO. 2026-10-17

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PROJECT NO. 2026-10-17

PROJECT NO. 2026-10-17

PROJECT NO. 2026-10-17

PROJECT NO. 2026-10-17



- ### GENERAL GRADING NOTES
- 1. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THE QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHANCE IN 2. ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPOSITION OF EXISTING SUBSURFACE UTILITY DATA.
 - 2. ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
 - 3. SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADE ELEVATIONS. CUTTER TAIL LINE OF CURB CUTTER TAIL BACK OF SPOT ELEVATIONS (TCL) OF 2.00' (TYP) AND PROPOSED SPOT ELEVATIONS (TCL) OF 2.00' (TYP) UNLESS OTHERWISE NOTED.
 - 4. ALL SLOPES SHALL BE GRADDED TO 3:1 OR FLATTER UNLESS OTHERWISE NOTED ON THE PLANS.
 - 5. THE CONTRACTOR SHALL NOTIFY ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BEGINNING THE PROJECT AND BEGINNING CONSTRUCTION.
 - 6. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BEGINNING THE PROJECT AND COMMENCEMENT OF WORK.
 - 7. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT 24 HOURS RUN-OFF DURING GRADING OPERATIONS. I.E. SLOTTED STORM DRAINS, ETC.
 - 8. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLANS PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS THAT REMAIN TO THEIR ORIGINAL IF NOT BETTER.
 - 9. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL, AND WASTE MATERIALS TO BE HANDLED AND FOR AMOUNT OF CONCRETING TO BE DONE IN ORDER TO MEET THE REQUIREMENTS OF THE CONTRACT.
 - 10. CONTRACTOR SHALL MAINTAIN EASEMENTS FROM EXISTING AND NEW BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, ETC. AS REQUIRED. EXISTING STORM SEWER SHALL NOT BE REMOVED UNTIL TEMPORARY STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE TRAVEL STATE UTILITY CONTRACTOR, ETC. AS REQUIRED.
 - 11. SEE PLAN LEGEND FOR A COMPLETE LIST OF HATCHES AND SYMBOLS USED FOR GRADING.
- ### CUT/FILL VOLUME TABLE
- | ITEM | VALUE |
|--------------------------|------------|
| CUT VOLUME (UNADJUSTED) | 479 CU.YD. |
| FILL VOLUME (UNADJUSTED) | 151 CU.YD. |
| CUT/FILL RATIO | 3.18 |
| ADJUSTED CUT VOLUME* | 479 CU.YD. |
| ADJUSTED FILL VOLUME* | 151 CU.YD. |
| TOTAL CUT/FILL VOLUME* | 630 CU.YD. |
- *ADJUSTED VOLUMES ARE BASED ON A 1% SLOPE ALLOWANCE FOR EXISTING AND PROPOSED SLOPES.
- Grading elevations 12.0' and 12.5' are shown on the plan. The plan is based on a 1% slope allowance for existing and proposed slopes.

WIDSETH
ARCHITECTS • ENGINEERS • CONSULTANTS • LANDSCAPE ARCHITECTS

DESIGNED BY
CHECKED BY
DATE

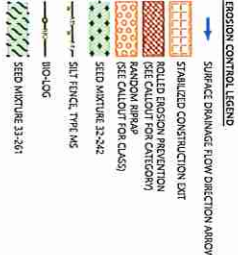
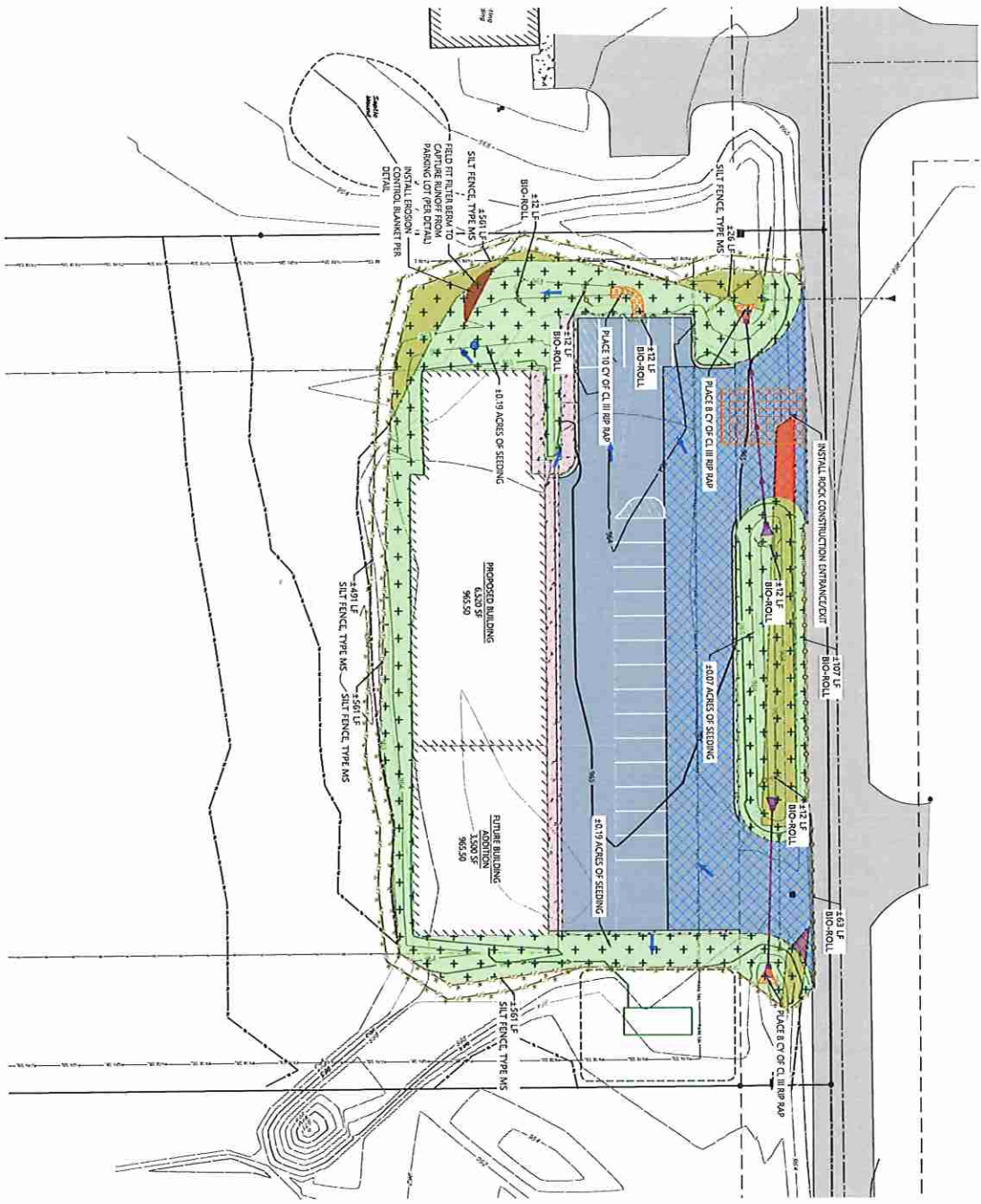
PROJECT LOCATION: 10000 W. 10TH AVE. S., BALDWIN, MN 55120
PROJECT NUMBER: 2023-10347
SHEET NUMBER: 10 OF 10

DATE: 06/24/23
BY: JLM
REVISIONS:

Andys Electric Project in The City of Baldwin, MN

EROSION CONTROL PLAN

C11.00
PROJECT: 2023-10347



GENERAL EROSION CONTROL NOTES

- THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUANTITY WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHAPTER 39-2.2, MINNESOTA STATUTES, AND THE CITY OF BALDWIN. THE CONTRACTOR SHALL VERIFY THE SUBSURFACE UTILITY DATA.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- ALL SILT FENCE AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL WARE, TIRE OR GROUND COVER HAS BEEN ESTABLISHED, MAINTAINED AND REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- ALL STREETS UTILIZED FOR PROJECT CONSTRUCTION MUST BE CLEARED AT THE END OF EACH DAY. A ROAD ENTRANCE TO THE SITE MUST BE MAINTAINED ACCORDING TO THE CITY OF BALDWIN. THE CONTRACTOR SHALL MAINTAIN ALL STREETS, STREET CLOSING MAY BE NECESSARY AND WILL BE CONSIDERED INCIDENTAL.
- ALL EXPOSED SOILS MUST BE STABILIZED WITHIN 7 CALENDAR DAYS OF EXPOSURE. GRADE ADJACENT SEDIMENT TRAPPING SYSTEMS INSTALLED AROUND THEM.
- ALL AREAS TO BE ESTABLISHED TO GRASS COVER SHALL RECEIVE 4" OF TOPSOIL AND SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. NUTRIENT PROTECTION SHALL BE INSTALLED AT ALL STORM SEWER INLETS WHICH HAVE A POTENTIAL TO RECEIVE RUNOFF FROM THE CONSTRUCTION SITE.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (I.E. SILT FENCE, STRAW BALS, ETC.).
- FAILURE OF TUBE ESTABLISHMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TUBE, THE CONTRACTOR SHALL RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
- SEE PLAN LEGEND FOR A COMPLETE LIST OF ACRONYMS AND SYMBOLS USED FOR EROSION CONTROL.

GENERAL EROSION CONTROL QUANTITIES

- EROSION CONTROL ENTRANCE: 1 EACH
- NUTRIENT PROTECTION: 1 EACH
- TEMPORARY SILT FENCE, MS: 1,000 LF
- TEMPORARY BIO-ROLL: 200 LF
- SEEDING AREA (25-34%): 0.25 ACRES
- EROSION CONTROL BLANKET, 3IN: 110 SF
- BP RAP, CL III: 26 CY

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C12.00
PROJECT # 2026-10347





REFERENCE BENCHMARK
 WOODPORT Greenbelt Movement THOMAS*
 Elevation = 985.00 feet (NAVD 83)

PROJECT BENCHMARK
 Tap of behind opposite North of site at
 13110 125th St NW, Princeton, 1112 feet
 northwesterly of NC property corner.
 Elevation = 1051.87 feet (NAVD 83)

Top of bedrock opposite/north of site at 31310 125th St NW, Princeton 1712 feet northwesterly of NE property corner. (Elevation = 468.57 feet (NAVD 83))

Andys Electric Project in The City of Baldwin, MN

WIDSETH
SOLUTIONS • CONSULTING • SERVICES

RESOLUTION NO: 26-26

**CITY OF BALDWIN
COUNTY OF SHERBURNE, MINNESOTA**

**REVISED SITE AND BUILDING PLAN APPROVAL
PID 01-00009-3105**

WHEREAS, Andy's Electric (the "developer") is proposing site and building improvements on property located at XXXXX 313th Avenue NW; and

WHEREAS, the property is legally described as described by Exhibit A; and

WHEREAS, the developer has submitted application for Site and Building Plan Review to be processed in accordance with Section 900-9-2.A of the Zoning Ordinance; and

WHEREAS, the Planning Commission considered the application at their regular meeting on 25 March 2026; based upon review of the application and evidence received, the Planning Commission recommended by a 6-0 vote that the City Council approve the request; and

WHEREAS, the City Council considered the application at their meeting on 1 April 2026 and adopted Resolution 26-10 approving the request subject to conditions; and

WHEREAS, the developer submitted revised site and building plans for the proposed development based on minimizing wetland impacts; and

WHEREAS, the amendment of the revised site and building plans is be processed in accordance with Section 900-9-3 of the Zoning Ordinance; and

WHEREAS, the Planning Commission considered the revised site and building plans at their regular meeting on 22 July 2026; based upon review of the application and evidence received, the Planning Commission recommended by a 6-0 vote that the City Council approve the request; and

WHEREAS, the City Council considered the revised site and building plans at their meeting on 5 August 2026; and

WHEREAS, the Planning Report 29 July 2026 prepared by the City Planner, The Planning Company, LLC, is incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED BY THE BALDWIN CITY COUNCIL THAT the revised Site and Building Plan Review application is approved subject to the following conditions:

1. The subject property shall be developed in accordance with the site and building plans submitted to the City, subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-5 of the Zoning Ordinance.

2. Expansion of the principal building shall require only approval of a building permit provided that the structure complies with the provisions of the Zoning Ordinance then in effect, subject to review and approval of the Zoning Administrator.
3. Uses occupying the subject property shall include only those permitted uses allowed within the I1 District, or those conditional or interim uses subject to approval of the necessary zoning application; residential occupancy of the principal building is prohibited.
4. The exterior finish of the principal building shall comply with Section 900-D.2 of the Zoning Ordinance, subject to review and approval by the Zoning Administrator.
5. The height of the principal building shall comply with Section 900-71-9.A, subject to review and approval by the Zoning Administrator.
6. A landscape plan shall be submitted for the subject property to include planting of the minimum number of trees as required by the Zoning Ordinance, subject to review and approval by the Zoning Administrator.
7. The design and construction of off-street parking areas shall be subject to review and approval by the City Engineer.
8. A photometric lighting plan detailing intensity, fixture design, and height that complies with Section 900-16-10 of the Zoning Ordinance shall be submitted prior to issuance of a building permit, subject to review and approval by the Zoning Administrator.
9. Any exterior storage of waste containers shall be within an enclosure that screens the area from view of public rights-of-way and adjacent properties, subject to review and approval by the Zoning Administrator.
10. All signs shall comply with Chapter 23 of the Zoning Ordinance, subject to issuance of a sign permit by the Zoning Administrator.
11. All wetland delineation, grading, drainage, and erosion control plans shall be subject to review and approval by the City Engineer.
12. The property owner shall enter into a Stormwater Maintenance Agreement drafted by the City Attorney and subject to approval of the City Council.
13. All utility plans shall be subject to review and approval by the Building Official.

(Remainder of page intentionally blank signatures to follow)

ADOPTED by the Baldwin City Council this 5th day of July, 2026.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF BALDWIN

Jay Swanson, Mayor

ATTEST:

Joan Heinen, City Clerk/Treasurer

**EXHIBIT A
LEGAL DESCRIPTION**

Property Description (Warranty Deed - Doc. No. 943658):

The North 695.00 feet of the West 315.00 feet of the East 883.00 feet of the North Half of Southwest Quarter of Section 9, Township 35, Range 26, Sherburne County, Minnesota.



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

PLANNING REPORT

TO: Baldwin Mayor and City Council

FROM: D. Daniel Licht

DATE: 29 July 2026

120 DAY DATE: 1 October 2026

RE: Baldwin – AT&T Tower CUP (PID 01-00025-3000)

BACKGROUND

On 15 May 2023, the Town Board approved a Conditional Use Permit application for AT&T Mobility to construct a telecommunications tower and related equipment at 28829 104th Street. The subject property is a 77.59-acre parcel located east of 104th Street (CSAH 19) and south of 289th Avenue (CSAH 28). Section 900-4-9 of the Zoning Ordinance requires that a Conditional Use Permit be utilized within one year from the date of approval. Because a building permit for the proposed tower was not issued within one year from the date of approval, the Conditional Use Permit became void. Buell Consulting, on behalf of AT&T Mobility, submitted application to reissue the Conditional Use Permit to proceed with the planned tower installation, which was approved by the City Council on 4 August 2025.

The developer is requesting an amendment to the approved Conditional Use Permit to change the location of the proposed tower within the subject property. The proposed tower is to be located closer to 289th Avenue (CSAH 28) for the purpose of reducing the length of the driveway to access the tower facility and reduce the distance to extend utilities to the telecommunications tower location. Amendment of an approved Conditional Use Permit is processed in the same manner as the initial Conditional Use Permit application in accordance with Section 900-4-5 of the Zoning Ordinance.

Applications to amend an approved Conditional Use Permit are subject to review by the Planning Commission and approval by the City Council. A public hearing to consider the Conditional Use Permit amendment was held by the Planning Commission at its meeting on 22 July 2026. There was no public comment and the public hearing was closed.

Exhibits:

- Property Location Map
- Narrative dated June 3, 2026
- Co-Location Exclusion Map
- Service Analysis (5 pages)
- Civil Plans (27 sheets)

ANALYSIS

Comprehensive Plan. The Comprehensive Plan guides the subject site for rural uses. Telecommunications towers are regarded similarly to utilities for the purposes of zoning regulations and are allowed as an incidental land use activity. Allowing telecommunications towers provide services necessary for residents and businesses in the area, as well as transient users along the U.S. Highway 169 corridor. The proposed telecommunications tower is consistent with the policies of the Comprehensive Plan.

Zoning. The subject site is zoned R1, General Rural District. Telecommunications towers are allowed within the R1 District subject to the provisions of Chapter 27 of the Zoning Ordinance. Section 900-27-7.A.2.b of the Zoning Ordinance requires issuance of a Conditional Use Permit for a freestanding tower up to a height of 175 feet.

Portions of the subject property are within the S, Shoreland Overlay District of Sandy Lake to the southeast. However, the proposed location of the tower and ground-mounted equipment is more than 1,000 feet from Sandy Lake. Therefore, the S District regulations do not apply to the proposed telecommunications tower.

Surrounding Uses. The area surrounding the subject property is guided by the Comprehensive Plan for rural uses and zoned R1 District. The proposed tower is to be in the northeastern portion of the property, with existing unplatted parcels developed with single family dwellings to the north, east, and south. The closest residential dwelling is located on an unplatted parcel east of the subject property, approximately 420 feet from the proposed telecommunications tower. Compliance with the performance standards of Chapter 27 of the Zoning Ordinance is required to ensure that the proposed telecommunications tower is as compatible as possible with surrounding land uses.

Service Analysis. Section 900-27-4.B of the Zoning Ordinance requires an applicant to demonstrate through a service coverage analysis the need for construction of a new telecommunications tower. The purpose of this requirement is to balance the need for telecommunications services within the City, and along U.S. Highway 169, while minimizing the number of telecommunications tower locations and promoting co-location on existing towers or structures where feasible.

The applicant has provided a coverage analysis for the proposed location based on existing telecommunication towers in the area. There is a service coverage gap within the City east of U.S. Highway 169 and in areas east of Baldwin, shown on the first analysis of existing tower locations. The second analysis illustrates the service coverage that will result from construction of the proposed facility, which mitigates the existing service gap. The final analysis shows the service coverage of the proposed telecommunications facility without the service provided by other existing facility locations. The applicant has also provided a map showing that there are no existing telecommunications towers within a one-mile radius of the subject property on which antennas could be located to address the service need.

The service analysis provided by the applicant reasonably demonstrates the need for the proposed tower at the subject site as required by the Zoning Ordinance.

Lot Area. Section 900-27-2.G.1 of the Zoning Ordinance establishes a minimum lot area of 2.5 acres for construction of a tower over 35 feet in height. The 77.59-acre area of the subject site exceeds the minimum area requirement of the Zoning Ordinance.

Setbacks. Section 900-27-2.I of the Zoning Ordinance requires that the tower be located within the rear yard defined by the Zoning Ordinance when located on a property with another principal residential use. The proposed tower is located in a rear yard relative to the existing single family dwelling upon the property.

Section 900-27-5.B of the Zoning Ordinance requires that towers over 60 feet in height be located no closer than the height of the tower plus 20 feet from any residential dwelling other than a dwelling located on the same property. Section 900-27-5.C of the Zoning Ordinance further requires that the proposed tower not be located closer to a property line than the height of the tower. The proposed tower is set back 180.0 feet from 100th Street and 320.5 feet from 289th Street (CSAH 28).

The setbacks required by Chapter 27 of the Zoning Ordinance exceed the base setbacks required within the R1 District by Section 900-51-8 of the Zoning Ordinance.

The proposed telecommunications tower and ground-mounted equipment comply with the yard and setback requirements of the Zoning Ordinance.

Screening. Section 900-27-2.H of the Zoning Ordinance requires installation of fencing and landscaping to screen off-site views of the telecommunications facility.

The approved site plan illustrated installation of evergreen trees at the outside perimeter of the fenced enclosure at 20 feet on center. The revised civil plan set does not include a landscape plan, which must be submitted. We recommend that the same 16 trees be required at the perimeter of the fenced area with the size of the trees to be a minimum of eight feet as required by Section 900-19-2.B.3.b of the Zoning Ordinance.

Section 900-19-2.C of the Zoning Ordinance requires that all new plants are to be guaranteed for 12 months from the time planting has been completed and be alive, in good health, of good quality and structural condition, and insect- and disease- free at the end of the warranty period or be replaced.

Access. The proposed telecommunications facility is to be accessed via an existing driveway to 289th Avenue (CSAH 28). Use of the existing driveway for the proposed telecommunications tower is to be subject to review and approval of Sherburne County. The driveway is shown to be improved with a 12-foot-wide gravel driveway. A gravel driveway is allowed for the proposed use by Section 900-21-6.B.2.a of the Zoning Ordinance.

Design Standards. Section 900-27-3 of the Zoning Ordinance establishes design standards for proposed telecommunications towers as follows:

- Section 900-27-3.A of the Zoning Ordinance requires that all telecommunications towers be a monopole design. The proposed telecommunications tower is a monopole design that complies with the Zoning Ordinance.
- Section 900-27-3.B of the Zoning Ordinance requires engineered plans for the proposed telecommunications tower. The submitted plans are signed by a licensed professional engineer.
- Section 900-27-3.C of the Zoning Ordinance requires use of anti-climbing measures for the proposed telecommunications tower.

The telecommunications tower and ground-mounted equipment are to be surrounded by a perimeter chain-link fence that is seven feet in height with outward-angled barb wire security arms.

The monopole design of the telecommunications tower does not include any climbing equipment.

- Section 900-27-3.D of the Zoning Ordinance prohibits illumination of the telecommunications tower unless required by Federal aviation regulations. No lighting is included on the proposed telecommunications tower.
- Section 900-27-3.E of the Zoning Ordinance requires the proposed telecommunications tower to be a silver or galvanized finish. The proposed tower is to have a galvanized finish as required by the Zoning Ordinance.

- Section 900-27-3.F.2 of the Zoning Ordinance requires that towers over 125 feet in height make provision for co-location of two other antenna systems upon the tower. The purpose of this requirement is to minimize the need for additional towers within the community and ensure adequate access to telecommunications. The proposed tower could accommodate two additional antenna systems in addition to AT&T Mobility's facilities.

Signs. Section 900-27-2.B of the Zoning Ordinance prohibits advertisement signs from being affixed to the proposed telecommunications tower. The submitted plans detail the regulatory and safety signs to be installed with the facility, which do not include any advertising. The proposed signage complies with the provisions of the Zoning Ordinance.

Utilities. The site plan indicates extension of electric utilities to serve the proposed telecommunications facility from 289th Avenue (CSAH 28) within a utility easement. Extension of the electric utility is to be reviewed with the Building Permit application.

Insurance. Section 900-27-2.M of the Zoning Ordinance requires that the telecommunications tower owner provide evidence of insurance in the amount of \$1,000,000.00 for personal property damage. A certificate of insurance coverage has been submitted as required by the Zoning Ordinance.

Termination. Section 900-27-2.C of the Zoning Ordinance requires that unused telecommunications equipment, including antennas, ground-mounted equipment, or the tower itself, be removed within 12 months after operations cease. The applicant must provide documentation that the removal provision is included in the ground lease with the property owner.

Building Permit. A building permit is required to be issued prior to construction of the proposed telecommunications tower or ground-mounted equipment upon the subject site. The building permit application will be subject to review and approval of the City Building Official.

RECOMMENDATION

The application for a Conditional Use Permit amendment for construction of a telecommunications tower complies with the criteria and standards established by the Zoning Ordinance. Our office recommends approval of the application subject to the conditions outlined below. The Planning Commission, following the public hearing, voted unanimously to recommend approval of the Conditional Use Permit amendment.

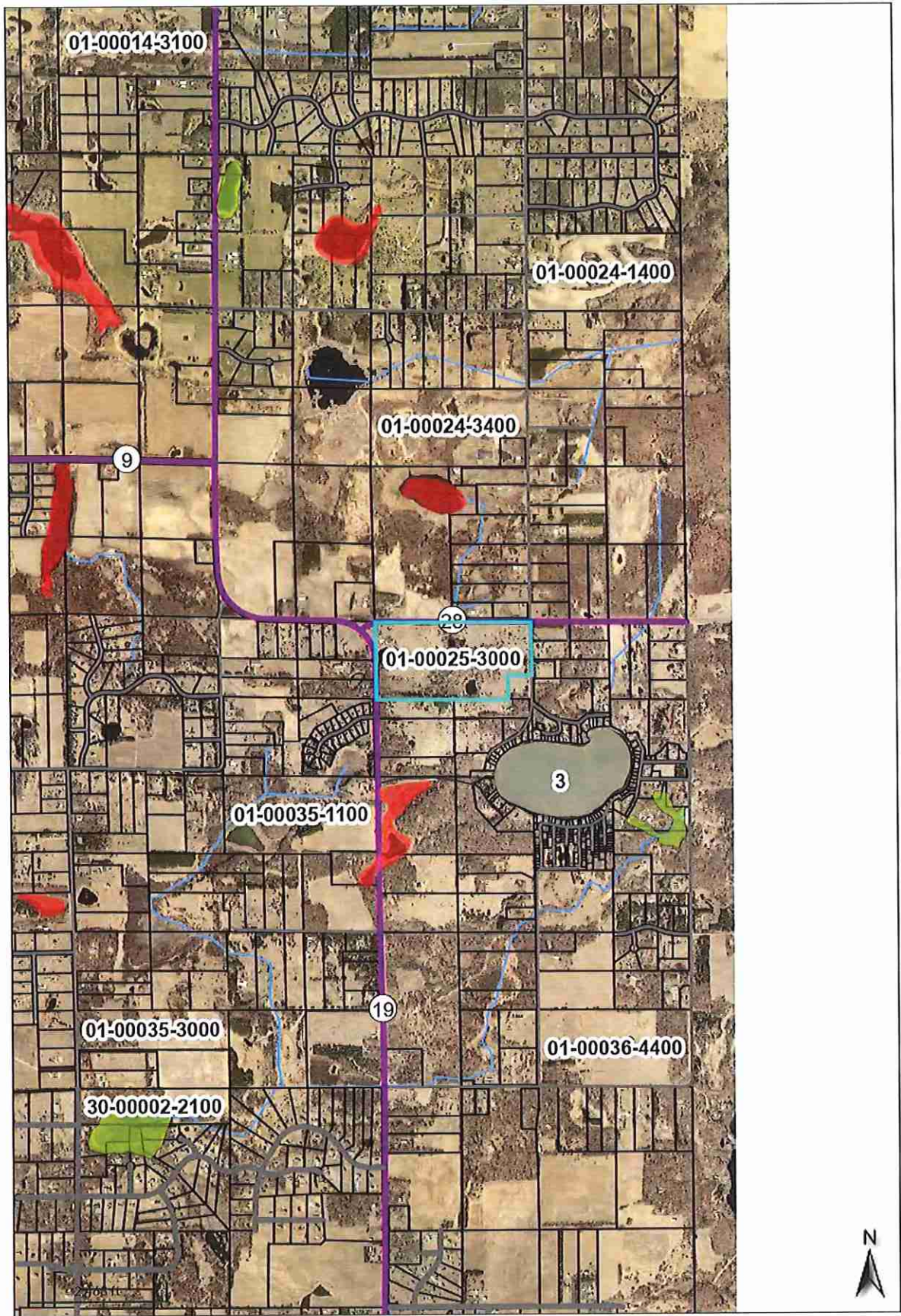
POSSIBLE ACTION

Motion to adopt Resolution 26-27 approving a Conditional Use Permit amendment for a telecommunications tower for AT&T Mobility, subject to the following conditions:

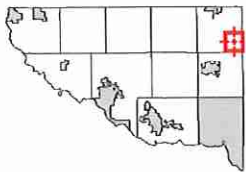
1. The subject property shall be developed in accordance with the site and building plans submitted to the City subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-6 of the Zoning Ordinance.
 2. A landscape plan shall be submitted for planting 16 evergreen trees that are a minimum of eight feet in height at the perimeter of the leased area at 20 feet on center, subject to review and approval by the Zoning Administrator.
 3. All new plants shall be guaranteed for 12 months from the time planting has been completed and shall be alive, in good health, of good quality and structural condition, and insect- and disease-free at the end of the warranty period or be replaced, subject to review and approval by the Zoning Administrator.
 4. Access to 289th Avenue (CSAH 28) shall be subject to review and approval by Sherburne County.
 5. All signs shall comply with Section 900-27-2.B of the Zoning Ordinance.
 6. The tower owner shall maintain insurance in the amount of \$1,000,000.00 for personal property damage and provide evidence of such coverage to the Zoning Administrator annually.
 7. The applicant shall provide documentation to the Zoning Administrator that the lease for the telecommunications facility location, including revisions or renewals, provides that any unused equipment must be removed within 12 months after operations cease.
- c. Joan Heinen, City Clerk/Treasurer
Andy Schreder, City Building Official
Bob Ruppe, City Attorney

Property Location Map

28829 104th Street (01-00025-3000)



Overview



Legend

Public Water Inventory

- Not Classified
- General Development
- Natural Environment
- Recreational Development

Roads

- MN Highway; US Highway
- Municipal-State Aid Street
- Municipal Street
- Township Road
- State Forest Road
- Bureau of Fish and Wildlife Road
- Connector (Ramp)
- Privately Maintained Public Access Road
- County Road
- County-State Aid Highway
- Parcels
- Streams



BUELL CONSULTING, INC.

