

CITY OF BALDWIN
PLANNING COMMISSION MEETING AGENDA
Wednesday, July 22, 2026 at 7:00 P.M.
Baldwin City Hall

- A. **Call to Order:**
 - 1. Pledge of Allegiance
 - 2. Roll Call
 - 3. Planning Commission claim forms
- B. **Approval of the Agenda**
- C. **Approval of Minutes:**
 - 1. Planning Commission meeting of June 24, 2026
- D. **Public Hearings:**
 - 1. DMP 111TH MN LLC (PID 01-00027-1400)
 - a. Preliminary plat of two lots to be known as Buck Creek
 - 2. Burell Consulting/AT&T Mobility (28829 104th Street)
 - a. Telecommunications tower Conditional Use Permit Amendment
 - 3. City of Baldwin
 - a. Zoning Ordinance; R2 District – continue to August 26, 2026
- E. **New Business:**
 - 1. None
- F. **Old Business:**
 - 1. Andy's Electric (PID 01-00009-3105)
 - a. Site and Building Plan Review (Revised Plans)
- G. **City Council Liaison Update**
- H. **Commissioner Update**
- I. **City Staff Update**
- J. **Miscellaneous Information and Communications**
- K. **Adjourn by 9:00PM**

Notes:

- 1. Five copies of the agenda and two copies of the packet materials are available for review by the public.
- 2. The meeting will be video and audio recorded for transcription purposes only.
- 3. This agenda does not claim to be complete and is subject to change.
- 4. A quorum of the City Council may be present at the Planning Commission meeting.



PLANNING COMMISSION MEETING MINUTES

JUNE 24, 2026

Call to Order: Chair Clarence Mattson called the Baldwin Planning Commission meeting to order at 7:00 pm.

Pledge of Allegiance: All present recited the Pledge of Allegiance.

Roll Call: Present: Chair Clarence Mattson, Vice Chair Teresa Barnes, Commissioners Mary Larson, Ed Stofferahn, Sarah Bostock and Bruce West.

Absent: Commissioner Chad Gerads

Also present: City Planner, Dan Licht, and City Council Liaison, Jay Swanson.

All claim forms were filled out and returned to the Deputy Clerk.

Approval of the Agenda:

Commissioner Larson motioned to approve the agenda as written. Commissioner Stofferahn seconded. All in favor. Motion carried.

Approval of the Minutes:

Planning Commission meeting of May 27, 2026

Commissioner West motioned to approve the minutes as written. Commissioner Larson seconded. All in favor. Motion carried.

Public Hearings:

Andy Dvoracek and Jen Flynn - 28506 97th Street NW

City Planner Licht presented the planning report.

The applicant, Andy Dvoracek, 3941 Kipling Ave, St. Louis Park, was in attendance. Mr. Dvoracek stated that multiple sketches were proposed because they would like to start the project this year and a final decision has not been made on who the contractor will be. Mr. Dvoracek said he agreed with the recommendation of City staff.

The Commissioners asked for clarification about the well and where the septic would be relocated. Mr. Dvoracek responded.

Chair Mattson opened the public hearing at 7:13 pm.

Todd VanSlyke, 28511 97th St NW, asked what the set back was on the north side of the property. City Planner Licht clarified it was 7.5 feet.

Commissioner Stofferahn motioned to close the public hearing at 7:14 pm. Commissioner Larson seconded. All in favor. Motion carried.

Commissioner Bostock requested clarification on the conditions. City Planner Licht responded.

Commissioner Larson motioned to recommend approval of a variance to allow an addition to an existing single-family dwelling at 28506 97th Street, subject to the four conditions listed by city staff. Commissioner Bostock seconded. All in favor. Motion carried.

Pete Coen - 14203 285th Avenue NW

City Planner Licht presented the planning report.

Shane Steinbrecher, 13792 247th Ave, is in attendance representing the property owners. Mr. Steinbrecher agreed with the recommendation of City staff.

Chair Mattson opened the public hearing at 7:27 pm.

Commissioner West motioned to close the public hearing at 7:28 pm. Commissioner Larson seconded. All in favor. Motion carried.

The Commissioners discussed the septic system and asked for an added condition regarding a maintenance plan and exterior level alarm.

Mr. Steinbrecher clarified that due to the setbacks on this property a drainfield would not be allowed no matter if there was a home or no home on this property.

The Commissioners discussed concerns about the 7-foot side setback.

Kristi Lacey, 236 Howard Ave S, Amery, WI, discussed the design layout of the home which included an ADA compliant entry way that results in the proposed width of the home and the request for the proposed side yard setbacks.

Commissioner Barnes asked about the other properties in the neighborhood. City Planner Licht responded.

Commissioner Barnes motioned to recommend approval of a variance to allow construction of a single-family dwelling located at 14203 285th Street, subject to the five conditions listed by city staff. Commissioner Bostock seconded.

Commissioner West asked about amending a condition. City Planner Licht stated condition five could be amended to require a management plan for septic maintenance.

Commissioner Barnes amended the motion to reflect approval of a variance to allow construction of a single-family dwelling located at 14203 285th Street, subject to the five conditions stated on the findings of fact, amended as follows:

5. All Subsurface Sewage Treatment System issues shall be subject to review and approval of the Building Official.
 - a. Use of the system as a temporary holding tank shall require a maintenance plan and annual reporting.
 - b. An exterior level alarm shall be installed on the holding tank.
 - c. Use of the Subsurface Sewage Treatment Systems as a holding tank shall cease upon the ability to install a drainfield in compliance with Minnesota Department of Health setback requirements.

Commissioner Bostock seconded.

Motion failed with a 3-3 vote.

Vertical Bridge - 28059 128th Street NW

City Planner Licht presented the planning report.

Alex Trueman, 4340 Stenson BLVD, Columbia Heights, is representing Vertical Bridge. Mr. Trueman stated that the cell tower was brought forward due to network demands. Mr. Trueman agreed with the recommendation of City staff.

Chair Mattson opened the public hearing at 8:01 pm.

Alex Koch, 12633 280th Ave, has concerns about the property value impacts, wildlife in the area, and the fencing around the tower. City planner Licht stated the Planning Commission does not consider impacts to property values as part of deliberations.

Tim Derrick, 28145 128th Street, has concerns about the location of the tower and states it does not comply with the zoning ordinance.

Kirstie Kantor, 12633 280th Ave, has concerns about the frequency coming from the tower.

David Durelle, 12640 280th Ave, has concerns about property values going down.

Dave Cowels, 12710 281st Ave, asked what the coverage radius is from where the tower is located.

Jane Takata, 28187 125th St, asked if the property owner chose the location of the tower on their property and asked if they get any monetary benefits from the tower.

Patricia Boudreau, 27833 128th St, stated concerns over the close proximity of the tower to the neighbors in the area.

Elizabeth Kantor, 12633 280th Ave, has concerns about health issues and wildlife.

Jon Clover, 28213 128th Ave, asked if the property owner was in attendance. Mr. Clover also stated that a Land Use Attorney can be hired by the residents to investigate the contract.

Dave Cowels, 12710 281st Ave, stated the National Association of Realtors determined a drop in property values around a cell tower. City Planner Licht described how the rear yard is determined and explained that property owners have a right to the application.

Tim Derrick, 28145 128th Street, reiterated the concern that the tower does not comply with the zoning ordinance.

Mr. Trueman recapped the need for the tower in the area. Mr. Trueman explained the site selection process noting that there are criteria from city zoning ordinances and from the Federal level that need to be followed.

Tim Derrick, 28145 128th Street, has concerns that the company is choosing the location based on it being the cheapest option and not taking into consideration other properties.

Dave Cowels, 12710 281st Ave, asked about the modeling program the companies use to choose the location of the tower.

Mr. Trueman explained the optimization of the cell tower system.

Alex Koch, 12633 280th Ave, stated that there are other locations for sale within the city that seem like better locations for a cell tower.

***Commissioner Stofferahn motioned to close the public hearing at 8:37 pm.
Commissioner Larson seconded. All in favor. Motion carried.***

City Planner Licht stated condition eleven can be added to state the proposed tower location shall comply with section 900-27-7.A of the zoning ordinance prohibiting towers from being located within residential areas as defined by the zoning ordinance.

Commissioner Stofferahn motioned to recommend approval for a Conditional Use Permit to allow for construction of a telecommunications tower located at 28059 128th Street NW, subject to the conditions as stated on the findings of fact amended to include the following:

11. The proposed tower location shall comply with Section 900-27-7.A of the Zoning Ordinance.

Commissioner Barnes seconded. Commissioner Mattson, Barnes, Stofferahn, Larson, and Bostock in favor. Commissioner West opposed. Motion carried 5-1.

City of Baldwin - Adoption of Comprehensive Plan

City Planner Licht presented the planning report.

Chair Mattson opened the public hearing at 8:59 pm.

Commissioner West motioned to close the public hearing at 8:59 pm. Commissioner Stofferahn seconded. All in favor. Motion carried.

Commissioner West motioned to recommend approval of the adoption of the Comprehensive Plan. Commissioner Stofferahn seconded. All in favor. Motion carried.

City of Baldwin - Zoning Ordinance amendment establishing R2 district

Commissioner Barnes motioned to table the public hearing for the Zoning Ordinance amendment establishing an R2 district to July 22, 2026. Commissioner Larson seconded. All in favor. Motion carried.

New Business: None.

Old Business: None.

City Council Liaison Update:

Mayor Swanson updated the Planning Commission on recent City Council discussions.

Commissioner Update: None.

City Staff Update:

City Planner Licht updated the Planning Commission on future applications.

Miscellaneous Information and Communications: None.

Adjourn:

Commissioner Stofferahn motioned to adjourn the June 24, 2026 Planning Commission meeting at 9:31 pm. Commissioner Larson seconded. All in favor. Motion carried.

Submitted by: Kayla Nielsen
Deputy Clerk/Treasurer

Approved by: Clarence Mattson
Chair

Date

Attendees: Peter Coen, Kristie Lacey, Shane Steinbrecher, Tim Derrick, Kirstie Kantor, Alex Koch, Sue Vinge, Andy Dvoracek, Nancy Dvoracek, Dan Flynn, Gene Dvoracek, Chris & Dave Durelle, Judy & Bitsy Kantor, Dave & Brenda Cowles, Kathy & Todd VanSlyke, Elizabeth Kantor, Alex Trueman, Jan Takata, Pat & Dennis Boudreau, Jon Clover, and Al Walker.



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PLANNING REPORT

TO: Baldwin Planning Commission

FROM: D. Daniel Licht

REPORT DATE: 17 July 2026

120-DAY DATE: 27 October 2026

RE: Baldwin – Buck Creek Estates; Simple Plat

TPC FILE: 269.02

BACKGROUND

DMP 111th MN, LLC owns PID 01-00026-2300 and PID 01-00027-1400, consisting of a total of 80 acres. The developer is proposing to plat 13.03 acres from PID 01-00027-1400 to create one buildable lot and attach 7.06 acres to PID 01-00026-2300.

The 13.03-acre buildable lot is to be platted as a preliminary and final plat titled Buck Creek Estates. Preliminary and final plat applications are processed in accordance with Chapter 3 of the Subdivision Ordinance, subject to review by the Planning Commission and approval by the City Council. The attachment of the 7.06 acres to PID 01-00026-2300 is to be done as an Administrative Subdivision as provided for by Chapter 5 of the Subdivision Ordinance, subject to review and approval by the Zoning Administrator.

A public hearing to consider the preliminary and final plat has been noticed for the Planning Commission meeting on 22 July 2026 at 7:00 p.m.

Exhibits:

- Property Location Map
- Wetland Delineation
- Certificate of Surveys (2 sheets)
- Buck Creek Estates Preliminary Plat
- Buck Creek Estates Final Plat

ANALYSIS

Existing Conditions. The two separate parcels owned by the developer are unplatted with a total area of 80 acres. PID 01-00027-1400 abuts right-of-way for 290th Avenue at its southwest corner and public right-of-way for 111th Street at its north line. PID 01-00026-2300 abuts right-of-way for 111th Street at its south line.

The parcels encompass a portion of a Natural Environment Lake and significant, high-quality wetlands that create a physical barrier that will preclude extension of future streets to connect the properties. The proposed preliminary plat, final plat, and administrative subdivision alter the property lines between the two existing parcels based on the natural boundaries created by the wetlands.

Comprehensive Plan. The 2023 Baldwin Comprehensive Plan promotes establishment of land use patterns that will provide connections to existing public amenities and the natural landscape. New development is to maintain desired rural residential character without adversely affecting scenery or open spaces. The proposed preliminary and final plat is consistent with the Comprehensive Plan.

Zoning. The subject property is zoned R1, General Rural District. Single family dwellings are a permitted use within the R1 District. The subject property is also within the Shoreland Overlay District of a Natural Environment Lake, a portion of which is within PID 01-00027-1400.

Surrounding Uses. There are rural residential lots to the north of the subject property along 113th Street within the plat of Waters Edge. To the northwest of the subject property are urban sized residential lots using a shared private sewer treatment system within the Baldwin Cove plat. East, south, and west of the subject property are larger unplatted parcels, several with rural residential dwellings. The buildable lot within the proposed plat is more comparable to the surrounding larger rural residential parcels than the platted lots. The proposed preliminary and final plat will be compatible with existing and future uses in the area.

Lot Requirements. Section 900-51-7 establishes lot requirements for the R1 District, shown in the table below.

A. Lot Area:		
	Platted Lot:	2.5 acres
	Buildable Area Within Parcel or Lot:	40,000 square feet
B. Lot Width:		200 feet
C. Lot Depth		300 feet

Lot 1, Block 1 is proposed to be 13.03 acres in area and will comply with the minimum lot area requirements of the R1 District.

Lot 1, Block 1 includes dedication of 37 feet of right-of-way north of the south plat line that extends 200 feet east of the west plat line. Dedication of the 200 feet of right-of-way provides Lot 1, Block 1 with the minimum required lot width.

Setbacks. The table below outlines the setback requirements of the R1 District established by Section 900-51-8 of the Zoning Ordinance. Lot 1, Block 1 has sufficient area to accommodate construction of a single family dwelling meeting the setback requirements of the R1 District.

A. Front Yard or Side Yard Abutting a Public Street:		
	City Street	50 feet
B. Side Yard (except as allowed by Section 900-51-5.A):		20 feet
C. Rear Yard:		25 feet

Right-of-Way. Lot 1, Block 1 abuts right-of-way for 290th Avenue at its southwest corner. The proposed plat includes dedication of 37 feet of right-of-way north of the south plat line extending 200 feet from the west plat line. This right-of-way would be the north portion of right-of-way needed to allow for a future street east of the existing 290th Avenue right-of-way. Dedication of the north portion of the right-of-way for 290th Avenue along the south line of the subject property allows opportunity to subdivide PID 01-00027-4100 to the south with dedication of the remaining 29 feet of right-of-way and construction of a public street.

Access. For access to Lot 1, Block 1, a driveway to existing 290th Avenue will be constructed. The driveway will be required to be located within the right-of-way to be dedicated with the plat. An encroachment agreement will be required for the driveway that allows it to be relocated to access a public street within the right-of-way if constructed in the future.

Utilities. Development of Lot 1, Block 1 is to be served by a private Subsurface Sewage Treatment System and a private well. The preliminary plat identifies preliminary and secondary drain field sites within Lot 1, Block 1 for a Subsurface Sewage Treatment System. The design of a Subsurface Sewage Treatment System to serve a single family dwelling on Lot 1, Block 1 is subject to review and approval by the Building Official.

Easements. Section 910-10-8 of the Subdivision Ordinance requires dedication of drainage and utility easements a minimum of 12 feet in width at the perimeter of Lot 1, Block 1. The preliminary and final plat illustrate perimeter drainage and utility easements and drainage and utility easements over delineated wetlands within Lot 1, Block 1. The final plat provides for dedication of the drainage and utility easements to the public. All drainage and utility easements are to be subject to approval of the City Engineer.

Park Dedication. Section 910-10-10 of the Subdivision Ordinance requires developers to dedicate 10 percent of the buildable area of a parcel being subdivided to the City for park purposes. The City may also elect to receive a cash fee in lieu of land dedication to be used only for development of the City park system. Park dedication requirements for the proposed preliminary plat are to be subject to review by the Park Committee and approval of the City Council.

RECOMMENDATION

The proposed preliminary plat of Buck Creek Estates is consistent with the Comprehensive Plan for rural residential development and complies with the requirements of the Zoning Ordinance and Subdivision Ordinance. Our office recommends approval of the application subject to the conditions outlined below.

POSSIBLE ACTIONS

Motion to recommend approval of the preliminary and final plat of Buck Creek Estates subject to the following conditions:

1. Construction on Lot 1, Block 1 shall comply with the following setback requirements:

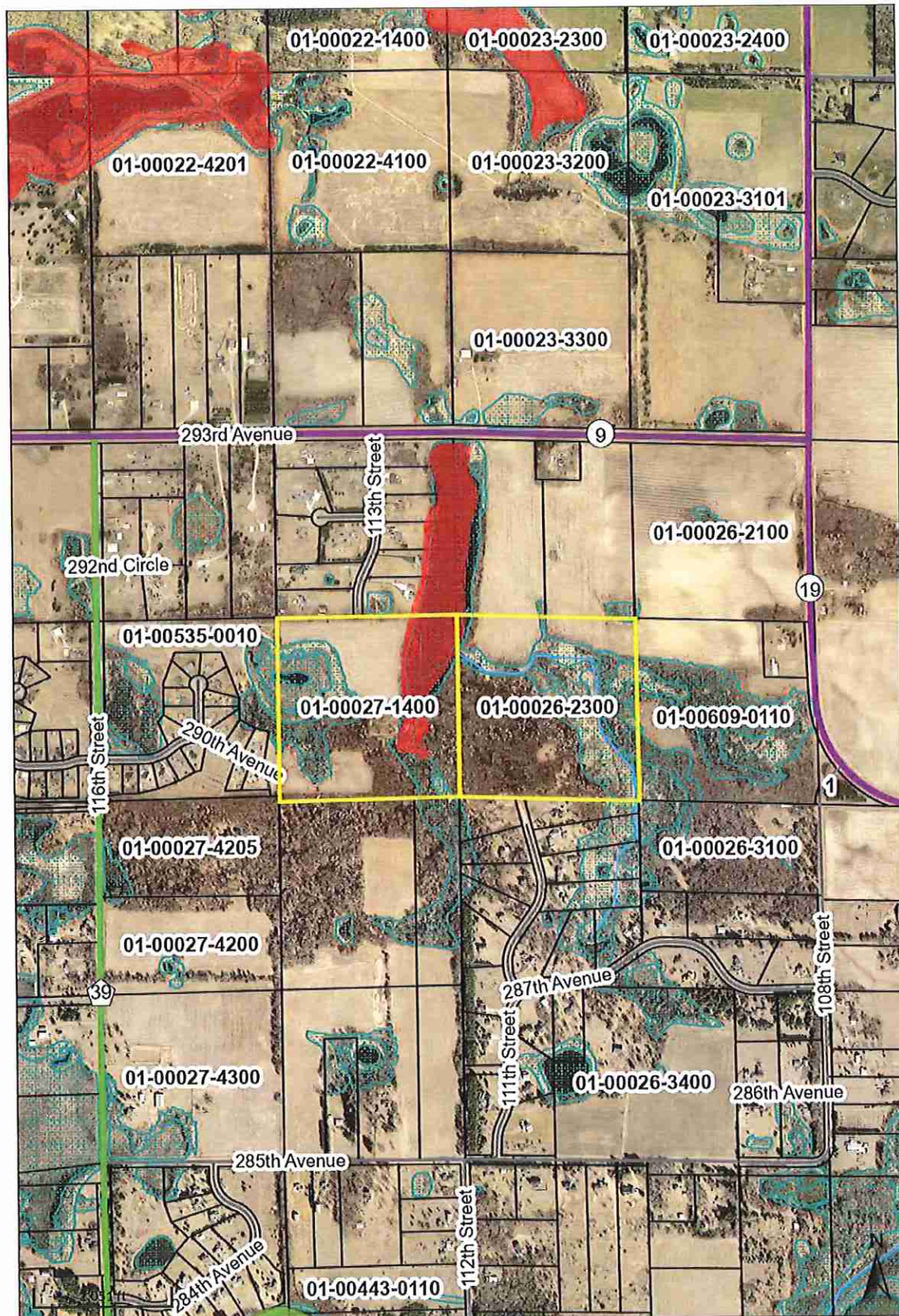
A. Front Yard or Side Yard Abutting a Public Street:		
	City Street	50 feet
B. Side Yard (except as allowed by Section 900-51-5.A):		20 feet
C. Rear Yard:		25 feet

2. All right-of-way dedication shall be subject to review and approval by the City Engineer.
3. Access to Lot 1, Block 1 shall require approval of a driveway permit issued by the City Engineer and execution of an encroachment agreement allowing the driveway to be relocated to access a public street within the right-of-way if constructed in the future.
4. All Subsurface Sewage Treatment Systems and wells shall be subject to review and approval of the Building Official.
5. All easements shall be subject to review and approval of the City Engineer.
6. Park dedication requirements shall be satisfied by payment of a cash fee in lieu of land based on the Fee Schedule in effect at the time of final plat approval, subject to review of the Park Committee and approval of the City Council.