720 Main Street, Suite 200

Saint Paul, MN 55118

(651) 361-8110

www.buellconsulting.com

SENT VIA EMAIL

June 3, 2026

Daniel Licht – Planner
City of Baldwin
30239 128th Street NW
Baldwin, MN 55371

RE: AT&T Mobility / Amended Conditional Use Permit / PID: 01-00025-3000 / Site Name: Blue Lake

Dear Mr. Licht,

AT&T Mobility hereby requests approval of an amended conditional use permit for the construction of a 175' monopole in the City of Baldwin at 10057 289th Ave. NW, Zimmerman, MN 55398.

A conditional use permit for this tower was previously approved by the Baldwin City Council on August 4, 2025 per Resolution No: 25-20. This amended CUP request reflects a change in tower location on the subject parcel. The tower has been relocated closer to 289th Ave. NW (CSAH 28) in order to decrease the length of the required access road and utility run.

The following lists the supplementary documentation included in the application.

Site Address: 10057 289th Ave. NW, Zimmerman, MN 55398

PID: 01-00025-3000

Supplementary Documentation:

- Construction Drawings (includes revised land survey).
- 1-Mile Colocation Exclusion Map (Attachment I)

Thank you in advance for your time in reviewing our application and please do not hesitate to contact me via email or the number below with any questions or requests for further information.

Sincerely,

A handwritten signature in black ink, appearing to read "Blair Ransom".

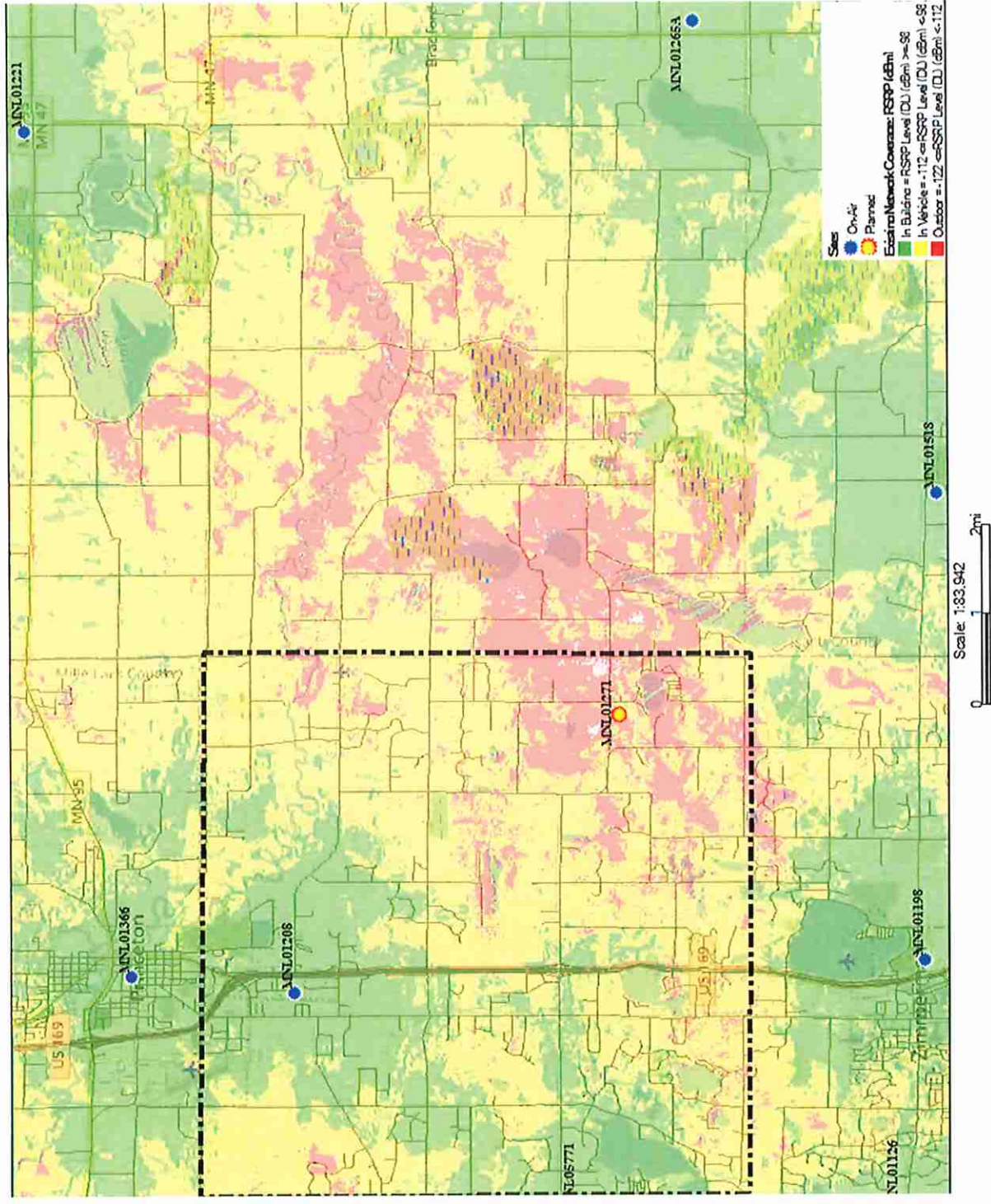
Blair Ransom

Site Development Agent o/b/o AT&T Mobility

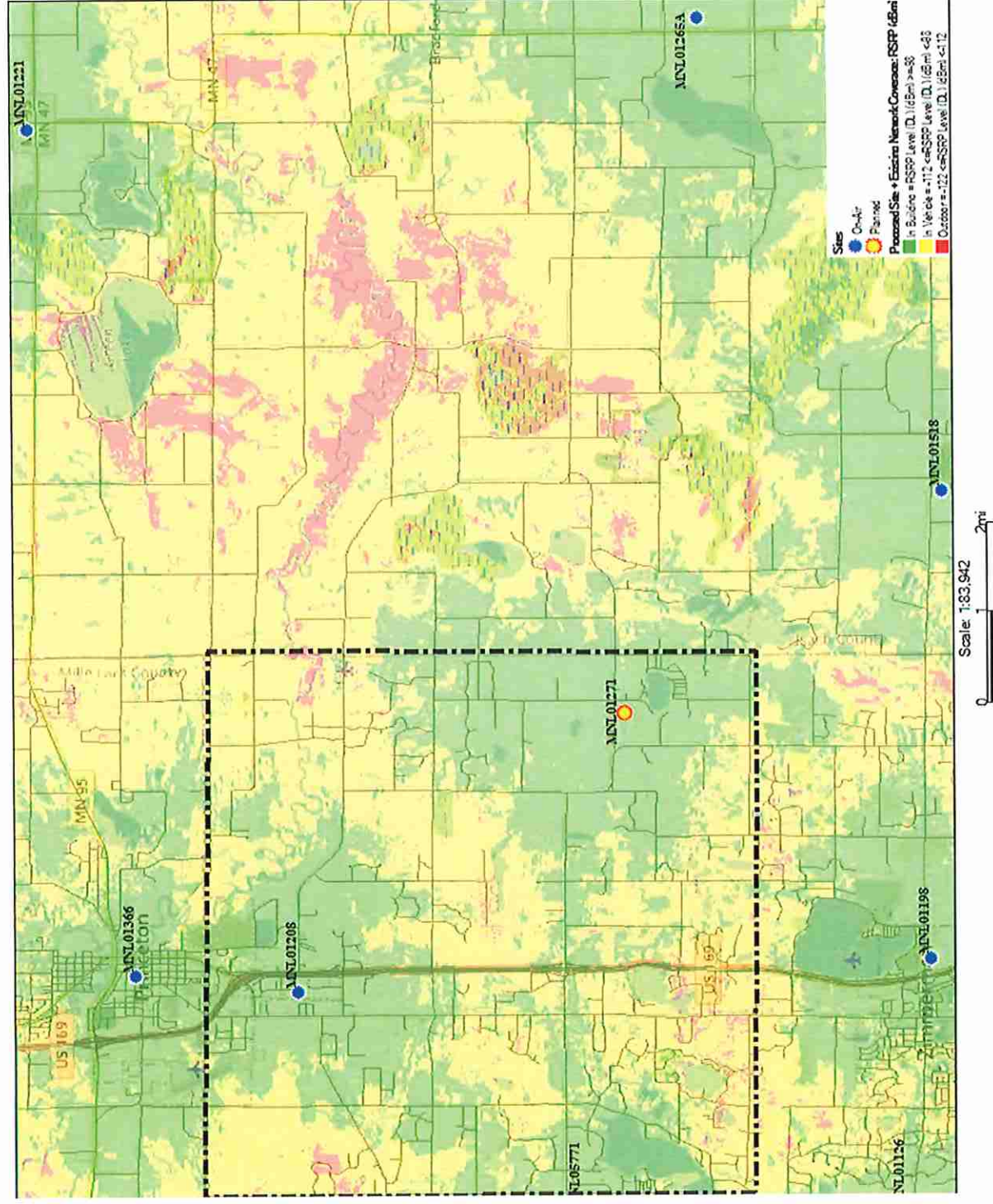
Phone: (612) 875-1808

Email: b.ransom@grahamredev.com

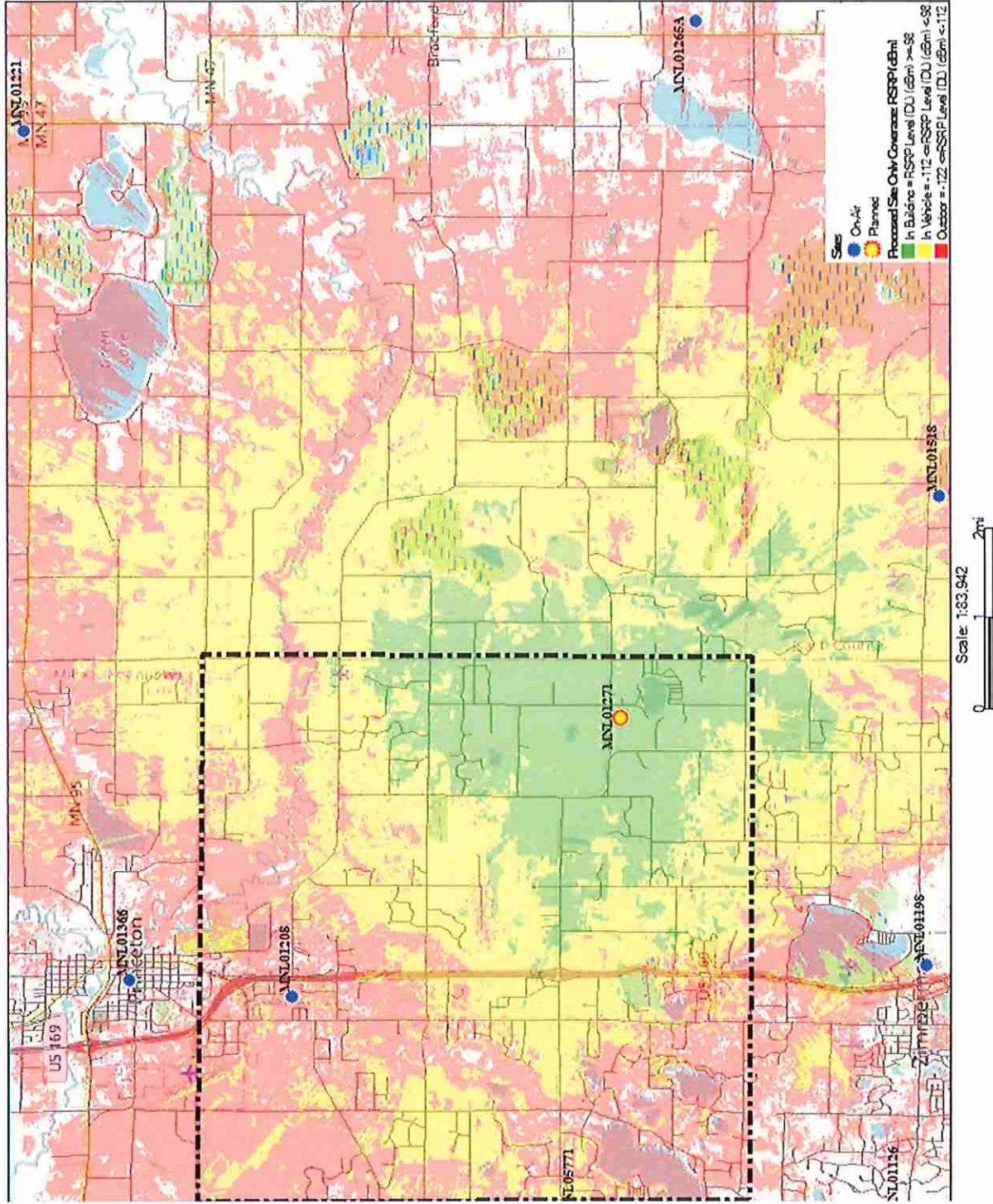
Existing Coverage

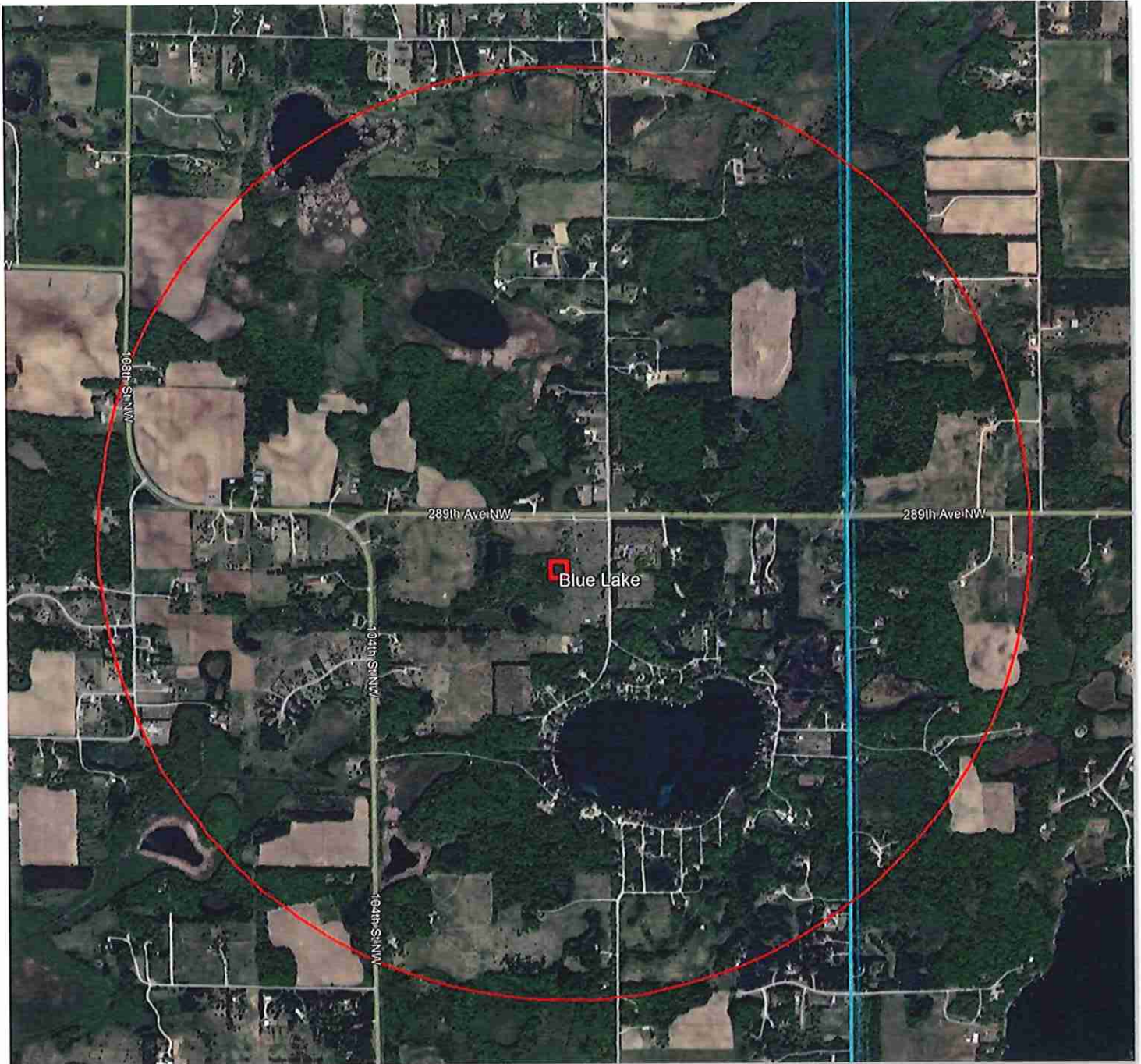


Existing + Proposed Sit
175' Rad Center Coverag



171' Rad Cente Proposed Site Coverage



ATTACHMENT I – COLOCATION EXCLUSION MAP

No existing towers within a 1-mile radius.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE MINNESOTA BUILDING CODE, MECHANICAL CODE, ELECTRICAL CODE, AND FIRE & SAFETY CODE. PLANS ARE TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

BUILDING CODE: 2020 MINNESOTA BUILDING CODE
PLUMBING CODE: 2020 MINNESOTA PLUMBING CODE
MECHANICAL CODE: 2020 MINNESOTA MECHANICAL CODE
ELECTRICAL CODE: 2020 MINNESOTA ELECTRICAL CODE
FIRE & SAFETY CODE: 2020 MINNESOTA FIRE CODE

PROJECT TEAM

APPLICANT:
J&T IDENTITY
7205 KEEPER AVE S, 3RD FLOOR
BLOOMINGTON, MN 55421
TEL: 612-333-1111
DL JOHN O'BRIEN, JDO@J&T.COM

PROJECT MANAGEMENT:
MASTEC COMMUNICATIONS GROUP
SHELLEY TRAMPTT@MASTEC.COM
(651) 895-4823

CONSTRUCTION MANAGEMENT:
MASTEC SOLUTIONS
DAN DAVIS@MASTEC.COM
(313) 565-3307

ARCHITECT/ENGINEERING:
JOHN M. BANKS
604 FOX GLEN
BARRINGTON, IL 60010
TEL: 847-277-0070
PHONE: (847) 277-0070
FAX: (847) 277-0070
EMAIL: JMBANKS@WESTCHESTERSERVICES.COM

SITE INFORMATION

STRUCTURE LAND/ID: AT&T
PROPERTY OWNER: GARY MAGON
CONTACT: GARY.MAGON@GMAIL.COM
37555
SHERBURNE COUNTY
63406-151-001

CURRENT ZONING: RE
EXISTING USE: RESIDUENCIES
PROPOSED USE: RESIDUENCIES/COMMUNICATIONS FACILITY

LATITUDE (NAD 83): 46-400327 / 45° 29' 31.2"
LONGITUDE (NAD 83): -103.523599 / 103° 31' 23.9"

SITE ELEVATION: 1100.57' A.M.S.L.
POWER PROVIDER: COMEDUS ENERGY

ACCESSIBLE TO PUBLIC/REQUIRE: FACILITY IS UNMANAGED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY IS NOT REQUIRED.

REFERENCE NOTES

THESE PLANS WERE COMPLETED PER ANALYSIS APPROVED LTR DATED 01/24/2022.
CONTRACTOR SHALL REQUEST CURRENT RITE'S A WORKBOOK FROM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.
CC SHALL REVIEW AND COMPLY WITH MASTEC NETWORK SOLUTIONS MOUNT STRUCTURAL ANALYSIS DATED: T.D.D.
PROJECT # 15923585
CC SHALL REVIEW AND COMPLY WITH TOWER STRUCTURAL ANALYSIS DATED: T.D.D.

ANY DEVIATION THAT OFFERS SUBSTANTIALLY FROM WHAT IS APPROVED BY THE ENGINEER OF RECORD, NO CHANGES THAT ALTER THE CHARACTER OF RECORD, NO CHANGES THAT CONSTRUCTION WITHOUT ISSUING A CHANGE ORDER.
CONTACT JOHN BANKS - JMBANKS@WESTCHESTERSERVICES.COM



AT&T

SITE NAME: BLUE LAKE
FA LOCATION: 15923585/SITE ID: MNL01271
SITE ADDRESS: 10057 289TH AVE. NW
ZIMMERMAN, MN 55398
STRUCTURE: 175'-0" MONOPOLE
USID: 501989
IWM: WSUMW0042567 (PRIMARY), WSUMW0042563,
WSUMW0042561, WSUMW0042559, WSUMW0042562,
WSUMW0042560, WSUMW0042565, WSUMW0042566,
WSUMW0042564

VICINITY MAP



LOCAL MAP



PROJECT DESCRIPTION

INSTALLATION OF AN UNMANAGED TELECOMMUNICATIONS FACILITY BASED ON DCL30 SCOPING SATED - CONSISTING OF THE FOLLOWING SCOPE:

ANTENNA LOCATION:

- INSTALL:
 - (1) COMBICORP NINAGOS 85'XV ANTENNAS
 - (2) ERECTION 480 D25266A RRH
 - (3) ERECTION 480 D25266A RRH
 - (4) COMBICORP SECTOR MOUNTS
 - (5) COMBICORP 34-46-EVM

EQUIPMENT LOCATION:

- INSTALL:
 - (1) 3-BAY W.L.C. AND GENERATOR WITH CANOPY
 - (2) FIBER H-FRAME
 - (3) 15'X15'X15' H-FRAME
 - (4) 15'X15'X15' H-FRAME
 - (5) 15'X15'X15' H-FRAME
 - (6) 15'X15'X15' H-FRAME
 - (7) 15'X15'X15' H-FRAME

DRIVING DIRECTIONS

SCAN FOR DRIVING DIRECTIONS:



GENERAL CONTRACTOR NOTES

DO NOT SCALE THESE DRAWINGS
THESE PLANS ARE FORMATTED TO BE FULL SIZE AT 1/4" = 1'-0". CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF THE PROJECT. ANY DISCREPANCIES SHALL BE NOTIFIED TO THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.

GENERAL NOTES

THE FACILITY IS UNMANAGED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRINKING WATER OR SURFACE WATER. NO SIGNIFICANT EROSION OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL LICENSE IS REQUIRED.

STATEMENTS

STRUCTURAL ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THE DRAWINGS SET. THE ANALYSIS IS PROVIDED UNDER SEPARATE COVER. THE ANALYSIS IS PROVIDED UNDER SEPARATE COVER. THE ANALYSIS IS PROVIDED UNDER SEPARATE COVER. THE ANALYSIS IS PROVIDED UNDER SEPARATE COVER.



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www.gopherstateonecall.org
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REQUIRES MIN OF 48 HOURS
NOTICE BEFORE YOU
EXCAVATE



JOHN M. BANKS
ARCHITECT
604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: JMBANKS@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION	BY
1	09/27/23	PERMIT/CONSTRUCTION	JS
2	09/27/23	PERMIT/CONSTRUCTION	JS
3	10/21/23	PERMIT/CONSTRUCTION	BA
4	12/05/23	PERMIT/CONSTRUCTION	BA



SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

SITE SURVEY

PARENT PARCEL DESCRIPTION(per U.S. Title Solutions File No. U5772364, dated September 27, 2022)

North half of Southwest Quarter (N1/2SW1/4) of Section 26, Township 35, Range 20, Item and Survey of Sherburne County, Minnesota, and the West half of North half of Southwest Quarter (N1/2SW1/4) of said Section 26, Township 35, Range 20, Sherburne County, Minnesota.

SCHEDULE "B" EXCEPTIONS(per U.S. Title Solutions File No. U5772364, dated September 27, 2022)

1-3.) Not related to the survey.

4.1)Easement by Gary L. Mason to County of Sherburne, a municipal corporation, Dated September 15, 2007, in Instrument No. 001595.
This document describes a drainage easement along the East right of way of CSAH No. 19. Said easement does not affect the surveyed area and is not shown on the survey.

4.2)Easement by Gary L. Mason to County of Sherburne, a political subdivision of the State of Minnesota, Dated July 27, 2007, Recorded October 16, 2007, in Instrument No. 560797.
This document describes a permanent easement for roadway and utility purposes on Parcel No. 35, as shown on the survey in the vicinity map.

4.3)Easement by Gary L. Mason to US West Communications, Inc. Dated July 21, 2000, Recorded October 16, 2007, in Instrument No. 413200.
This document describes an easement for telecommunication purposes. Said easement does not affect the surveyed area and is shown on the survey.

4.4)Easement by Luther and Nova Mason to County of Sherburne, Dated November 27, 1972, Recorded May 30, 1980, in Instrument No. 100464.
This document describes a 60' wide easement for highway purposes. Said easement does affect the surveyed area and is shown on the survey.

4.5)Easement by Mary Lane to County of Sherburne, Dated October 03, 1920, Recorded November 21, 1956, in Instrument No. 89056.
This document describes a drainage easement along the west side of line 10/2 of the SW1/4. Said easement does not affect the surveyed area and is not shown on the survey.

5.1)Sherburne County Highway Right of Way Plat No. 32 Recorded June 27, 2007, in Instrument No. 53444.
Parcel No. 30 from this right of way plat is shown on the survey in the vicinity map.

6.)Not related to the survey.



SITE NAME: BLUE LAKE
SITE ID #: MNL01271
FA #: 15923585
10057 860th Ave NW
Zimmerman, MN 55388

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
DATE: 10/18/22
SIGNATURE: DRYAN T. BALCOWSKI, L.S.
LICENSE # 42294

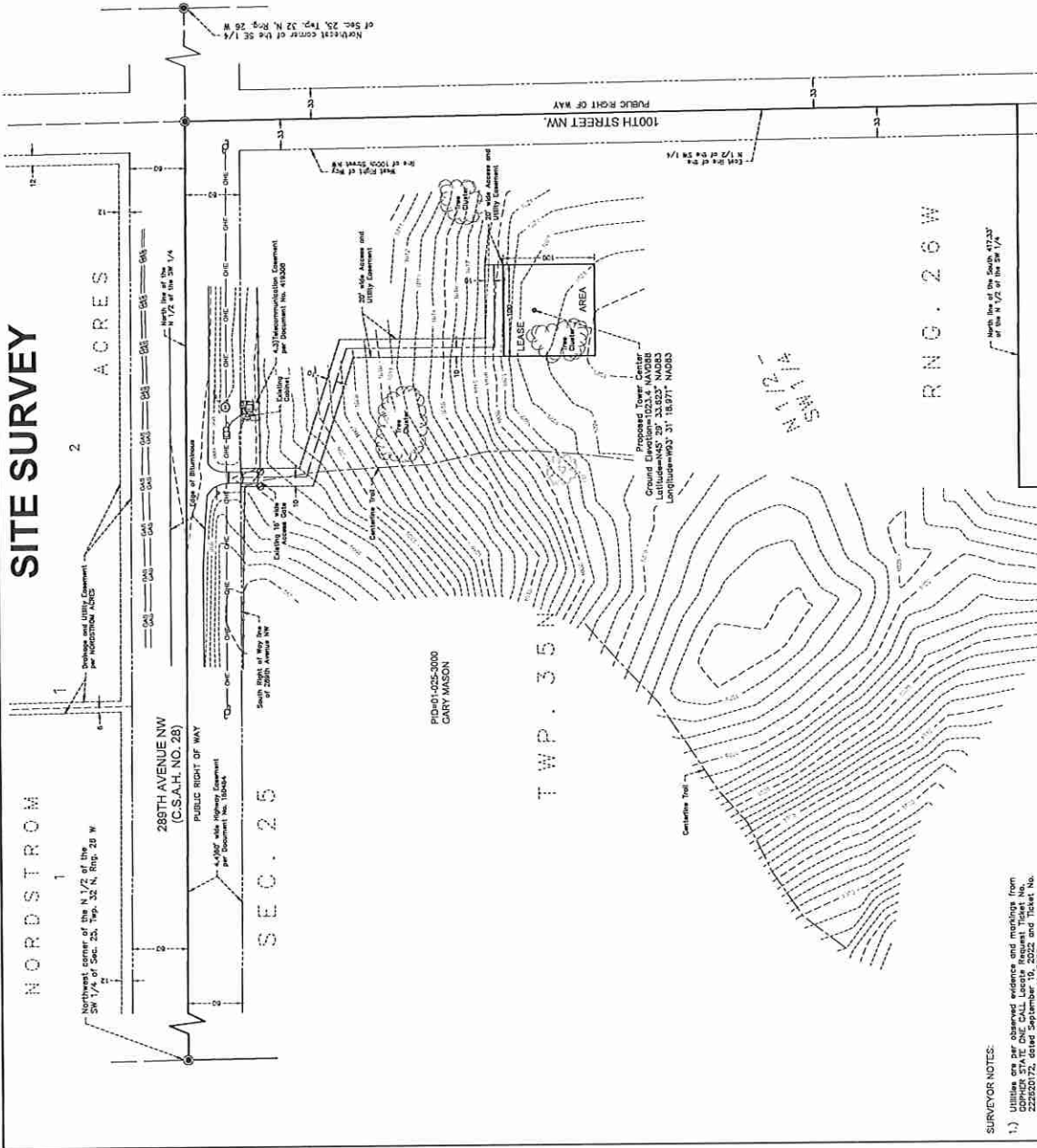
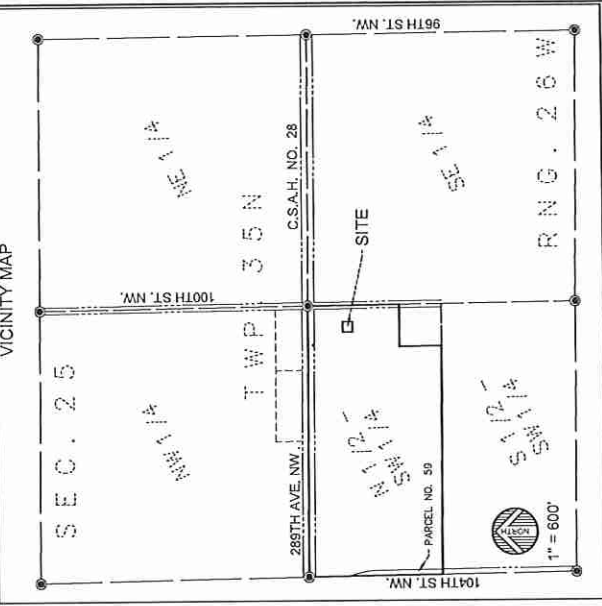
NO.	DATE	REVISIONS	BY	CHK	APPD
1	10/26/22	ADDED PROPOSED GUY WIRE EASEMENTS	JPM	JPM	
2	10/26/22	REMOVED PROPOSED GUY WIRE EASEMENTS	JPM	JPM	
3	10/26/22	UPDATED ADDRESS	JPM	JPM	

FIELD WORK:	9/29/22	CHECKED BY:	BTB	DRAWN BY:	JMB
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WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

MAIL ROOM 04/27/24
MAIL ROOM 04/11/17
2025-11207

SITE SURVEY



LEGEND

- IRON SINGLE POST
- IRON DOUBLE POST
- FENCE POST
- ELEC METER
- ELEC PEDESTAL
- ELEC TRANSFORMER BOX
- ELEC POLE
- TELE HANDHOLE
- TREE DECIDUOUS
- EDGE OF WOODS
- PAVED DRIVEWAY
- PAVED SIDEWALK
- PAVED TRAIL
- UNDERGROUND GAS
- UNDERGROUND ELEC
- UNDERGROUND ELEC
- BOUNDARY LINE
- SECTION LINE
- QUARTER LINE
- RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED EASEMENT LINE
- GRAVEL SURFACE



SHEET 2 OF 2 SHEETS

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I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: **BRYAN T. BACON** L.S. # 43294

DATE: 10/19/22

LICENSE # 43294

SITE NAME: BLUE LAKE
SITE ID #: MN101271
FA #: 15923585

10057 289th Ave NW
Zimmerman, MN 55388

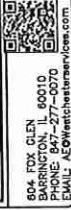
NO.	DATE	REVISIONS	BY	CHECK	APPROV
1	10/19/22	ADDED PROPOSED GUY WIRE EASEMENTS	JB	JB	JB
2	10/19/22	REMOVED PROPOSED GUY WIRE EASEMENTS	JB	JB	JB
3	10/19/22	UPDATED ADDRESS	JB	JB	JB

FIELD WORK	9/29/22	CHECKED BY:	JB	DRAWN BY:	JB
------------	---------	-------------	----	-----------	----

at&t

SURVEYOR NOTES:

- 1.) Utilize the observed address and map data from 2252072, dated September 19, 2022 and Ticket No. 22517260, dated November 11, 2022.



JOHN M. BANKS
ARCHITECT
BARRINGTON, IL 60010
TELEPHONE 847-277-0070
EMAIL JMBANKS@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION	BY
1	10/27/25	PERMIT/CONSTRUCTION	JS
2	06/20/25	PERMIT/CONSTRUCTION	JS
3	10/21/25	PERMIT/CONSTRUCTION	BA
4	12/05/25	PERMIT/CONSTRUCTION	BA

NOT FOR CONSTRUCTION UNLESS
LABELLED AS CONSTRUCTION SET

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE A LICENSED PROFESSIONAL
ENGINEER, TO REPRODUCE OR ALTER THIS DOCUMENT
WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
JOHN M. BANKS
#06379
MILWAUKEE, WI 53201
DATE: 06/20/25

SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

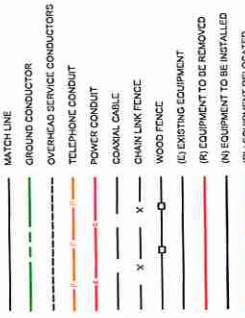
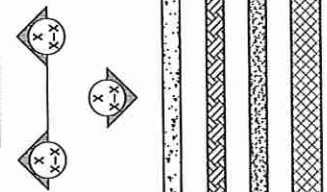
SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-1

ABBREVIATIONS

EXP.	EXPANSION	PCG	PRECAST CONCRETE
EXP.	EXPANSION	PCG	PERSONAL COMMUNICATION
EXP.	EXPANSION	PCG	SERVICES
EXP.	EXPANSION	PCG	PL/WOOD
EXP.	EXPANSION	PCG	POWER PROTECTION CABINET
EXP.	EXPANSION	PCG	PRIMARY RADIO CABINET
EXP.	EXPANSION	PCG	POUNDS PER SQUARE INCH
EXP.	EXPANSION	PCG	PRESSURE TREATED
EXP.	EXPANSION	PCG	POWER (CABINET)
EXP.	EXPANSION	PCG	QUANTITY
EXP.	EXPANSION	PCG	RADIUS
EXP.	EXPANSION	PCG	REFERENCE
EXP.	EXPANSION	PCG	REINFORCEMENT(S)
EXP.	EXPANSION	PCG	REQUIRED
EXP.	EXPANSION	PCG	RIGID GALVANIZED STEEL
EXP.	EXPANSION	PCG	SHEDULE
EXP.	EXPANSION	PCG	SHEET
EXP.	EXPANSION	PCG	SIMILAR
EXP.	EXPANSION	PCG	SPECIFICATIONS
EXP.	EXPANSION	PCG	SQUARE INCH
EXP.	EXPANSION	PCG	STAINLESS STEEL
EXP.	EXPANSION	PCG	STANDARD
EXP.	EXPANSION	PCG	STRUCTURAL
EXP.	EXPANSION	PCG	TEMPORARY
EXP.	EXPANSION	PCG	THICKNESS
EXP.	EXPANSION	PCG	TOE NAIL
EXP.	EXPANSION	PCG	TOP OF ANTENNA
EXP.	EXPANSION	PCG	TOP OF CURB
EXP.	EXPANSION	PCG	TOP OF FOUNDATION
EXP.	EXPANSION	PCG	TOP OF PLATE (PARAPET)
EXP.	EXPANSION	PCG	TOP OF STEEL
EXP.	EXPANSION	PCG	TOP OF WALL
EXP.	EXPANSION	PCG	TYPICAL
EXP.	EXPANSION	PCG	UNDERGROUND
EXP.	EXPANSION	PCG	UNDERWRITERS LABORATORY
EXP.	EXPANSION	PCG	UNLESS NOTIFIED OTHERWISE
EXP.	EXPANSION	PCG	VERIFY IN FIELD
EXP.	EXPANSION	PCG	WIDE (WIDTH)
EXP.	EXPANSION	PCG	WITH
EXP.	EXPANSION	PCG	WOOD
EXP.	EXPANSION	PCG	WEATHERPROOF
EXP.	EXPANSION	PCG	WEIGHT
EXP.	EXPANSION	PCG	WENT
EXP.	EXPANSION	PCG	CENTERLINE
EXP.	EXPANSION	PCG	PLATE, PROPERTY LINE

SYMBOLS & LEGEND

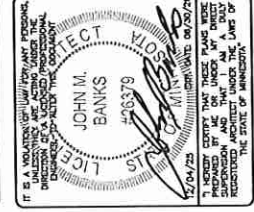




JOHN M. BANKS
ARCHITECT
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JMBANKS@WESTCHESTER-SERVICES.COM

REV.	DATE	DESCRIPTION
1	06/27/25	PERMIT/CONSTRUCTION
2	06/25/25	PERMIT/CONSTRUCTION
3	10/21/25	PERMIT/CONSTRUCTION
4	10/25/25	PERMIT/CONSTRUCTION

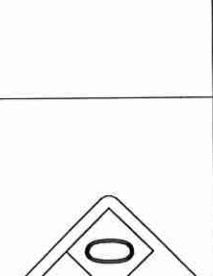
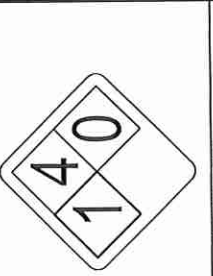
NOT FOR CONSTRUCTION UNLESS
LABELLED AS SUCH



SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FA#F: 15923585
10057 283TH AVE. NW
ZIMMERMAN, MN 55398

GENERAL NOTES

GN-2



ALERTING SIGN (FOR CELL SITE BATTERIES)

ALERTING SIGN (FOR DIESEL FUEL)

ALERTING SIGN (FOR PROPANE)

Structure Type	INFO SIGN #1	INFO SIGN #2	INFO SIGN #3	INFO SIGN #4	Striping	NOTICE SIGN	CAUTION SIGN
TOWERS							
Monopole/Monopole/Monopole	entrance gates, shelter doors OR on the exterior cabinets	climbing side of the tower	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			At the height of the first climbing step, min. 9ft above ground
SCE Towers / Towers with high voltage	entrance gates, shelter doors OR on the exterior cabinets	climbing side of the tower	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			At the height of the first climbing step, min. 9ft above ground
Light Poles / Flag Poles	entrance gates, shelter doors OR on the exterior cabinets	on the pole, no less than 3ft below the antenna and no less than 9ft above ground	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			
Utility Wood Poles (JPA)	entrance gates, shelter doors OR on the exterior cabinets	on the pole, no less than 3ft below the antenna and no less than 9ft above ground	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			
Microcells mounted on non-JPA poles	entrance gates, shelter doors OR on the exterior cabinets	on the pole, no less than 3ft below the antenna and no less than 9ft above ground	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			
Roof Tops							
At all access points to the roof	X			X			
On Antennas	X		X	X			
Concealed Antennas	X		X	X			
Antennas mounted facing outside the building	X		X	X			
Antennas on support structure	X		X	X			
Roofview Graph		adjacent to each antenna					
Radiation area is within 3ft from antenna	X	adjacent to each antenna		X	diagonal yellow striping as to Roofview graph		either Notice or Caution sign (based on Roofview results) at antenna/barrier
Radiation area is beyond 3ft from antenna		adjacent to each antenna					
Church Steeple	Access to steeple	adjacent to each antenna	On backside of Antennas	Access to steeple			Caution sign at the antennas
Water Stations	Access to ladder	adjacent to each antenna	On backside of Antennas	Access to ladder			Caution sign beside info sign #1, min. 9ft above ground

Notes for Roofing sites:
1. Either NOTICE or CAUTION signs need to be posted at each sector as close as possible to the outer edge of the striped off area or the outer antennas of the sector.
2. If Roofview shows: only blue = Notice Sign, blue and yellow = Caution Sign, yellow = Caution Sign to be installed.
3. Should the required striping area interfere with any structures or equipment (A/C, vents, roof hatch, doors, other antennas, dishes, etc.), please notify AT&T to modify the striping area, prior to starting the work.

NOTICE

Beyond This Point you are entering a controlled area where RF emissions may exceed the FCC General Population Exposure Limits. Follow all posted signs and site guidelines for working in a RF environment.

CAUTION

Beyond This Point you are entering a controlled area where RF emissions may exceed the FCC Occupational Exposure Limits. Obey all posted signs and site guidelines for working in a RF environment.

WARNING!

DANGER DO NOT TOUCH TOWER! SERIOUS RF BURNS! MAINTAIN AN ADEQUATE DISTANCE FROM TOWER AND SUPPORTS AND CARRY WALKS. ATTENTION: FOR WALKING IN A RADIO TRANSMISSION AREA, MAINTAIN AN ADEQUATE DISTANCE FROM TOWER AND SUPPORTS AND CARRY WALKS. ATTENTION: FOR WALKING IN A RADIO TRANSMISSION AREA, MAINTAIN AN ADEQUATE DISTANCE FROM TOWER AND SUPPORTS AND CARRY WALKS.

Property of AT&T Authorized Personnel Only

In case of emergency, or prior to performing maintenance on this site, call 800-430-2622. Refer to cell site number: 10057 283TH AVE. NW, ZIMMERMAN, MN 55398.

ALERTING SIGN

INFO SIGN #4

INFORMATION

ACTIVE ANTENNAS ARE MOUNTED ON THE TOWER OF THIS BUILDING. IF YOU ARE VISITING THE SITE, PLEASE STAY AWAY FROM THE TOWER AND SUPPORTS. IF YOU ARE VISITING THE SITE, PLEASE STAY AWAY FROM THE TOWER AND SUPPORTS. IF YOU ARE VISITING THE SITE, PLEASE STAY AWAY FROM THE TOWER AND SUPPORTS.

INFORMACION

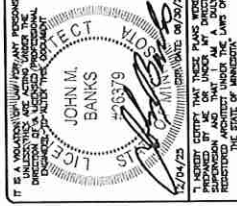
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604 FOX GLEN
40010
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: AEG@westchesterservices.com

JOHN M. BANKS
ARCHITECT
800 FOX GLEN
BARTONVILLE, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION
1	09/27/23	PERMIT/CONSTRUCTION
2	06/20/23	PERMIT/CONSTRUCTION
3	10/21/23	PERMIT/CONSTRUCTION
4	12/09/23	PERMIT/CONSTRUCTION
NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET		



SITE NUMBER: MN01271
SITE NAME: BLUE LAKE
FA#: 15923585
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GENERAL NOTES

SHEET NUMBER
GN-5

GENERAL GROUNDS NOTES, CONTINUED.

17. FERRULOUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUNDS CONDUCTOR SHALL NOT BE USED. CLIPS OF THE FOLLOWING MATERIALS AND TYPES MAY BE USED TO SUPPORT GROUNDS CONDUCTORS:
 - PLASTIC CLIPS
 - STAINLESS STEEL
 - FERRULOUS METAL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDS CONDUCTOR.
18. ALL BELOW GRADE GROUNDS CONDUCTORS SHALL BE BARE SOLID COPPER WIRE ABOVE-GRADE GROUNDS CONDUCTORS MAY BE EITHER OR AS INDICATED ON THE DRAWINGS:
 - BARE TINED SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, STRANDED COPPER WIRE
19. THE UNDERGROUND GROUNDS RING SHALL HAVE A #2 AWG BARE TINED SOLID COPPER WIRE.
 - A. #2 THIN SHALL BE STRANDED COPPER WITH GREEN THIN INSULATION SUITABLE FOR NET INSTALLATION (OR SOME ABOVE GROUND APPLICATIONS, I.E. ABOVE GROUNDS RING)
 - B. #2 THIN SHALL BE STRANDED COPPER WITH GREEN THIN INSULATION SUITABLE FOR NET INSTALLATION (OR SOME ABOVE GROUND APPLICATIONS, I.E. ABOVE GROUNDS RING)
20. THE GROUNDS CONDUCTOR SHALL BE BARE SOLID COPPER WIRE ABOVE-GRADE GROUNDS CONDUCTORS MAY BE EITHER OR AS INDICATED ON THE DRAWINGS:
 - BARE TINED SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, STRANDED COPPER WIRE
21. THE GROUNDS CONDUCTOR SHALL BE BARE SOLID COPPER WIRE ABOVE-GRADE GROUNDS CONDUCTORS MAY BE EITHER OR AS INDICATED ON THE DRAWINGS:
 - BARE TINED SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, SOLID COPPER WIRE
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 - THIN-INSULATED, CONTINUOUS GREEN COLOR, SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, STRANDED COPPER WIRE

GENERAL CONDUCTOR NOTES.

1. ALL POWER, CONTROL AND COMMUNICATION WIRING SHALL MEET NEMA-NC, ASTM, UL AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP UNLESS OTHERWISE SPECIFIED.
2. ALL CONDUCTOR ACCESSORIES INCLUDING CONNECTORS, TERMINATIONS, INSULATING MATERIALS, SUPPORT DEVICES, MARKERS AND CABLE TIES SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL CONDUCTOR ACCESSORIES SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL CONDUCTOR ACCESSORIES SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. WIRE SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL CONDUCTOR ACCESSORIES SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL CONDUCTOR ACCESSORIES SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. TERMINAL CONNECTIONS FOR CONDUCTORS 5 AWG AND LARGER SHALL BE MADE BY THE CRIMPING PROCESS. TERMINAL CONNECTIONS FOR CONDUCTORS 6 AWG AND LARGER SHALL BE MADE BY THE CRIMPING PROCESS. TERMINAL CONNECTIONS FOR CONDUCTORS 6 AWG AND LARGER SHALL BE MADE BY THE CRIMPING PROCESS.
5. TERMINATION PROVISIONS OF EQUIPMENT FOR GROUNDING RATED 100 AMPERES OR LESS OR MARKED FOR 150 AMPERES OR LESS SHALL BE USED. TERMINATION PROVISIONS OF EQUIPMENT FOR GROUNDING RATED 100 AMPERES OR LESS OR MARKED FOR 150 AMPERES OR LESS SHALL BE USED. TERMINATION PROVISIONS OF EQUIPMENT FOR GROUNDING RATED 100 AMPERES OR LESS OR MARKED FOR 150 AMPERES OR LESS SHALL BE USED.
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7. ALL 600 VOLT OR LESS WIRING WHERE COMPRESSION TYPE CONNECTORS ARE USED, SHALL BE INSULATED WITH AT LEAST ONE THICK OF "SPECIALTY" ELECTRICAL INSULATING PUTTY AND THEN BE EXTERIOR TYPE. ALL 600 VOLT OR LESS WIRING WHERE COMPRESSION TYPE CONNECTORS ARE USED, SHALL BE INSULATED WITH AT LEAST ONE THICK OF "SPECIALTY" ELECTRICAL INSULATING PUTTY AND THEN BE EXTERIOR TYPE.
8. THE GROUNDS CONDUCTOR SHALL BE BARE SOLID COPPER WIRE ABOVE-GRADE GROUNDS CONDUCTORS MAY BE EITHER OR AS INDICATED ON THE DRAWINGS:
 - BARE TINED SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, SOLID COPPER WIRE
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 - BARE TINED SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, STRANDED COPPER WIRE

GENERAL GROUNDS NOTES.

1. ALL WORK SHALL COMPLY WITH THE LATEST CONTRACTOR GROUNDS SPECIFICATIONS AND REQUIREMENTS.
2. ALL METALLIC COMPONENTS ON THE SITE MUST BE GROUNDED TO THE GROUND RING. THIS INCLUDES STEEL STRUCTURES, METALLIC PIPING, METALLIC CONDUITS, METALLIC RACEWAYS, METALLIC LUMINAIRE, METALLIC LIGHT FIXTURES, METALLIC SIGNAGE, METALLIC FENCE, METALLIC GATES, METALLIC RAILROADS, METALLIC TIES, METALLIC SIGNALS, METALLIC TRACKS, METALLIC CARS, METALLIC TRUCKS, METALLIC BUSES, METALLIC TRAILERS, METALLIC SEMIS, METALLIC TRUCKS, METALLIC BUSES, METALLIC TRAILERS, METALLIC SEMIS.
3. ALL GROUNDS LEADS ABOVE GRADE SHALL BE INSTALLED IN 1/2" DIA. TUBES.
4. WHEN EARTH RESISTANCE IS NOT REPORTED, THE CONTRACTOR SHALL PROVIDE AN EARTH RESISTANCE OF 25 OHMS OR LESS. WHEN EARTH RESISTANCE IS REPORTED, THE CONTRACTOR SHALL PROVIDE AN EARTH RESISTANCE OF 25 OHMS OR LESS. WHEN EARTH RESISTANCE IS REPORTED, THE CONTRACTOR SHALL PROVIDE AN EARTH RESISTANCE OF 25 OHMS OR LESS.
5. THE CONTRACTOR MUST VERIFY THAT ANY GROUNDS SYSTEM RESISTANCE IS EQUAL TO OR LESS THAN FIVE (5) OHMS PER CONTRACTOR SPECIFICATIONS.
6. RUN ALL GROUNDS WIRING IN AN ORGANIZED MANNER, AVOID CROSSING OF WIRES WHERE POSSIBLE. DO NOT RUN WIRES OVER CONCRETE SLAB.
7. INSTALL ALL GROUNDS WIRING IN A DOWNWARD SLOPE FOR MAXIMUM LIGHTNING PROTECTION.
8. MAINTAIN ALL MINIMUM BENDING RADIUS OF THE GROUNDS WIRING.
9. DO NOT REMOVE MORE INSULATION FROM THE GROUNDS WIRING THAN NECESSARY WHEN CABLEWELDING OR CRIMPING. IF EXCESS INSULATION IS REMOVED, THE CONNECTION WILL BE CONSIDERED UNACCEPTABLE AND WILL BE CORRECTED FOR THE CONTRACTOR REPRESENTATIVE'S SIGNATURE.
10. DOWN LEAD FOR ANTENNA SECTORS MUST BE CONNECTED DIRECTLY TO THE GROUND RING.
11. ALL BASE TRANSFORMER SITE EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE INTERNATIONAL ELECTRIC CODE (IEC) AND THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND CONTRACTOR STANDARDS.
12. THE ELECTRICAL SERVICE TO THE SITE SHALL BE GROUNDED AT THE SERVICE DISCONNECTING MEANS REQUIRED IN ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE. IN ACCORDANCE WITH ANY LOCAL CODE.
13. ALL UNDERGROUND (BELLOW GRADE) GROUNDS CONNECTIONS SHALL BE MADE BY THE CRIMPING PROCESS (MECHANICAL LUG ATTACHMENTS BELLOW GRADE ARE NOT ACCEPTABLE). CONNECTIONS SHALL BE MADE BY THE CRIMPING PROCESS (MECHANICAL LUG ATTACHMENTS BELLOW GRADE ARE NOT ACCEPTABLE). CONNECTIONS SHALL BE MADE BY THE CRIMPING PROCESS (MECHANICAL LUG ATTACHMENTS BELLOW GRADE ARE NOT ACCEPTABLE).
14. ALL GROUNDS AND BONDING CONDUCTORS THAT ARE CONNECTED ABOVE GRADE INTERIOR TO A BUILDING SHALL BE GROUNDED TO THE BUILDING'S GROUNDING SYSTEM. ALL GROUNDS AND BONDING CONDUCTORS THAT ARE CONNECTED ABOVE GRADE INTERIOR TO A BUILDING SHALL BE GROUNDED TO THE BUILDING'S GROUNDING SYSTEM.
15. ALL GROUNDS CONNECTIONS, INTERIOR AND EXTERIOR, MADE THROUGHOUT THE DOCUMENT SHALL BE MADE USING AN ANTI-OXIDATION COMPOUND. THE ANTI-OXIDATION COMPOUND SHALL BE THIN AND SHALL BE APPLIED TO THE GROUNDS CONNECTIONS, INTERIOR AND EXTERIOR, MADE THROUGHOUT THE DOCUMENT.
16. ALL GROUNDS CONNECTIONS, INTERIOR AND EXTERIOR, MADE THROUGHOUT THE DOCUMENT SHALL BE MADE USING AN ANTI-OXIDATION COMPOUND. THE ANTI-OXIDATION COMPOUND SHALL BE THIN AND SHALL BE APPLIED TO THE GROUNDS CONNECTIONS, INTERIOR AND EXTERIOR, MADE THROUGHOUT THE DOCUMENT.

GENERAL ELECTRICAL NOTES.

1. ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH CONTRACTOR SPECIFICATIONS.
2. CONTRACTOR SHALL PERFORM ALL VERIFICATION, TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF ALL THINGS TO THE ORDERING LITING ALL MAINTENANCE, FAULTY EQUIPMENT AND DISASSEMBLING THE EQUIPMENT.
3. ALL MATERIALS SHALL BE UNMANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND UL LISTED.
4. APPROXIMATE LOCAL CODES.
5. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING OF 42000 AAC.
6. FOR BATTERY CHARGING, WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY CONTRACTOR.
7. POWER, SIGNAL AND PUMP AIR AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK, CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED ELECTRICAL, "BULL" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL BOUNDING AND WIRING CONNECTIONS.
8. ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTIONS MUST INCLUDE MORN TYPE BY-PASS PROVISION SO THAT SERVICES WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
9. ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE ROOFED PROTECTED WITH CAPS, STEEL WIRE, AND/OR FOAM FILL BY CONTRACTOR AS NOTED.
10. NO SPOLS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER.
11. CONTRACTOR TO PROVIDE 2 PHOTOCOPY LABELS AT METER ONE TO IDENTIFY CONTRACTOR DISCONNECT AND THE OTHER TO GIVE THE SITE ADDRESS.
12. ALL CONTRACTOR FURNISHED MATERIALS AND EQUIPMENT SPECIFIED ON THE PROJECT SHALL BE NEW AND UNUSED, OF CURRENT MANUFACTURE AND OF THE HIGHEST QUALITY AVAILABLE.
13. ALL EQUIPMENT AND MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, LOCAL, STATE AND FEDERAL CODES AND ALL LOCAL, STATE AND FEDERAL CODES AND ALL LOCAL, STATE AND FEDERAL CODES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT.
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GENERAL BACKWAVE NOTES.