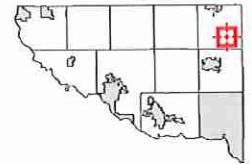
- c. Joan Heinen, Clerk/Treasurer
 Sam Jochum, City Engineer

Property Location Map

Buck Creek Estates



Overview



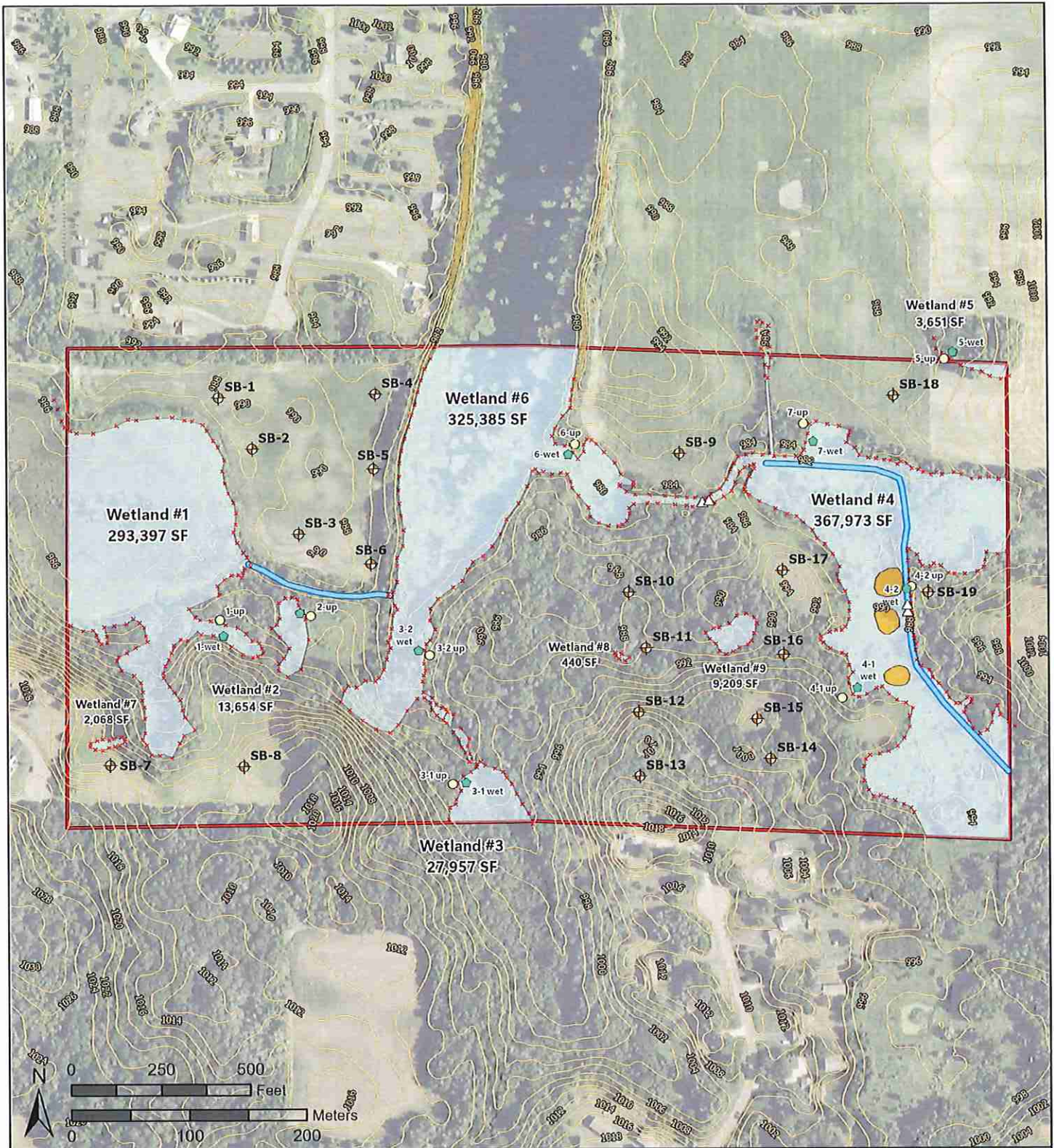
Legend

Public Water Inventory

- Not Classified
- General Development
- Natural Environment
- Recreational Development

Roads

- MN Highway; US Highway
- Municipal-State Aid Street
- Municipal Street
- Township Road
- State Forest Road
- Bureau of Fish and Wildlife Road
- Connector (Ramp)
- Privately Maintained Public Access Road
- County Road
- County-State Aid Highway
- Parcels
- Streams
- Wetlands



Legend

- △ Culvert
- × Wetland Delineation Points
- Upland Sample Point
- Wetland Sample Point
- ◆ Soil Boring
- 2' Contour Lines
- Ditch
- Upland Area
- Wetland Boundary (On Site)
- ▭ Subject Property

Scale: 1:4,500

Mille Lacs

Isanti

Sherburne

Anoka

Project Name: 2025-172. 113th St NW, Princeton
MDX Name: 113th St NW, Princeton

Date: 5/12/2026

Project Number: 2025-172

Figure 5:

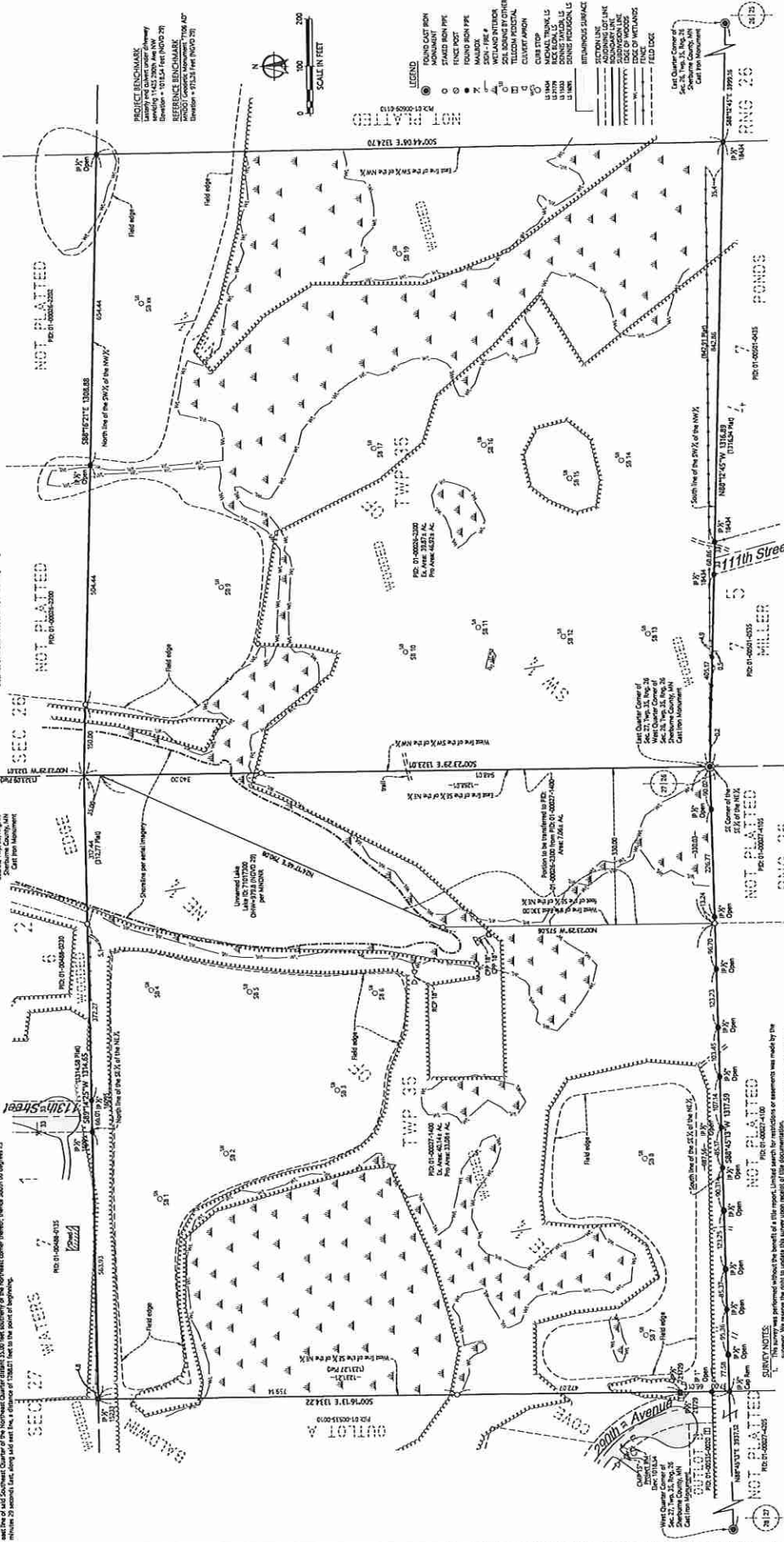
Jurisdictional Delineation Map

Jacobson Environmental, PLLC.

Phone: (612)-802-6619
E-mail: jacobsonenv@msn.com



Part of Sections 26 and 27, Township 35, Range 26
City of Baldwin, Sherburne County, Minnesota

[illegible]

WIDSETH
ANALYSTS • ENGINEERS • IDENTIFIERS • SURVEYORS

DMP Holdings MN, LLC

Certificate of Survey

PROJECT #: 2026-101

DRAWN BY: CK	DATE: 11/11/2025	APPROVAL: [Signature] DATE: 11/11/2025
CHECKED BY: DJ	DATE: 11/11/2025	REMARKS: [Signature]

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PLANNING REPORT

TO: Baldwin Planning Commission

FROM: D. Daniel Licht

DATE: 17 July 2026

120 DAY DATE: 2 August 2026

RE: Baldwin – AT&T Tower CUP (PID 01-00025-3000)

BACKGROUND

On 15 May 2023, the Town Board approved a Conditional Use Permit application for AT&T Mobility to construct a telecommunications tower and related equipment at 28829 104th Street. The subject property is a 77.59-acre parcel located east of 104th Street (CSAH 19) and south of 289th Avenue (CSAH 28). Section 900-4-9 of the Zoning Ordinance requires that a Conditional Use Permit be utilized within one year from the date of approval. Because a building permit for the proposed tower was not issued within one year from the date of approval, the Conditional Use Permit became void. Buell Consulting, on behalf of AT&T Mobility, submitted application to reissue the Conditional Use Permit to proceed with the planned tower installation, which was approved by the City Council on 4 August 2025.

The developer is requesting an amendment to the approved Conditional Use Permit to change the location of the proposed tower within the subject property. The proposed tower is to be located closer to 289th Avenue (CSAH 28) for the purpose of reducing the length of the driveway to access the tower facility and reduce the distance to extend utilities to the telecommunications tower location. Amendment of an approved Conditional Use Permit is processed in the same manner as the initial Conditional Use Permit application in accordance with Section 900-4-5 of the Zoning Ordinance.

Applications to amend an approved Conditional Use Permit are subject to review by the Planning Commission and approval by the City Council. A public hearing to consider the Conditional Use Permit amendment has been noticed for the Planning Commission meeting on 22 July 2026.

Exhibits:

- Property Location Map
- Narrative dated June 3, 2026
- Co-Location Exclusion Map
- Service Analysis (5 pages)
- Civil Plans (27 sheets)
- Findings of Fact

ANALYSIS

Comprehensive Plan. The Comprehensive Plan guides the subject site for rural uses. Telecommunications towers are regarded similarly to utilities for the purposes of zoning regulations and are allowed as an incidental land use activity. Allowing telecommunications towers provide services necessary for residents and businesses in the area, as well as transient users along the U.S. Highway 169 corridor. The proposed telecommunications tower is consistent with the policies of the Comprehensive Plan.

Zoning. The subject site is zoned R1, General Rural District. Telecommunications towers are allowed within the R1 District subject to the provisions of Chapter 27 of the Zoning Ordinance. Section 900-27-7.A.2.b of the Zoning Ordinance requires issuance of a Conditional Use Permit for a freestanding tower up to a height of 175 feet.

Portions of the subject property are within the S, Shoreland Overlay District of Sandy Lake to the southeast. However, the proposed location of the tower and ground-mounted equipment is more than 1,000 feet from Sandy Lake. Therefore, the S District regulations do not apply to the proposed telecommunications tower.

Surrounding Uses. The area surrounding the subject property is guided by the Comprehensive Plan for rural uses and zoned R1 District. The proposed tower is to be in the northeastern portion of the property, with existing unplatted parcels developed with single family dwellings to the north, east, and south. The closest residential dwelling is located on an unplatted parcel east of the subject property, approximately 420 feet from the proposed telecommunications tower. Compliance with the performance standards of Chapter 27 of the Zoning Ordinance is required to ensure that the proposed telecommunications tower is as compatible as possible with surrounding land uses.

Service Analysis. Section 900-27-4.B of the Zoning Ordinance requires an applicant to demonstrate through a service coverage analysis the need for construction of a new telecommunications tower. The purpose of this requirement is to balance the need for telecommunications services within the City, and along U.S. Highway 169, while minimizing the number of telecommunications tower locations and promoting co-location on existing towers or structures where feasible.

The applicant has provided a coverage analysis for the proposed location based on existing telecommunication towers in the area. There is a service coverage gap within the City east of U.S. Highway 169 and in areas east of Baldwin, shown on the first analysis of existing tower locations. The second analysis illustrates the service coverage that will result from construction of the proposed facility, which mitigates the existing service gap. The final analysis shows the service coverage of the proposed telecommunications facility without the service provided by other existing facility locations. The applicant has also provided a map showing that there are no existing telecommunications towers within a one-mile radius of the subject property on which antennas could be located to address the service need.

The service analysis provided by the applicant reasonably demonstrates the need for the proposed tower at the subject site as required by the Zoning Ordinance.

Lot Area. Section 900-27-2.G.1 of the Zoning Ordinance establishes a minimum lot area of 2.5 acres for construction of a tower over 35 feet in height. The 77.59-acre area of the subject site exceeds the minimum area requirement of the Zoning Ordinance.

Setbacks. Section 900-27-2.I of the Zoning Ordinance requires that the tower be located within the rear yard defined by the Zoning Ordinance when located on a property with another principal residential use. The proposed tower is located in a rear yard relative to the existing single family dwelling upon the property.

Section 900-27-5.B of the Zoning Ordinance requires that towers over 60 feet in height be located no closer than the height of the tower plus 20 feet from any residential dwelling other than a dwelling located on the same property. Section 900-27-5.C of the Zoning Ordinance further requires that the proposed tower not be located closer to a property line than the height of the tower. The proposed tower is set back 180.0 feet from 100th Street and 320.5 feet from 289th Street (CSAH 28).

The setbacks required by Chapter 27 of the Zoning Ordinance exceed the base setbacks required within the R1 District by Section 900-51-8 of the Zoning Ordinance.

The proposed telecommunications tower and ground-mounted equipment comply with the yard and setback requirements of the Zoning Ordinance.

Screening. Section 900-27-2.H of the Zoning Ordinance requires installation of fencing and landscaping to screen off-site views of the telecommunications facility.

The approved site plan illustrated installation of evergreen trees at the outside perimeter of the fenced enclosure at 20 feet on center. The revised civil plan set does not include a landscape plan, which must be submitted. We recommend that the same 16 trees be required at the perimeter of the fenced area with the size of the trees to be a minimum of eight feet as required by Section 900-19-2.B.3.b of the Zoning Ordinance.

Section 900-19-2.C of the Zoning Ordinance requires that all new plants are to be guaranteed for 12 months from the time planting has been completed and be alive, in good health, of good quality and structural condition, and insect- and disease- free at the end of the warranty period or be replaced.

Access. The proposed telecommunications facility is to be accessed via an existing driveway to 289th Avenue (CSAH 28). Use of the existing driveway for the proposed telecommunications tower is to be subject to review and approval of Sherburne County. The driveway is shown to be improved with a 12-foot-wide gravel driveway. A gravel driveway is allowed for the proposed use by Section 900-21-6.B.2.a of the Zoning Ordinance.

Design Standards. Section 900-27-3 of the Zoning Ordinance establishes design standards for proposed telecommunications towers as follows:

- Section 900-27-3.A of the Zoning Ordinance requires that all telecommunications towers be a monopole design. The proposed telecommunications tower is a monopole design that complies with the Zoning Ordinance.
- Section 900-27-3.B of the Zoning Ordinance requires engineered plans for the proposed telecommunications tower. The submitted plans are signed by a licensed professional engineer.
- Section 900-27-3.C of the Zoning Ordinance requires use of anti-climbing measures for the proposed telecommunications tower.

The telecommunications tower and ground-mounted equipment are to be surrounded by a perimeter chain-link fence that is seven feet in height with outward-angled barb wire security arms.

The monopole design of the telecommunications tower does not include any climbing equipment.

- Section 900-27-3.D of the Zoning Ordinance prohibits illumination of the telecommunications tower unless required by Federal aviation regulations. No lighting is included on the proposed telecommunications tower.
- Section 900-27-3.E of the Zoning Ordinance requires the proposed telecommunications tower to be a silver or galvanized finish. The proposed tower is to have a galvanized finish as required by the Zoning Ordinance.

- Section 900-27-3.F.2 of the Zoning Ordinance requires that towers over 125 feet in height make provision for co-location of two other antenna systems upon the tower. The purpose of this requirement is to minimize the need for additional towers within the community and ensure adequate access to telecommunications. The proposed tower could accommodate two additional antenna systems in addition to AT&T Mobility's facilities.

Signs. Section 900-27-2.B of the Zoning Ordinance prohibits advertisement signs from being affixed to the proposed telecommunications tower. The submitted plans detail the regulatory and safety signs to be installed with the facility, which do not include any advertising. The proposed signage complies with the provisions of the Zoning Ordinance.

Utilities. The site plan indicates extension of electric utilities to serve the proposed telecommunications facility from 289th Avenue (CSAH 28) within a utility easement. Extension of the electric utility is to be reviewed with the Building Permit application.

Insurance. Section 900-27-2.M of the Zoning Ordinance requires that the telecommunications tower owner provide evidence of insurance in the amount of \$1,000,000.00 for personal property damage. A certificate of insurance coverage has been submitted as required by the Zoning Ordinance.

Termination. Section 900-27-2.C of the Zoning Ordinance requires that unused telecommunications equipment, including antennas, ground-mounted equipment, or the tower itself, be removed within 12 months after operations cease. The applicant must provide documentation that the removal provision is included in the ground lease with the property owner.

Building Permit. A building permit is required to be issued prior to construction of the proposed telecommunications tower or ground-mounted equipment upon the subject site. The building permit application will be subject to review and approval of the City Building Official.

RECOMMENDATION

The application for a Conditional Use Permit amendment for construction of a telecommunications tower complies with the criteria and standards established by the Zoning Ordinance. City staff has drafted findings of fact for approval of a Conditional Use Permit amendment for consideration by the Planning Commission. Our office recommends approval of the application subject to the conditions outlined below and included with the findings of fact.

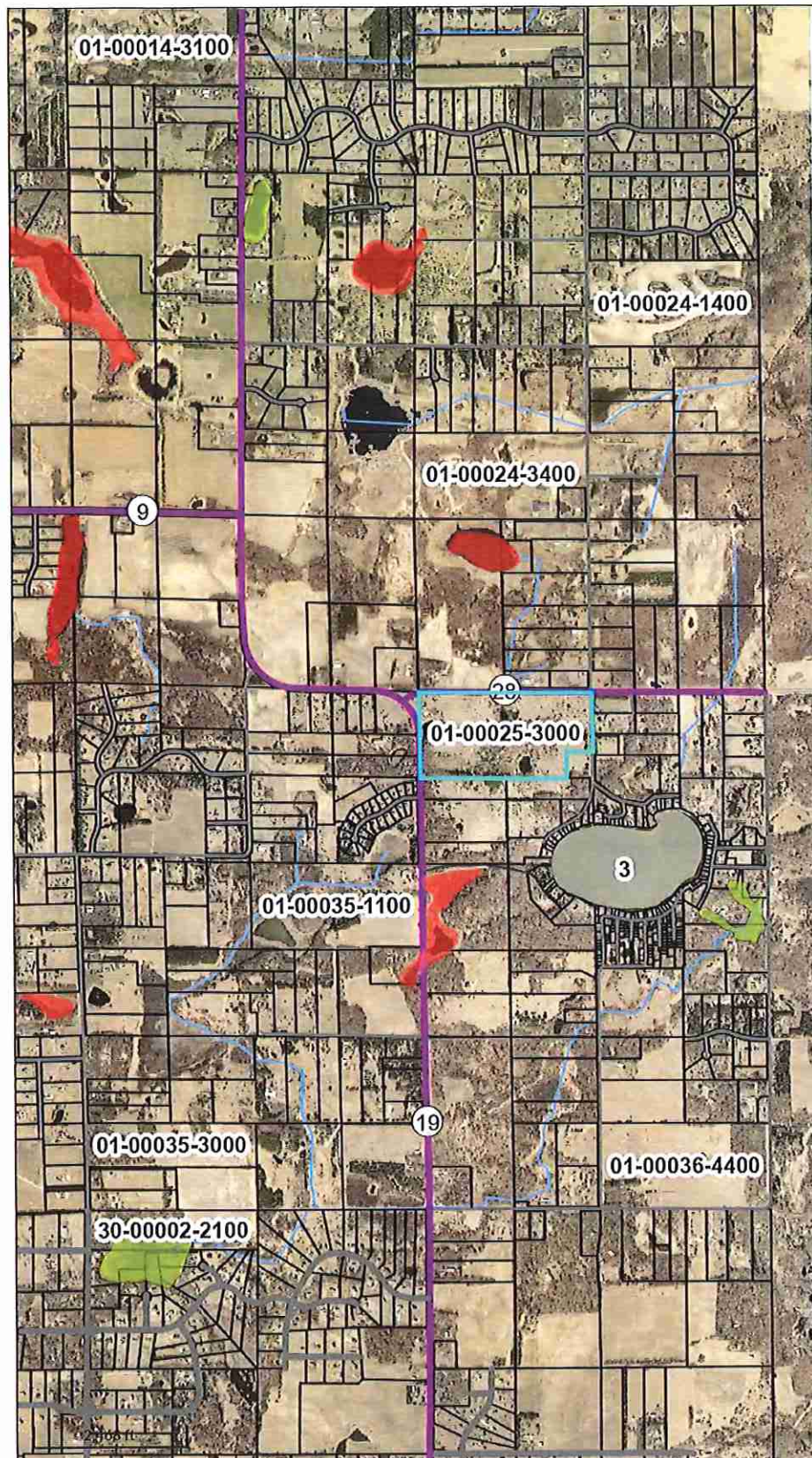
POSSIBLE ACTIONS

Motion to recommend approval of a Conditional Use Permit amendment for a telecommunications tower for AT&T Mobility, subject to the following conditions:

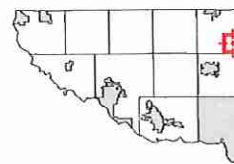
1. The subject property shall be developed in accordance with the site and building plans submitted to the City subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-6 of the Zoning Ordinance.
 2. A landscape plan shall be submitted for planting 16 evergreen trees that are a minimum of eight feet in height at the perimeter of the leased area at 20 feet on center, subject to review and approval by the Zoning Administrator.
 3. All new plants shall be guaranteed for 12 months from the time planting has been completed and shall be alive, in good health, of good quality and structural condition, and insect- and disease-free at the end of the warranty period or be replaced, subject to review and approval by the Zoning Administrator.
 4. Access to 289th Avenue (CSAH 28) shall be subject to review and approval by Sherburne County.
 5. All signs shall comply with Section 900-27-2.B of the Zoning Ordinance.
 6. The tower owner shall maintain insurance in the amount of \$1,000,000.00 for personal property damage and provide evidence of such coverage to the Zoning Administrator annually.
 7. The applicant shall provide documentation to the Zoning Administrator that the lease for the telecommunications facility location, including revisions or renewals, provides that any unused equipment must be removed within 12 months after operations cease.
- c. Joan Heinen, City Clerk/Treasurer
Andy Schreder, City Building Official
Bob Ruppe, City Attorney

Property Location Map

28829 104th Street (01-00025-3000)



Overview



Legend

Public Water Inventory

- Not Classified
- General Development
- Natural Environment
- Recreational Development

Roads

- MN Highway; US Highway
- Municipal-State Aid Street
- Municipal Street
- Township Road
- State Forest Road
- Bureau of Fish and Wildlife Road
- Connector (Ramp)
- Privately Maintained Public Access Road
- County Road
- County-State Aid Highway
- Parcels
- Streams



BUELL CONSULTING, INC.

720 Main Street, Suite 200

Saint Paul, MN 55118

(651) 361-8110

www.buellconsulting.com

SENT VIA EMAIL

June 3, 2026

Daniel Licht – Planner
City of Baldwin
30239 128th Street NW
Baldwin, MN 55371

RE: AT&T Mobility / Amended Conditional Use Permit / PID: 01-00025-3000 / Site Name: Blue Lake

Dear Mr. Licht,

AT&T Mobility hereby requests approval of an amended conditional use permit for the construction of a 175' monopole in the City of Baldwin at 10057 289th Ave. NW, Zimmerman, MN 55398.

A conditional use permit for this tower was previously approved by the Baldwin City Council on August 4, 2025 per Resolution No: 25-20. This amended CUP request reflects a change in tower location on the subject parcel. The tower has been relocated closer to 289th Ave. NW (CSAH 28) in order to decrease the length of the required access road and utility run.

The following lists the supplementary documentation included in the application.

Site Address: 10057 289th Ave. NW, Zimmerman, MN 55398

PID: 01-00025-3000

Supplementary Documentation:

- Construction Drawings (includes revised land survey).
- 1-Mile Colocation Exclusion Map (Attachment I)

Thank you in advance for your time in reviewing our application and please do not hesitate to contact me via email or the number below with any questions or requests for further information.

Sincerely,

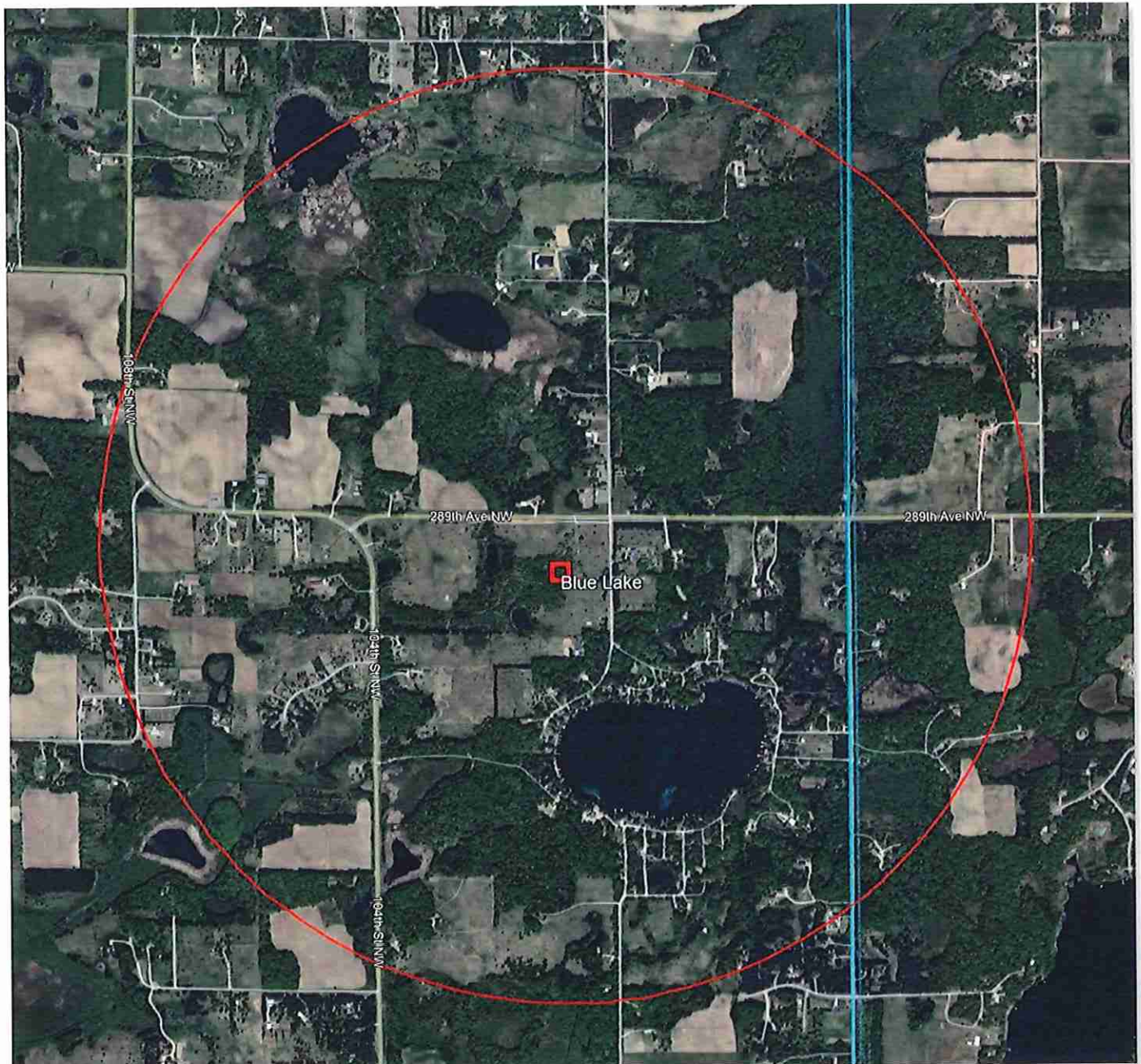
A handwritten signature in black ink, appearing to read "Blair Ransom".

Blair Ransom
Site Development Agent o/b/o AT&T Mobility
Phone: (612) 875-1808
Email: b.ransom@grahamredev.com



BUELL CONSULTING, INC.
720 Main Street, Suite 200
Saint Paul, MN 55118
(651) 361-8110
www.buellconsulting.com

ATTACHMENT I – COLOCATION EXCLUSION MAP



No existing towers within a 1-mile radius.



AT&T

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES, AS APPLIED TO THE LOCAL JURISDICTION. ANY DEVIATION FROM THESE CODES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

BUILDING CODE: 2009 MINNESOTA BUILDING CODE
PLUMBING CODE: 2009 MINNESOTA PLUMBING CODE
MECHANICAL CODE: 2009 MINNESOTA MECHANICAL CODE
ELECTRICAL CODE: 2009 MINNESOTA ELECTRICAL CODE
FIRE & SAFETY CODE: 2009 MINNESOTA FIRE CODE

PROJECT TEAM

APPLICANT:
AT&T MOBILITY
7000 KENNEL AVE S, 3RD FLOOR
BLOOMINGTON, MN 55425
CONTACT: JOHN M. BANKS
EMAIL: JOHN@WESTCHESTERSERVICES.COM

PROJECT MANAGEMENT:
MATEC COMMUNICATIONS GROUP
SHELLEY TRAMPETTI@MATEC.COM
(651) 895-6922

CONSTRUCTION MANAGEMENT:
MATEC SOLUTIONS
DYLAN DAVIS
(612) 545-2301

ARCHITECT/ENGINEERING:
JOHN M. BANKS
ARCHITECT
BARRINGTON, IL 60010
CONTACT: JOHN M. BANKS
EMAIL: JOHN@WESTCHESTERSERVICES.COM

SITE INFORMATION

STRUCTURE LANDLORD: AT&T
PROPERTY OWNER: GARY MACON
CONTACT: (763) 383-3415
GARYMACON@GMAIL.COM
RFD ID: 37505
JURISDICTION: SHERBURNE COUNTY
PARCEL #: 63-04-151-001
CURRENT ZONING: RE
EXISTING USE: RESIDENCE/COMMUNICATIONS FACILITY
PROPOSED USE: RESIDENCE/COMMUNICATIONS FACILITY
LATITUDE (NAD 83): 45.402297 / 45° 23' 31.3"
LONGITUDE (NAD 83): -93.022097 / 45° 37' 33.9"
SITE ELEVATION: 1100.0' A.M.S.L.
POWER PROVIDER: COMINGUS ENERGY

ACCESSIBILITY REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY IS NOT REQUIRED.

REFERENCE NOTES

THESE PLANS WERE COMPLETED BY THE FOLLOWING PERSONNEL:
DATE: 01/04/2025
CONTRACTOR SHALL REQUEST CURRENT RFDS & WORKBOOK FROM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.
GC SHALL REVIEW AND COMPLY WITH MATEC NETWORK SOLUTIONS MOUNT/STRUCTURAL ANALYSIS DATED: 7.10.0.
PROJECT #: 15923586
GC SHALL REVIEW AND COMPLY WITH: TOWER STRUCTURAL ANALYSIS DATED: 7.10.0.

ANY DEVIATION THAT DIFFERS SUBSTANTIALLY FROM WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE ENGINEER OF RECORD. NO CHANGES THAT DEVIATE FROM THE DRAWINGS SHALL BE MADE DURING CONSTRUCTION WITHOUT ISSUING A CHANGE ORDER.
CONTACT: JOHN BANKS - JOHN@WESTCHESTERSERVICES.COM

SITE NAME:
FA LOCATION:
SITE ADDRESS:
STRUCTURE:
USID:
IWM:

BLUE LAKE
15923585/SITE ID: MNL01271
10057 289TH AVE. NW
ZIMMERMAN, MN 55398
175'-0" MONOPOLE
501989

WSUMW0042567 (PRIMARY), WSUMW0042563,
WSUMW0042561, WSUMW0042559, WSUMW0042562,
WSUMW0042560, WSUMW0042565, WSUMW0042566,
WSUMW0042564

LOCAL MAP



PROJECT DESCRIPTION

INSTALLATION OF AN UNMANNED TELECOMMUNICATIONS FACILITY BASED ON THE SCOPING DATED - COMPLETION OF THE FOLLOWING SCOPE:

ANTENNA LOCATION:

- INSTALL
 - (B) COMPOSITE MOUNTS FOR 1X1X1 ANTENNAS
 - (C) ERECTION 4800 252666A RRM
 - (D) ERECTION 4800 252666B RRM
 - (E) ERECTION 4800 252666C RRM
 - (F) ERECTION 4800 252666D RRM
 - (G) COMPOSITE SECTOR MOUNTS
 - (H) RAYCAP DCS48-50-3-CC-EM

EQUIPMENT LOCATION:

- INSTALL
 - (1) 24V VULC AND GENERATOR WITH CANNOPY
 - (2) 24V VULC
 - (3) 24V VULC
 - (4) 24V VULC
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 - (100) 24V VULC

DRIVING DIRECTIONS

SCAN FOR DRIVING DIRECTIONS:



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN MINNESOTA, CALL Gopher State ONE CALL
TOLL FREE: 1-800-252-1166 OR
FAX A LOCATE: 1-800-236-4987
www.gopherstateonecall.org
MINNESOTA STATUTE
REQUIRES MIN OF 48 HOURS
NOTICE BEFORE YOU
EXCAVATE



Know what's below.
Call before you dig.

GENERAL CONTRACTOR NOTES

DO NOT SCALE THESE DRAWINGS
THESE PLANS ARE FORMATTED TO BE FULL SIZE. AT 24" X 36". CONTRACTORS SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS OF THE JOB PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE WORK OR MATERIAL ORDERED OR BE RESPONSIBLE FOR THE SAME.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

STATEMENTS

STRUCTURAL ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THE DRAWINGS SET. FOR ANALYSIS OF EXISTING AND/OR PROPOSED COMPONENTS, REFER TO STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.
ANTENNA MOUNT ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWING SET. FOR ANALYSIS OF MOUNTS TO EXISTING STRUCTURES, REFER TO STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.



JOHN M. BANKS
ARCHITECT
504 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: JOHN@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION
1	09/27/23	POW/CONSTRUCTION
2	09/27/23	POW/CONSTRUCTION
3	10/21/23	POW/CONSTRUCTION
4	12/05/23	POW/CONSTRUCTION

NOT FOR CONSTRUCTION UNLESS
LABELLED AS CORRESPONDENT SET



SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

PARENT PARCEL DESCRIPTION: (per U.S. Title Solutions File No. U5T72384, dated September 27, 2022)

North Half of Southwest Quarter (N1/2SW1/4) of Section 25, Township 33, Range 26, less and except the South 417 feet 4 inches of the East 417 feet 4 inches of said North Half of the Southwest Quarter (N1/2SW1/4) of said Section 25, Township 33, Range 26, Sherburne County, Minnesota.

SCHEDULE "B" EXCEPTIONS: (per U.S. Title Solutions File No. U572394, dated September 27, 2022)

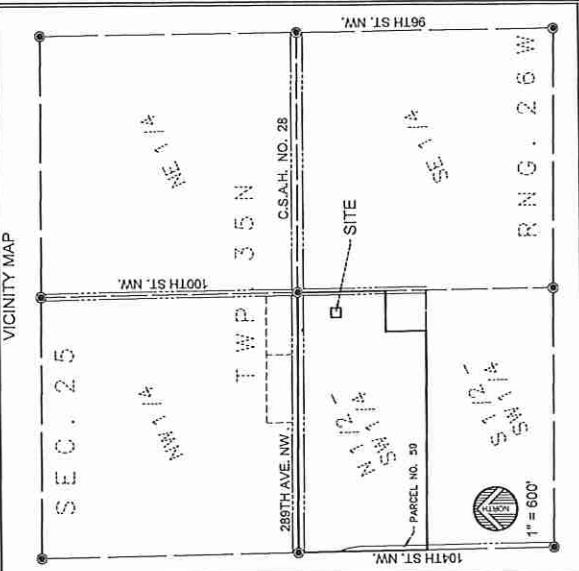
- 1-3.) Not related to the survey.
- 4.1) [Exemption by City of Madison to County of Shawano, a municipal corporation, Dated September 22, 2000, in Instrument No. 000326.
This document describes a drainage easement along the East right of way of CSA# No. 19. Said easement does not affect the surveyed area and is not shown on the survey.
- 4.2) [Exemption by City of Wausau to County of Shawano, a political subdivision of the State of Wisconsin, Dated September 22, 2000, in Instrument No. 000747.
This document describes a permanent right of way for roadway and utility purposes along the East right of way of HWY #101. Said easement does not affect the surveyed area and is shown on the survey in the vicinity map.
- 4.3) [Exemption by City of Wausau to US West Communications, Inc. Dated July 21, 2000, Reexpired August 23, 2000, in Instrument No. 0115030.
The document describes an easement for telecommunication purposes. Said easement does affect the surveyed area and is shown on the survey.
- 4.4) [Exemption by Luther and Nora Mason to County of Shawano, Dated November 27, 1972, Reexpired May 09, 1980, in Instrument No. 100460.
This document describes a permanent right of way for highway purposes. Said easement does affect the surveyed area and is shown on the survey.
- 4.5) [Exemption by Mary Ann to County of Shawano, Dated October 03, 1926, Reexpired November 21, 1956, in Instrument No. 000036.
This document describes a slope easement along the west side of the NW/2 of the SW/4. A Solid easement does not affect the surveyed area and is not shown on the survey.
- 5.1) Shawano County Highway Right of Way Plot No. 32. Recorded June 22, 2007. In Instrument No. 623443.
Plot No. 38 from this right of way plot is shown on the survey in the vicinity map.
- 6.) Not related to the survey.

[illegible]

SITE NAME: BLUE LAKE
SITE ID #: MNL01271
FA #: 15923585
10057 289th Ave NW
Zimmerman, MN 55398



2025



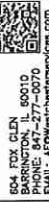
Utilities are per observed evidence and markings from
GOPHER STATE ONE CALL Locate Request Ticket No.
222620172, dated September 19, 2022 and Ticket No.
253151260, dated November 11, 2023.