1. CONDUIT AND CONDUIT FITTINGS SHALL MEET ANSI AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP AND SHALL BE UL LISTED.
2. ALL CONDUIT SHALL CONFORM TO THE REQUIREMENTS OF NEC, PARAGRAPH 348 AND 348.10. ALL CONDUIT SHALL CONFORM TO THE REQUIREMENTS OF NEC, PARAGRAPH 348 AND 348.10. ALL CONDUIT SHALL CONFORM TO THE REQUIREMENTS OF NEC, PARAGRAPH 348 AND 348.10.
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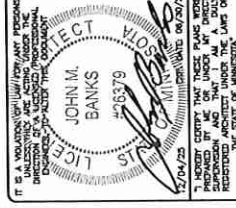


804 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AEO@westchesterservices.com

JOHN M. BANKS
ARCHITECT
10057 289TH AVE. NW
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION	BY
1	05/27/23	PERMIT/CONSTRUCTION	JS
2	06/20/23	PERMIT/CONSTRUCTION	JS
3	10/21/23	PERMIT/CONSTRUCTION	RA
4	12/05/23	PERMIT/CONSTRUCTION	RA

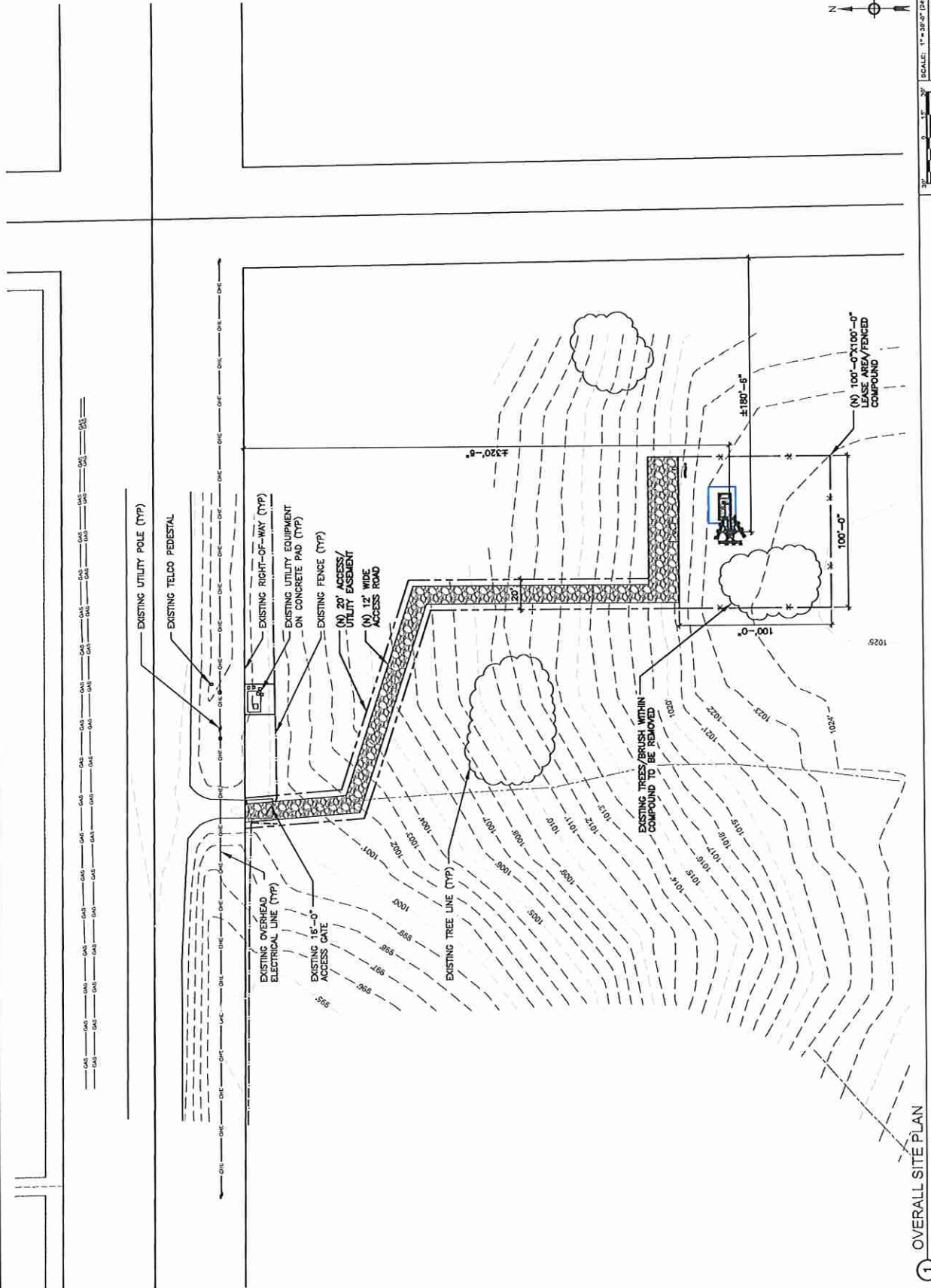
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LABELLED AS CONSTRUCTION SET

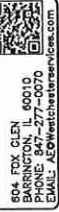


SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
**OVERALL
SITE PLAN**

SHEET NUMBER
C-1





804 FOX GLEN
BANKS, MN 55338
PHONE: 947-277-0070
FAX: 947-277-0071
EMAIL: JMC@WESTCHESTER-SERVICES.COM

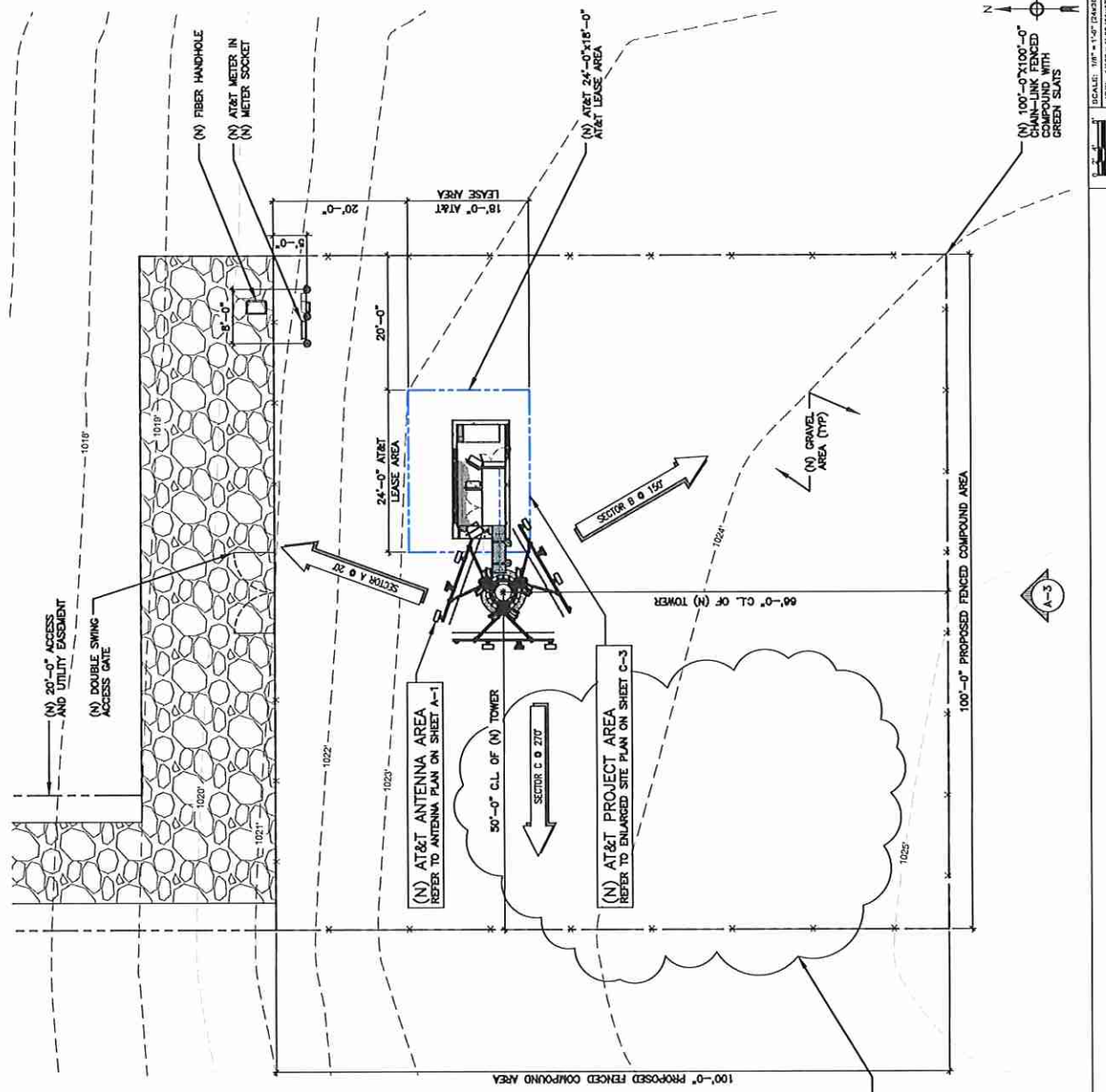
REV.	DATE	DESCRIPTION
1	06/27/23	PERMIT/CONSTRUCTION
2	06/27/23	PERMIT/CONSTRUCTION
3	10/21/23	PERMIT/CONSTRUCTION
4	12/05/23	PERMIT/CONSTRUCTION



SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55338

SHEET TITLE
COMPOUND PLAN

SHEET NUMBER
C-2



NOTE:
PER NATIONAL WETLANDS INVENTORY
THIS SITE IS NOT LOCATED IN A WETLAND.

- NOTES:
1. ALL PLANTS MUST BE HEALTHY, VARIOUS MATERIAL, FREE OF PEST AND DISEASE.
 2. ALL PLANTS MUST BE CONTAINER-BROWN OR BALLED AND BURLAPPED AS SPECIFIED.
 3. ALL PLANTS MUST BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
 4. ALL PLANTS MUST BE PLANTED IN THE SPECIFIED AREAS.
 5. ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MAINTAINED AS SPECIFIED.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR PLANTING AND MAINTENANCE OF PLANTS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR PLANTING AND MAINTENANCE OF PLANTS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR PLANTING AND MAINTENANCE OF PLANTS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR PLANTING AND MAINTENANCE OF PLANTS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR PLANTING AND MAINTENANCE OF PLANTS.
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 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR PLANTING AND MAINTENANCE OF PLANTS.
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 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR PLANTING AND MAINTENANCE OF PLANTS.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR PLANTING AND MAINTENANCE OF PLANTS.



JOHN M. BANKS
ARCHITECT
504 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
FAX: 847-277-0070
WWW.JMBANKSARCHITECTS.COM

REVISIONS				
REV	DATE	DESCRIPTION	BY	
1	05/27/25	PERMIT/CONSTRUCTION	J5	
2	08/20/25	PERMIT/CONSTRUCTION	J5	
3	10/21/25	PERMIT/CONSTRUCTION	RA	
4	12/05/25	PERMIT/CONSTRUCTION	RA	

NOT FOR CONSTRUCTION UNLESS LABELLED AS CONSTRUCTION SET

IS A VIOLATION OF LAW FOR ANY PERSONS,
UNLESS THEY ARE ACTING UNDER THE
AUTHORITY OF AN ORDER FROM A JUDGE OR
A COURT OF LAW.

JOHN M.
BANKS

#26379

LICENSURE DIVISION
STATE OF MINNESOTA

2/04/73

RECEIVED BY THE ARCHITECT THAT THESE PLANS WERE
DESIGNED BY HIM AND THAT HE IS NOT A DULY
LICENSED ARCHITECT UNDER THE LAWS OF
THE STATE OF MINNESOTA.

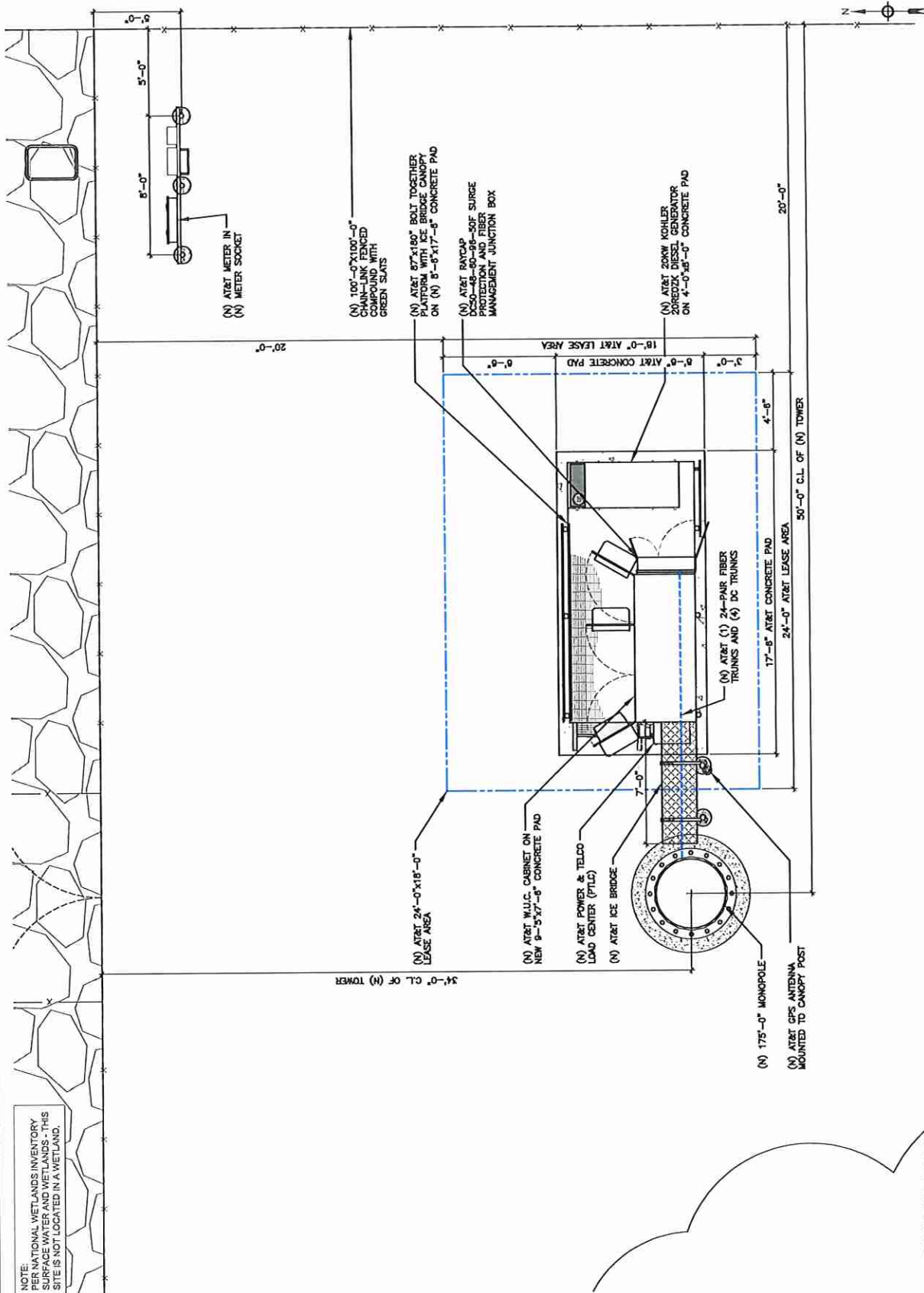
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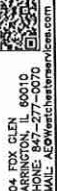
SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
EQUIPMENT PLAN

SHEET NUMBER

C-3





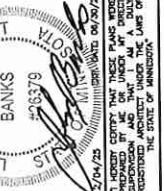
604 FOX GLEN
BASKINGTOWN, NJ 08901
PHONE: 847-277-0070
EMAIL: AEG@westchesterservices.com

JOHN M. BANKS
ARCHITECT
BASKINGTOWN, NJ 08901
TELEPHONE: 847-277-0070
EMAIL: JBANKS@JOHNBANKSARCHITECT.COM

REVISIONS

REV.	DATE	DESCRIPTION	BY
1	03/27/23	PERMIT/CONSTRUCTION	JS
2	06/20/23	PERMIT/CONSTRUCTION	JS
3	10/21/23	PERMIT/CONSTRUCTION	RA
4	12/05/23	PERMIT/CONSTRUCTION	RA

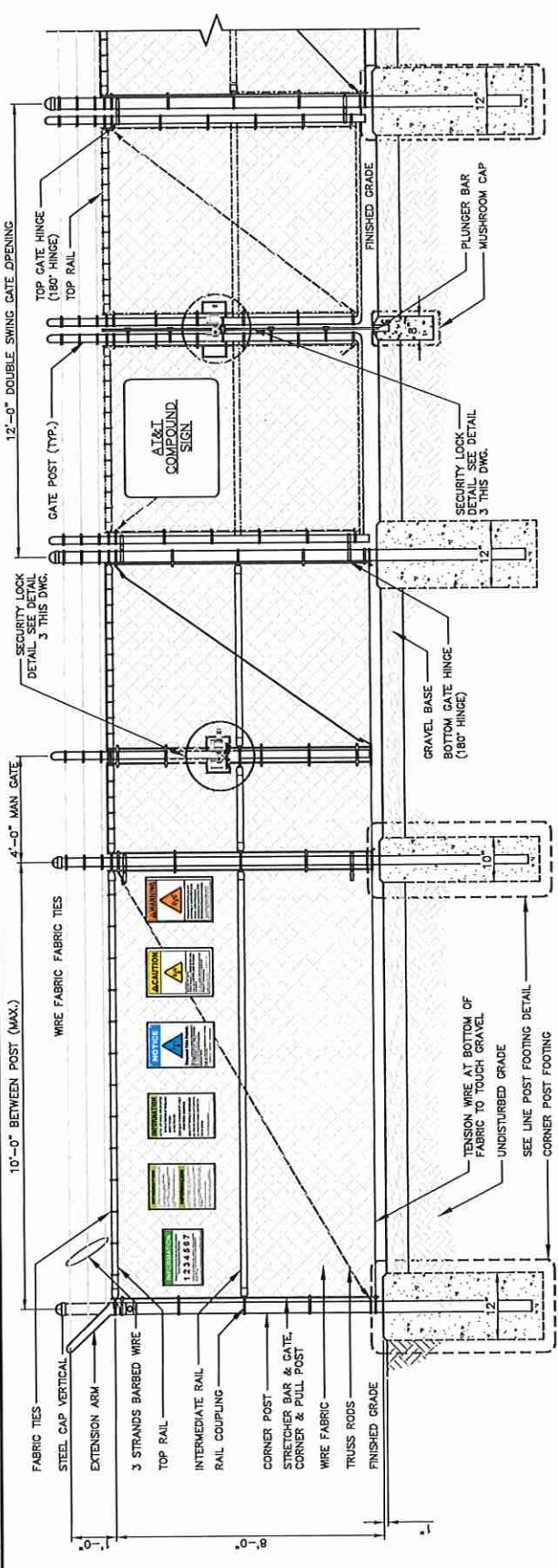
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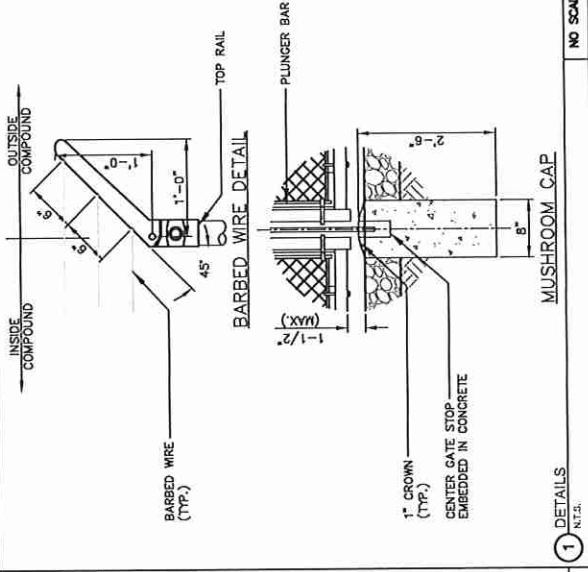
SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
SITE DETAILS

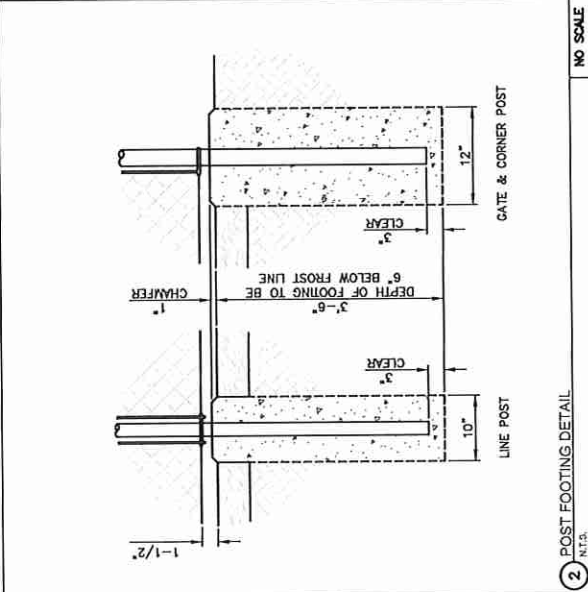
SHEET NUMBER
C-4



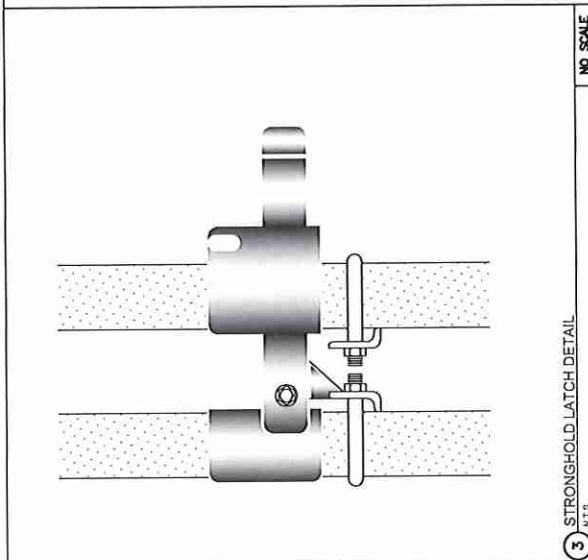
4 FENCE/GATE & GATE STOP DETAIL
N.T.S.



1 DETAILS
N.T.S.



2 POST FOOTING DETAIL
N.T.S.



3 STRONGHOLD LATCH DETAIL
N.T.S.

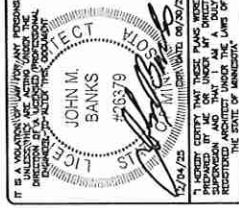


804 FOX GLEN
BARNSDALE, MN 55010
PHONE: 612-277-0070
FAX: 612-277-0071
EMAIL: AEO@westchesterservices.com

JOHN M. BANKS
ARCHITECT
804 FOX GLEN
BARNSDALE, MN 55010
TELEPHONE: 612-277-0070
FAX: 612-277-0071
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION	BY
1	06/22/25	PERMIT/CONSTRUCTION	JS
2	06/25/25	PERMIT/CONSTRUCTION	JS
3	10/21/25	PERMIT/CONSTRUCTION	BN
4	12/05/25	PERMIT/CONSTRUCTION	BN

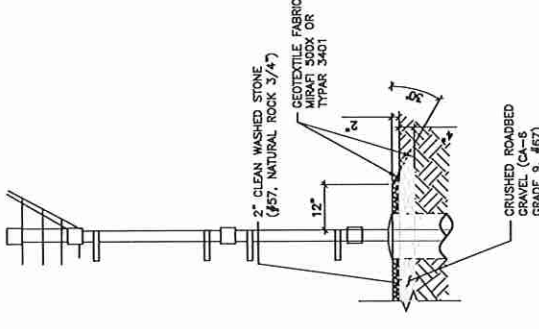
NOT FOR CONSTRUCTION UNLESS
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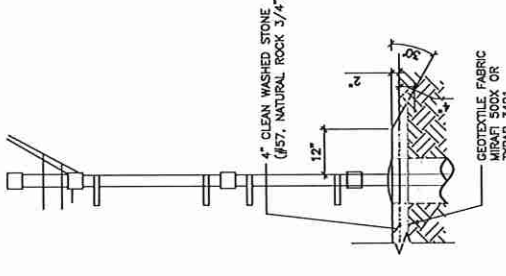
SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FA#: 15923595
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
SITE DETAILS

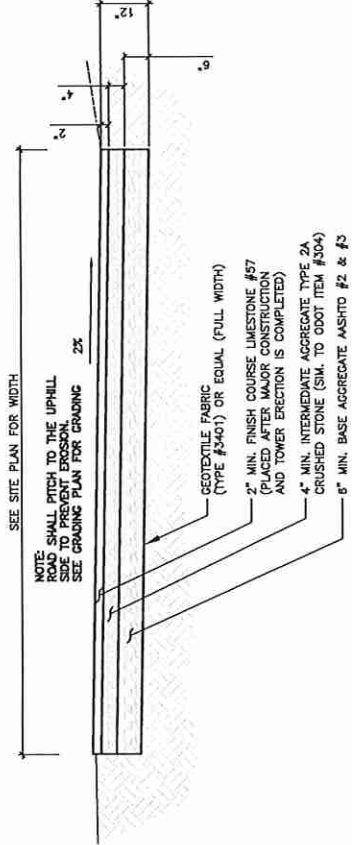
SHEET NUMBER
C-5



2 ALTERNATE COMPOUND GRAVEL DETAIL
N.T.S. NO SCALE



1 TYPICAL COMPOUND GRAVEL DETAIL
N.T.S. NO SCALE



3 GRAVEL DRIVE DETAIL
N.T.S. NO SCALE

4 NOT USED
N.T.S. NO SCALE

5 NOT USED
N.T.S. NO SCALE



604 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
FAX: 847-277-0071
EMAIL: A&W@westchesterservices.com

JOHN M. BANKS
ARCHITECT
BARRINGTON, IL 60010
PHONE: 847-277-0070
FAX: 847-277-0071
EMAIL: JMB@JOHNBANKSARCHITECT.COM

REV.	DATE	DESCRIPTION	BY
1	06/27/23	PERMIT/CONSTRUCTION	JS
2	06/29/23	PERMIT/CONSTRUCTION	JS
3	10/21/23	PERMIT/CONSTRUCTION	BA
4	12/06/23	PERMIT/CONSTRUCTION	BA

NOT FOR CONSTRUCTION UNLESS
LABELLED AS CONSTRUCTION SET



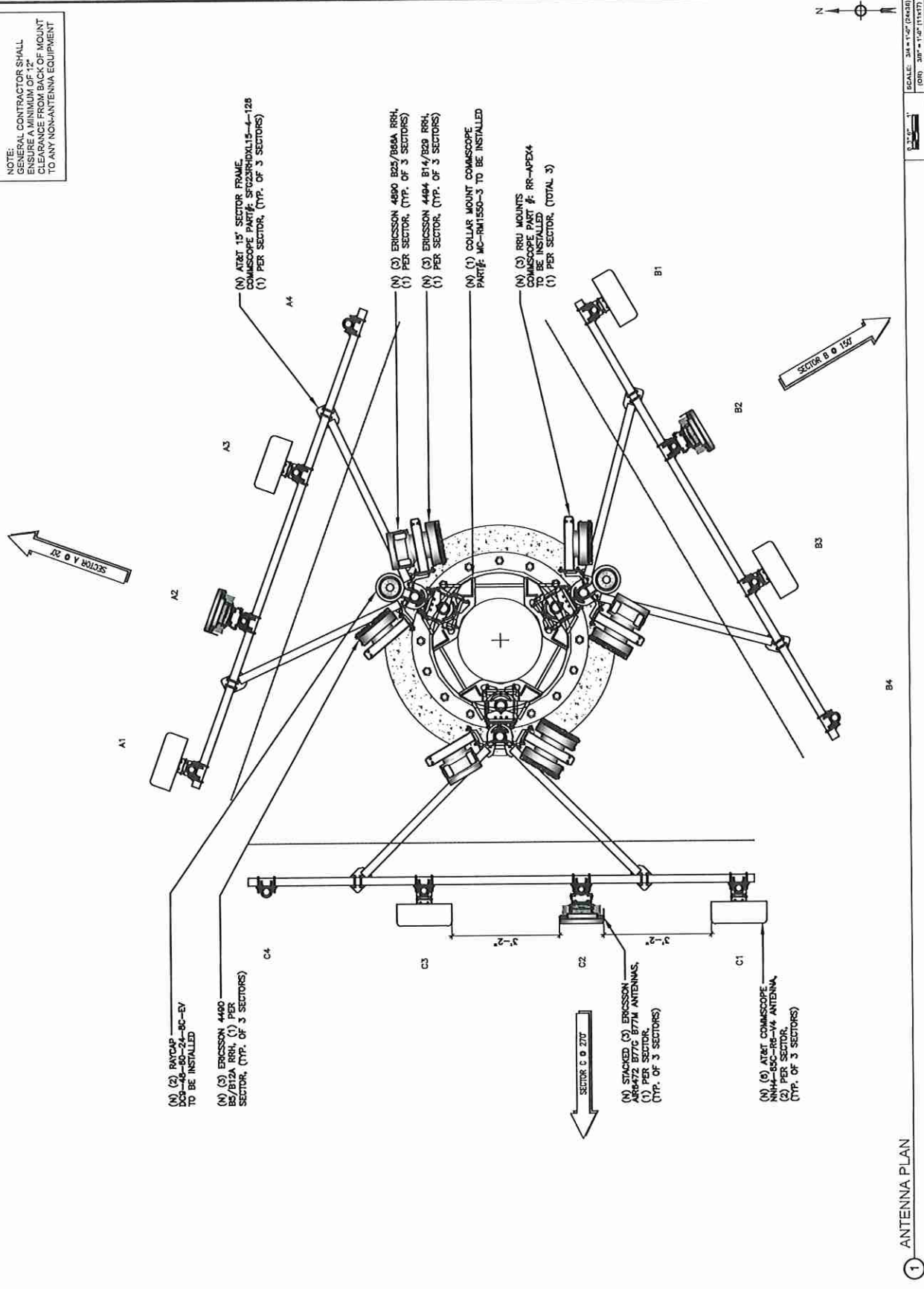
IT IS A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT AND THE PROFESSIONAL ENGINEERING BOARD ACT TO REPRODUCE OR ALTER THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

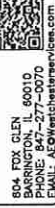
SHEET TITLE
ANTENNA PLAN

SHEET NUMBER
A-1

NOTE:
GENERAL CONTRACTOR SHALL
ENSURE A MINIMUM OF 12"
CLEARANCE FROM BACK OF MOUNT
TO ANY NON-ANTENNA EQUIPMENT



NOTE:
CONTRACTOR TO REFER TO AT&T'S MOST CURRENT RADIO
FREQUENCY DATA SHEET (RFDs) PRIOR TO
CONSTRUCTION.
CONTRACTOR TO USE ROSENBERGER FIBER LINE HANGER
COMPONENTS (OR ENGINEER APPROVED EQUAL).