DATE: 10/19/22

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: 10/19/22
BRYAN T. DALCOME, L.S.
LICENS# 42304



804 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: JIM@WESTCHESTERSERVICES.COM

JOHN M. BANKS
ARCHITECT
804 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
EMAIL: JIM@WESTCHESTERSERVICES.COM

REV.	DATE	DESCRIPTION
1	09/27/25	PROJECT/CONSTRUCTION
2	09/29/25	PROJECT/CONSTRUCTION
3	10/21/25	PROJECT/CONSTRUCTION
4	12/02/25	PROJECT/CONSTRUCTION

NOT FOR CONSTRUCTION UNLESS
APPROVED BY THE ARCHITECT



SITE NUMBER: MHL01271
SITE NAME: BLUE LAKE
FAX: 15923585
10057 283TH AVE. NW
ZIMMERMAN, MN 55398

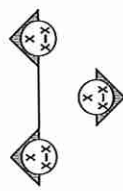
SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-1

ABBREVIATIONS:

AB.	ANCHOR BOLT	EXP.	EXPANSION	PG.	PRECAST CONCRETE
ABV.	ABOVE	EXT.	(C) EXISTING	PCS.	PERSONAL COMMUNICATION
ACCA.	ANTENNA CABLE COVER ASSEMBLY	FAL.	FAULT (CONDUCTOR)	PV.	PLYWOOD
ADTL.	ADDITIONAL	FGL.	FINISH GRADE	PVC.	POWDER PROTECTION CABINET
AF.F.	ADJOV FINISHED FLOOR	FGR.	FINISH GRADE	PWC.	POWDER PROTECTION CABINET
AF.G.	ADJOV FINISHED GRADE	FHR.	FLOOR	P.S.F.	POUNDS PER SQUARE FOOT
ALUM.	ALUMINUM	FIC.	FOUNDATION	P.S.L.	POUNDS PER SQUARE INCH
ALT.	ALTERNATE	F.O.C.	FACE OF CONCRETE	P.T.	PRESSURE TREATED
ANT.	ANTENNA	F.O.M.	FACE OF MASONRY	P.V.	POWDER CABINET
APPR.	APPROXIMATELY	F.O.S.	FACE OF STUD	QTY.	QUANTITY
ARCH.	ARCHITECTURAL	F.O.W.	FACE OF WALL	RAD.	RADIUS
ASG.	AMERICAN WIRE GAUGE	F.S.	FINISH SURFACE	REF.	REFERENCE
BAL.	BUILDING	FT. (')	FOOT FEET	REIN.	REINFORCEMENT (ING)
BALG.	BLOCKING	FTG.	FOOTING	RIGID.	RIGID GALVANIZED STEEL
BK.	BEAM	G.	GROWTH (CABINET)	RIGID.	RIGID GALVANIZED STEEL
BK.	BOUNDARY MARKING	GA.	GAUGE	SCH.	SCHEDULE
B.T.C.W.	BARE TRINED COPPER WIRE	GL.	GALVANIZED	SHT.	SHEET
B.F.	BOTTOM OF FOOTING	G.F.I.	GROUND FAULT CIRCUIT	SIM.	SIMILAR
B.G.	BACKUP CABINET	I.	INTERUPTER	SPEC.	SPECIFICATIONS
CAB.	CABINET	GLB. (GLULAM)	GLUE LAMINATED BEAM	SQ.	SQUARE
CANT.	CANTILEVERED	G.P.S.	GLOBAL POSITIONING SYSTEM	S.S.	STAINLESS STEEL
CIP.	CAST IN PLACE	GRD.	GROUND	STD.	STANDARD
CLG.	CEILING	HDR.	HEADER	STL.	STEEL
CLG.	CEILING	HDR.	HEADER	STRUC.	STRUCTURAL
COL.	COLUMN	HT.	HEIGHT	TEMP.	TEMPORARY
CONC.	CONCRETE	ICOB.	ISOLATED COPPER GROUND BUS	THK.	THICKNESS
CONN.	CONNECTION (H)	IN. (')	INCHES	T.N.	TOP OF ANTENNA
CONGT.	CONSTRUCTION	INT.	INTERIOR	T.O.A.	TOP OF CURB
CONT.	CONTINUOUS	LB. (#)	POUNDS	T.O.C.	TOP OF CURB
DBL.	DOUBLE	L.B.	LAG BOLTS	T.O.F.	TOP OF FOUNDATION
DEPT.	DEPARTMENT	L.	LINEAR FEET (FOOT)	T.O.P.	TOP OF PLATE (PARAPET)
D.F.	DOUGLAS FIR	L.F.	LONGITUDINAL	T.O.S.	TOP OF STEEL
DIA.	DIAMETER	MAG.	MASONRY	T.O.W.	TOP OF WALL
DIAG.	DIAGONAL	M.B.	MAXIMUM	TP.	TYPICAL
DIM.	DIMENSION	M.C.H.	MECHANICAL	U.G.	UNDERGROUND
DWG.	DRAWING(S)	MFR.	MANUFACTURER	U.L.	UNDERWRITERS LABORATORY
DWL.	DOWEL	MN.	MINIMUM	U.N.O.	UNLESS NOTIFIED OTHERWISE
EA.	EACH	MISC.	MISCELLANEOUS	V.F.	VERIFY IN FIELD
EL.	ELEVATION	MTC.	METAL	W	WITH
ELEC.	ELECTRICAL	MTL.	METAL	W.	WOOD
ELEV.	ELEVATION	(N)	NEW	WG.	WEATHERPROOF
E.L.A.T.	ELECTRICAL METALLIC TUBING	NO. (H)	NUMBER	WT.	WEIGHT
ENG.	ENGINEER	N.T.S.	NOT TO SCALE	W.	WENT
EQ.	EQUAL	O.C.	ON CENTER	W.	WENT

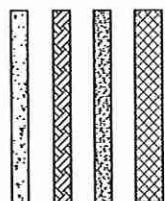
SYMBOLS SELECTED:



SECTION LINE



ELEVATION



CONCRETE



EARTH



GRAVEL



ICE BRIDGE / CABLE TRAY

MATCH LINE

GROUND CONDUCTOR

OVERHEAD SERVICE CONDUCTORS

TELEPHONE CONDUIT

POWER CONDUIT

CABLE CABLE

CHAIN LINK FENCE

WOOD FENCE

(C) EXISTING EQUIPMENT

(R) EQUIPMENT TO BE REMOVED

(N) EQUIPMENT TO BE INSTALLED

(RL) EQUIPMENT RELOCATED

NOTICE

Beyond This Point you are entering a controlled area where RF emissions may exceed the FCC General Population Exposure Limits. Follow all posted signs and site guidelines for working in a RF environment.

Ref: AT&T 1-1234567

CAUTION

Beyond This Point you are entering a controlled area where RF emissions may exceed the FCC Occupational Exposure Limits. Obey all posted signs and site guidelines for working in a RF environment.

Ref: AT&T 1-1234567

WARNING!

DANGER! DO NOT TOUCH TOWER!

SERIOUS RF RADIATION HAZARD! MAINTAIN AN APPROPRIATE SAFETY DISTANCE FROM ALL TOWER SUPPORTS AND CABLE WALKS.

PERMIT TO CLIMB ALL POWER LINES AND OTHER EQUIPMENT ARE REQUIRED TO AVOID PERSONAL INJURY. CONTACTS WITH ANY OF THESE EQUIPMENTS MAY BE FATAL. CONTACTS WITH ANY OF THESE EQUIPMENTS MAY BE FATAL. CONTACTS WITH ANY OF THESE EQUIPMENTS MAY BE FATAL.

AT&T

Property of AT&T Authorized Personnel Only

In case of emergency, or prior to performing maintenance, call the AT&T Emergency Service Center and reference the Site Number: 1234567890

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INFO. SIGN #2

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[illegible]

2. FABRICATION CONTINUOUSLY SEAM-UNITED MEMBERS BY CONTINUOUS ROLL OR ONE-PIECE METHOD.
3. FINISH:
 - a. FORMS STRUCTURAL COMPONENT SURFACES IN ACCORDANCE WITH 303° C (571° F).
 - b. STRUCTURAL STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED.

NOTE: 3. - DISCUSSION

EXAMINATION AND PREPARATION

1. VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE TO PERFORM THE WORK.

DIRECTIONS

1. ADVISE DESIGNER (ASAP) RESPECT TO PREPARATION BECAUSE THE VARIOUS ALLOWABLE DIMENSIONS MUST BE COMPLETED BY DESIGNER AND DETAILER OF FABRICATOR BEFORE AND DURING THE HOT-DIPPING PROCESS.
2. ADVISE DESIGNER (ASAP) RESPECT TO PREPARATION BECAUSE THE VARIOUS ALLOWABLE DIMENSIONS MUST BE COMPLETED BY DESIGNER AND DETAILER OF FABRICATOR BEFORE AND DURING THE HOT-DIPPING PROCESS.
3. ADVISE DESIGNER (ASAP) RESPECT TO PREPARATION BECAUSE THE VARIOUS ALLOWABLE DIMENSIONS MUST BE COMPLETED BY DESIGNER AND DETAILER OF FABRICATOR BEFORE AND DURING THE HOT-DIPPING PROCESS.

4. PIPES TO BE GALVANIZED WITH THE NEW PART (ALL EXISTING AND NEW PARTS).
5. FIELD INSPECTION OF WELDERS, CONNECTIONS, WELDS AND BOLT / NUT TIGHTENING.

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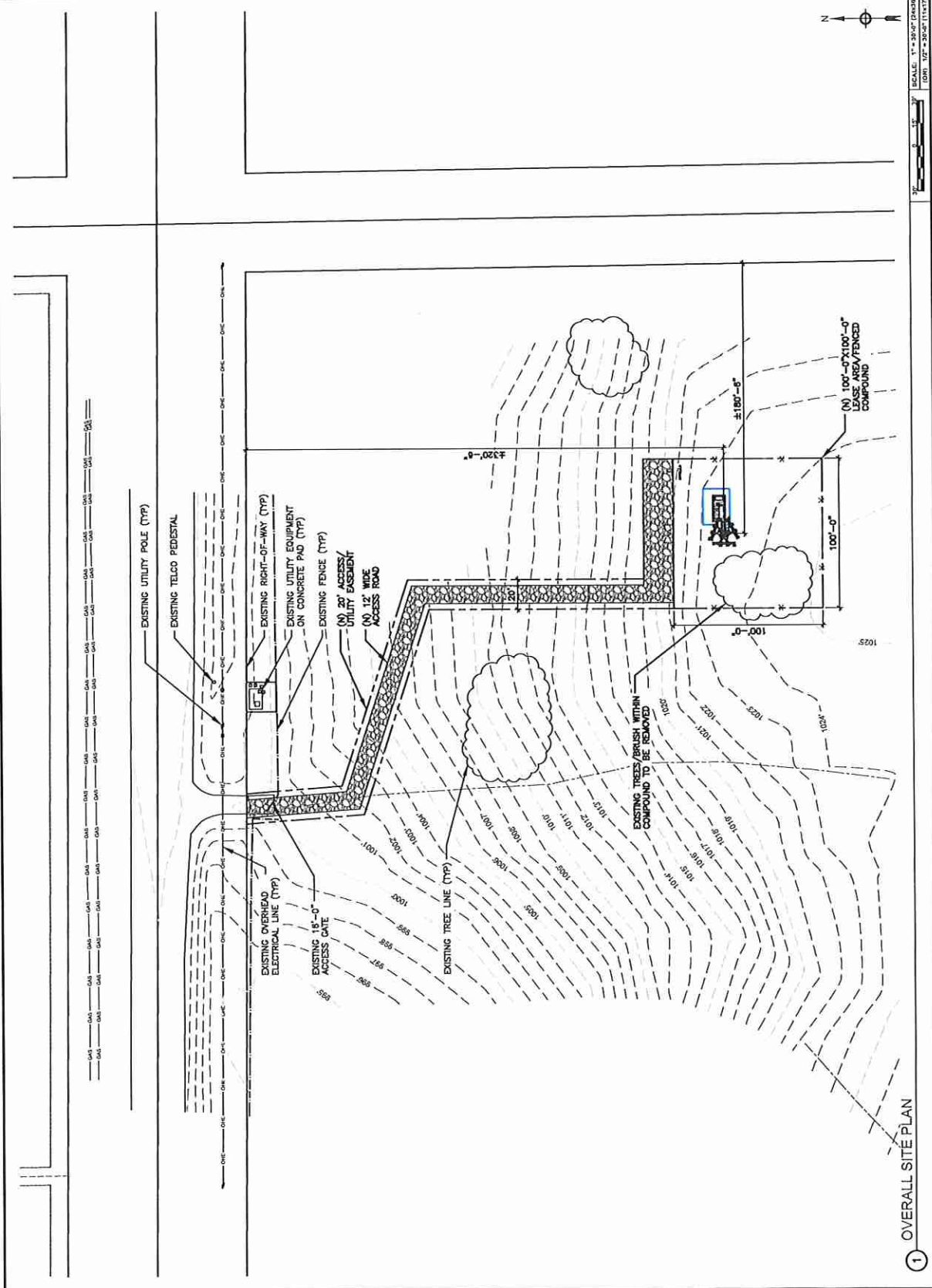
REV.	DATE	DESCRIPTION	BY
1	05/27/23	PODMT/CONSTRUCTION	JS
2	06/20/23	PODMT/CONSTRUCTION	JS
3	10/21/23	PODMT/CONSTRUCTION	RA
4	12/09/23	PODMT/CONSTRUCTION	RA



SITE NUMBER: MN01271
SITE NAME: BLUE LAKE
F&P: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
**OVERALL
SITE PLAN**

SHEET NUMBER
C-1





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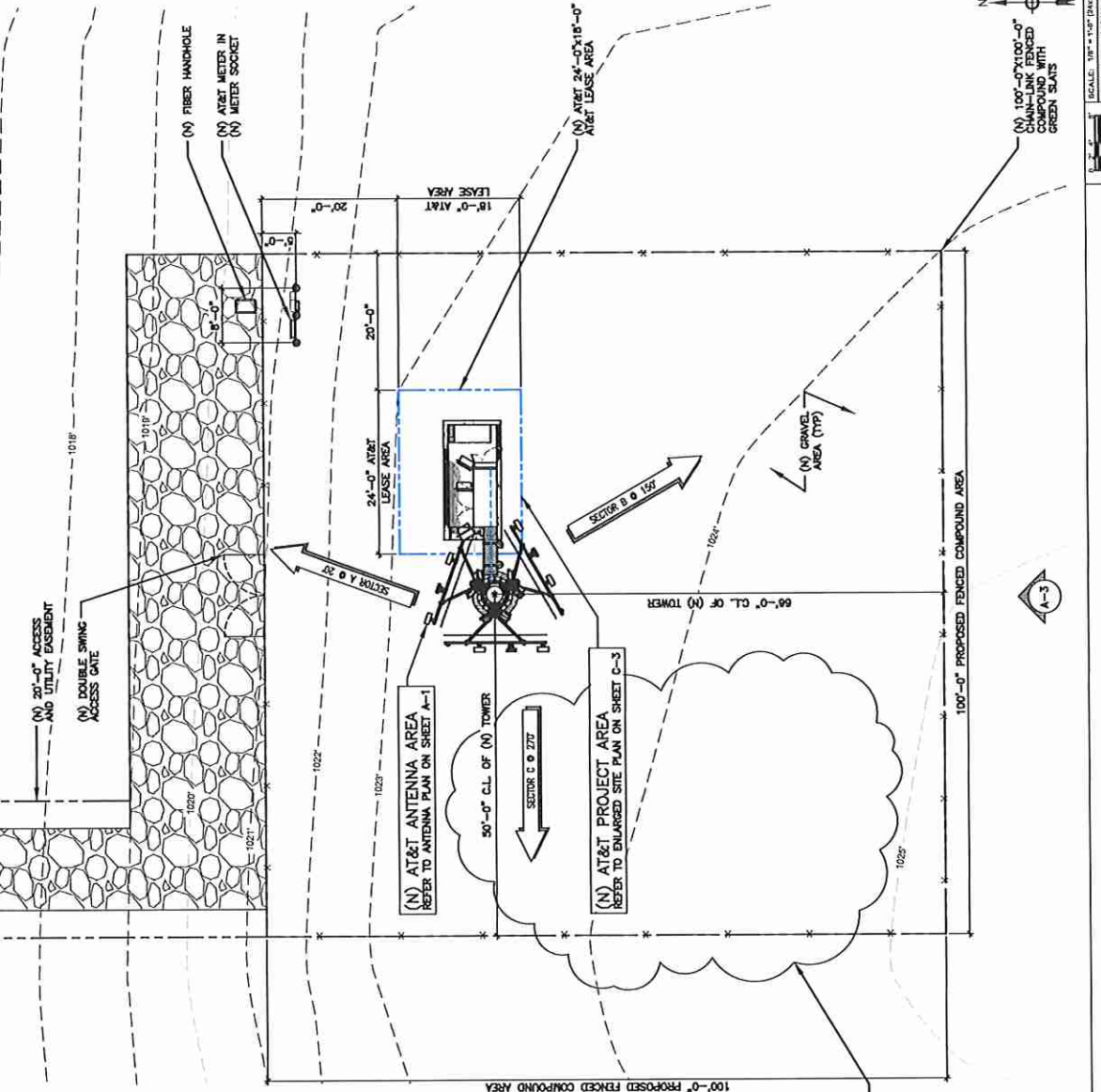
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1	05/27/23	POINT/CONSTRUCTION AS
2	06/20/23	POINT/CONSTRUCTION AS
3	10/21/23	POINT/CONSTRUCTION BA
4	12/05/23	POINT/CONSTRUCTION BA



SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAP#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

COMPOUND PLAN

SHEET NUMBER
C-2



- NOTE:
PER NATIONAL WETLANDS INVENTORY
SURFACE WATER AND WETLANDS - THIS
SITE IS NOT LOCATED IN A WETLAND.
- NOTES:
1. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
 2. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
 3. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
 4. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
 5. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
 6. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
 7. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
 8. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
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 14. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
 15. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.
 16. ALL PLANTS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF USE AND REMOVAL.



EQUIPMENT PLAN

NOTE:
PER NATIONAL WETLANDS INVENTORY
SURFACE WATER AND WETLANDS - THIS
SITE IS NOT LOCATED IN A WETLAND.