804 FOX GLEN 60010
BARRINGTON, IL 60010
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: A@westchesterservices.com

JOHN M. BANKS
ARCHITECT
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION	BY
1	06/21/25	PERMIT/CONSTRUCTION	JS
2	06/25/25	PERMIT/CONSTRUCTION	JS
3	10/21/25	PERMIT/CONSTRUCTION	BA
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SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
ANTENNA & RRH
REQUIREMENTS

SHEET NUMBER
A-2

FINAL ANTENNA AND TRANSMISSION EQUIPMENT REQUIREMENTS (VERIFY WITH LATEST RFDs)

SECTOR	RAD CENTER	POSITION	ANTENNA TILT		AZIMUTH	ANTENNA MODEL	TECHNOLOGY	RRH / TMA	SURGE & DISTRIBUTION	
			MECH	ELEC					MODEL	CABLE (QTY) TYPES
A	171°-0°	1	-	-	20°	COMMScope NNH4-85C-R8-V4 ERICSSON AIR8472 B77G B77M W/INTEGRATED RADIOS	LTE	ERICSSON 4490 B5/B12A		
	171°-0°	2	-	-	20°		5G C-BAND	-		
	171°-0°	3	-	-	20°	COMMScope NNH4-85C-R8-V4	LTE	ERICSSON 4494 B14/B29 ERICSSON 4890 B25/B66A		
	-	4	-	-	-		-	-		
B	171°-0°	1	-	-	150°	COMMScope NNH4-85C-R8-V4 ERICSSON AIR8472 B77G B77M W/INTEGRATED RADIOS	LTE	ERICSSON 4490 B5/B12A		
	171°-0°	2	-	-	150°		5G C-BAND	-		
	171°-0°	3	-	-	150°	COMMScope NNH4-85C-R8-V4	LTE	ERICSSON 4494 B14/B29 ERICSSON 4890 B25/B66A		
	-	4	-	-	-		-	-		
C	171°-0°	1	-	-	270°	COMMScope NNH4-85C-R8-V4 ERICSSON AIR8472 B77G B77M W/INTEGRATED RADIOS	LTE	ERICSSON 4490 B5/B12A		
	171°-0°	2	-	-	270°		5G C-BAND	-		
	171°-0°	3	-	-	270°	COMMScope NNH4-85C-R8-V4	LTE	ERICSSON 4494 B14/B29 ERICSSON 4890 B25/B66A		
	-	4	-	-	-		-	-		

(2) RAYCAP
DO3-48-80-24-8C-EV
(4) DC POWER TRUNKS &
(1) 24-PAIR FIBER TRUNKS

NOTE TO BITS VENDOR:
ANCHOR BOLTS, SAFETY PEGS,
AND PORTHOLES TIED BY BITS
VENDOR TO CORRELATE WITH
ANTENNA MOUNTS AND ASSEMBLIES

- TOP OF HIGHEST APPLURTEANCE
ELEV. 179'-0" AGL
- I.O. (N) MONOPOLE
ELEV. 175'-0" AGL
- I.O. (N) AT&T PANEL ANTENNAS
ELEV. 175'-0" AGL
- (N) AT&T ANTENNAS RAD CENTER
ELEV. 171'-0" AGL

- (N) LIGHTNING ROD
- (N) AT&T EQUIPMENT:
• (3) SECTOR FRAMES
• (6) ANTENNAS
• (6) BRU'S
• (2) SQUIDS
- (F) CARRIER ANTENNAS

(N) 175'-0" MONOPOLE

(N) AT&T (1) 24-PAIR FIBER TRUNKS
AND (4) DC TRUNKS ROUTED INSIDE
OF (2) 2" INNERDUCTS

- (N) AT&T W.U.C. CABINET WITH
CANOPY AND GENERATOR
- (N) H-FRAME WITH EQUIPMENT
- (N) CHAIN LINK FENCE (TYP)

GRADE (RET)
ELEV. 0'-0" AGL

1 ELEVATION

SCALE: 1" = 10'-0" (PLAN)
1" = 10'-0" (ELEV)



WESTCHESTER SERVICES LLC

804 FRY AVE
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AL@westchesterservices.com

JOHN M. BANKS ARCHITECT

1000 N. LAKE STREET
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JMBANKS@JOHNBANKSARCHITECT.COM

REV.	DATE	DESCRIPTION	BY
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3	10/21/25	PERMIT/CONSTRUCTION	RA
4	12/04/25	PERMIT/CONSTRUCTION	RA

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LABELLED AS SUCH

IT IS A VIOLATION OF LAW FOR ANY PERSON, FIRM, OR CORPORATION TO REPRODUCE OR TRANSMIT THIS DOCUMENT IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY SUCH VIOLATION SHALL BE SUBJECT TO THE PENALTIES PROVIDED BY LAW.

JOHN M. BANKS
#003379

12/04/25

SITE NUMBER: MN01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
ELEVATION

SHEET NUMBER
A-3

654 FRY GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: ACO@westchesterservices.com

JOHN M. BANKS
ARCHITECT
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JMBANKS@JOHNBANKSARCHITECT.COM

REV.	DATE	DESCRIPTION
1	08/27/23	PERMIT/CONSTRUCTION
2	08/29/23	PERMIT/CONSTRUCTION
3	10/21/23	PERMIT/CONSTRUCTION
4	12/05/23	PERMIT/CONSTRUCTION

NOT FOR CONSTRUCTION UNLESS
LABELLED AS SUBSEQUENT SET

SITE NUMBER: WN101271
SITE NAME: BLUE LAKE
FAX#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
DETAILS

SHEET NUMBER
D-1

KOHLER 20BEOZK 20KW GENERATOR
DIMENSIONS: 77"x54"x74" (1980x1380x1875mm)
WEIGHT (W/ENGINE FRAME): 621 lbs (1,279 kg)

3 GENERATOR SPECIFICATIONS
N.T.S.

EDICSSON BRUS 4494 B14
MANUFACTURER: EDICSSON
MODEL NO.: SK01092064/J
WEIGHT: 10.6 LBS

6 AIR ANTENNA MOUNTING KIT SPECIFICATIONS
CONCAT 54086/ITEM NUMBER CEG 02482

EDICSSON BRUS 4494 B14
DIMENSIONS: 17.48"x15.12"x6.93"
WEIGHT, WITHOUT MOUNTING KIT: ±31 kg (68.3 lbs)

5 ANTENNA SPECIFICATIONS
N.T.S.

EDICSSON BRUS 4494 B14
DIMENSIONS: 17.48"x15.12"x6.93"
WEIGHT, WITHOUT MOUNTING KIT: ±31 kg (68.3 lbs)

4 BRUS SPECIFICATIONS
N.T.S.

EDICSSON BRUS 4494 B14
DIMENSIONS: 17.48"x15.12"x6.93"
WEIGHT, WITHOUT MOUNTING KIT: ±31 kg (68.3 lbs)

8 ANTENNA MOUNTING DETAIL
N.T.S.

EDICSSON BRUS 4494 B14
DIMENSIONS: 17.48"x15.12"x6.93"
WEIGHT, WITHOUT MOUNTING KIT: ±31 kg (68.3 lbs)

7 BRUS SPECIFICATIONS
N.T.S.

EDICSSON BRUS 4494 B14
DIMENSIONS: 17.48"x15.12"x6.93"
WEIGHT, WITHOUT MOUNTING KIT: ±31 kg (68.3 lbs)

11 SURGE PROTECTION DETAIL
N.T.S.

EDICSSON BRUS 4494 B14
DIMENSIONS: 17.48"x15.12"x6.93"
WEIGHT, WITHOUT MOUNTING KIT: ±31 kg (68.3 lbs)

10 BRUS SPECIFICATIONS
N.T.S.

EDICSSON BRUS 4494 B14
DIMENSIONS: 17.48"x15.12"x6.93"
WEIGHT, WITHOUT MOUNTING KIT: ±31 kg (68.3 lbs)

9 NOT USED
N.T.S.

EDICSSON BRUS 4494 B14
DIMENSIONS: 17.48"x15.12"x6.93"
WEIGHT, WITHOUT MOUNTING KIT: ±31 kg (68.3 lbs)

12 ANTENNA SPECIFICATIONS
N.T.S.

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.



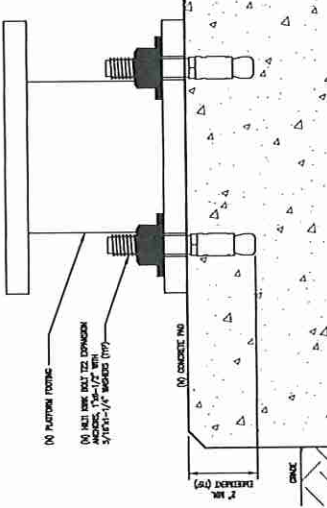
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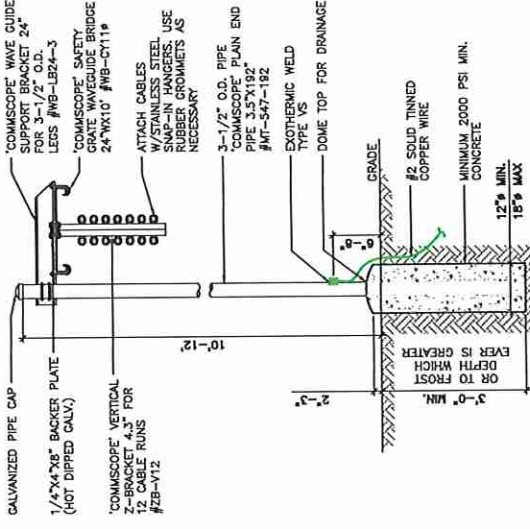
SITE NUMBER: VN101271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
DETAILS

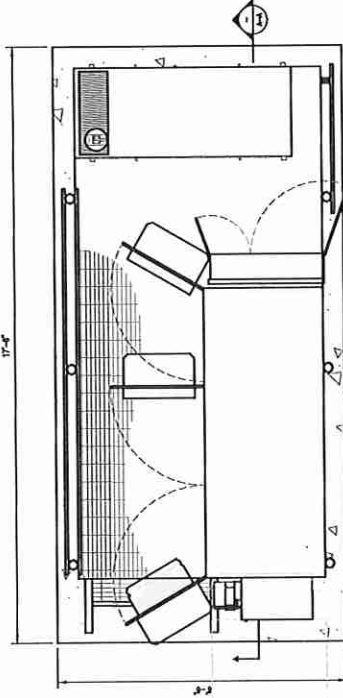
SHEET NUMBER
D-2



2 PLATFORM ANCHOR DETAIL
N.T.S.

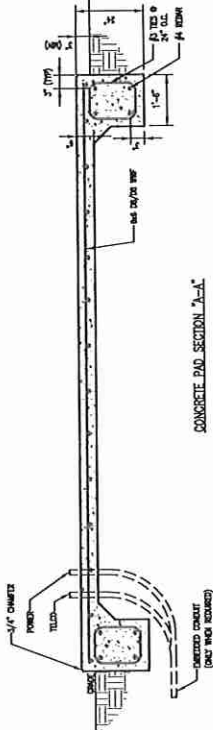


1 ICE BRIDGE DETAIL
N.T.S.



CONCRETE PAD PLAN

NOTES:
1. CONCRETE STRENGTH SHALL BE A MINIMUM OF 3000 PSI.
2. SLAB TO BE FLAT AND LEVEL.
3. COVERED 3/4\"/>

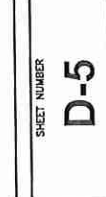


CONCRETE PAD SECTION 3-A
N.T.S.

3 WUC FOUNDATION PLAN DETAILS
N.T.S.







1 PLATFORM LEG DETAILS
N.T.S.

N.T.S.

854 FOX BLVD
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AEO@westchesterservices.com

JOHN M. BANKS
ARCHITECT
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JBANKS@JMBANKSARCHITECT.COM

REV.	DATE	DESCRIPTION
1	06/27/25	PERMIT/CONSTRUCTION
2	06/25/25	PERMIT/CONSTRUCTION
3	10/21/25	PERMIT/CONSTRUCTION
4	12/05/25	PERMIT/CONSTRUCTION

NOT FOR CONSTRUCTION UNLESS DATED AS CONSTRUCTION SET

IT IS A VIOLATION OF LAW TO REPRODUCE OR TRANSMIT THIS DOCUMENT IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY SUCH VIOLATION SHALL BE SUBJECT TO THE PENALTIES OF THE LAW OF THE STATE OF MINNESOTA.

JOHN M. BANKS
#06379

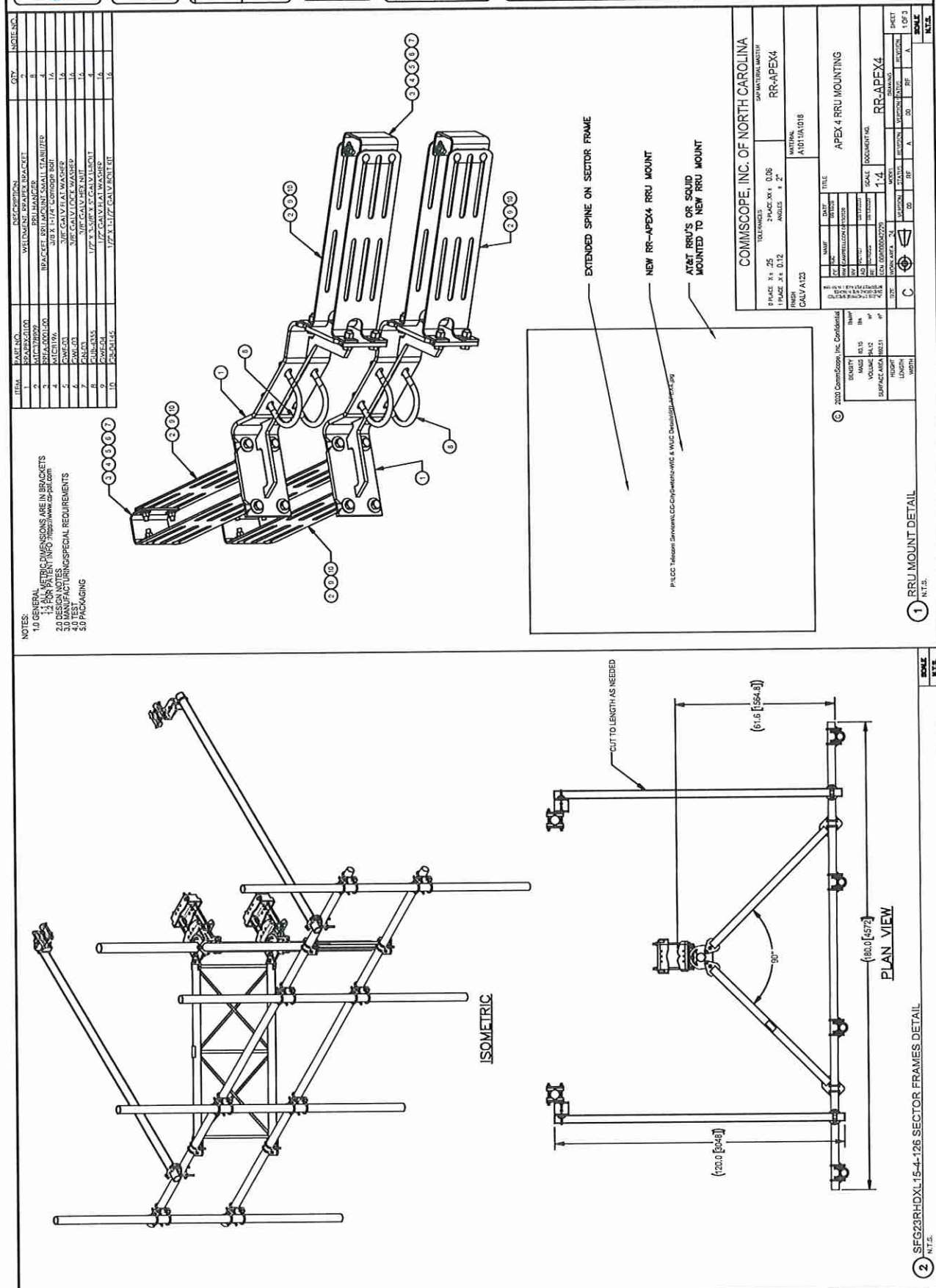
1. I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

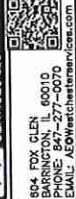
DATE: 06/27/25
DRAWN: 06/27/25

SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
MOUNT DETAILS

SHEET NUMBER
D-6





854 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AEO@westchesterservices.com

JOHN M. BANKS
ARCHITECT
P.C.
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JMBANKS@JOHNBANKSPC.COM

REV.	DATE	DESCRIPTION	BY
1	06/27/23	PERMIT/CONSTRUCTION	JS
2	08/20/23	PERMIT/CONSTRUCTION	JS
3	10/21/23	PERMIT/CONSTRUCTION	RA
4	12/05/23	PERMIT/CONSTRUCTION	RA

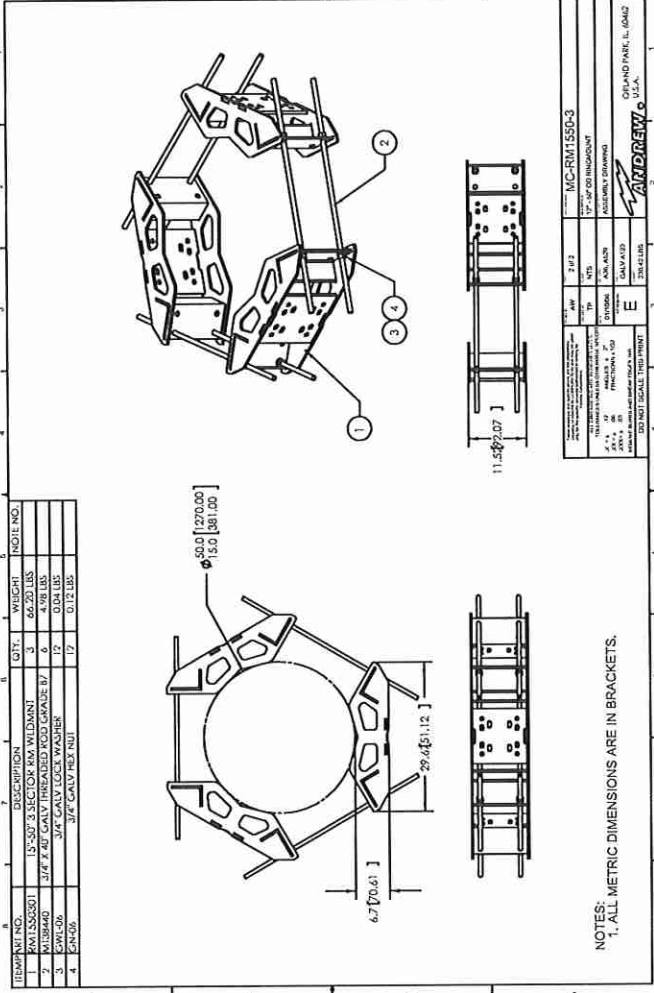
NOT FOR CONSTRUCTION UNLESS
LABELLED AS CONSTRUCTION SET



SITE NUMBER: MN01271
SITE NAME: BLUE LAKE
FAX: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
MOUNT DETAILS

SHEET NUMBER
D-7

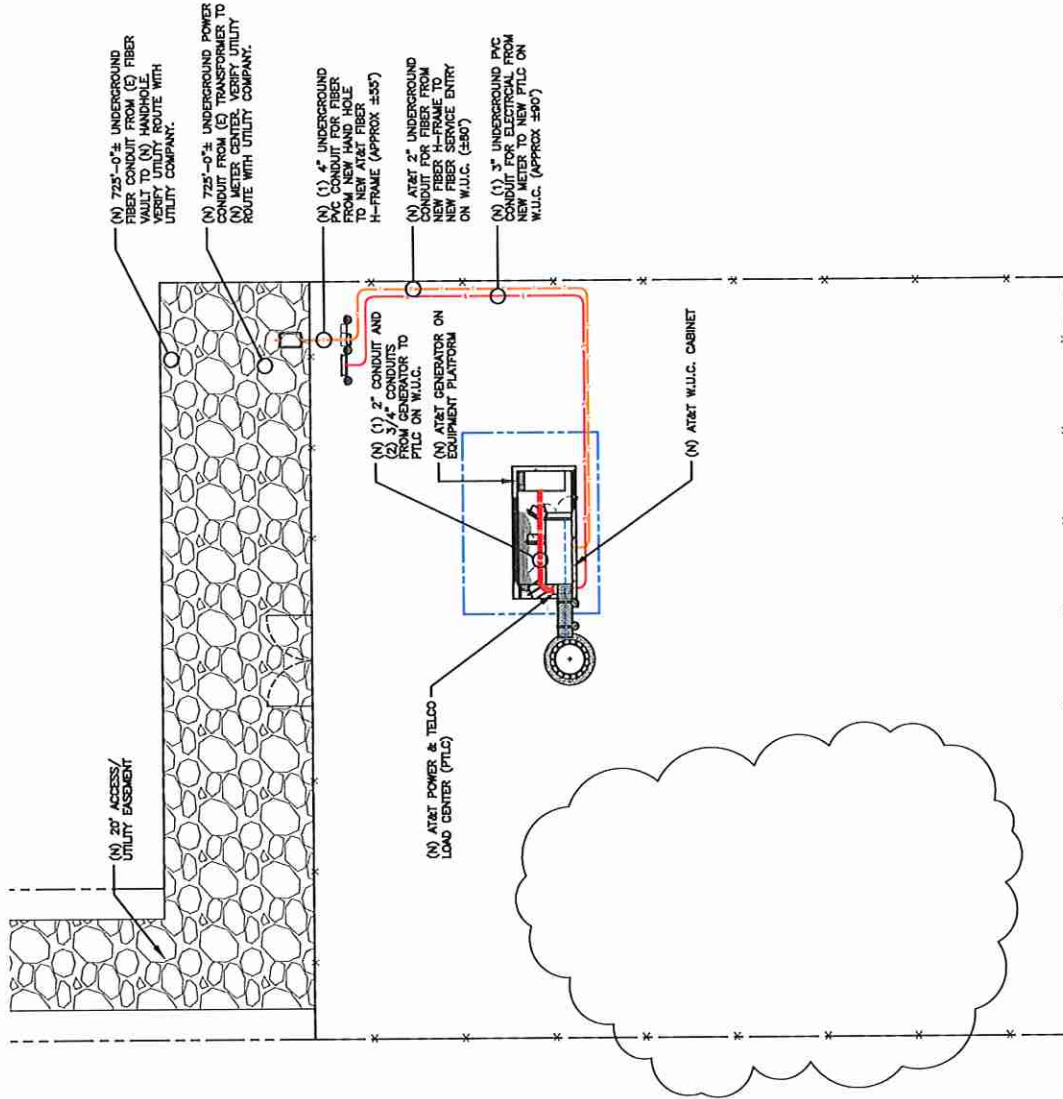


ITEM	QTY	WEIGHT	UNIT
1	1	66.20 LBS	
2	6	4.08 LBS	
3	12	0.04 LBS	
4	17	0.12 LBS	

MC-RM1550-3	17" x 17" x 17" INDEPENDENT	ALUMINUM SHIMMED
1	2 x 1/2"	1/2" x 1/2" x 1/2" INDEPENDENT
2	1/2" x 1/2" x 1/2" INDEPENDENT	ALUMINUM SHIMMED
3	1/2" x 1/2" x 1/2" INDEPENDENT	ALUMINUM SHIMMED
4	1/2" x 1/2" x 1/2" INDEPENDENT	ALUMINUM SHIMMED

NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.

NOTE: ROUTE SUBJECT TO CHANGE
PENDING UTILITY COORDINATION



NOTES

- PROPOSED ICE BRIDGE
- EXISTING ICE BRIDGE
- UNDERGROUND POWER
- UNDERGROUND UTILITIES
- UNDERGROUND FIBER
- UNDERGROUND FIBER

LEGEND

1 OVERALL ELECTRICAL PLAN

SCALE: 1/4" = 1'-0" (DASB)
(OR) 1/8" = 1'-0" (11437)



604 FOX GLEN
SARASOTA, FL 34236
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: AEG@westchesterservices.com

JOHN M. BANKS
ARCHITECT
604 FOX GLEN
SARASOTA, FL 34236
BUSINESS: 847-277-0070
EMAIL: JBANKS@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION	BY
1	05/27/23	PERMIT/CONSTRUCTION	JS
2	06/20/23	PERMIT/CONSTRUCTION	JS
3	10/21/23	PERMIT/CONSTRUCTION	RA
4	12/05/23	PERMIT/CONSTRUCTION	RA

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET



SITE NUMBER: MNLD1271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
**OVERALL
ELECTRICAL PLAN**

SHEET NUMBER
E-1



4 ELECTRICAL NOTES



604 FOX GLEN
BANKS, MN 55010
PHONE: 847-277-0070
FAX: 847-277-0071
EMAIL: AEG@westchesterservices.com

JOHN M. BANKS
ARCHITECT
BANKS ARCHITECT
BANKS, MN 55010
PHONE: 847-277-0070
FAX: 847-277-0071
EMAIL: JMB@banksarchitect.com

REV.	DATE	DESCRIPTION	BY
1	05/27/25	PERMIT/CONSTRUCTION	JS
2	06/20/25	PERMIT/CONSTRUCTION	JS
3	10/21/25	PERMIT/CONSTRUCTION	RA
4	12/09/25	PERMIT/CONSTRUCTION	RA
NOT FOR CONSTRUCTION UNLESS LABELLED AS CONSTRUCTION SET			

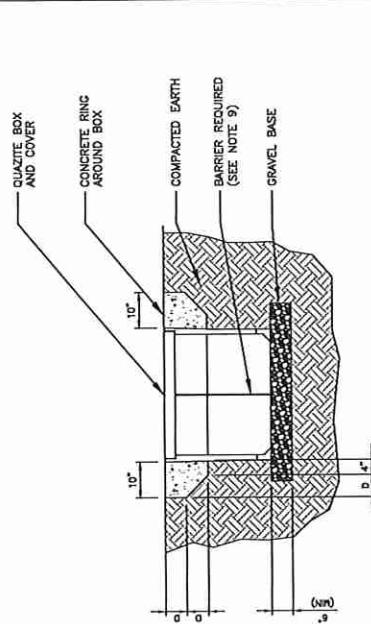


SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55399

SHEET TITLE
**ELECTRICAL
DETAILS**

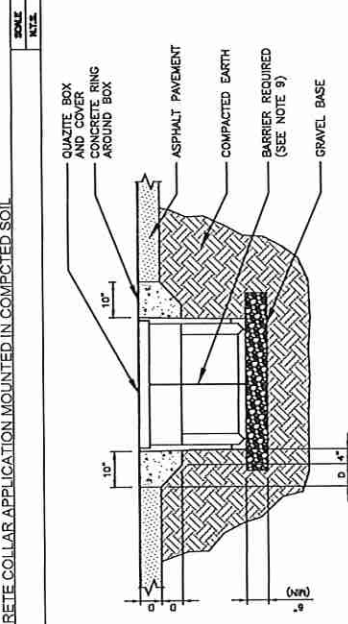
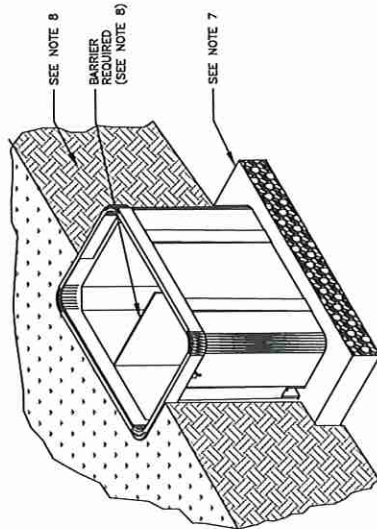
SHEET NUMBER
E-3

1. CONCRETE COLLARS MAY BE DESIRED FOR INSTALLATIONS IN DRIVEWAYS, PARKING LOTS AND OFF-ROADWAY APPLICATIONS WHERE SUBJECT TO OCCASIONAL NON-DELIBERATE TRAFFIC. THIS APPLIES TO BOXES MADE FROM ANY MATERIAL TO PROVIDE ADDED PROTECTION FOR THE TOP OF THE COLLAR. NOT NECESSARY IN GRAVEL AREAS OR AREAS SUBJECT TO PEDESTRIAN TRAFFIC.
2. CONCRETE ENCASEMENT TO BE 3,000 PSI MIN.
3. CONCRETE ENCASEMENT COLLAR DIMENSION "D" TO BE EQUAL TO DESIGN PAVEMENT DEPTH.
4. PAVEMENT AND SUBGRADE TO BE SHOWN ON THE ENGINEERING PLANS.
5. EXCAVATE THE HOLE APPROXIMATELY 5 TO 8" DEEPER THAN SUGGESTED HAND HOLE BURIAL DEPTH.
6. COMPACT THE SUBSOIL WITH A BACK-HOE OR A HYDRAULIC TAMPER. ADD APPROXIMATELY 5 TO 8" OF GRAVEL TO THE BOTTOM OF HOLE.
7. PLACE THE HAND HOLE ON THE LEVELED GRAVEL BED.
8. BACK-FILL WITH LOOSE EARTH MATERIAL UP TO THE TOP SURFACE OF THE HAND HOLE. DO NOT BACK-FILL WITH CHUNKS OF FROZEN MATERIAL OR LARGE ROCKS NEXT TO THE GROUND SLEEVE. PLACE THE BACK-FILL MATERIAL BY FOOT TAMPING, NO MACHINE TAMPING.
9. PROVIDE BARRIER HUBBELL QUAZITE # PG 24388C30 OR APPROVED 24"x36"x20" UL TIER 22 HAND HOLE.

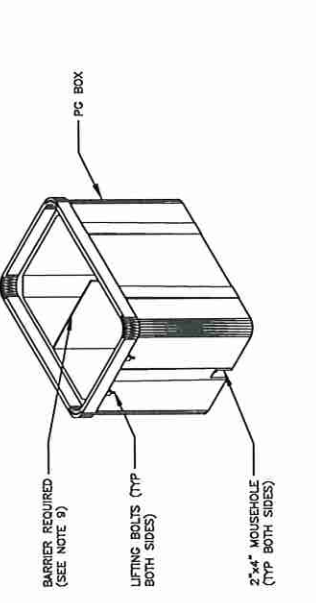


3 CONCRETE COLLAR APPLICATION MOUNTED IN COMPACTED SOIL

5 CONCRETE COLLAR APPLICATION MOUNTED IN COMPACTED SOIL



2 CONCRETE COLLAR APPLICATION MOUNTED IN ASPHALT PAVEMENT



1 PG BOX WITH NO CONCRETE COLLAR MOUNTED IN CONCRETE PAVEMENTS

4 TOWER ANTENNA EQUIPMTN GROUNDING ONE-LINE

NOTES



JOHN M. BANKS
ARCHITECT
604 FOX CLAY
BASKIN, MN 55309
PHONE: 612-777-0070
FAX: 612-777-0070
EMAIL: JMB@westchesterservices.com

REV.	DATE	DESCRIPTION
1	06/27/23	PERMIT/CONSTRUCTION
2	06/29/23	PERMIT/CONSTRUCTION
3	10/21/23	PERMIT/CONSTRUCTION
4	12/06/23	PERMIT/CONSTRUCTION
NOT FOR CONSTRUCTION UNLESS LABELLED AS CONSTRUCTION SET		



SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
**COMPOUND
GROUNDING PLAN**

SHEET NUMBER
E-4

- GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY. FOR GROUNDING DETAILS SEE DRAWINGS E-5 THROUGH E-8.
- TESTING SHALL BE PERFORMED AT ALL SITES WHERE EXISTING GROUNDING SYSTEMS ARE MAINTAINED OR MODIFIED. TESTING SHALL BE PERFORMED BY A QUALIFIED AND CERTIFIED TESTING AGENCY. PROVIDE INDEPENDENT TESTING OF THE PROPOSED SYSTEM. EARTH GROUNDING SHALL NOT EXCEED (5) OHMS. IF THE GROUNDING TEST EXCEEDS THE MAXIMUM OF (5) OHMS, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL GROUNDING RODS AND CONNECTIONS AS REQUIRED TO MEET THE (5) OHMS' MAXIMUM.
- THE INSPECTOR HAVING JURISDICTION SHALL INSPECT ALL GROUNDING CONNECTIONS. ALL GROUNDING CONNECTIONS SHALL BE APPROVED BEFORE BEING PERMANENTLY CONCEALED.
- FOR ALL CONNECTIONS TO THE GROUNDING RING, SEE THE SHELTER MANUFACTURER'S DRAWINGS.
- WHEN AN EXISTING METER RACK IS BEING UTILIZED AND A NEW METER IS INSTALLED IN THE EXISTING METER RACK, THE GROUNDING RING AND GROUNDING RODS SHALL BE EXTENDED TO THE PROPOSED GROUNDING RING AND BECOME A COMPLETE GROUNDING SYSTEM.
- CONTRACTOR SHALL GROUND ALL EQUIPMENT INCLUDING ANTENNAS, RET. MOTORS, T.M.'S, COAX CABLES AND RET. CONTROL CABLES AS A COMPLETE SYSTEM. GROUNDING SHALL BE EXECUTED BY QUALIFIED WIREMEN IN COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- FOR GROUNDING INSTALLATIONS WHICH HAVE A LIMITED AREA AND IS BEING REQUIRED TO BE INSTALLED UNDER THE LEASE AREA ONLY, THE GROUNDING RING AND CONNECTIONS CAN BE INSTALLED UNDER THE SHELTER'S FOOTPRINT.
- MAIN GROUNDING CONDUCTORS SHALL BE ROUTED AND BONDED TO ALL EXISTING GROUNDING SYSTEMS. ALL NEW GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATION 8.3.2. THE NEW GROUNDING SYSTEM SHALL BE BONDED (2 PLACES) TO ALL EXISTING GROUNDING SYSTEMS, INCLUDING BUT NOT LIMITED TO: EXISTING GROUNDING SYSTEMS, BUILDING PROTECTION SYSTEMS, BUILDING MAIN GROUNDING SYSTEM AND/OR MAIN WATER SUPPLY F. APPLICABLE.
- BUILDINGS AND/OR NEW TOWERS GREATER THAN 75 FEET IN HEIGHT AND/OR NEW TOWERS GREATER THAN 100 FEET IN HEIGHT SHALL BE REQUIRED TO BE ROUTED TO GRADE. THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 AWG COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM. ALL STEEL BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS BUILDING MAIN WATER LINE) SHALL BE BONDED TO THE BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS BUILDING MAIN WATER LINE). SEE AT&T SPECIFICATION 8.3.2.2. BONDING STANDARDS TP-76416 SPECIFICATION 8.3.2.2.

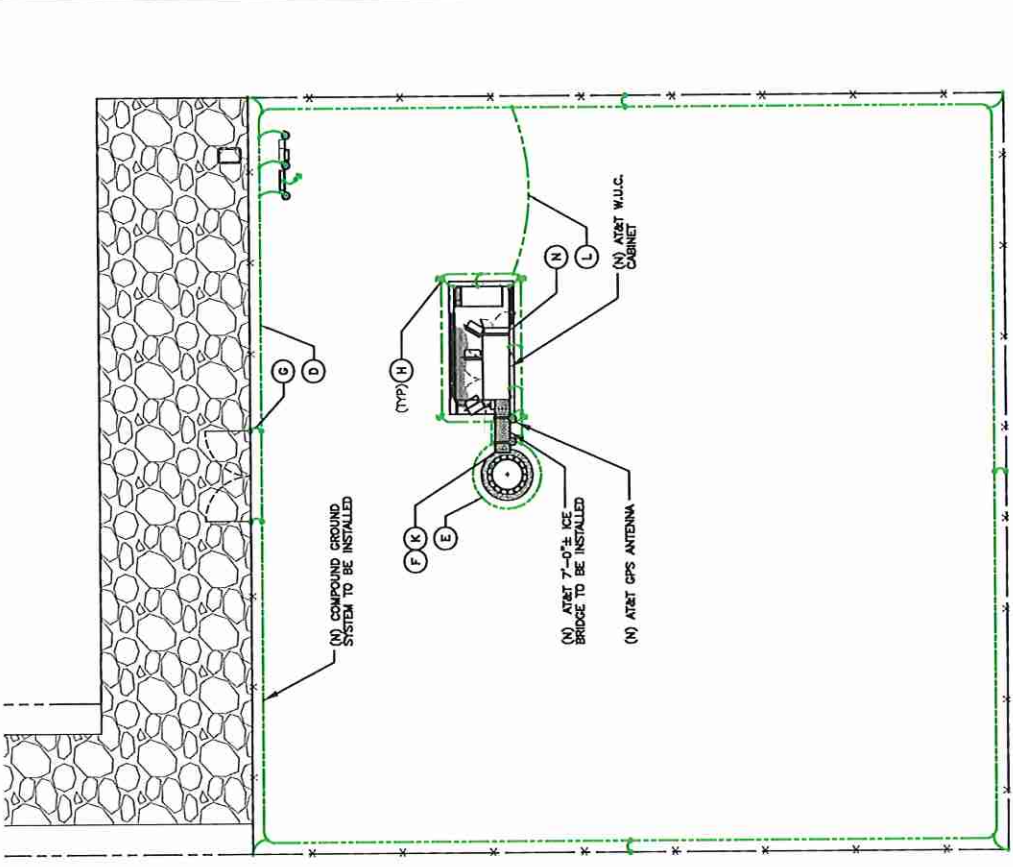
NOTES

- EXOTHERMIC TYPE CONNECTIONS
- COMPRESSION TYPE CONNECTIONS
- CHEMICAL ELECTROLYTIC GROUNDING SYSTEM
- GROUND ROD WITH INSPECTION SLEEVE
- TEST GROUND ROD WITH INSPECTION SLEEVE
- EXOTHERMIC WITH INSPECTION SLEEVE
- GROUNDING CONDUCTOR
- GROUNDING BAR

LEGEND

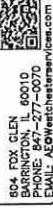
- GROUNDING BAR: EXTEND TWO (2) #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING UP TO THE HATCH-PLATE GROUNDING BAR AND MAKE A MECHANICAL CONNECTION.
- GROUND ROD: COPPER CLAD STEEL 5/8" (10) TEN FEET LONG. ALL GROUNDING RODS MAY BE INSTALLED WITH INSPECTION SLEEVES.
- ICE BRIDGE SUPPORT POST: GROUNDING: EXTEND #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING TO ALL ICE BRIDGE SUPPORT POSTS AND EXOTHERMICALLY WELD.
- FENCE GROUNDING: IF FENCE IS WITHIN 8' OF GROUNDING RING, EXTEND #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING TO FENCE POSTS EXOTHERMICALLY WELDED. FENCING FABRIC SHALL BE GROUNDING AT ADJACENT CORNER POST. (2) RED D. GROUND INTERMEDIATE POST TO MAINTAIN 22'-0" MAX SPACING.
- PROPOSED GROUNDING: EXTEND TWO (2) #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING AND CONNECT TO THE PROPOSED ANTENNA GROUNDING BAR AND CONNECTIONS FOR GROUNDING TOWERS ONLY.)
- ANTENNA GROUNDING BAR: EXTEND TWO (2) #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING BAR, MOUNT GROUNDING BAR DIRECTLY TO TOWER. SECURE TO TOWER WITH STAINLESS STEEL MOUNTING MATERIAL.
- GATE GROUNDING: EXTEND #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING TO GATE POSTS AND EXOTHERMICALLY WELD. SEE DETAIL C-4.
- TEST GROUND ROD WITH INSPECTION SLEEVE: COPPER CLAD STEEL 5/8" DIA. TEN (10) FEET LONG WITH INSPECTION SLEEVE.
- MASTER GROUNDING BAR: EXTEND TWO (2) #2 AWG TINNED CU CONDUCTORS FROM BURIED GROUNDING RING UP TO MASTER GROUNDING BAR & MAKE A EXOTHERMIC CONNECTIONS.
- GROUNDING BAR LOCK BOX: TESSCO PART # 351546; INSTALL PER MANUFACTURER REQUIREMENTS.
- IE INTO GROUNDING RING. (2) RED D
- ANTENNA GROUNDING BAR: EXTEND TWO (2) #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING AND CONNECT TO THE PROPOSED ANTENNA GROUNDING BAR, MOUNT GROUNDING BAR DIRECTLY TO TOWER. SECURE TO TOWER WITH STAINLESS STEEL MOUNTING MATERIAL.
- PROPOSED EQUIPMENT CABINET: SEE MANUFACTURER SPECIFICATIONS FOR ALL INTERIOR EQUIPMENT GROUNDING.

KEYNOTES



1 COMPOUND GROUNDING PLAN

SCALE: 1/8" = 1'-0" (24x36)
(0.61) 1/8" = 1'-0" (11x17)



854 FOX GLEN
N. ALTON, IL 60010
PHONE: 847-277-0070
EMAIL: AEO@westchesterservices.com

JOHN M. BANKS
ARCHITECT
BARBERSPOINT, IL 60010
TELEPHONE: 847-277-0070
EMAIL: JMBANKS@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION	BY
1	05/27/25	PDH/CONSTRUCTION	JS
2	06/20/25	PDH/CONSTRUCTION	JS
3	10/21/25	PDH/CONSTRUCTION	RA
4	12/09/25	PDH/CONSTRUCTION	RA

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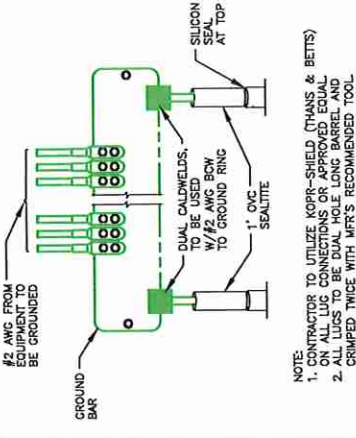
SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
F&F: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE

GROUNDING
PLANS & NOTES

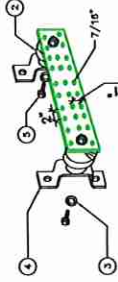
SHEET NUMBER

E-5



- NOTE:
- CONTRACTOR TO UTILIZE KOPR-SHIELD (THANS & BETTS)
 - ALL LUGS TO BE DUAL HOLE LONG BARREL AND CRIMPED TWICE WITH MFR'S RECOMMENDED TOOL

5 GROUND BAR CONNECTION
N.T.S.

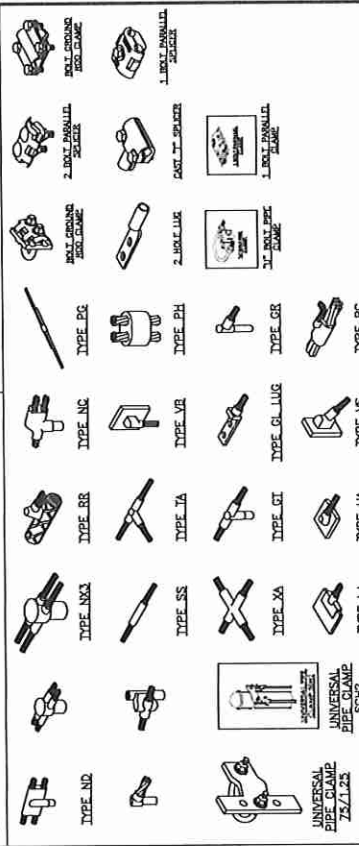


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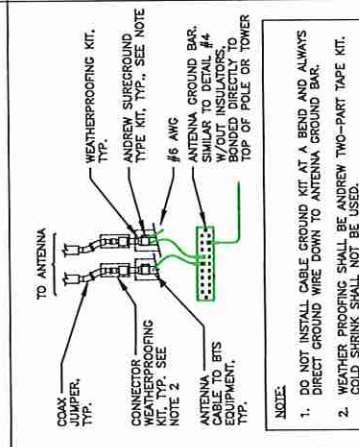
- COPPER GROUND BAR, 71/4"x20", NEWTON INSTRUMENT CO. CAT. NO. B-6142 OR EQUAL. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION. (ACTUAL HOLE CENTERS TO VARY BASED ON NUMBER OF GROUND CONNECTIONS)
 - INSULATORS, NEWTON INSTRUMENT CO. CAT. NO. 3061-4 OR EQUAL
 - 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-8 OR EQUAL
 - WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-8036 OR EQUAL
 - 5/8"x14" HIGGS BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1 OR EQUAL
 - INSULATORS SHALL BE ELIMINATED WHEN BONDING DIRECTLY TO TOWER/XXX STRUCTURE. CONNECTION TO TOWER/XXX STRUCTURE SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
- NOTE: ALL HARDWARE SHALL BE STAINLESS STEEL

4 GROUND BAR DETAIL
N.T.S.

2 GROUND ROD DETAIL
N.T.S.

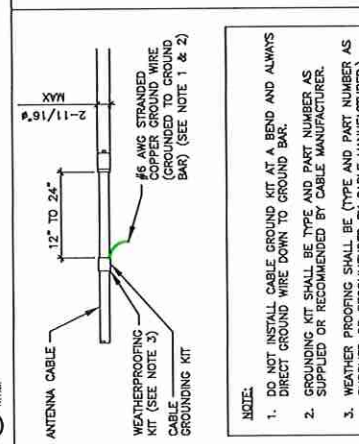


1 TYPICAL MECHANICAL CONNECTIONS
N.T.S.



- NOTE:
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
 - WEATHER PROOFING SHALL BE ANDREW TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED.

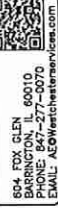
6 GROUND CONNECTION TO GROUND BAR
N.T.S.



- NOTE:
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 - GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
 - WEATHER PROOFING SHALL BE (TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER)

8 CONNECTION OF GROUND KIT TO ANTENNA CABLE
N.T.S.

7 NOT USED
N.T.S.



654 FOX CRY
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: AEW@westchesterservices.com

JOHN M. BANKS

ARCHITECT

1000 N. LAKE STREET
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: JMB@JOHNBANKSARCHITECT.COM

REVISIONS

REV. DATE DESCRIPTION

1 05/27/23 POINT/CONSTRUCTION JS

2 08/29/23 POINT/CONSTRUCTION JS

3 10/21/23 POINT/CONSTRUCTION RA

4 12/05/23 POINT/CONSTRUCTION RA

NOT FOR CONSTRUCTION UNLESS
CALLED AS CONSTRUCTION SET

IT IS A VOLUNTARY SEALING FOR THE PURPOSES OF
RECORDING THIS DOCUMENT WITH THE
DEPARTMENT OF REVENUE, STATE OF ILLINOIS

JOHN M.
BANKS
#26379

10/27/23

10/27/23

10/27/23

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10/27/23

10/27/23

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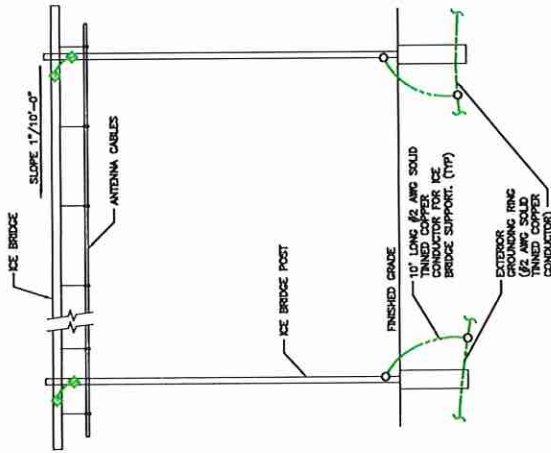
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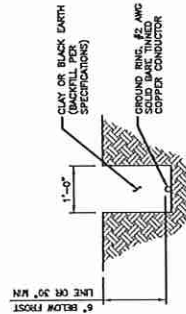
10/27/23

10/27/23

NOTE
1. NO GEOTECHNICAL REPORT WAS
OBTAINED FOR THIS PROJECT. ALL
DESIGN WORK IS BASED ON
ASSUMED SITE CONDITIONS.

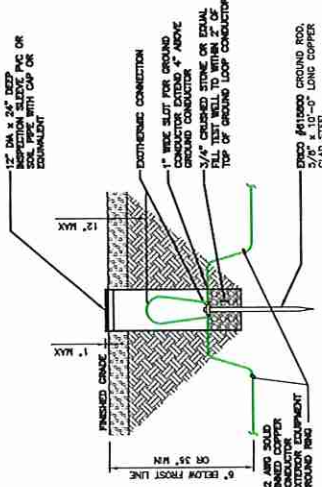


8 ICE BRIDGE DETAIL
N.T.S.

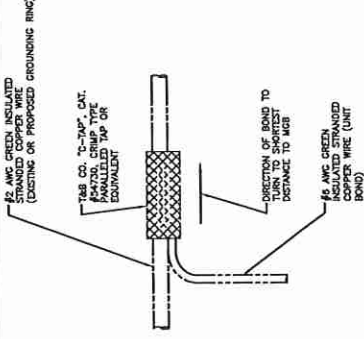


7 GROUNDING TRENCH DETAIL
N.T.S.

6 NOT USED
N.T.S.

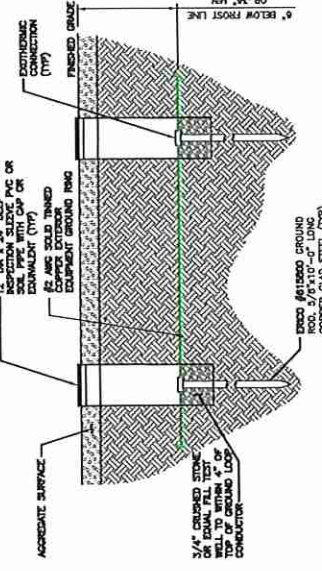


5 TEST GROUND ROD WINSPECTION SLEEVE DETAIL
N.T.S.

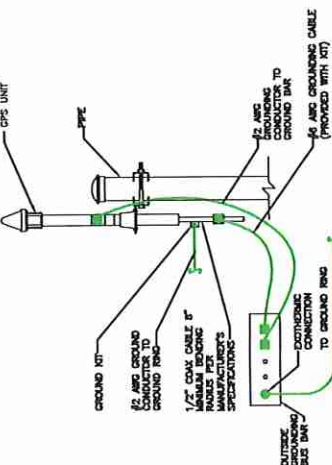


4 GROUNDING WIRE CONNECTION DETAIL
N.T.S.

3 NOT USED
N.T.S.



2 GROUNDING ROD WINSPECTION SLEEVE DETAIL
N.T.S.



1 LTE GPS ANTENNA GROUNDING DETAIL
N.T.S.

GROUNDING
DETAILS

SHEET NUMBER
E-6

RESOLUTION NO: 26-27

**CITY OF BALDWIN
COUNTY OF SHERBURNE, MINNESOTA**

CONDITIONAL USE PERMIT

WHEREAS, New Cingular Wireless PCS, LLC (d/b/a AT&T Mobility) has applied for an amendment of a Conditional Use Permit to allow for construction of a telecommunications tower; and

WHEREAS, the subject property is PID 01-00025-3000 legally described by Exhibit A; and

WHEREAS, the property is guided for rural land uses Comprehensive Plan; and

WHEREAS, the property is zoned R1, General Rural District and is also located within the Shoreland Overlay District of Sandy Lake; and

WHEREAS, on 4 August 2026, the City Council adopted resolution 25-20 approving a Conditional Use Permit to allow for construction of a telecommunications tower in accordance with Chapter 27 of the Zoning Ordinance; and

WHEREAS, the applicant is proposing to amend the approved Conditional Use Permit to change the location of the telecommunications tower within the subject property; and

WHEREAS, the City Council must take into consideration the possible effects of the request with their judgment based upon (but not limited to) the criteria outlined in Section 900-4-2 of the Zoning Ordinance:

- A. The proposed action's consistency with the specific policies and provisions of the town comprehensive plan.

Finding: The proposed tower will improve communication services within the area benefiting local users, as well as transient users on US Highway 169, essential and incidental to human activity.

- B. The proposed use's compatibility with present and future land uses of the area.

Finding: The proposed tower complies with the design standards established by the Zoning Ordinance to mitigate compatibility issues with existing and planned land uses in the area surrounding the subject site.

- C. The proposed use's potential to impact natural resources such as surface water, groundwater, or wetlands; sites identified for rare biological species habitat; ecologically sensitive areas; or historically significant areas.

Finding: The proposed construction of the proposed tower will not impact existing natural resources within the subject site.

- D. The proposed use's conformity with all performance standards contained within this ordinance and other town ordinances.

Finding: The proposed tower complies with the requirements of the Zoning Ordinance.

- E. Traffic generation of the proposed use in relation to capabilities of roads serving the property.

Finding: The traffic generated by the proposed tower can be accommodate by existing roads serving the subject site.

WHEREAS, the Planning Commission conducted a public hearing at their meeting on 22 July 2026 to consider the application, preceded by published and mailed notice; the public hearing was closed after hearing from all persons wishing to speak.

WHEREAS, the Planning Report dated 29 July 2027 prepared by the City Planner, The Planning Company LLC, is incorporated herein; and

WHEREAS, the City Council considered the application at its meeting on 5 August 2027.

NOW, THEREFORE, BE IT RESOLVED BY THE BALDWIN CITY COUNCIL THAT the Conditional Use Permit amendment application is approved subject to the following conditions:

1. The subject property shall be developed in accordance with the site and building plans submitted to the City subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-6 of the Zoning Ordinance.
2. A landscape plan shall be submitted for planting 16 evergreen trees that are a minimum of eight feet in height at the perimeter of the leased area at 20 feet on center, subject to review and approval by the Zoning Administrator.
3. All new plants shall be guaranteed for 12 months from the time planting has been completed and shall be alive, in good health, of good quality and structural condition, and insect- and disease-free at the end of the warranty period or be replaced, subject to review and approval by the Zoning Administrator.
4. Access to 289th Avenue (CSAH 28) shall be subject to review and approval by Sherburne County.
5. All signs shall comply with Section 900-27-2.B of the Zoning Ordinance.
6. The tower owner shall maintain insurance in the amount of \$1,000,000.00 for personal property damage and provide evidence of such coverage to the Zoning Administrator annually.
7. The applicant shall provide documentation to the Zoning Administrator that the lease for the telecommunications facility location, including revisions or renewals, provides that any unused equipment must be removed within 12 months after operations cease.

(remainder of page blank; signature follows)

ADOPTED by the Baldwin City Council this 5th day of August, 2026.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF BALDWIN

Jay Swanson, Mayor

ATTEST:

Joan Heinen, City Clerk/Treasurer

EXHIBIT A
LEGAL DESCRIPTION

North Half of Southwest Quarter (N1/2SW1/4) of Section 25, Township 35, Range 26, less and except the South 417 feet 4 inches of the East 417 feet 4 inches of said North Half of the Southwest Quarter (N1/2 SW1/4) of said Section 25, Township 35, Range 26, Sherburne County, Minnesota.



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Baldwin Mayor and City Council

FROM: D. Daniel Licht

DATE: 3 August 2026

RE: Baldwin – Zoning Ordinance; Telecommunication Towers and Antennas

TPC FILE: 169.01

BACKGROUND

The City has processed applications for Conditional Use Permits to allow new telecommunications towers and antennas within the City that has brought attention to the provisions for such uses. The current regulations for telecommunications towers and antennas were adopted within the Baldwin Zoning Ordinance based on the provisions of the Sherburne County Zoning Ordinance. Given the county-wide scope of the regulations, these performance standards may not be appropriate for the rural residential character of Baldwin.

It is advantageous for the City to anticipate potential development of various land uses in establishing allowed uses and performance standards within the Zoning Ordinance. This approach allows a broader consideration of the characteristics of, and potential issues associated with, various land uses and how to allow and regulate them instead of having to react to an application for a specific project. The Planning Commission issues pertaining telecommunications towers and antennas at its special meeting on 8 July 2026. The Planning Commission discussed that telecommunications towers and antennas as a potential land use requires further study as to appropriate locations within the City, the conditions under which these facilities may be allowed, appropriate zoning districts, use performance standards, compatibility with existing and planned land uses, and potential impacts to City service capacity and infrastructure. This study would be intended to be the basis as to preparation of amendments to the Zoning Ordinance and other official controls to properly address the potential development of future telecommunication towers and antennas. The Planning Commission

Minnesota Statutes, Section 462.355, Subdivision 4 authorizes the City Council to adopt an Interim Ordinance to regulate, restrict, or prohibit any use, development, or subdivision to allow the City to undertake a planning process to protect the health, safety, and welfare of the community and to consider adoption or amendment of the Zoning Ordinance or other official controls. The Planning Commission, following their discussion on 8 July 2026, recommended by a 6-0 vote that the City Council consider establishing a one-year moratorium for applications for the development of a telecommunications towers and antennas to allow a zoning study to be completed.

City staff has drafted an Interim Ordinance to impose a one-year moratorium prohibiting the development of a telecommunications tower or antenna at any location within the City. The Interim Ordinance authorizes the Planning Commission to proceed with a land use study to evaluate telecommunications towers and antennas and potential regulations. Adoption of the Interim Ordinance requires that a public hearing be held, which has been noticed to be held by the City Council at its meeting on 5 August 2026

Exhibits:

- Interim ordinance

RECOMMENDATION

City staff and the Planning Commission recommend adoption of an Interim Ordinance establishing a one-year moratorium on development of telecommunications towers and antennas. City staff further recommends that the Planning Commission be directed to study regulation of telecommunications towers and antennas and provide proposed amendments of the Zoning Ordinance for consideration by the City Council.

POSSIBLE ACTION

Motion to adopt Ordinance 2026-26 establishing a moratorium and authorizing study of telecommunications antennas and antenna support structures.

- c. Joan Heinen, City Clerk/Treasurer
 Bob Ruppe, City Attorney

CITY OF BALDWIN
COUNTY OF SHERBURNE
STATE OF MINNESOTA

ORDINANCE NO: 2026-10

INTERIM ORDINANCE IMPOSING A MORATORIUM AND AUTHORIZING STUDY OF
TELECOMMUNICATION ANTENNAS AND ANTENNA SUPPORT STRUCTURES.

THE CITY COUNCIL OF THE CITY OF OTSEGO DOES HEREBY ORDAIN:

Section 1. Purpose. The purpose of this Interim Ordinance is to protect the health, safety, and welfare of the citizens of the City of Baldwin ("City") by preserving the status quo while the City undertakes a planning process to study antennas, antenna support structures, and telecommunications towers during the term of this Interim Ordinance, and to consider possible adoption or amendments of the Zoning Ordinance or other official controls during the term of this Interim Ordinance.

Section 2. Definition. The following terms are hereby defined for the purposes of this Interim Ordinance:

Antenna: That portion of any equipment used to radiate or receive radio frequency energy for transmitting or receiving radio or television waves. Antennas may consist of metal, carbon fiber, or other electronically conductive rods or elements. It includes, but is not limited to, personal wireless service, microwave, radio and television broadcasting and transmitting and receiving, and shortwave radio equipment.

Antenna Support Structure: Any pole, telescoping mast, tower, tripod, or any other structure that supports a device used in the transmitting or receiving of electromagnetic energy.