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REV.	DATE	DESCRIPTION
1	06/27/23	PROJ/CONSTRUCTION
2	08/20/23	PROJ/CONSTRUCTION
3	10/21/23	PROJ/CONSTRUCTION
4	12/05/23	PROJ/CONSTRUCTION

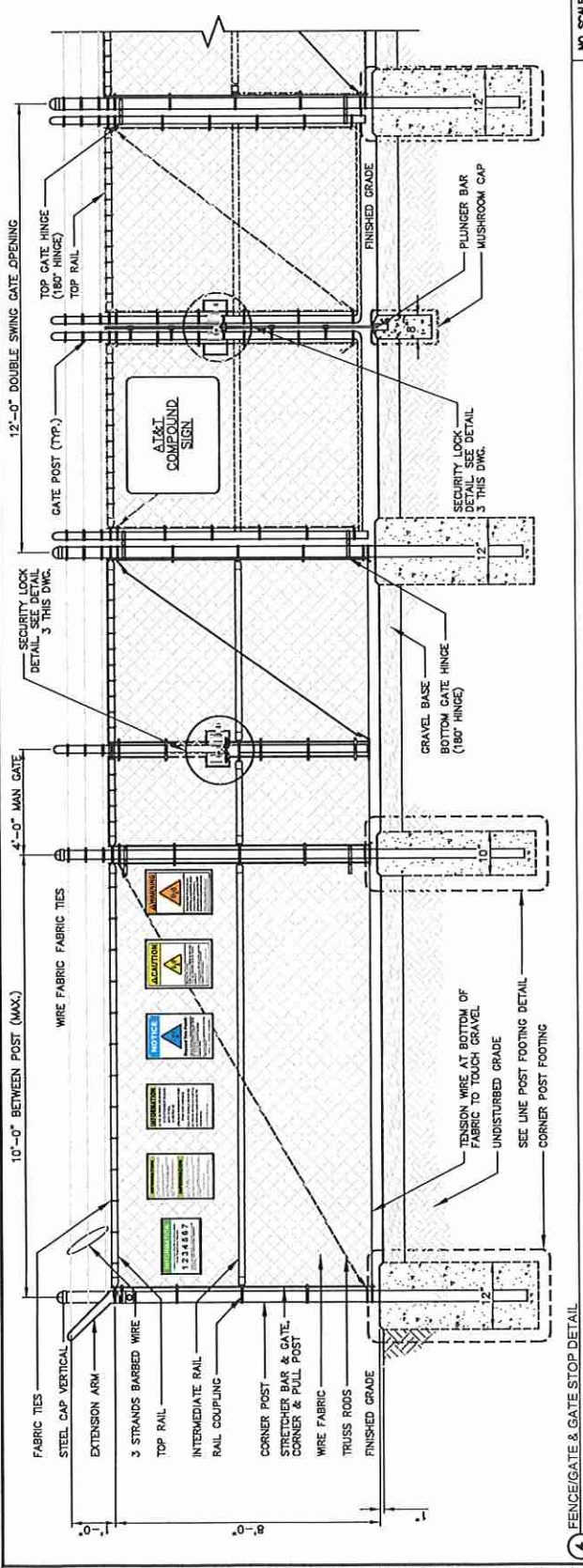
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UNLESS AS NOTED OTHERWISE



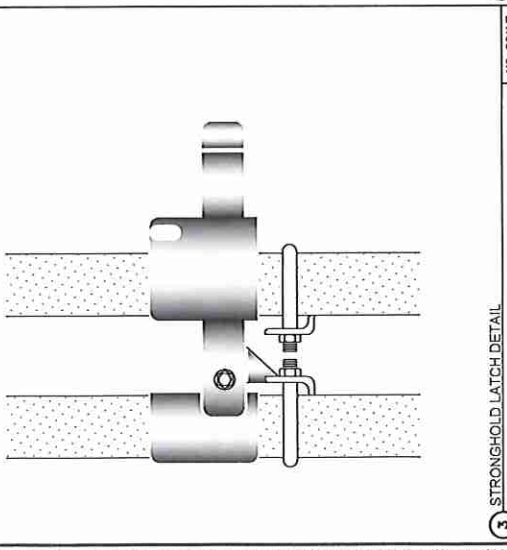
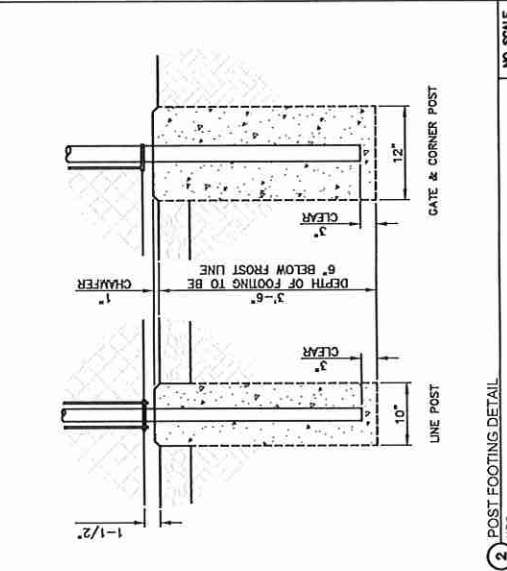
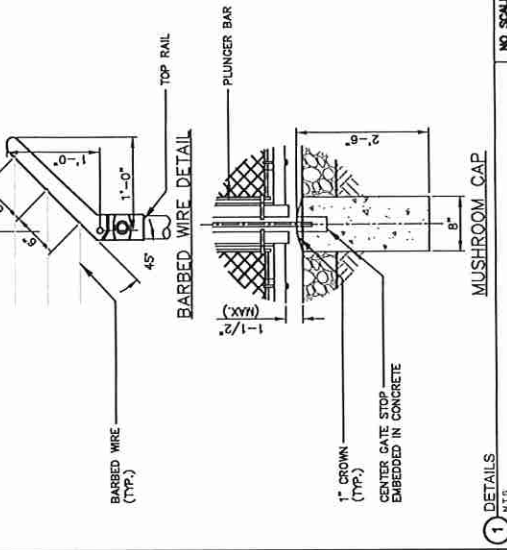
SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C-4



4 FENCE/GATE & GATE STOP DETAIL
N.T.S.



1 DETAILS
N.T.S.
2 POST FOOTING DETAIL
N.T.S.
3 STRONGHOLD LATCH DETAIL
N.T.S.



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REV.	DATE	DESCRIPTION	BY
1	09/27/23	POWAT/CONSTRUCTION	JS
2	09/29/23	POWAT/CONSTRUCTION	JS
3	10/21/23	POWAT/CONSTRUCTION	PA
4	12/04/23	POWAT/CONSTRUCTION	PA

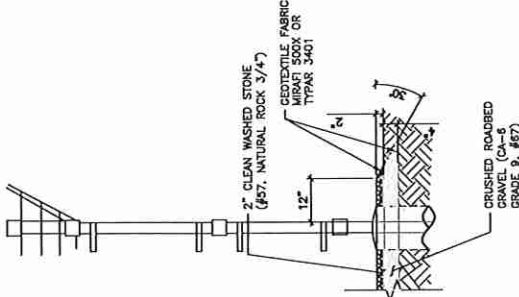
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APPROVED AS INDICATED HERE



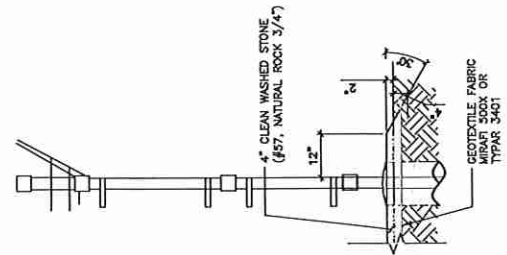
SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAC#: 15923585
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SHEET TITLE
SITE DETAILS

SHEET NUMBER
C-5



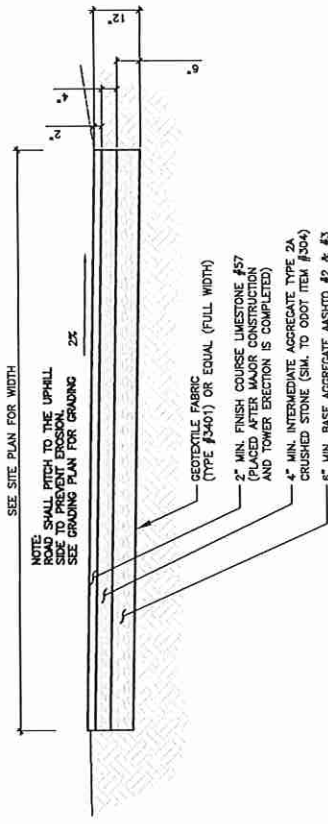
2 ALTERNATE COMPOUND GRAVEL DETAIL
N.T.S.



1 TYPICAL COMPOUND GRAVEL DETAIL
N.T.S.

4 NOT USED
N.T.S.

5 NOT USED
N.T.S.



3 GRAVEL DRIVE DETAIL
N.T.S.

NOTE:
GENERAL CONTRACTOR SHALL
ENSURE A MINIMUM OF 12"
CLEARANCE FROM BACK OF MOUNT
TO ANY NON-ANTENNA EQUIPMENT



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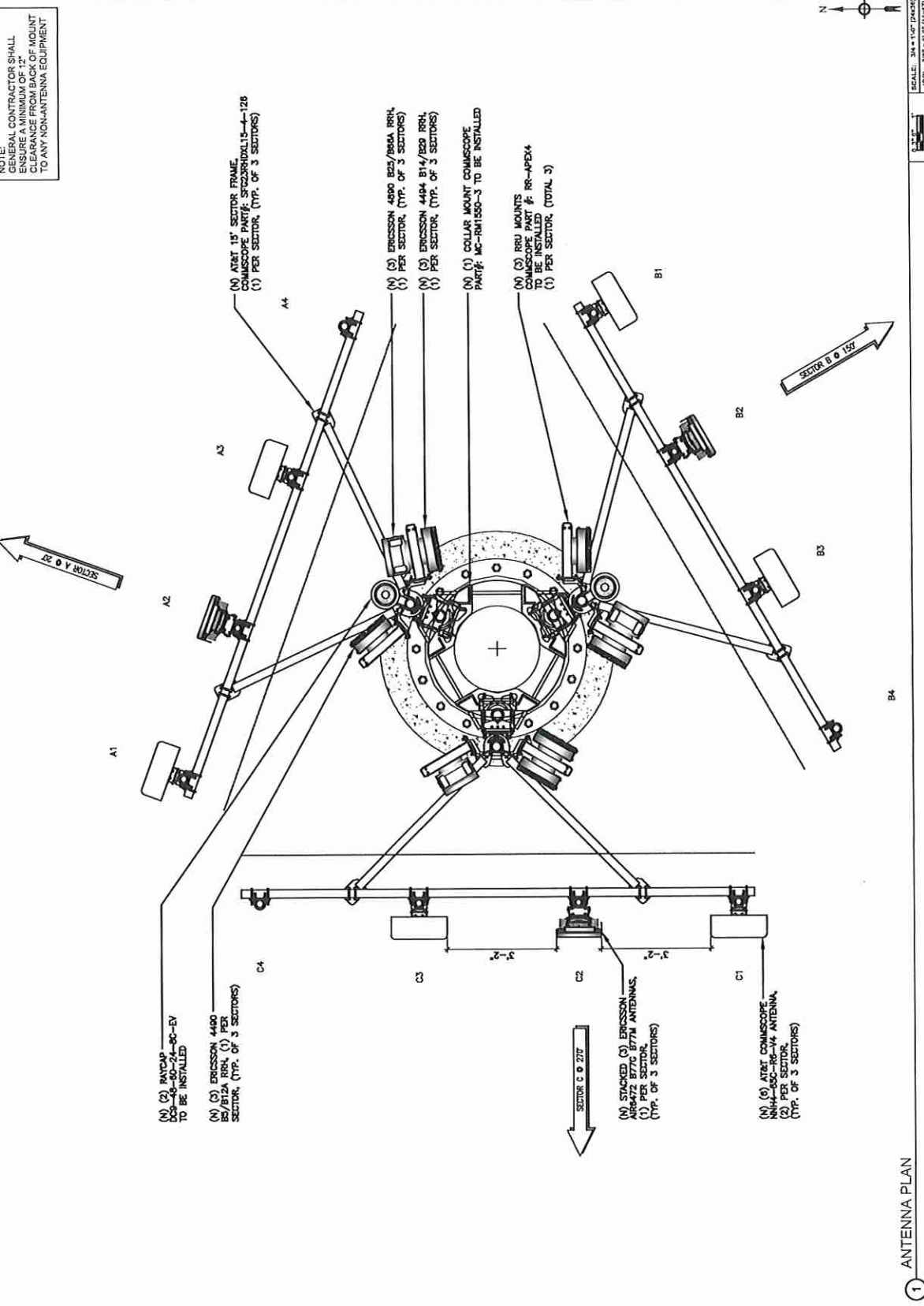
REV.	DATE	DESCRIPTION
1	05/27/23	PDMA/CONSTRUCTION
2	06/20/23	PDMA/CONSTRUCTION
3	10/21/23	PDMA/CONSTRUCTION
4	12/05/23	PDMA/CONSTRUCTION



SITE NUMBER: MND1271
SITE NAME: BLUE LAKE
FAX: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

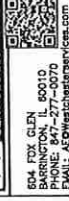
SHEET TITLE
ANTENNA PLAN

SHEET NUMBER
A-1



1 ANTENNA PLAN

NOTE:
1. CONTRACTOR TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDs) PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO USE ROSENBERGER FIBER LINE HANGER COMPONENTS (OR ENGINEER APPROVED EQUAL).



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REV.	DATE	DESCRIPTION
1	06/27/23	POW/CONSTRUCTION JS
2	06/29/23	POW/CONSTRUCTION JS
3	10/21/23	POW/CONSTRUCTION BA
4	12/05/23	POW/CONSTRUCTION BA

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SITE NAME: BLUE LAKE
FAX: 15923585
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ZIMMERMAN, MN 55398

SHEET TITLE
ANTENNA & RRH
REQUIREMENTS

SHEET NUMBER
A-2

FINAL ANTENNA AND TRANSMISSION EQUIPMENT REQUIREMENTS (VERIFY WITH LATEST RFDs)

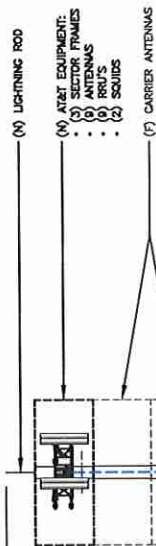
SECTOR	RAD CENTER	POSITION	ANTENNA TILT		AZIMUTH	ANTENNA MODEL	TECHNOLOGY	RRH / TMA	SURGE & DISTRIBUTION	
			MECH	ELEC					MODEL	CABLE (QTY) TYPES
A	171°-0°	1	-	-	20°	COMMSCOPE NNH4-85C-R8-V4	LTE	ERICSSON 4480 B5/B12A		
	171°-0°	2	-	-	20°	ERICSSON AIR8472 B77G B77M W/INTEGRATED RADIOS	5G C-BAND	-		
	171°-0°	3	-	-	20°	COMMSCOPE NNH4-85C-R8-V4	LTE	ERICSSON 4484 B14/B23 ERICSSON 4890 B25/B66A		
	-	4	-	-	-	-	-	-		
B	171°-0°	1	-	-	150°	COMMSCOPE NNH4-85C-R8-V4	LTE	ERICSSON 4480 B5/B12A		
	171°-0°	2	-	-	150°	ERICSSON AIR8472 B77G B77M W/INTEGRATED RADIOS	5G C-BAND	-		
	171°-0°	3	-	-	150°	COMMSCOPE NNH4-85C-R8-V4	LTE	ERICSSON 4484 B14/B23 ERICSSON 4890 B25/B66A		
	-	4	-	-	-	-	-	-		
C	171°-0°	1	-	-	270°	COMMSCOPE NNH4-85C-R8-V4	LTE	ERICSSON 4480 B5/B12A		
	171°-0°	2	-	-	270°	ERICSSON AIR8472 B77G B77M W/INTEGRATED RADIOS	5G C-BAND	-		
	171°-0°	3	-	-	270°	COMMSCOPE NNH4-85C-R8-V4	LTE	ERICSSON 4484 B14/B23 ERICSSON 4890 B25/B66A		
	-	4	-	-	-	-	-	-		

(2) BAYCAP
DC9-48-80-24-8C-EV

(4) DC POWER TRUNKS &
(1) 24-PAIR FIBER TRUNKS

NOTE TO BIDS VENDOR:
ANCHOR BOLTS, SAFETY PEDS,
AND PORTHOLES TO BE BY BIDS
ANCHOR TO CORRELATE WITH
ANTENNA ROADS AND TOWERS

- TOP OF HIGHEST APPLURTEANCE
ELEV. 179'-0" AGL
- I.D. (N) MONOPOLE
ELEV. 175'-0" AGL
- I.D. (N) AT&T PANEL ANTENNAS
ELEV. 175'-0" AGL
- (N) AT&T ANTENNAS RAD CENTER
ELEV. 171'-0" AGL



(N) 175'-0" MONOPOLE

(N) AT&T (1) 24-PAR FIBER TRUNKS
(N) (1) 24-PAR FIBER TRUNKS ROUTED INSIDE
OF (2) 2" BINDERDUCTS

(N) AT&T W.U.C. CABINET WITH
CANOPY AND GENERATOR
(N) H-FRAME WITH EQUIPMENT
(N) CHAIN LINK FENCE (TYP)

GRADE (REF)
ELEV. 0'-0" AGL

1 ELEVATION

SCALE: 1" = 10'-0" (2438)
(OR) 1/2" = 10'-0" (1147)



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REV.	DATE	DESCRIPTION	BY
1	06/27/23	PERMIT/CONSTRUCTION	JS
2	06/28/23	PERMIT/CONSTRUCTION	JS
3	10/21/23	PERMIT/CONSTRUCTION	BA
4	12/05/23	PERMIT/CONSTRUCTION	BA

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VALID FOR CONSTRUCTION SET



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SITE NUMBER: MN01271
SITE NAME: BLUE LAKE
FAX: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
ELEVATION

SHEET NUMBER
A-3



☐ NOT USED



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REV.	DATE	DESCRIPTION	BY
1	06/27/23	POINT/CONSTRUCTION	JS
2	08/29/23	POINT/CONSTRUCTION	JS
3	10/21/23	POINT/CONSTRUCTION	BA
4	12/05/23	POINT/CONSTRUCTION	BA

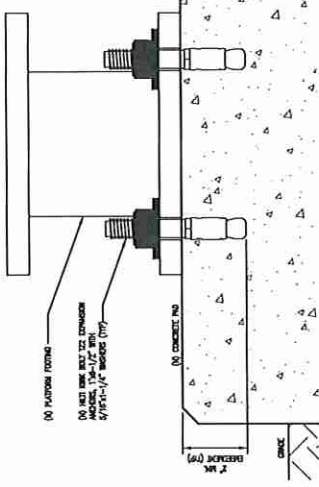
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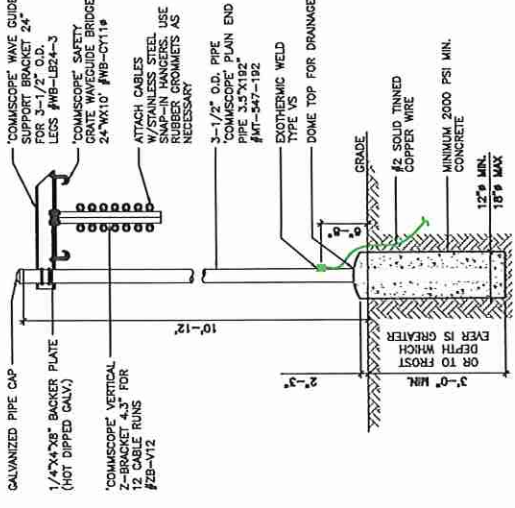
SITE NUMBER: MN101271
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FA#: 15923585
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ZIMMERMAN, MN 55398

SHEET TITLE
DETAILS

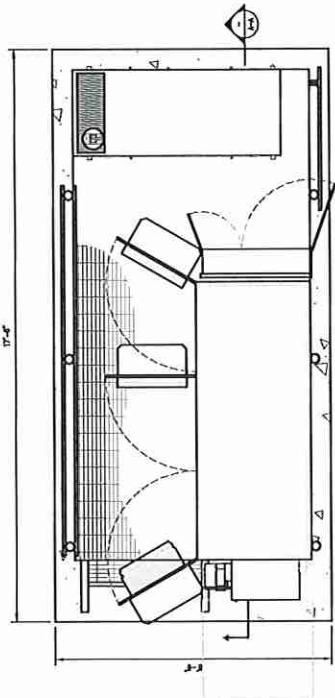
SHEET NUMBER
D-2



2 PLATFORM ANCHOR DETAIL
N.T.S.

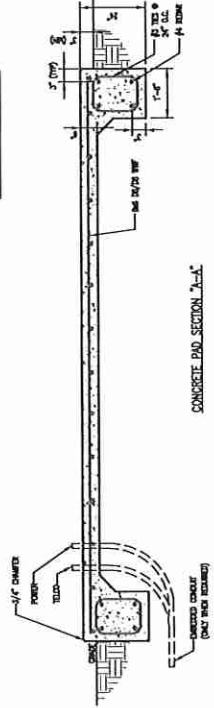


1 ICE BRIDGE DETAIL
N.T.S.



CONCRETE PAD PLAN

- NOTES:
1. CONCRETE PAD SHALL BE A MINIMUM 12\"/>
 2. PAD TO BE 1/2\"/>
 3. DIMENSIONS 3/4\"/>



CONCRETE PAD SECTION "A-A"

WUC FOUNDATION PLAN DETAILS
N.T.S.