Section 3. Findings. The City Council hereby finds and determines that:

- A. Due to the increase in demand resulting from new technology and social behaviors involving use of personal wireless communications, including access to internet-based services, the City has seen an increase in the development of antennas and antenna support structures;
- B. The City is a governing body in accordance with the Municipal Planning Act, Minnesota Statutes, Chapter 462 ("Act"), and it has previously exercised its authority pursuant to the Act to adopt the Otsego Zoning Ordinance, codified as Title 11 of the Otsego City Code;
- C. Antennas and antenna support structures are allowed in the various Zoning Districts established by the Baldwin Zoning Ordinance subject to the provisions of Chapter 27 of the Zoning Ordinance;
- D. The Sherburne County adopted regulations for antennas and antenna support structures within the Sherburne County Zoning Ordinance prior to incorporation of the City;

- E. Baldwin Township adopted the Baldwin Zoning Ordinance on 18 April 2022;
- F. Baldwin Township assumed responsibility for planning and zoning administration from Sherburne County on 20 June 2022;
- G. Under Minnesota Statutes Section 394.33, the Baldwin Zoning Ordinance and other official controls were required to be consistent with and at least as restrictive as those of Sherburne County.
- H. Baldwin Township was incorporated as the City of Baldwin on 18 November 2024.
- I. Upon incorporation, the Baldwin Zoning Ordinance and other official controls adopted by the City are no longer required to be consistent with those of Sherburne County.
- J. The current regulation of antennas and antenna support structures within the Baldwin Zoning Ordinance are the same as adopted by Sherburne County;
- K. The City has not previously studied antennas and antenna support structures as a potential land use;
- L. The impacts that antennas and antenna support structures may have within the City to public health, safety, and welfare, including, but not limited to, the natural environment, land use compatibility, and City service capacity and infrastructure, are not fully known or understood at this time;
- M. The Planning Commission discussed antennas and antenna support structures at its special meeting on 8 July 2026 and, following discussion, voted 6-0 to recommend that the City Council adopt an Interim Ordinance prohibiting development of antennas and antenna support structures within the City to allow a land use study of potential zoning regulations and other official controls to be undertaken;
- N. The City is not currently in receipt of or processing an application for development of an antenna or antenna support structure within the City;
- O. The Memorandum dated 3 August 2026 prepared by the City Planner, The Planning Company LLC, is incorporated herein;
- P. The City Council, in considering the recommendation of the Planning Commission and other evidence received, has determined that the Zoning Ordinance may be inadequate to regulate antennas and antenna support structures due the nature of such uses, including with respect to appropriate locations within the City, the conditions under which such uses may be allowed, appropriate zoning districts, use performance standards, compatibility with existing and planned land uses, and potential impacts to City service capacity and infrastructure;

- Q. Minnesota Statutes, Section 462.355, Subdivision 4 authorizes the City to adopt an Interim Ordinance to regulate, restrict, or prohibit any use, development, or subdivision within the City to protect the planning process and the health, safety, and welfare of the City for the purpose of considering adoption or amendment of official controls defined in Minnesota Statutes, Section 462.352, Subdivision 15;
- R. It is in the best interest of the City to adopt an Interim Ordinance prohibiting development of antennas and antenna support structures within the entire City to allow the Planning Commission an opportunity to study whether and how antennas and antenna support structures may be allowed within the City and to consider amendments to the Zoning Ordinance or other official controls to appropriately regulate antennas and antenna support structures.

Section 4. Study Authorized. The Planning Commission is hereby authorized and directed to conduct a study of antennas and antenna support structures including, but not limited to, the appropriate zoning districts for location of such uses; whether such uses are to be allowed as permitted, conditional, or interim uses; potential regulations and performance standards necessary to mitigate potential negative impacts of such uses; how such uses are regulated by other local government units; and recommendations as to how the Zoning Ordinance and other official controls should be amended to regulate antennas and antenna support structures.

Section 5. Moratorium Imposed.

- A. A moratorium is hereby imposed for the entire City on antennas and antenna support structures, which during the term of this Interim Ordinance shall be a prohibited use. During the period of this moratorium, no new or existing antennas and antenna support structures shall be constructed or expanded in the City, and no application for any zoning approval, building permit, or other City approval contemplating construction or expansion of a antennas and antenna support structures shall be accepted, reviewed, processed, or approved by the City, except as defined by Section 5.B of this Ordinance.
- B. The following requests shall be exempt from the moratorium:
 - 1. Applications a building permit or other zoning approval for placement of an antenna and related accessory equipment upon an existing antenna support structure or other structure as allowed by the Baldwin Zoning Ordinance.
 - 2. Applications for a building permit to allow construction of an antenna support structure approved in accordance with provisions of the Baldwin Zoning Ordinance within the 12 months prior to the effective date of this Ordinance.
 - 3. Applications, which have been deemed complete by the Zoning Administrator, for a zoning approval to allow construction of an antenna support structure in accordance with provisions of the Baldwin Zoning Ordinance within 120 days prior to the effective date of this Ordinance.

Section 6. Term. This Interim Ordinance shall remain in effect for one (1) year from its effective date unless it is expressly repealed earlier by the City Council or unless a shorter duration is required by applicable law. If the City adopts an ordinance amending the Zoning Ordinance regulating antennas and antenna support structures prior to the expiration of the moratorium, this Interim Ordinance shall terminate on the effective date of the Zoning Ordinance amendment.

Section 7. Severability. Every section, provision, and part of this Interim Ordinance is declared severable from every other section, provision, and part of thereof. If any section, provision, or part of this Interim Ordinance is held to be invalid by a Court of competent jurisdiction, such judgement shall not invalidate any other section, provision, or part of this Interim Ordinance.

Section 8. Effective Date. This Interim Ordinance shall become effective immediately upon its passage and publication.

(Remainder of page intentionally blank; signatures follow)

ADOPTED by the Baldwin City Council this 5th day of August, 2026.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF BALDWIN

Jay Swanson, Mayor

ATTEST:

Joan Heinen, City Clerk/Treasurer



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

PLANNING REPORT

TO: Baldwin Mayor and City Council

FROM: D. Daniel Licht

REPORT DATE: 29 July 2026

120-DAY DATE: 27 October 2026

RE: Baldwin – Buck Creek Estates; Preliminary and Final Plat

TPC FILE: 269.02

BACKGROUND

DMP 111th MN, LLC owns PID 01-00026-2300 and PID 01-00027-1400, consisting of a total of 80 acres. The developer is proposing to plat 13.03 acres from PID 01-00027-1400 to create one buildable lot and attach 7.06 acres to PID 01-00026-2300.

The 13.03-acre buildable lot is to be platted as a preliminary and final plat titled Buck Creek Estates. Preliminary and final plat applications are processed in accordance with Chapter 3 of the Subdivision Ordinance, subject to review by the Planning Commission and approval by the City Council. The attachment of the 7.06 acres to PID 01-00026-2300 is to be done as an Administrative Subdivision as provided for by Chapter 5 of the Subdivision Ordinance, subject to review and approval by the Zoning Administrator.

A public hearing to consider the preliminary and final plat was held by the Planning Commission at its meeting on 22 July 2026. Residents surrounding the subject property spoke during the public hearing with questions regarding the scope of the proposed development and access to abutting streets. These comments were addressed by the applicant and City staff. The public hearing was closed.

Exhibits:

- Property Location Map
- Wetland Delineation
- Certificate of Surveys (2 sheets)
- Buck Creek Estates Preliminary Plat
- Buck Creek Estates Final Plat

ANALYSIS

Existing Conditions. The two separate parcels owned by the developer are unplatted with a total area of 80 acres. PID 01-00027-1400 abuts right-of-way for 290th Avenue at its southwest corner and public right-of-way for 111th Street at its north line. PID 01-00026-2300 abuts right-of-way for 111th Street at its south line.

The parcels encompass a portion of a Natural Environment Lake and significant, high-quality wetlands that create a physical barrier that will preclude extension of future streets to connect the properties. The proposed preliminary plat, final plat, and administrative subdivision alter the property lines between the two existing parcels based on the natural boundaries created by the wetlands.

Comprehensive Plan. The 2023 Baldwin Comprehensive Plan promotes establishment of land use patterns that will provide connections to existing public amenities and the natural landscape. New development is to maintain desired rural residential character without adversely affecting scenery or open spaces. The proposed preliminary and final plat is consistent with the Comprehensive Plan.

Zoning. The subject property is zoned R1, General Rural District. Single family dwellings are a permitted use within the R1 District. The subject property is also within the Shoreland Overlay District of a Natural Environment Lake, a portion of which is within PID 01-00027-1400.

Surrounding Uses. There are rural residential lots to the north of the subject property along 113th Street within the plat of Waters Edge. To the northwest of the subject property are urban sized residential lots using a shared private sewer treatment system within the Baldwin Cove plat. East, south, and west of the subject property are larger unplatted parcels, several with rural residential dwellings. The buildable lot within the proposed plat is more comparable to the surrounding larger rural residential parcels than the platted lots. The proposed preliminary and final plat will be compatible with existing and future uses in the area.

Lot Requirements. Section 900-51-7 establishes lot requirements for the R1 District, shown in the table below.

A. Lot Area:		
	Platted Lot:	2.5 acres
	Buildable Area Within Parcel or Lot:	40,000 square feet
B. Lot Width:		200 feet
C. Lot Depth		300 feet

Lot 1, Block 1 is proposed to be 13.03 acres in area and will comply with the minimum lot area requirements of the R1 District.

Lot 1, Block 1 includes dedication of 37 feet of right-of-way north of the south plat line that extends 200 feet east of the west plat line. Dedication of the 200 feet of right-of-way provides Lot 1, Block 1 with the minimum required lot width.

Setbacks. The table below outlines the setback requirements of the R1 District established by Section 900-51-8 of the Zoning Ordinance. Lot 1, Block 1 has sufficient area to accommodate construction of a single family dwelling meeting the setback requirements of the R1 District.

A. Front Yard or Side Yard Abutting a Public Street:		
	City Street	50 feet
B. Side Yard (except as allowed by Section 900-51-5.A):		20 feet
C. Rear Yard:		25 feet

Right-of-Way. Lot 1, Block 1 abuts right-of-way for 290th Avenue at its southwest corner. The proposed plat includes dedication of 37 feet of right-of-way north of the south plat line extending 200 feet from the west plat line. This right-of-way would be the north portion of right-of-way needed to allow for a future street east of the existing 290th Avenue right-of-way. Dedication of the north portion of the right-of-way for 290th Avenue along the south line of the subject property allows opportunity to subdivide PID 01-00027-4100 to the south with dedication of the remaining 29 feet of right-of-way and construction of a public street.

Access. For access to Lot 1, Block 1, a driveway to existing 290th Avenue will be constructed. The driveway will be required to be located within the right-of-way to be dedicated with the plat. An encroachment agreement will be required for the driveway that allows it to be relocated to access a public street within the right-of-way if constructed in the future.

Utilities. Development of Lot 1, Block 1 is to be served by a private Subsurface Sewage Treatment System and a private well. The preliminary plat identifies preliminary and secondary drain field sites within Lot 1, Block 1 for a Subsurface Sewage Treatment System. The design of a Subsurface Sewage Treatment System to serve a single family dwelling on Lot 1, Block 1 is subject to review and approval by the Building Official.

Easements. Section 910-10-8 of the Subdivision Ordinance requires dedication of drainage and utility easements a minimum of 12 feet in width at the perimeter of Lot 1, Block 1. The preliminary and final plat illustrate perimeter drainage and utility easements and drainage and utility easements over delineated wetlands within Lot 1, Block 1. The final plat provides for dedication of the drainage and utility easements to the public. All drainage and utility easements are to be subject to approval of the City Engineer.

Park Dedication. Section 910-10-10 of the Subdivision Ordinance requires developers to dedicate 10 percent of the buildable area of a parcel being subdivided to the City for park purposes. The City may also elect to receive a cash fee in lieu of land dedication to be used only for development of the City park system. Park dedication requirements for the proposed preliminary plat are to be subject to review by the Park Committee and approval of the City Council.

RECOMMENDATION

The proposed preliminary plat and final plat of Buck Creek Estates is consistent with the Comprehensive Plan for rural residential development and complies with the requirements of the Zoning Ordinance and Subdivision Ordinance. Our office recommends approval of the application subject to the conditions outlined below. The Planning Commission also voted unanimously to recommend approval of the proposed subdivision.

POSSIBLE ACTION

Motion to adopt Resolution 26-28 approving the preliminary and final plat of Buck Creek Estates subject to the following conditions:

1. Construction on Lot 1, Block 1 shall comply with the following setback requirements:

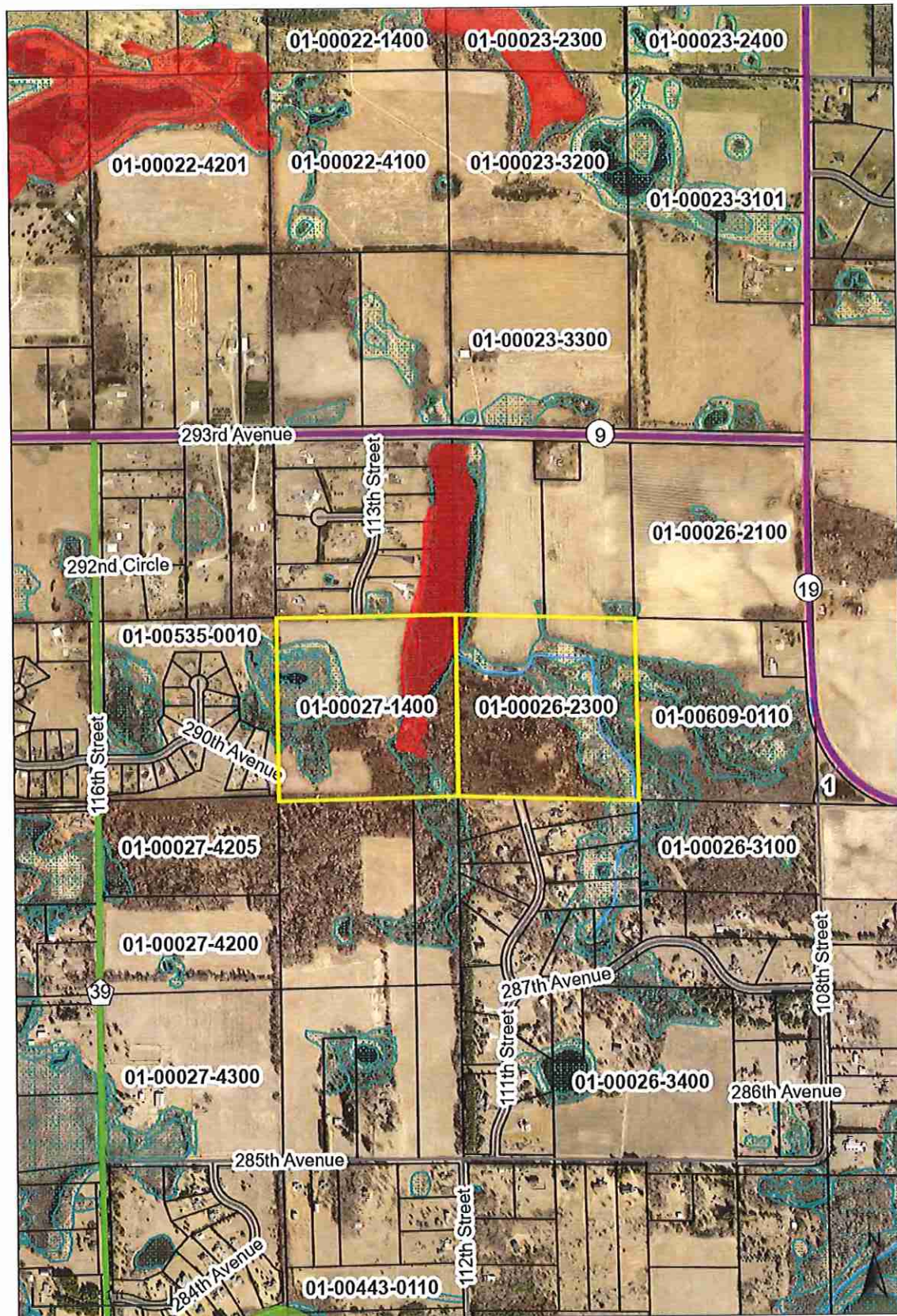
A. Front Yard or Side Yard Abutting a Public Street:		
	City Street	50 feet
B. Side Yard (except as allowed by Section 900-51-5.A):		20 feet
C. Rear Yard:		25 feet

2. All right-of-way dedication shall be subject to review and approval by the City Engineer.

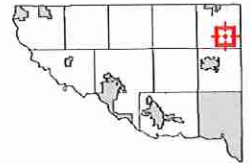
3. Access to Lot 1, Block 1 shall require approval of a driveway permit issued by the City Engineer and execution of an encroachment agreement allowing the driveway to be relocated to access a public street within the right-of-way if constructed in the future.
 4. All Subsurface Sewage Treatment Systems and wells shall be subject to review and approval of the Building Official.
 5. All easements shall be subject to review and approval of the City Engineer.
 6. Park dedication requirements shall be satisfied by payment of a cash fee in lieu of land based on the Fee Schedule in effect at the time of final plat approval, subject to review of the Park Committee and approval of the City Council.
- c. Joan Heinen, Clerk/Treasurer
Sam Jochum, City Engineer

Property Location Map

Buck Creek Estates



Overview



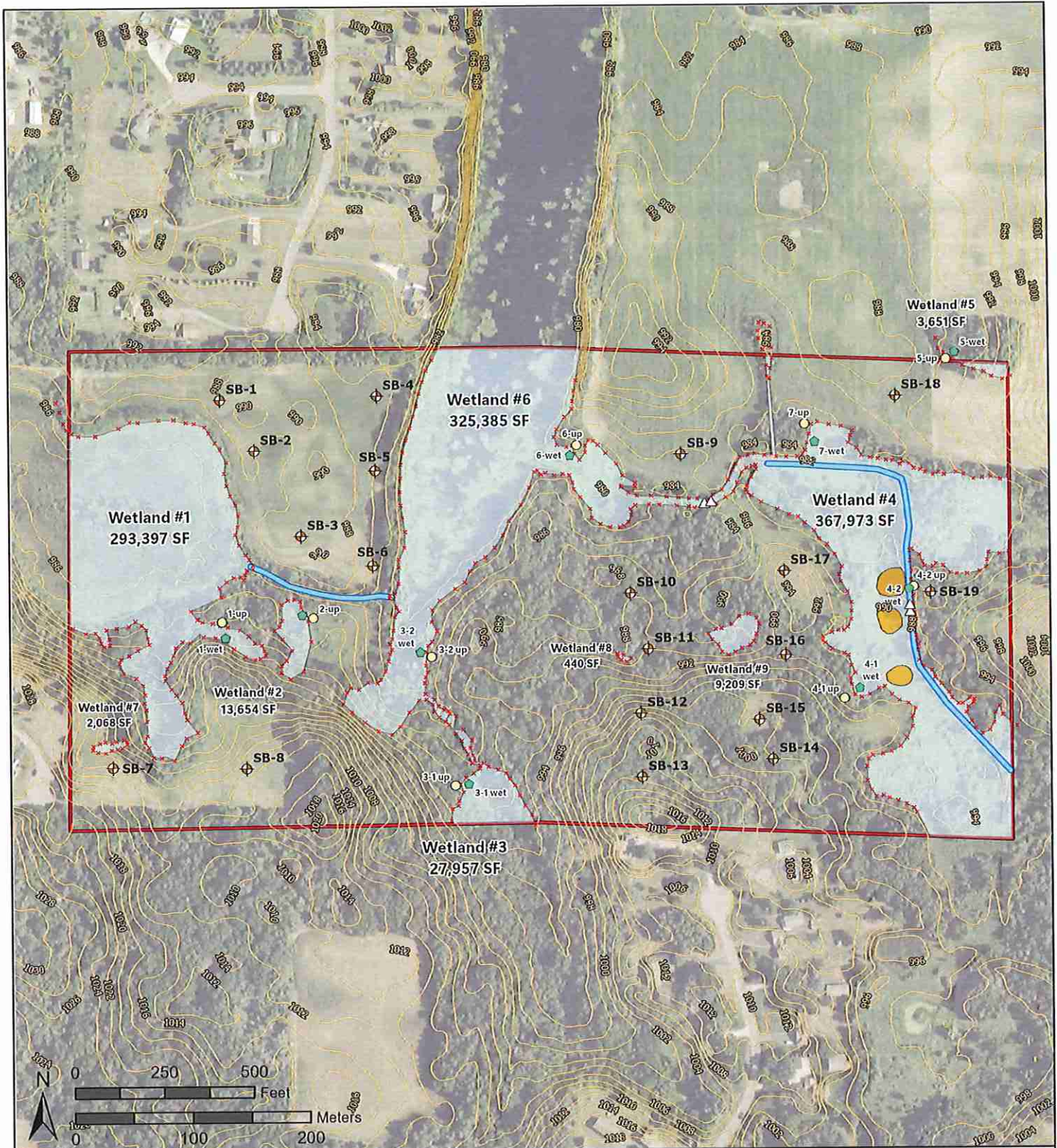
Legend

Public Water Inventory

- Not Classified
- General Development
- Natural Environment
- Recreational Development

Roads

- MN Highway; US Highway
- Municipal-State Aid Street
- Municipal Street
- Township Road
- State Forest Road
- Bureau of Fish and Wildlife Road
- Connector (Ramp)
- Privately Maintained Public Access Road
- County Road
- County-State Aid Highway
- Parcels
- Streams
- Wetlands



Legend △ Culvert × Wetland Delineation Points ○ Upland Sample Point ● Wetland Sample Point ⊕ Soil Boring — 2' Contour Lines — Ditch ■ Upland Area □ Wetland Boundary (On Site) ▭ Subject Property Scale: 1:4,500	Mille Lacs Isanti Sherburne Anoka	Project Name: 2025-172. 113th St NW, Princeton MDX Name: 113th St NW, Princeton Figure 5: Jurisdictional Delineation Map Jacobson Environmental, PLLC. Phone: (612)-602-6619 E-mail: jacobsonenv@msn.com	Date: 5/12/2026 Project Number: 2025-172 
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Part of Sections 26 and 27, Township 35, Range 26
City of Baldwin, Sherburne County, Minnesota

[illegible][illegible]

6. Portions of polishing, woods edge and sand edge are shown per cell and return in drying and are for reference purposes only.
7. Reference Form Case No. 174.

For

DMP Holdings MN, LLC
Part of Sections 27, Township 35, Range 26
City of Baldwin, Sherburne County, Minnesota



PROJECT BENCHMARK
Lately in front of culvert under highway
commencing 14.25' 200th Ave NW
Elevation = 1018.54 Feet (MGVD 201)



LEGEND

●	CONCRETE CAST IRON MONUMENT	○	SECTION SURFACE
○	SPARKED IRON PIPE	—	SECTION LINE
○	FINCH POST	—	BOUNDARY LINE
○	FOUND IRON PIPE	—	EDGE OF WOODS
○	NAILED	—	EDGE OF WETLANDS
○	SEEN + FIRE	—	FENCE
○	WETLAND IN/OUTLINE		
○	OTHER		
○	TELECOM POLE		
○	CULVERT OPEN		
○	CULVERT STOP		
○	RAILROAD JARX		
○	DECK BLOW		
○	DRINKING FERTIGATION		

[illegible]

PROPOSED PARCEL A DESCRIPTION:
 That part of South 1/2, 110 feet of the Southeast Quarter Section 27, Township 15, Range

[illegible]

ALSO EXCEPT

That part of the South 575.00 feet of the Southeast Quarter of the Northeast Quarter Section 27, Township 36, Range 26, Pierre County, Minnesota, being westerly of the East 1/2 of the North 1/2 thereof.

[illegible]

⁶ Reference Torts Case No. 376.
⁷ Reference Certificate of Filing for the Court Holdings in WISNET, File No. 3029, 1958) dated 6/27/58, revised 6/28/26.

WIDSETH

DMP Holdings MN, LLC

Certificate of Survey

Rate of Survey	PRO
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RESOLUTION NO: 26-25

CITY OF BALDWIN
COUNTY OF SHERBURNE, MINNESOTA

BUCK CREEK ESTATES
PRELIMINARY AND FINAL PLAT APPROVAL

WHEREAS, DMP 111th MN, LLC, LLC (the “developer”) is proposing to subdivide property legally described by Exhibit A; and

WHEREAS, the property is guided for Rural land uses by the Comprehensive Plan; and

WHEREAS, the property is zoned R1, General Rural District; and

WHEREAS, the developer has submitted application for preliminary plat and final plat approval to be processed in accordance with Section 910-3-3.B of the Subdivision Ordinance; and

WHEREAS, the Planning Commission conducted a public hearing at its regular meeting on 22 July 2022 to consider the application, preceded by published and mailed notice; based upon review of the application and evidence received, the public hearing was closed and the Planning Commission voted to recommend approval of the application; and

WHEREAS, the Planning Report dated 29 July 2026 prepared by the City Planner, The Planning Company, LLC, is incorporated herein by reference; and

WHEREAS, the City Council considered the application at its meeting on 5 August 2026; and

NOW, THEREFORE, BE IT RESOLVED by the Baldwin City Council that based on the foregoing information and applicable ordinances requested preliminary plat and final plat are **APPROVED**, subject to the following conditions:

1. Construction on Lot 1, Block 1 shall comply with the following setback requirements:

A. Front Yard or Side Yard Abutting a Public Street:		
	City Street	50 feet
B. Side Yard (except as allowed by Section 900-51-5.A):		20 feet
C. Rear Yard:		25 feet

2. All right-of-way dedication shall be subject to review and approval by the City Engineer.
3. Access to Lot 1, Block 1 shall require approval of a driveway permit issued by the City Engineer and execution of an encroachment agreement allowing the driveway to be relocated to access a public street within the right-of-way if constructed in the future.

4. All Subsurface Sewage Treatment Systems and wells shall be subject to review and approval of the Building Official.
5. All easements shall be subject to review and approval of the City Engineer.
6. Park dedication requirements shall be satisfied by payment of a cash fee in lieu of land based on the Fee Schedule in effect at the time of final plat approval, subject to review of the Park Committee and approval of the City Council.

(remainder of page intentionally blank signatures follow)

ADOPTED by the Baldwin City Council this 5th day of August, 2026.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF BALDWIN

Jay Swanson, Mayor

ATTEST:

Joan Heinen, City Clerk/Treasurer

EXHIBIT A
LEGAL DESCRIPTION

That part of the South 575.00 feet of the Southeast Quarter of the Northeast Quarter Section 27, Township 35, Range 26, Sherburne County, Minnesota, lying westerly of the East 330.00 thereof.