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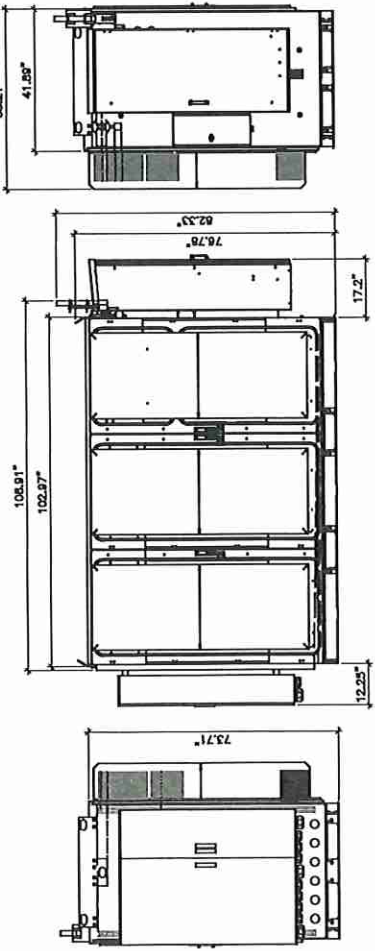
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2	09/29/23	POBMT/CONSTRUCTION	JS
3	10/21/23	POBMT/CONSTRUCTION	BA
4	12/09/23	POBMT/CONSTRUCTION	BA



SITE NUMBER: MNLD1271
SITE NAME: BLUE LAKE
FA# 15923585
10057 288TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
CABINET DETAILS

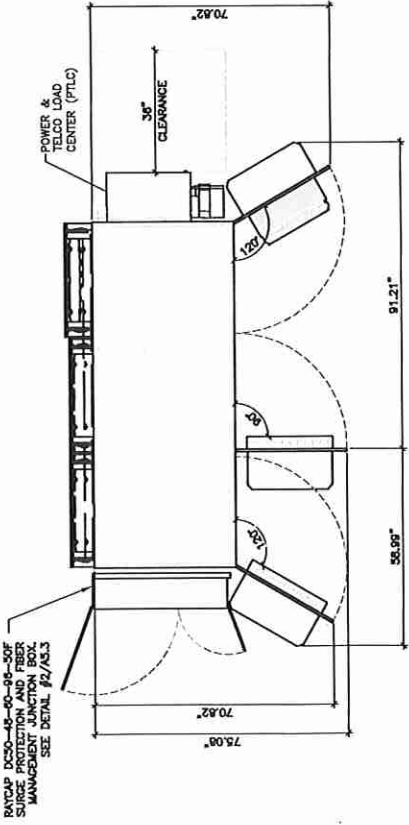
SHEET NUMBER
D-3



RIGHT VIEW

FRONT VIEW

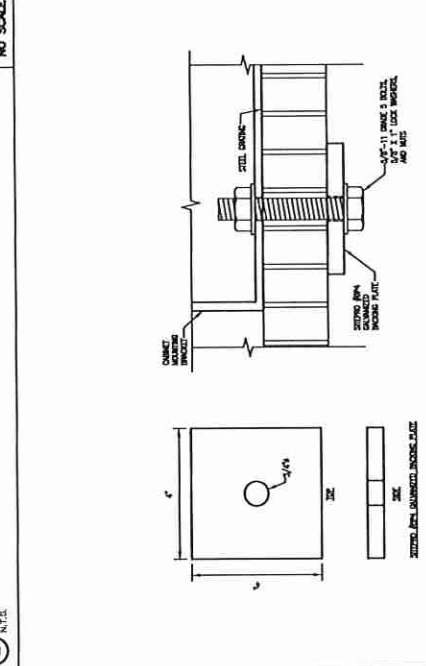
LEFT VIEW



TOP VIEW

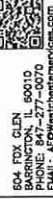
SPECIFICATIONS:	
VENDOR:	VERTIV 3-BAY ENCLOSURE
MODEL #:	F2220030
DIMENSIONS (HxWxD):	82.33" x 102.97" x 53.21"
WEIGHT:	SHIPPING: 1,642 lbs LIFT: 2,842 lbs ON PAD: 4,442 lbs (incl. BATTERIES & 1,200 lbs CUSTOMER EQUIP)
LIFT:	COOL WHITE

2 CABINET GROUNDING DETAILS
N.T.S.



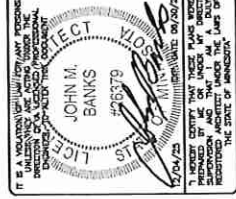
1 GENERATOR ANCHOR DETAIL
N.T.S.

3 WALK UP CABINET (W.U.C.) DETAIL
N.T.S.



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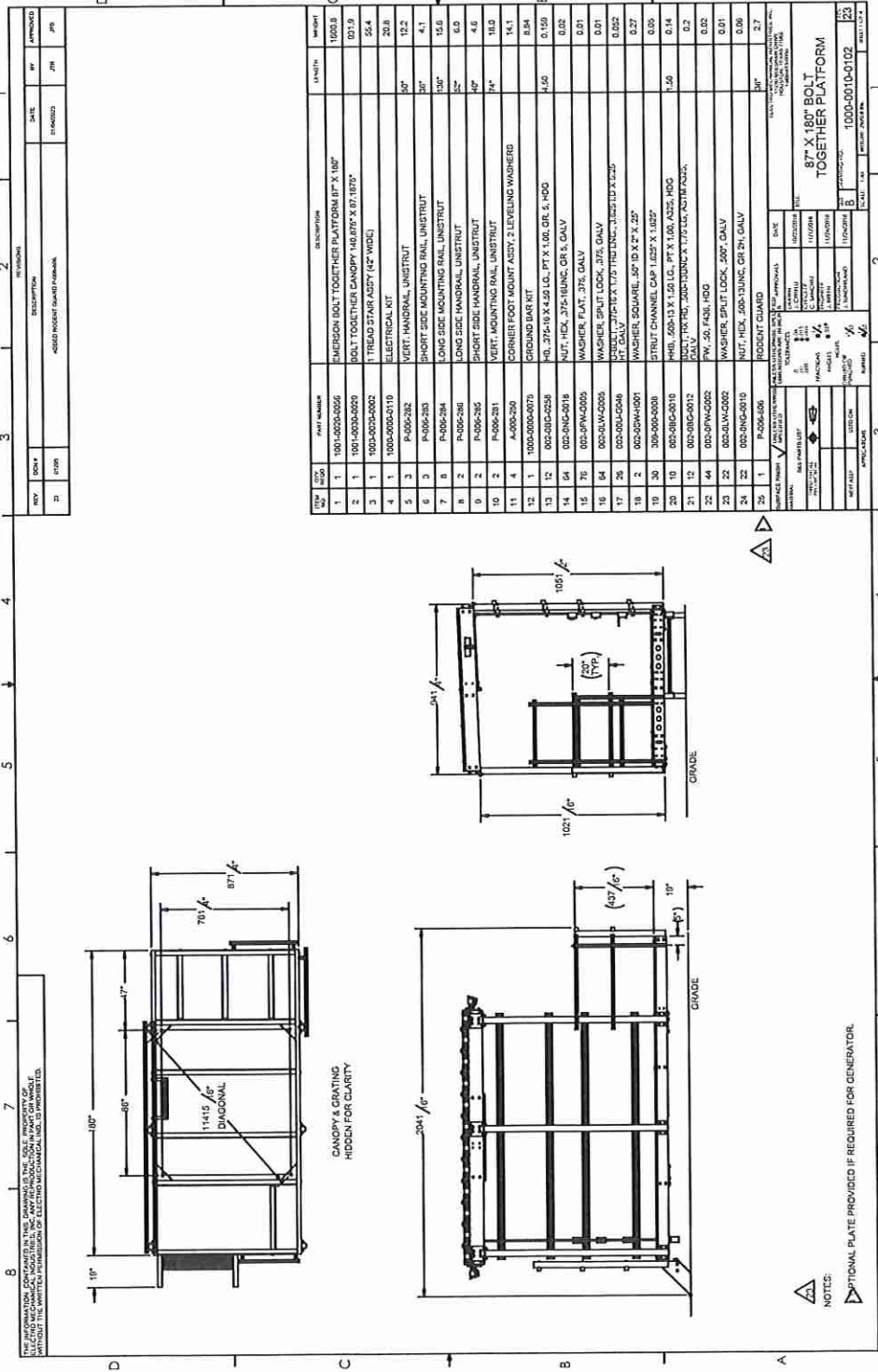
REVISIONS	
NO.	DESCRIPTION
1	10/27/23 POINT/CONSTRUCTION AS
2	08/20/23 POINT/CONSTRUCTION AS
3	10/21/23 POINT/CONSTRUCTION BA
4	12/02/23 POINT/CONSTRUCTION BA
NOT FOR CONSTRUCTION	
DATED 25 OCTOBER 2023	



SITE NUMBER: MN0101271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
PLATFORM AND CANOPY DETAILS

SHEET NUMBER
D-4



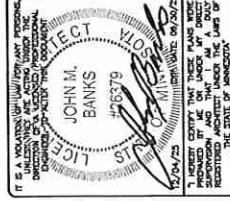
NOTE:
OPTIONAL PLATE PROVIDED IF REQUIRED FOR GENERATOR.



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REV.	DATE	DESCRIPTION	BY
1	09/27/23	POINT/CONSTRUCTION	JS
2	09/29/23	POINT/CONSTRUCTION	JS
3	10/01/23	POINT/CONSTRUCTION	BA
4	12/09/23	POINT/CONSTRUCTION	BA
NOT FOR CONSTRUCTION UNLESS Labeled AS CONSTRUCTION SET			

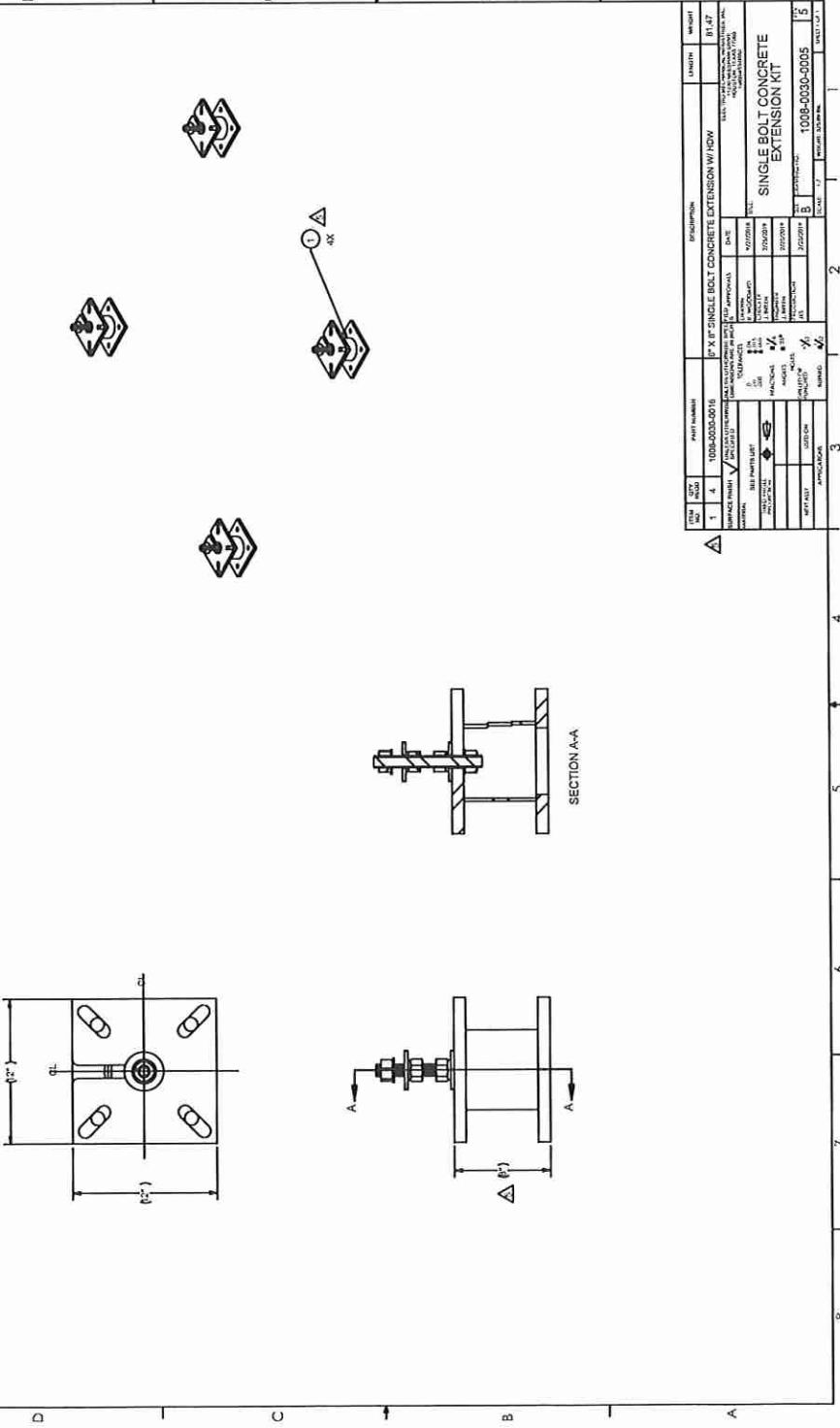


SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
**PLATFORM AND
CANOPY DETAILS**

SHEET NUMBER
D-5

REV.	DATE	DESCRIPTION	BY
1	01/06	REPLACED 1008-0030-0005 WITH 1008-0030-0016	JTB
2	11/02/21		JTB



ITEM	QUANTITY	UNIT	WEIGHT
1	4	1008-0030-0016	81.47
2	4	1008-0030-0005	15
3	4	1008-0030-0005	15
4	4	1008-0030-0005	15
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8	4	1008-0030-0005	15

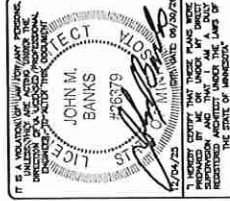
1 PLATFORM LEG DETAILS
N.T.S.



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REV.	DATE	DESCRIPTION
1	09/27/25	PERMIT/CONSTRUCTION
2	09/29/25	PERMIT/CONSTRUCTION
3	10/21/25	PERMIT/CONSTRUCTION
4	12/09/25	PERMIT/CONSTRUCTION



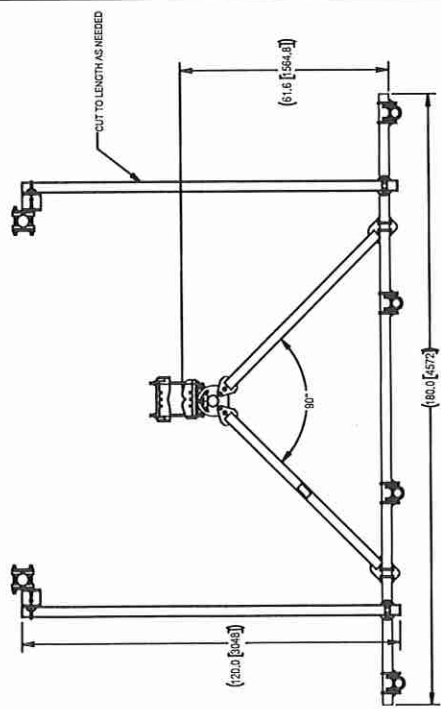
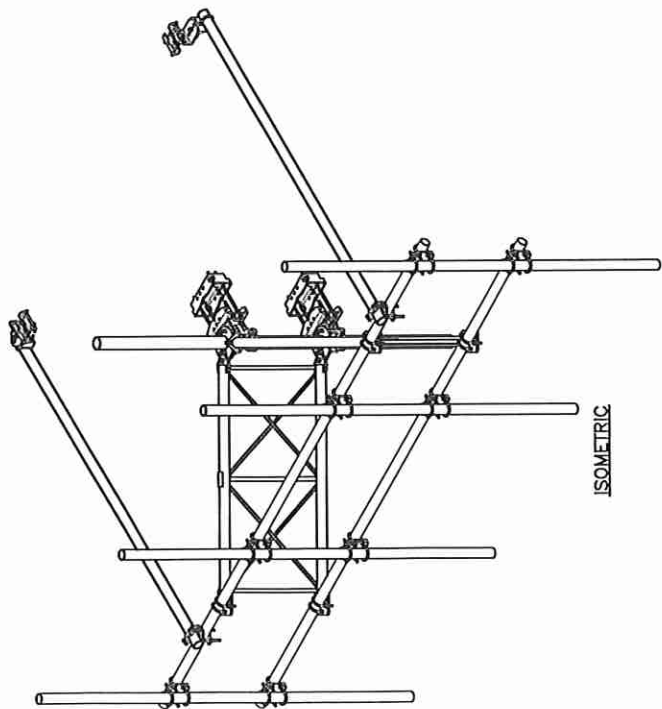
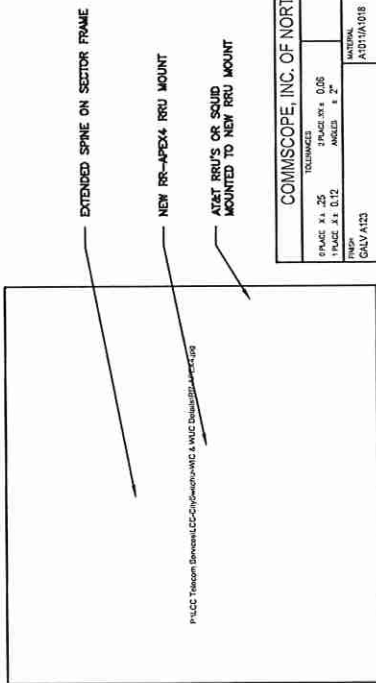
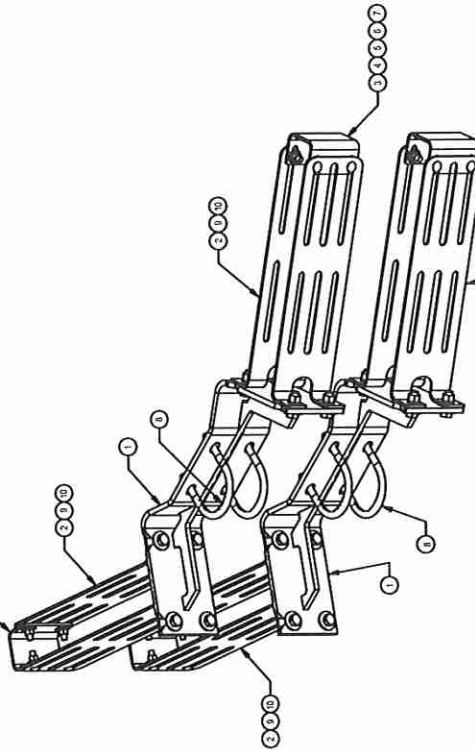
SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAP#: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55358

SHEET TITLE
MOUNT DETAILS

SHEET NUMBER
D-6

ITEM	DATE	DESCRIPTION	QTY	NOTES
1	09/27/25	SECTOR FRAME BRACKET	2	
2	09/27/25	BRACKET	8	
3	09/27/25	BRACKET	8	
4	09/27/25	BRACKET	16	
5	09/27/25	BRACKET	16	
6	09/27/25	BRACKET	16	
7	09/27/25	BRACKET	16	
8	09/27/25	BRACKET	16	
9	09/27/25	BRACKET	16	
10	09/27/25	BRACKET	16	

NOTES:
1.0 GENERAL
1.1 FOR INTER-DIMENSIONS ARE IN BRACKETS
1.2 FOR INTER-DIMENSIONS ARE IN BRACKETS
2.0 BASIS OF DESIGN
2.1 BASIS OF DESIGN
2.2 BASIS OF DESIGN
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2.49 BASIS OF DESIGN
2.50 BASIS OF DESIGN



1 RRU MOUNT DETAIL
N.T.S.

2 SFG23RDXLJS-4-126 SECTOR FRAMES DETAIL
N.T.S.



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REV.	DATE	DESCRIPTION	BY
1	09/27/23	POINT/CONSTRUCTION	JS
2	09/29/23	POINT/CONSTRUCTION	JS
3	10/21/23	POINT/CONSTRUCTION	PA
4	12/09/23	POINT/CONSTRUCTION	PA

NOT FOR CONSTRUCTION UNLESS
DULLED AS CONSTRUCTION SET

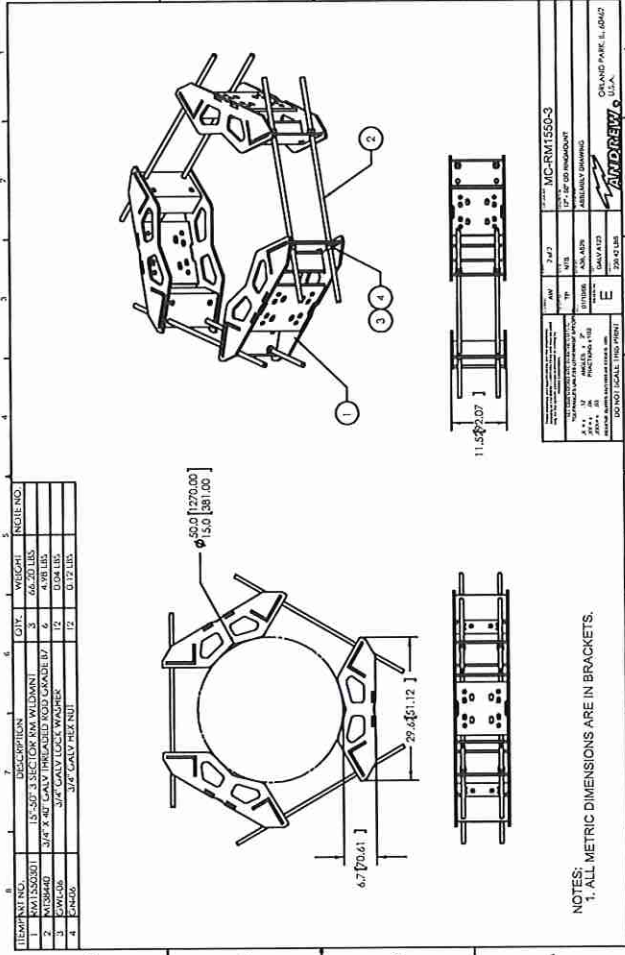
IT IS A VIOLATION OF LAW FOR ANY PERSON
UNLICENSED TO PREPARE OR SIGN
ARCHITECTURAL DRAWINGS OR
ENGINEERING DRAWINGS FOR THE
CONSTRUCTION OF A STRUCTURE
WITHOUT BEING A MEMBER OF THE
ILLINOIS PROFESSIONAL ARCHITECTS
BOARD OR THE ILLINOIS PROFESSIONAL
ENGINEERS BOARD.

JOHN M. BANKS
#06379
ILLINOIS PROFESSIONAL ARCHITECT
LICENSED 09/24/23 EXPIRATION DATE 09/20/28

SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAX: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

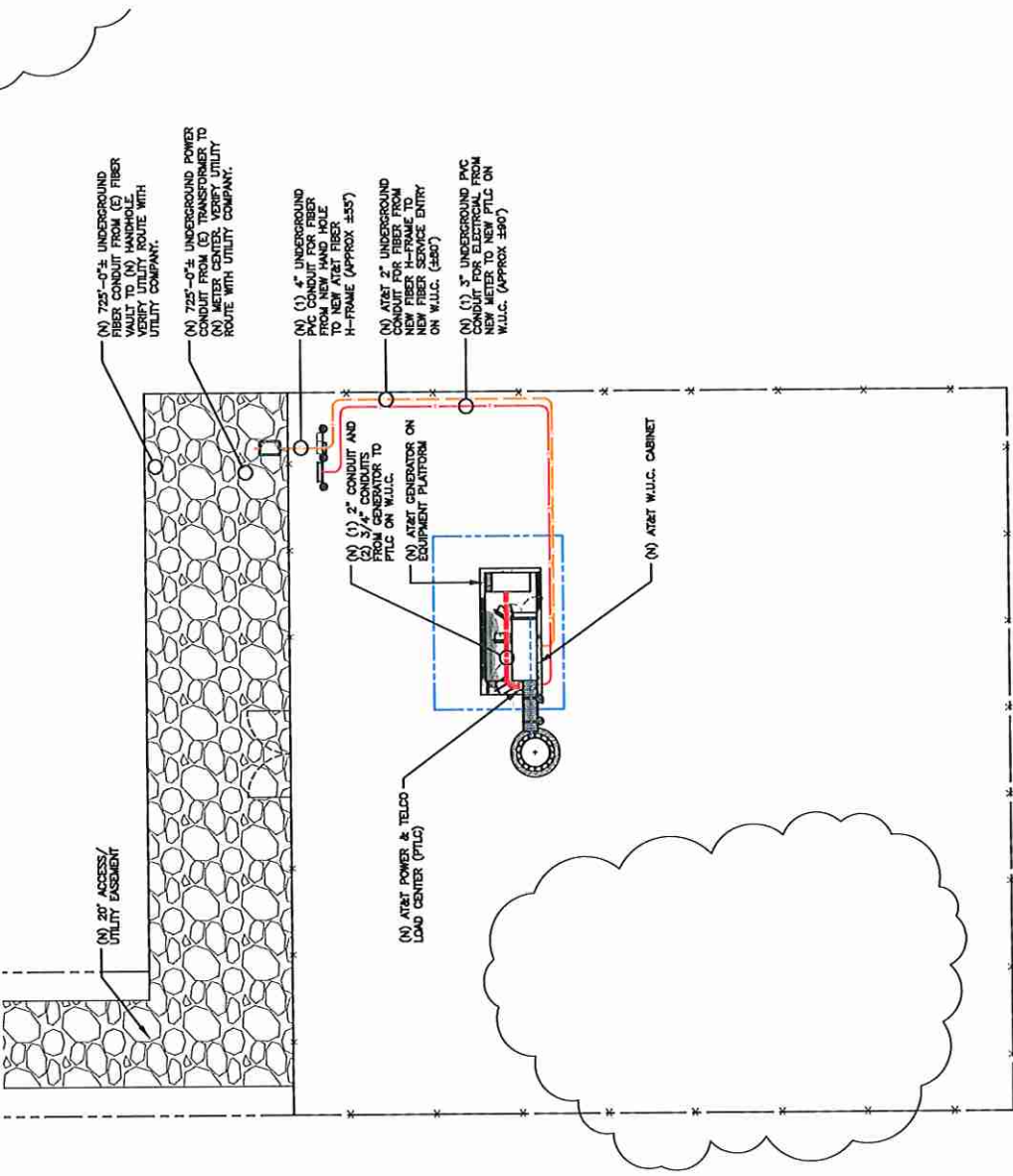
SHEET TITLE
MOUNT DETAILS

SHEET NUMBER
D-7



2 MC-RM1550-3 COLLAR MOUNT DETAIL
N.T.S.

NOTE:
UTILITY ROUTE SUBJECT TO CHANGE
PENDING UTILITY COORDINATION



NOTES

- EXISTING ICE BRIDGE
- UNDERGROUND POWER
- UNDERGROUND UTILITIES
- UNDERGROUND FIBER AND POWER
- UNDERGROUND FIBER

LEGEND

OVERALL ELECTRICAL PLAN

1



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REV.	DATE	DESCRIPTION	BY
1	05/27/23	POINT/CONSTRUCTION	JS
2	08/20/23	POINT/CONSTRUCTION	JS
3	10/21/23	POINT/CONSTRUCTION	BA
4	12/20/23	POINT/CONSTRUCTION	BA

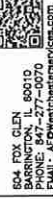


SITE NUMBER: MN01271
SITE NAME: BLUE LAKE
FAC: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
OVERALL ELECTRICAL PLAN

SHEET NUMBER
E-1

SCALE: 1/4" = 1'-0" (24X18)
(OR) 1/8" = 1'-0" (12X12)



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REV.	DATE	DESCRIPTION
1	05/27/23	POBMT/CONSTRUCTION
2	08/29/23	POBMT/CONSTRUCTION
3	10/21/23	POBMT/CONSTRUCTION
4	12/05/23	POBMT/CONSTRUCTION

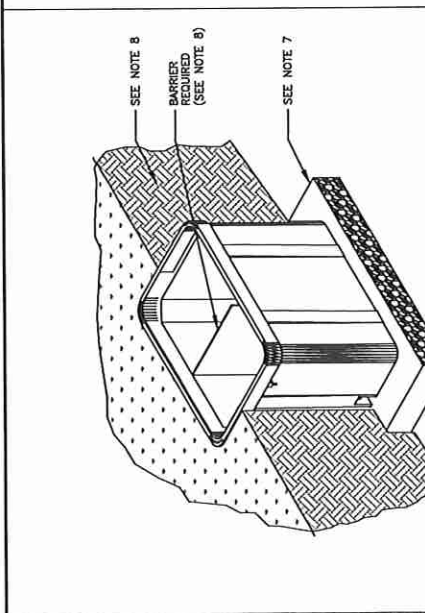
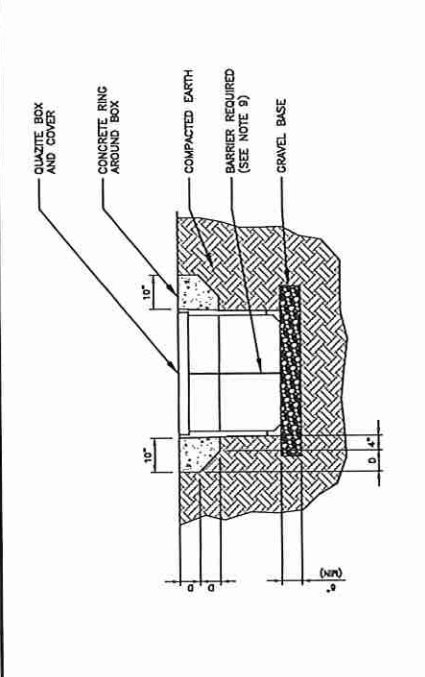


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SHEET TITLE
**ELECTRICAL
DETAILS**

SHEET NUMBER
E-3

- CONCRETE COLLARS MAY BE DESIRED FOR INSTALLATIONS IN DRIVEWAYS, PARKING LOTS AND OPEN AREAS WHERE EXCESSIVE TRAFFIC MAY BE ENCOUNTERED. THIS APPLIES TO BOXES MADE FROM ANY MATERIAL. THIS IS NOT NECESSARY IN GRASSY AREAS OR AREAS SUBJECT TO PEDESTRIAN TRAFFIC.
- CONCRETE ENCASEMENT TO BE 3,000 PSI MIN.
- CONCRETE ENCASEMENT COLLAR DIMENSION "D" TO BE EQUAL TO DESIGN PAVEMENT DEPTH.
- PAVEMENT AND SUBGRADE TO BE SHOWN ON THE ENGINEERING PLANS.
- EXCAVATE THE HOLE APPROXIMATELY 6 TO 8" DEEPER THAN SUGGESTED HAND HOLE BURIAL DEPTH.
- COMPACT THE SUBSOIL WITH A BACK-HOE OR A HYDRAULIC TAMPER. ADD APPROXIMATELY 6 TO 8" OF GRAVEL TO THE BOTTOM OF HOLE.
- PLACE THE HAND HOLE ON THE LEVELLED GRAVEL BED.
- BACK-FILL WITH LOOSE EARTH MATERIAL UP TO THE TOP OF THE COLLAR. PLACE THE COLLAR OVER THE BACK-FILL WITH CHUNKS OF FROZEN MATERIAL OR LARGE ROCKS NEXT TO THE GROUND SLEEVE. PACK THE BACK-FILL MATERIAL BY FOOT TAMPING. NO MACHINE TAMPING.
- PROVIDE BARBER HUBBELL QUARTZITE # PG 2435B300 OR APPROVED 24"x36"x20" UL TIER 22 HAND HOLE.



1. PG BOX WITH NO CONCRETE COLLAR MOUNTED IN CONCRETE PAVEMENTS

2. CONCRETE COLLAR APPLICATION MOUNTED IN ASPHALT PAVEMENT

3. CONCRETE COLLAR APPLICATION MOUNTED IN COMPACTED SOIL

SCALE: N.T.S.

SCALE: N.T.S.

SCALE: N.T.S.

NOTES

NOTES

NOTES

1. TOWER ANTENNA EQUIPMTN GROUNDING ONE-LINE

2. CONCRETE COLLAR APPLICATION MOUNTED IN ASPHALT PAVEMENT

3. CONCRETE COLLAR APPLICATION MOUNTED IN COMPACTED SOIL

SCALE: N.T.S.

SCALE: N.T.S.

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SCALE: N.T.S.

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3. CONCRETE COLLAR APPLICATION MOUNTED IN COMPACTED SOIL

SCALE: N.T.S.

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SCALE: N.T.S.

NOTES

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NOTES

- (A) GROUNDING BAR EXTEND TWO FEET TO THE TOWER. WELD TWO ANG THINNED CU CONDUCTORS FROM BURNED GROUNDED RING UP TO THE HATCHPLATE GROUNDING BAR AND MAKE A MECHANICAL CONNECTION.
- (B) GROUND ROD COPPER CLAD STEEL 3/8" (10) TEN FEET LONG. ALL GROUNDING MUST BE INSTALLED WITH INSPECTION SLEEVES.
- (C) ICE BRIDGE SUPPORT POOL GROUNDING. EXTEND #2 AWG THINNED CU CONDUCTOR FROM BURNED GROUNDED RING TO ALL ICE BRIDGE SUPPORT POSTS AND EXTERIOGRAPHIC WELD.
- (D) FENCE GROUNDING: IF FENCE IS WITHIN 6' OF GROUNDED RING, EXTEND #2 AWG THINNED CU CONDUCTOR FROM BURNED GROUNDED RING TO FENCE POSTS EXTERIOGRAPHICALLY WELDING. FENCING FABRIC SHALL BE GROUNDED AT ALUMINUM CORNER POST. (2) REDTIL GROUND INTERMEDIATE POST TO MAINTAIN 25'-0" MAX SPACING.
- (E) PROPOSED TOWER GROUNDING. EXTEND TWO (2) #2 AWG THINNED CU CONDUCTOR FROM BURNED GROUNDED RING TO EACH LEG OF PROPOSED TOWER. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR GROUNDING CONNECTIONS TO THE TOWER. (APPLICABLE TO NEW TOWERS ONLY.)
- (F) INTERNAL GROUNDING BAR EXTEND TWO (2) #2 AWG THINNED CU CONDUCTOR FROM BURNED GROUNDED RING AND CONNECT TO THESE BARS DIRECTLY TO TOWER. SECURE TO TOWER WITH STAINLESS STEEL MOUNTING MATERIAL.
- (G) GATE GROUNDING. EXTEND #2 AWG THINNED CU CONDUCTOR FROM BURNED GROUNDED RING TO GATE POSTS AND EXTERIOGRAPHICALLY WELD. SEE DETAIL C-6.
- (H) TEST GROUND ROD WITH INSPECTION SLEEVE. CUTTER SHALL BE USED TO VERIFY THAT THE ROD IS 10 FEET LONG WITH INSPECTION SLEEVE.
- (I) MASTER GROUNDING BAR EXTEND TWO (2) #2 AWG THINNED CU CONDUCTORS FROM BURNED GROUNDED RING TO THE TOWER AND TO THE TOWER GROUNDING BAR. EXTERIOGRAPHIC CONNECTIONS.
- (J) GROUNDING BAR LOCK BOX. TESSCO PART # 351546; INSTALL PER MANUFACTURER REQUIREMENTS.
- (L) THE INTO GROUNDED RING. (2) REDTIL
- (M) INTERNAL GROUNDING BAR EXTEND TWO (2) #2 AWG THINNED CU CONDUCTOR FROM BURNED GROUNDED RING AND CONNECT TO THE PROPOSED ANTENNA GROUNDING BAR. EXTERIOGRAPHICALLY WELD. FENCING FABRIC SHALL BE GROUNDED AT TOWER WITH STAINLESS STEEL MOUNTING MATERIAL.
- (N) PROPOSED EQUIPMENT CABINET. SEE MANUFACTURER SPECIFICATIONS FOR ALL INTERIOR EQUIPMENT GROUNDINGS.

1. GROUNDING IS SHOWN DIAGMATICALLY ONLY, FOR GROUNDING DETAILS SEE DRAWINGS E-5 THROUGH E-4.
2. TESTING SHALL BE PERFORMED AT ALL SITES WHERE ADJUSTMENTS OR ADDITIONS ARE MADE TO THE EXISTING GROUNDING SYSTEM AND SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS 79-76418. THE CONTRACTOR SHALL START WITH RESULTS FROM PRE-(CONSTRUCTION) AND POST-CONSTRUCTION OHM TESTING (GROUNDING) RESULTS AND USE THE FOLLOWING STANDARDS 79-76418.
THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE SUPPLEMENTAL GROUNDING FIELD PRIOR TO FINAL EQUIPMENT. THE TEST SHALL BE PERFORMED BY AN INDEPENDENT TEST RESULTS TO THE PROJECT MANAGER FOR REVIEW. THE GROUNDING SYSTEM RESISTANCE TO EARTH GROUNDING SHALL NOT EXCEED (5) OHMS. IF THE GROUNDING SYSTEM DOES EXCEED (5) OHMS, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL GROUNDING RODS AND CONNECTIONS AS REQUIRED TO MEET THE (5) OHMS MAXIMUM.
3. THE INSPECTOR HAVING JURISDICTION SHALL INSPECT ALL GROUNDING CONNECTIONS FOR TIGHTNESS. ANY DEFECTIVE WORK SHALL BE IMMEDIATELY CORRECTED AND REAPPROVED BEFORE BEING PERMANENTLY CONCEALED.
4. FOR ALL CONNECTIONS TO THE GROUNDING RING, SEE THE SHELLER MANUFACTURER'S DRAWINGS.
5. WHEN AN EXISTING METER RACK IS BEING UTILIZED AND A NEW METER IS INSTALLED IN THE EXISTING METER RACK, THE CONTRACTOR SHALL REMOVE ALL CONDUCTORS OF THE EXISTING GROUNDING RING. THE CONTRACTOR SHALL BE EXTENDED TO THE PROPOSED GROUNDING RING AND BECOME A COMPLETE GROUNDING SYSTEM.
6. CONTRACTOR SHALL GROUND ALL EQUIPMENT INCLUDING ANTENNAS, RET MOTORS, TMAs, COAX CABLES AND RET CONTROL CABLES TO THE GROUNDING RING. ALL GROUNDING SHALL BE PROVIDED BY QUALIFIED WIREMEN IN COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
7. FOR GROUNDING INSTALLATIONS WHICH HAVE A LIMITED AREA AND ARE ONLY REQUIRED TO BE INSTALLED WITHIN THE LEASE AREA ONLY, THE GROUNDING RING CONDUCTORS CAN BE INSTALLED UNDER THE SHELLERY'S FOOTINGS.
8. MAIN GROUNDING CONDUCTORS SHALL BE ROUTED AND BONDED TO ALL ELECTRICAL EQUIPMENT. THE NEW GROUNDING SYSTEM SHALL BE IN ACCORDANCE WITH THE SPECIFICATION LISTS STATED IN 79-76418. THE NEW GROUNDING SYSTEM SHALL BE BONDED (2 PLACES) TO EACH BUILDING STRUCTURE. LIGHTNING PROTECTION SHALL BE INSTALLED ON ALL BUILDING STRUCTURES. LIGHTNING PROTECTION SYSTEMS, BUILDING MAIN GROUNDING SYSTEM AND/OR NEW WATER SUPPLY IF APPLICABLE. BUILDINGS AND/OR NEW TOWERS GREATER THAN 75 FEET IN HEIGHT AND THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE. THE CONTRACTOR SHALL ROUTE INTO GROUNDING AND CONNECT TO THE BUILDING MAIN GROUNDING RING. ALL COPPER FOOTING GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM. THE BUILDING STEEL, COULDS, LIGHTNING PROTECTION SYSTEMS, METAL PIPING UNITS, SEE ATTACHMENT GROUNDING AND BONDING STANDARDS 79-76416 SPECIFICATION 8.3.2.2.