NEW THIS MONTH										
Property Address	Owner	PID#	Complaint Date	Violation	Site Visit Date	Photos Taken	Step 1 Notice Date	Administration Notice Date	Citation Notice Date	Comments/ Status/ Action Plan
13975 302nd Ave NW	Bryan & Kristine Gallagher	01-00516-0145	7/27/2026	RV as dwelling unit						
13938 302nd Ave NW	Andrew Schwantz & Amber Raasch	01-00516-0220	3/23/2026 7/27/2026 - 2nd complaint	unlicensed/inoperable vehicle			4/1/2026	6/3/2026		Inspect week of June 1 - Send admin notice
12431 278th Ave NW	Bradley & Wendy Kupser	01-00449-0115	7/16/2026	Trailer/Vehicles, unlicensed						
31232 127th St. 55571	April R. Sagstetter	01-00009-3210	4/21/2025 6/18/2026 - 2nd complaint	Junk/Debris	1-Aug-25			8/5/2025	9/9/2025	Inspect week of 12/1/25
14122 284th Ave	Joshua Weber	01-00486-0210	2nd Complaint 6/12/2026	Motorcycles/ATV - Track and outside hours		Yes				
14113 County Road 42 NW	Dustin Davis	01-00007-3101	6/8/2026	ATV Track						
	Baldwin Cove Homeowners Association 17207 198th Ave Big Lake MN 55309	01-00535-0010	6/8/2026	ATV Track						
CODE ENFORCEMENT UPDATES										
Property Address	Owner	PID#	Complaint Date	Violation	Site Visit Date	Photos Taken	Step 1 Notice Date	Administration Notice Date	Citation Notice Date	Comments/ Status/ Action Plan
28333 98 1/2 St NW	Alexander Knox	01-00407-0628	5/13/2026	Junk, vehicles, and boats			6/3/2026			Inspect week June 1 - Step 1 letter
9806 284th Ave NW	Bradley Mitchell	01-00407-0618 01-00407-0620	5/13/2026	Junk, vehicles, and boats			6/3/2026			Inspect week June 1 - Step 1 letter
10605 297th Ave NW	Courtney Peterson & Bret Danneker	01-00023-4210	5/11/2026	home Business			6/3/2026			Inspect week June 1 - Step 1 letter
9816 289th Ave	Julie Batike	01-00025-1301	4/10/2026	Outhouse			6/3/2026			Inspect week June 1 - Step admin notice
29504 128th St NW	Wells Fargo Bank 1 Home Campus Drive Des Moines IA 50328	01-00020-4100	4/28/2026	Junk/Debris			5/11/2026	6/3/2026		Inspect week June 1 - Step admin notice
14307 286th Ave NW	Ron Carlson & John Demmstedt	01-00404-0640	4/16/2026	Junk/Debris, ROW violation, inoperable vehicles, RV as dwelling			5/11/2026	6/3/2026	5/11/2026 - PAID 5/21/2026	Inspect week June 1 - Step admin notice
30867 103rd St NW	Cory & Alison Deelstra	01-00555-0305	4/15/2026	Pace Track in ROW	4/15/2026	4/15/2026				Inspect week June 1 - send 2nd Citation
13938 302nd Ave NW	Andrew Schwantz & Amber Raasch	01-00516-0220	3/23/2026	Inoperable vehicle			4/1/2026	6/3/2026		Inspect week of June 1 - Send admin notice
30925 98th St NW	Nathan & Lori Gatewood 30925 98th St NW	01-00551-0210	3/9/2026	Loose Dogs - 2nd Violation			4/1/2026	6/3/2026		Inspect week of June 1 - Send admin notice
29242 118th St	Ronald/Cindy Messer	01-00488-0105	3/5/2026	Shipping Container/ Junk/ Inoperable vehicle			4/1/2026	6/3/2026		Inspect week of June 1 - Send admin notice
29974 128th St NW	Georgia June & Manley Oleson 29974 128th ST NW	01-00020-1100	19-Feb-26	Shipping Containers		Beacon Map		4/23/2026 6/3/2026		Inspect week of June 1 - Send admin notice
28328 100th ST NW	Stephen Rohloff 28328 100th ST NW	01-00407-0235	2-Feb-26	Building code/ RV as dwelling	2/4/2026	YES	2/19/2026			Property owner contacted city staff. Agreement reached to cease use of RV
14336 286th Ave NW	Samantha Rockstroh 14336 286th Ave NW	01-00404-0806	4-Feb-26	Inoperable vehicle, Junk/debris	2/4/2026	YES			2/19/2026	Court summons process started
31220 127th Street	Dana Nistler/Richard Anderson	01-00009-3205	20-Nov-25	Dogs at Large, Junk/Debris			4-Dec-25			DDL spoke to property owner: abatement: hold
13399 279th Ave	Kathleen Bell 14529 Willemite St NW #237 Ramsey MN 55303	01-00408-0225 01-00408-0210	30-Sep-25	Residential Occupancy of accessory building			4-Dec-25			DDL spoke to property owner: abatement: hold

31611 127th St. 55371	Timothy D. Olson	01-00418-0125	26-Aug-24	Junk/Debris/ Outdoor storage							4-Dec-25	2/4/2026 - mailed 2/17/25	Court summons process started
14233 294th Ave. 55371	Bobbi/Jacob Fore	01-00585-0205	9-Sep-25 13 May 24 9 Sept 25	Shipping Container							4/23/2026		Discusse May 4; will submit plans to camouflage as building; follow up Aug 1 if no permit submitted
14122 294th Ave	Joshua Weber	01-00486-0210		Motorcycles/ATV							25-Jun		hold
	Nicholas Diemet/K. Bechtold			Semi-tractor/trailer parking, living in semi-truck sleeper									
9746 300th Ave. 55371		01-00487-0145	12-Aug-25							9/9/2025	4-Dec-25	2/4/2026 - mailed 2/17/25	Court summons process started
10507 302nd Ave. 55371	Joshua Litter/ Breanna Kammerer	01-00487-0530		Storage Containers, business					1-Aug-25	5-Aug-25	9/9/2025	4/23/2026	4/23/26 letter sent
				Potential farm related retail business requiring CUP									Owner working on IUP - reconnect with property owner
30549 114th St	Samantha/Justin Mikel	01-00015-1105	2-Jun-25						25-Jul-25				Inspect week of 12/1/25
31230 127th St. 55371	April R. Sapstetter	01-00009-3210	21-Apr-25	Junk/Debris					1-Aug-25		8/5/2025	4-Dec-25	House abandoned. Court Summons started
9604 285 1/2 Ave. 55388	Makyla Carey	01-00415-0340	27-Mar-25	Junk/Debris; burning garbage; Unlicensed vehicle									Attorney letter sent 11/7/25 - Citation paid 12/3/25 - 2/17/26 resident spoke with dan; hold to schedule inspection
11511 290th St NW	Rebecca Krause	01-00535-0130	21-Jan-25	Building code/ RV as dwelling							9/9/2025	2/4/26 - mailed 2/17/26	12/1/25 emailed PW to do a site visit
13910 277th Ave	Joseph & Barbara Spaude	01-00031-4300		Headwall in ROW						13-Sep-24	5-Aug-25		reinspect spring 2026
32033 124th St	Bell Trucking Inc	01-004-4225	NA	# of vehicles allowed by CUP				Aug 16, 24 Oct 16, 24 1 Aug 25	Yes		25-Jun		
30840 141st St	Jocelyn Damiano	01-508-0114		Shipping Container									4/23/26 letter sent
28331 98 1/2 St	Terese Kaiser	01-00407-0630	7/25/2024	Use of RV dwelling						6-Jan	6/25/2025	4/23/26	12/1/25 Attorney sent letter
28209 Lake Diann Rd	Phillip Stueve Jr	01-00408-0322	6-Jun-24	Junk/Debris				8/1/2025 8/27/25			14-Feb-25	5-Aug-25	Reinspect week of Oct 6

Green gate from Young Park will be used as the new gate for Sandy Lake Beach. Public Works is requesting \$500 to remove the red pillars and then build and install a split rail fence at Sandy Lake Beach. Park Committee recommended approval.

Sandy Lake Beach





Natural Systems Utilities Work Order Request and Cost Estimate Form

Project	Frontier Trails	PM	Greg Flood
Date	4/13/2026	Phone	763-620-0706
Location	Baldwin Township	Email	gfflood@nsuwater.com

Description of Work

NSU will acquire, program, and install two remote monitoring devices. One device will be installed at the north site and another at the south. The north site will require external housing. South will be installed within the building. Each unit will be able to realtime monitor for alarms and function. Each unit will also have the ability to produce a daily flow as required by permit for WS004 and WS001. These units require a yearly subscription for wireless connectivity and realtime monitoring.

Cost Estimate

Labor	Rate (per hour)	Quantity	Subtotal
Operations Manager	\$210.00	0	\$0.00
Operations Supervisor	\$166.00	0	\$0.00
Project Engineer I	\$160.00	0	\$0.00
Lead Operator	\$155.00	20	\$3,100.00
Wastewater Operator	\$125.00	0	\$0.00

Expenses	Rate (per mile)	Quantity	Subtotal
Mileage	\$0.725	50	\$36.25

Other Operation Services	Rate	Quantity	Subtotal
Confined Space Entry (per permit)	\$100.00	0	\$0.00
Use of HAZMAT Monitoring Equipment (per hour)	\$50.00	0	\$0.00
Pressure Washer / Jetter Unit (per hour, 2 hour min.)	\$90.00	0	\$0.00
Rough Cut Mower (per hour)	\$50.00	0	\$0.00

Materials	Cost	Quantity	Subtotal
Omnite XR50 with External Housing	\$4,000.00	1	\$4,000.00
Omnisite XR50 interior	\$5,100.00	1	\$5,100.00
Additional Current Sensors (2)	\$400.00	1	\$400.00
Additional Electrical Supply	\$100.00	1	\$100.00
3 S-WS-OBXRCB-REALTIME1 Remote monitoring St	\$506.00	1	\$506.00

Subtotal	\$13,242.25
Contingency (10%)	\$1,324.23
Total	\$14,566.48

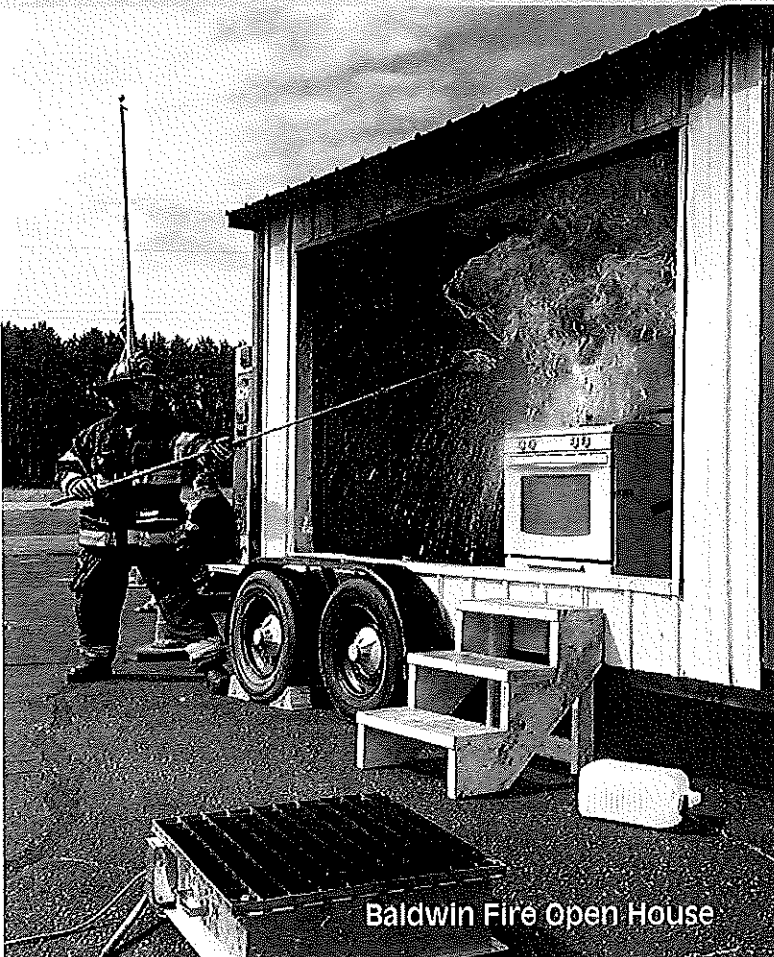
This document is intended as an estimate only, and may change based on unexpected or unforeseen issues, additional tax and/or shipping costs, etc. Work order authorization via email is acceptable. Please contact your Project Manager with questions.

Goose Lake Park

Sample Newsletter

4th Quarter Newsletter - October 2026

City of Baldwin



Baldwin Fire Open House



Public Works

City of Baldwin

763-389-8931

CITY.CLERK@BALDWINMN.GOV

WWW.BALDWINMN.GOV

30239 128TH STREET NW

Council Corner

Written By: Council Member Tom Rush

Parks and Recreation in Baldwin

Baldwin features two primary parks situated on the east and west sides of Highway 169. These facilities provide a range of recreational opportunities and are maintained for the enjoyment of all residents.

Young Park

Donated by Kermit and Margarette Young in 2004, Young Park spans 80 acres and is located two miles east of Highway 169 on County Road 38. The park features a monument dedicated to the Youngs in honor of their donation of the land.

The park offers extensive amenities, including:

- Athletic facilities: A fenced baseball field (used by Princeton and Zimmerman youth MYAS leagues), a basketball court, a horse pit, and
- a Gaga ball pit.
- Leisure and trails: Five miles of crushed granite boardwalk trails equipped with benches and tables.
- Family amenities: Modern playground equipment for children aged 2-12 and a bay of swings.
- Event spaces: A rentable pavilion and two grills, which host the annual Fun Fest and car show.

Goose Lake Park

Donated by Sherburne County in 2012, Goose Lake Park covers 37 acres, the majority of which is water. Located two miles off County Road 87, it features a 12-stall parking lot and a mile-long crushed-granite trail with benches offering scenic overlooks of the lake.

Lake and Environmental Management

Baldwin provides public access to Elk and Sandy Lakes through beaches and boat launches. In partnership with the Sherburne Soil and Water Conservation District (SWCD), the city has utilized grants to address runoff issues and improve lake water quality. Ongoing maintenance includes beaches, docks, boat launches, and rain gardens. Additionally, the city owns property at Lake Diann and Lake Helena, the latter of which is reserved for carry-in kayaks and canoes only.

Park Committee

Established in 1996, the 5-member Baldwin Park Committee oversees the development and success of the local park system. The committee meets monthly and is currently led by Park Chair Mary Larsen, with Tom Rush serving as the City Council liaison.

Baldwin City Council

Jay Swanson, Mayor: 763-631-8545, mayor@baldwinmn.gov

Jeff Holm: councilmemberA@baldwinmn.gov

Scott Case: councilmemberB@baldwinmn.gov

Alan Walker: councilmemberC@baldwinmn.gov

Tom Rush: councilmemberD@baldwinmn.gov

Connect with Baldwin

Phone Number: 763-389-8931

Email: city.clerk@baldwinmn.gov

Website: www.baldwinmn.gov

Facebook: facebook.com/CityofBaldwinMinnesota

Address: 30239 128th Street NW, Baldwin, MN 55371

Baldwin City Staff

Joan Heinen, Clerk/Treasurer: city.clerk@baldwinmn.gov

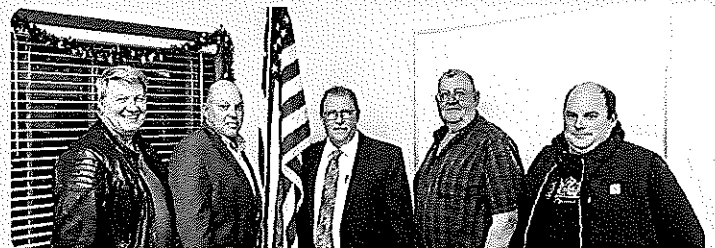
Kayla Nielsen, Deputy Clerk/Treasurer

Robin Fischer, Fire Chief: 763-350-0374

Zachary Good, Public Works Supervisor

Phil Fadden, Public Works Maintenance Technician

Josh Wergin, Public Works Maintenance Technician



City of Baldwin

City Calendar

All meetings start at 7:00 p.m. unless otherwise noted

October 7: City Council Meeting
October 12: OFFICE CLOSED - Columbus Day
October 14: Special Planning Commission Meeting
October 15: Park Committee Meeting
October 21: City Council Meeting
October 28: Planning Commission Meeting

November 3: Election Day - Polls open 7 a.m. to 8 p.m.
November 4: City Council Meeting
November 11: OFFICE CLOSED - Veteran's Day
November 18: City Council Meeting
November 19: Park Committee Meeting
November 24: Planning Commission Meeting
November 26: OFFICE CLOSED - Thanksgiving
November 27: OFFICE CLOSED

December 2: City Council Meeting
December 16: City Council Meeting
December 25: OFFICE CLOSED - Christmas

Recent Vandalism at Young Park

Recent vandalism at Young Park has left many in the Baldwin community saddened and disappointed. While the damage can be repaired, it is discouraging to see a place that has brought so much enjoyment to families, walkers, children, and nature lovers become the target of senseless destruction. Parks belong to everyone, and acts like these diminish something the entire community shares. Young Park is much more than a collection of trails and green space. The park stands on land generously donated by Kermit Young and honors the legacy of Kermit and his wife, Margritte, whose lives were deeply rooted in Baldwin. Their love of the outdoors, commitment to conservation, and dedication to the community helped shape the park into the peaceful gathering place it is today. Every trail and scenic view reflects a history that deserves to be respected and preserved. The City of Baldwin and the Sherburne County Sheriff's Office have addressed the incident, and those involved. The City's focus now is on restoring the park and reminding everyone of the importance of respecting the public spaces that bring our community together. Acts of vandalism affect far more than property—they impact a place that generations of Baldwin residents have enjoyed and cherished. Young Park has long been a source of community pride, where neighbors gather, children play, and visitors experience the natural beauty that makes Baldwin special. With the support of residents, volunteers, and city staff, the damage will be repaired, and the park will continue to serve future generations. Respecting public spaces is one small but meaningful way each of us helps preserve Baldwin's history and strengthen the community we are proud to call home.



**Small
Ad Space
3.85 x 2.50**

City of Baldwin



Baldwin Fire Report

Written By:
Fire Chief Robin
Fischer

probationary members to the Baldwin Fire Department: Ryan Schuft, Brian Hockemeyer, Danielle Bergmann, Nicole Wolfe, and Matthew Haugen (not pictured). We are excited to have each of them join the Baldwin Fire family and look forward to serving our City together for many years to come. Their willingness to step forward reflects a spirit in Baldwin of dedication, sacrifice, and service we surely are accustomed to seeing from our residents. It is their actions that strengthens our department and helps keep our people and properties safe. It is a privilege to welcome individuals who have chosen to answer the call to serve others, often putting the needs of their neighbors before their own. We are grateful for their commitment and proud to have them as part of our team.

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3.85 x 2.50**

Stay informed with TextMyGov

Sign-up by texting,

BALDWIN

to: **91896**



Scan to Start Texting

CITY HALL OFFICE HOURS
MONDAY - THURSDAY 8:00 AM - 4:30 PM
CLOSED FOR LUNCH 12:30 - 1:00
FRIDAY 8:00 AM - 12:00 PM

**Medium
Ad Space
5.00 x 4.25**

Burning Permits

A burning permit is required for all open burns except for recreational fires within a 3-foot by 3 foot area and setback 20 feet from any structure. Recreational fires are limited to dry, clean wood that is unpainted or untreated including cordwood, branches, limbs, twigs dimensional lumber cut into lengths not longer than three feet. A burning permit may be obtained at the Baldwin City Hall or with a Baldwin Fire Warden free of charge. A yearly permit can also be applied for at the Minnesota Department of Natural Resources website at <https://apps.dnr.state.mn.us/burning-permits> for a \$5.00 annual fee. Once a burning permit has been issued, it is the permit holder's responsibility to confirm that no burning ban is in effect prior to starting an open burn or recreational fire and the permit holder must be constantly in attendance of the fire. No fire may be allowed to smolder with no person in attendance and the open burn or recreational fire must be completely extinguished before the permit holder leaves the site. You do not need an open burning permit when the ground is completely covered by a minimum of 3 inches of snow.

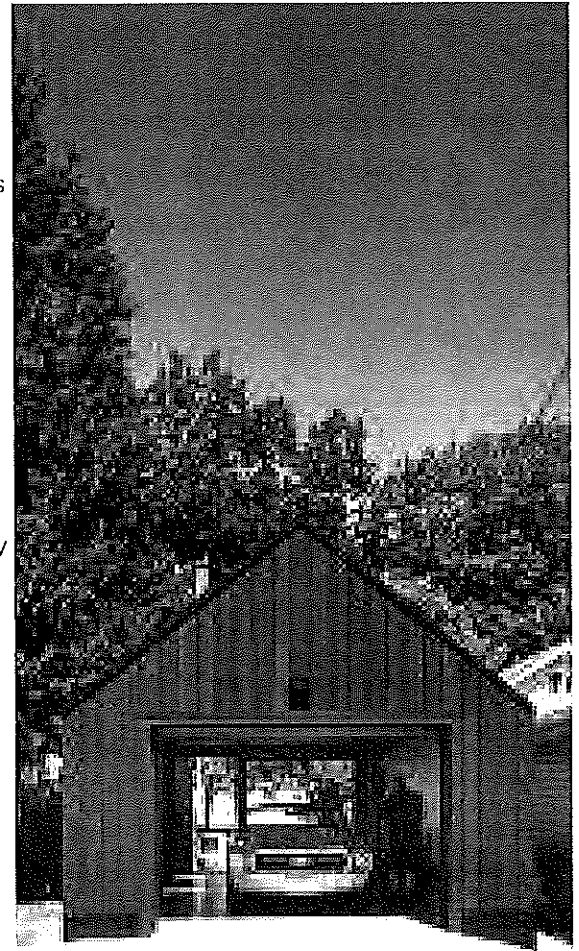
City of Baldwin

**Half Page
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8.00 x 4.50**

Ordinance Spotlight

The Zoning Ordinance allows construction of accessory buildings on residential properties within Baldwin as follows:

- There is no limit on the number of accessory buildings allowed.
- The area of all accessory buildings is limited to 4% of the area of the property.
- For properties less than 5 acres in area or within a Shoreland area, the height of the building is limited to 25 feet. Accessory buildings on properties 5 acres in area or larger that are not within a Shoreland area are allowed to be 35 feet in height. The height of a building is measured from grade to the midpoint of a pitched roof.
- Accessory buildings must be set back from property lines and the Ordinary High Water Level of a public lake or stream by the same distances required for the house on the property.
- Pole building construction (post/beam foundation and metal exterior finish) is allowed.
- Use of a shipping container as an accessory building is only allowed on properties less than 10 acres in area with approval of an Administrative Permit and must have an exterior finish and roof so as not to look like a shipping container. Temporary use of a shipping container may also be allowed for limited time periods for moving or during construction.
- An accessory building cannot be used as a second dwelling, defined as having a kitchen, toilet and bath facilities, and sleeping quarters. An accessory building with not more than two of these elements is allowed.
- Business use of an accessory building requires approval of an Interim Use Permit and may be subject to commercial building codes.
- A building permit is required to construct any accessory structure larger than 200 square feet. Sherburne County requires a septic compliance certificate issued within the prior 10 years before approval of a building permit to construct an accessory building. More information regarding accessory building regulations is provided in Chapter 18 of the Zoning Ordinance available on the City website or by contacting City staff.



City of Baldwin

Volunteer Opportunities

Written By: Mary Larson

It's the Fun in Baldwin Funfest that makes it so special! Our annual car show has an amazing variety of cars. The car show is about sharing stories that includes times and places they have driven their classics to over coffee and doughnuts. The kids enjoy Painting a Plow and eagerly wait to point out where their art is on the plows once first snow comes. It's about the adults re-connecting with neighbors and friends. Our wonderful volunteers wear the Baldwin Funfest t-shirts. Many thanks go out to our volunteers who come back Faithfully each year. Volunteering is not just about working hours at Funfest or any event. It is more than any one individual. It is about maintaining a sense of community with pride and traditions in who we are as a community with our rural lifestyle. Are you new to the community and want to make some new friends? Do you have an idea for another activity that could be offered next year? Or an activity that could be offered year-round? Or a seasonal activity? Do you want to help build a stronger community? Do you have the urge to sign up to volunteer? All ideas are welcome.

— Sincerely, Mary Larson, Volunteer Event Coordinator, City of Baldwin

BE THE HEART OF BALDWIN!

VOLUNTEER WITH US!

The City of Baldwin is looking for volunteers for Baldwin FunFest and other upcoming events!

Whether you have one hour or a whole day, there's a place for you! No experience needed—just a willingness to help and a smile!

Make Memories. Make a Difference.

Stronger Together. Better Community.

HAVE FUN!

MEET NEW PEOPLE!

SUPPORT OUR COMMUNITY!

BE PART OF SOMETHING GREAT!

WHY VOLUNTEER?

GIVE BACK
to the community you love

MEET NEW PEOPLE & MAKE FRIENDS

HELP MAKE
community events successful

BUILD A STRONGER, MORE CONNECTED BALDWIN

HAVE FUN
while making a difference!

VOLUNTEER OPPORTUNITIES

- ☑ Event Setup & Cleanup
- ☑ Kids Activities
- ☑ Parking & Greeting Guests
- ✓ Food Service
- ✓ Games & Entertainment
- ✓ General Event Helpers and more! ♥

JOIN OUR TEAM!

Call Mary Larson
507-208-1053

OR

Call City Hall
763-389-8931

♥ We can't do it without you! ♥

CITY OF BALDWIN

Together, we make Baldwin a great place to LIVE, WORK & CELEBRATE!

**Small
Ad Space
3.85 x 2.50**

**Small
Ad Space
3.85 x 2.50**

City of Baldwin

Baldwin Planning Commission

Behind every new neighborhood, business, park, or development in Baldwin is a group of dedicated commissioners helping shape the city's future. The Baldwin Planning Commission is a seven member board appointed by the City Council. Commissioners serve staggered three-year terms, providing continuity and long-term vision as the community grows. Meetings are staffed by the city's Planning and Zoning Administrator, Dan Licht of The Planning Company, along with City Council Liaison Jay Swanson. The Commission meets on the second and fourth Wednesday of each month at 7:00 p.m. at Baldwin City Hall. Recently, the Commission has been focused on updating Baldwin's Comprehensive Plan—a roadmap that helps guide the city's future. Along the way, members review zoning requests, development proposals, land subdivisions, variances, conditional and interim use permit applications, ordinance updates, and other planning matters. They work closely with city staff, planning professionals, developers, and residents to ensure Baldwin continues to grow in a thoughtful and responsible way. Curious about how decisions are made that shape Baldwin? The public is always welcome to attend any regularly scheduled Planning Commission meeting.

**Medium
Ad Space
5.00 x 4.25**



Election Judges

Election Judges play a vital role in conducting voting activities for local, state, and federal elections. The City of Baldwin is looking for individuals to join this proud team working to ensure the election process is fair and in accordance with our laws. To be an election judge, you must be:

- Eligible to vote in Minnesota
- Able to read, write, and speak English
- Appointed by the City Council

An election judge cannot be a candidate in the election or closely related to a candidate. Also, election judges cannot be closely related to another election judge in the same precinct. Election judges are required to complete election judge paid training through the Sherburne County Auditor/Treasurer's Office. If you are interested in serving as an election judge, you can find the Election Judge Application on the City's website at baldwinmn.gov under Election Information, or by contacting the City Clerk/Treasurer Joan Heinen at 763-389-8931 or at city.clerk@baldwinmn.gov

City of Baldwin

**Full Page
Ad Space
8.00 x 9.75**



Minuteman Press
401 First Street Suite C
Princeton, MN 55371
(763) 389-1220
princetonmn@minutemanpress.com
www.princetonmn.minutemanpress.com

Quotation

7/23/2026

Bill to: City of Baldwin
30239 128th Street
Princeton, MN 55371

Phone: 763-389-8931
Fax: 763-389-2751
Email: town.clerk@baldwintwpmn.com

Ship to: City of Baldwin
30239 128th Street
Princeton, MN 55371

Phone: 763-389-8931
Fax: 763-389-2751
Email: town.clerk@baldwintwpmn.com

1 Newsletter Postage Only (Job ID 83062)

Total: \$811.98

Component 1 of 2:

Design

Typesetting:

Component 2 of 2: Postage

Mailing

Postage: \$806.98

2,618 Newsletters (Color Front) (Job ID 82323)

Total: \$2,376.45

Component 1 of 4:

Design

Typesetting:

Printing

2,618 Finished Pieces

1 side

60# Husky Offset • White

Side 1 Ink(s): Full Color

Component 2 of 4:

Printing

2,618 Finished Pieces

1 side

60# Husky Offset • White

Side 1 Ink(s): Black

Component 3 of 4:

Printing

2,618 Finished Pieces

2 sides

Duplex Top/Top

60# Husky Offset • White

Side 1 and 2 Ink(s): Black

Component 4 of 4:

Design

Typesetting:

Digital File Handling

Finishing

Each of 2

Fold to 5.5x8.5

Miscellaneous

Tabbing, Addressing, Sort, Postal Prep and Postal Delivery - 14,000 Pieces.

Shipping

Shipping Method: US Mail - Ground

Order Total: \$3,188.43

Salesperson: Tim

**Click or Scan the QR Code
to Order Online**



Taxes are not included.

Quotation valid for 30 days.

"Where Your Business Is Always Appreciated!"

Net 15 Days

SECTION 00991 – CHANGE ORDER

No. 1

PROJECT: Sandy Lake Road Improvements

DATE OF ISSUANCE: July 28, 2026

EFFECTIVE DATE:

OWNER: City of Baldwin

ENGINEER'S Project No.: BD309

CONTRACTOR: Holt Excavating

ENGINEER: Hakanson Anderson

You are directed to make the following changes to the Contract Documents.

- A. The Request for Quotes for this project were sent out in May with an original completion date of August 14, 2026. The Contracts became fully executed on July 27, 2026. The current production time for the manholes to be produced is 5 weeks. This Change Order will revise the substantial completion date to September 18, 2026.

CHANGE IN CONTRACT PRICE:	CHANGE IN CONTRACT TIMES:
Original Contract Price	Original Contract Times
\$ 67,500.00	Substantial Completion: August 14, 2026
Net changes from previous Change Orders	Net changes from previous Change Orders
\$ 0	Substantial Completion: 0
Net Increase of this Change Order	Net Increase of this Change Order
\$ 0	Substantial Completion (days): 35
Contract Price with all approved Change Orders	Contract Times with all approved Change Orders
\$ 67,500.00	Substantial Completion: September 18, 2026

RECOMMENDED:

APPROVED:

ACCEPTED:

By: 
Engineer (Authorized Signature)

By: _____
Owner (Authorized Signature)

By: _____
Contractor (Authorized Signature)

Date: 7/28/2026

Date: _____

Date: _____



Natural Systems Utilities Work Order Request and Cost Estimate Form

Project	Frontier Trails	PM	Robb Chung
Date	7/27/2026	Phone	612-283-1796
Location	Princeton, MN	Email	rchung@nsuwater.com

Description of Work

Frontier Trails WWTF Permit Reissuance Submittal - Prepare and submit permit reissuance packet (typically 50-150 pages), coordinate signatures, complete any MPCA follow-up communications and revisions. This work order does not include a \$1240 check that must be made to the MPCA.

Cost Estimate

Labor	Rate (per hour)	Quantity	Subtotal
Operations Manager	\$210.00	0	\$0.00
Operations Supervisor	\$166.00	0	\$0.00
Sr Project Engineer II	\$180.00	0	\$0.00
Designer	\$150.00	12	\$1,800.00
Wastewater Operator	\$125.00	0	\$0.00

Expenses	Rate (per mile)	Quantity	Subtotal
Mileage	\$0.725	0	\$0.00

Other Operation Services	Rate	Quantity	Subtotal
Confined Space Entry (per permit)	\$100.00	0	\$0.00
Use of HAZMAT Monitoring Equipment (per hour)	\$50.00	0	\$0.00
Pressure Washer / Jetter Unit (per hour, 2 hour min.)	\$90.00	0	\$0.00
Rough Cut Mower (per hour)	\$50.00	0	\$0.00

Materials	Cost	Quantity	Subtotal
	\$0.00	0	\$0.00
	\$0.00	0	\$0.00
	\$0.00	0	\$0.00
	\$0.00	0	\$0.00
	\$0.00	0	\$0.00

Subtotal	\$1,800.00
Contingency (10%)	\$180.00
Total	\$1,980.00

This document is intended as an estimate only, and may change based on unexpected or unforeseen issues, additional tax and/or shipping costs, etc. Work order authorization via email is acceptable. Please contact your Project Manager with questions.