NOTES

LEGEND



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SERVICES LLC

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REVISIONS		
REV.	DATE	DESCRIPTION
1	05/27/23	PERMIT/CONSTRUCTION
2	08/29/23	PERMIT/CONSTRUCTION
3	10/21/23	PERMIT/CONSTRUCTION
4	12/06/23	PERMIT/CONSTRUCTION

NOT FOR CONSTRUCTION UNLESS
LABELLED AS CONSTRUCTION SET



SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FA#: 15923585
10057 289TH AVE. NW
ZIMMERMAN MN 55398

SHEET TITLE

COMPOUND
GROUNDING PLAN

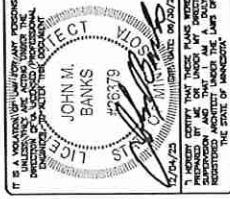
SHEET NUMBER
E-4



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BARRINGTON, IL 60010
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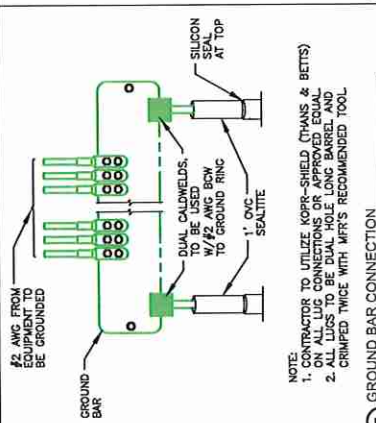
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4	12/06/23	POINTE/CONSTRUCTION RA
5	12/06/23	POINTE/CONSTRUCTION RA



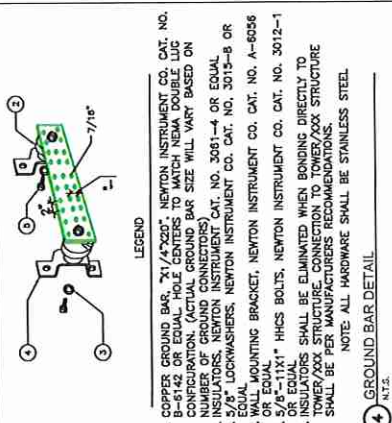
SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAC: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55358

**GROUNDING
PLANS & NOTES**

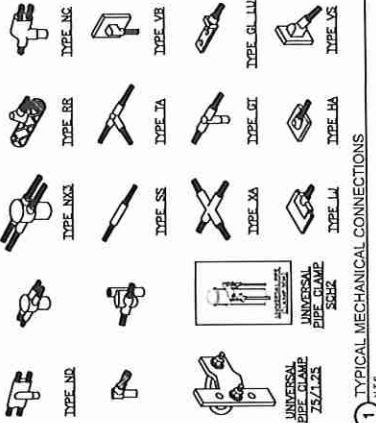
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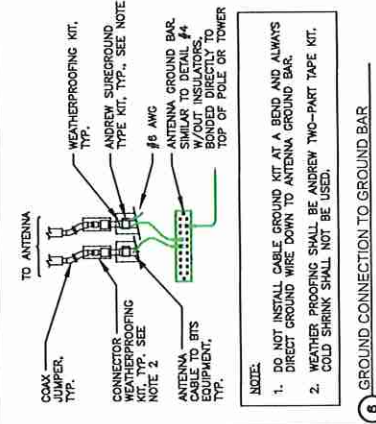
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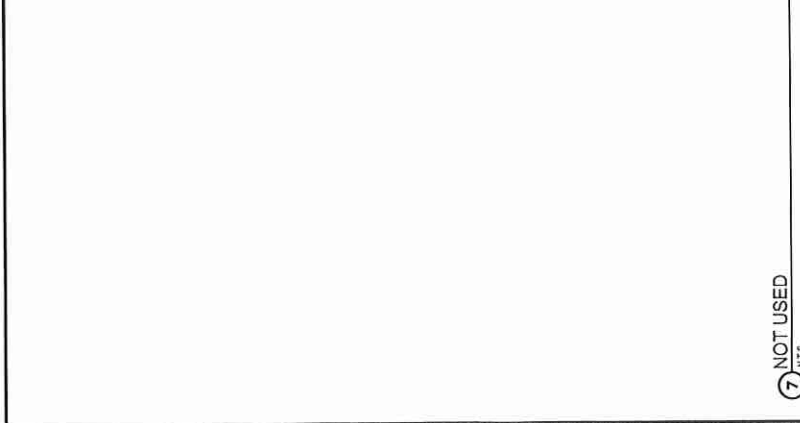
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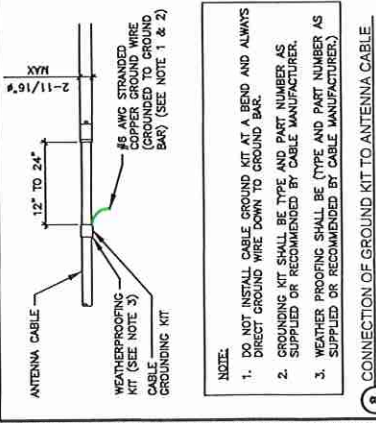
4 GROUND BAR DETAIL
N.T.S.



5 GROUND CONNECTION TO GROUND BAR
N.T.S.



6 CONNECTION OF GROUND KIT TO ANTENNA CABLE
N.T.S.



7 NOT USED
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8 GROUND CONNECTION TO ANTENNA
N.T.S.

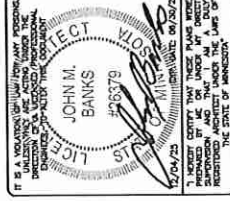
9 GROUND CONNECTION TO ANTENNA
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804 FOX GLEN
BARRINGTON, IL 60010
PHONE: 847-277-0070
FAX: 847-277-0071
EMAIL: JIM@WESTCHESTER-SERVICES.COM

JOHN M. BANKS
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804 FOX GLEN
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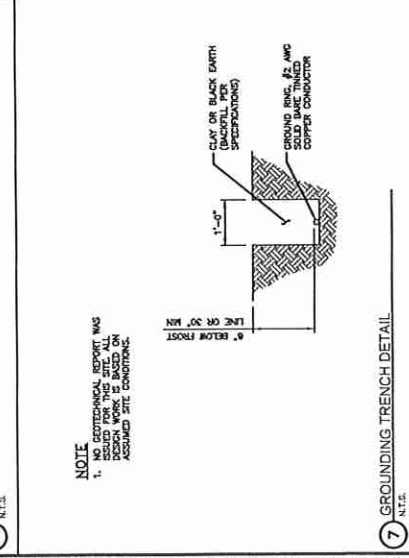
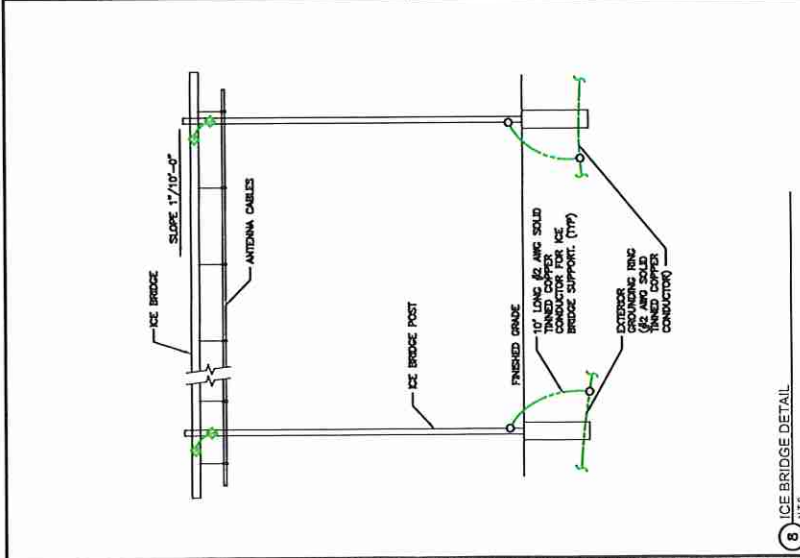
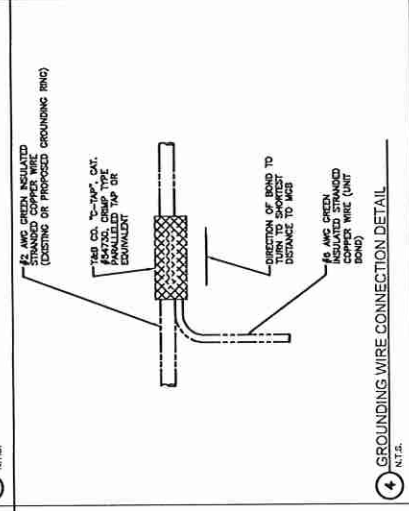
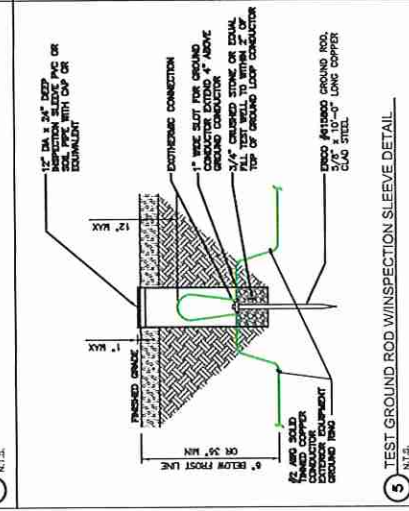
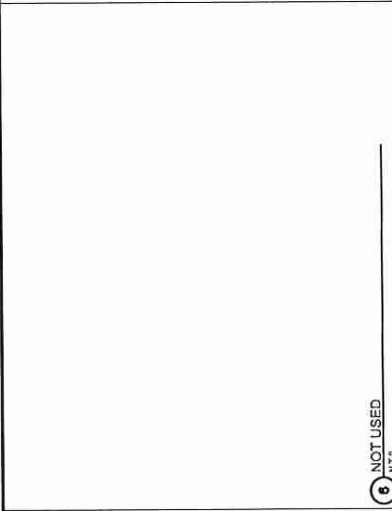
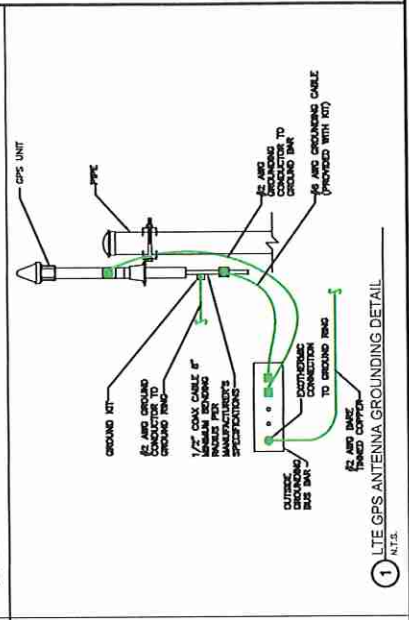
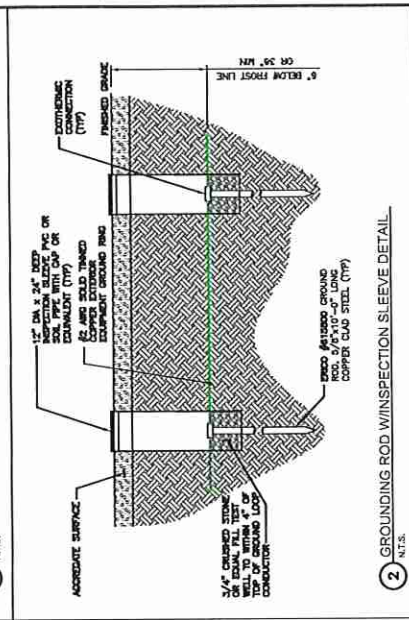
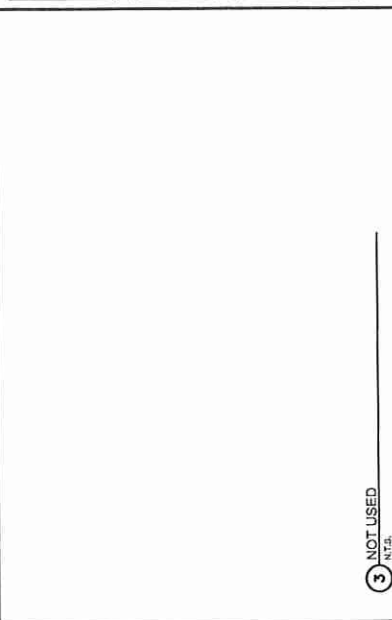
REV.	DATE	DESCRIPTION
1	06/27/23	POINTE/CONSTRUCTION
2	08/29/23	POINTE/CONSTRUCTION
3	10/21/23	POINTE/CONSTRUCTION
4	12/02/23	POINTE/CONSTRUCTION



SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAX: 15923585
10057 289TH AVE. NW
ZIMMERMAN, MN 55398

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
E-6



**CITY OF BALDWIN
PLANNING COMMISSION
CONDITIONAL USE PERMIT
FINDINGS OF FACT & RECOMMENDATION**

APPLICANT: New Cingular Wireless PCS, LLC (d/b/a AT&T Mobility)

APPLICATION: Request for an amendment of a Conditional Use Permit to allow for construction of a telecommunications tower.

PLANNING COMMISSION MEETING: 22 July 2026

FINDINGS: Based upon review of the application and evidence received, the Baldwin Planning Commission now makes the following findings of fact:

1. The subject property is PID 01-00025-3000.
2. The property is guided for rural land uses Comprehensive Plan.
3. The property is zoned R1, General Rural District and is also located within the Shoreland Overlay District of Sandy Lake.
4. On 4 August 2026, the City Council adopted resolution 25-20 approving a Conditional Use Permit to allow for construction of a telecommunications tower in accordance with Chapter 27 of the Zoning Ordinance.
5. The applicant is proposing to amend the approved Conditional Use Permit to change the location of the telecommunications tower within the subject property.
6. The Planning Commission must take into consideration the possible effects of the request with their judgment based upon (but not limited to) the criteria outlined in Section 900-4-2 of the Zoning Ordinance:
 - A. The proposed action's consistency with the specific policies and provisions of the town comprehensive plan.

Finding: The proposed tower will improve communication services within the area benefiting local users, as well as transient users on US Highway 169, essential and incidental to human activity.

- B. The proposed use's compatibility with present and future land uses of the area.

Finding: The proposed tower complies with the design standards established by the Zoning Ordinance to mitigate compatibility issues with existing and planned land uses in the area surrounding the subject site.

- C. The proposed use's potential to impact natural resources such as surface water, groundwater, or wetlands; sites identified for rare biological species habitat; ecologically sensitive areas; or historically significant areas.

Finding: The proposed construction of the proposed tower will not impact existing natural resources within the subject site.

- D. The proposed use's conformity with all performance standards contained within this ordinance and other town ordinances.

Finding: The proposed tower complies with the requirements of the Zoning Ordinance.

- E. Traffic generation of the proposed use in relation to capabilities of roads serving the property.

Finding: The traffic generated by the proposed tower can be accommodate by existing roads serving the subject site.

7. The planning report dated 17 July 2026 prepared by the City Planner, The Planning Company LLC, is incorporated herein.
8. The Planning Commission conducted a public hearing at their meeting on 22 July 2026 to consider the application, preceded by published and mailed notice; the public hearing was closed after hearing from all persons wishing to speak.

RECOMMENDATION: Based on the foregoing information and applicable ordinances, the Planning Commission recommends the request be **APPROVED** by the City Council, subject to the following conditions:

1. The subject site shall be developed in accordance with the site and building plans submitted to the City subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-6 of the Zoning Ordinance.
2. A landscape plan shall be submitted for planting 16 evergreen trees that are a minimum of 8-feet in height at the perimeter of the leased area at 20 feet on center, subject to review and approval by the Zoning Administrator.
3. All new plants shall be guaranteed for 12 months from the time planting has been completed and be alive, in good health, of good quality and structural condition, and insect- and disease-free at the end of the warranty period or be replaced, subject to review and approval by the Zoning Administrator.
4. Access to 289th Avenue (CSAH 28) shall be subject to review and approval by Sherburne County.
5. All signs shall comply with Section 900-27-2.B of the Zoning Ordinance.

6. The tower owner shall maintain insurance in the amount of \$1,000,000.00 for personal property damage and provide evidence of such coverage to the Zoning Administrator annually.
7. The applicant shall provide documentation to the Zoning Administrator that the lease for the telecommunications facility location, including revisions or renewals, provides that any unused equipment must be removed within 12 months after operations cease.

(remainder of page blank; signature follows)

MOTION BY:
SECOND BY:
ALL IN FAVOR:
THOSE OPPOSED:

ADOPTED by the Baldwin Planning Commission this 22nd day of July, 2026.

BALDWIN PLANNING COMMISSION

BY: _____
Clarence Mattson, Chair



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Baldwin Planning Commission

FROM: D. Daniel Licht

REPORT DATE: 17 July 2026

RE: Baldwin – Andy’s Electric (01-00009-3105); Revised Site/Building Plans

TPC FILE: 269.02

BACKGROUND

Andy’s Electric is proposing to develop a 5.03-acre parcel located on the south side of 313th Avenue west of US Highway 169. The proposed development requires Site and Building Plan Review as outlined by Chapter 9 of the Zoning Ordinance. Site and Building Plan Review applications are subject to the recommendations of the Planning Commission and approval of the City Council.

The Planning Commission considered an initial Site and Building Plan Review application at its meeting on 25 March 2026. The City Council subsequently approved the Site and Building Plans subject to the conditions recommended by the Planning Commission at its meeting on 1 April 2026. Following City Council approval, the developer completed the required wetland delineation, which identified larger wetland areas within the subject property and potential impacts related to the site design. Under the Wetland Conservation Act, wetland impacts must be avoided as a first option if reasonable development of a property is still feasible.

The developer has revised the site plan to minimize wetland impacts resulting from the proposed development. The revised site plan includes an initial 6,520-square-foot building with potential for a 3,500-square-foot addition. The Planning Commission will review the revised site plan at its meeting on 22 July 2026.

Exhibits:

- Site Location Map
- Civil plan set dated June 2026 (13 sheets)
- Certificate of Survey

ANALYSIS

Comprehensive Plan. The Comprehensive Plan guides development of high quality, high value industrial businesses that expand tax base and create employment opportunities within Baldwin. The proposed development is intended to accommodate the owner's electrical contracting business. Providing opportunity for new and expanded businesses within Baldwin is consistent with the economic development goals of the Comprehensive Plan.

Zoning. The subject property is zoned I1, General Industrial District. Occupancy of the proposed building is planned for the property owner's electrical contractor business. Use of the building space for office, shop, and warehouse purposes by an electrical contractor is a permitted use within the I1 District. Any other occupants of the building or its expansion will be required to be a permitted, interim, or conditional use within the I1 District.

Surrounding Uses. The subject property is surrounded by the following existing and planned land uses:

Direction	Land Use Plan	Zoning Map	Existing Use
North	Commercial	C1 District	Lifestyle Tint
East	Industrial	I1 District	Undeveloped
South	Rural	R1 District	Single family dwellings
West	Industrial	I1 District	Miller Tax & Book Keeping Central Fleet Services

The only potential compatibility issue with surrounding uses is the existing residential dwellings to the south and the nonconforming residential dwellings to the west. The subject property is separated from the single family dwellings to the south by significant tree stands, wetlands, and distance. The orientation of the proposed building also effectively screens any site activity from the residential uses to the south.

Lot Requirements. Section 900-71-7 of the Zoning Ordinance requires lots within the I1 District to be a minimum of 30,000 square feet in area, a minimum of 150 feet in width, and a minimum of 200 feet in depth. The subject property is 5.03 acres, or 221,720.4 square feet, in area. The width of the subject property is 315 feet and the depth of the property is 695 feet. The subject property complies with the minimum lot requirements of the I1 District.

Setbacks. Section 900-71-8 of the Zoning Ordinance establishes the following setbacks applicable to the proposed building including the potential addition. The location of the proposed initial building and the potential future addition comply with all setback requirements.

Yard	Required	Proposed
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313 th Ave (not platted)	100ft.	110ft.
Interior Side	50ft.	E: 50ft. W: 50ft.
Rear Yard	50ft.	+500ft.

Building Materials. The exterior finish requirements applicable to the proposed building for industrial uses facing 313th Avenue are established in Section 900-D.2 of the Zoning Ordinance. Revised plans for the proposed principal building are required to be submitted to verify compliance with the exterior finish requirements of the Zoning Ordinance, subject to review and approval by the Zoning Administrator.

Building Height. Section 900-71-9.A of the Zoning Ordinance limits the height of principal buildings within the I1 District to 35 feet. Building height is defined by the Zoning Ordinance as measured to the mid-point of a pitched roof. The height of the proposed building is to be verified at the time a building permit is applied for and is subject to review and approval by the Zoning Administrator.

Access. The site plan proposes two accesses to 313th Avenue.

Section 1.08.3(b) of the Right-of-Way Ordinance requires the driveway to be set back a minimum of 75 feet from the intersection of two public streets. The west driveway is to be set back 80 feet from the centerline of 126th Street and 313th Avenue.

Section 1.08.3(c) of the Right-of-Way Ordinance requires the driveway to be set back a minimum of 10 feet from the side lot lines. The proposed accesses are each more than 10 feet from the side lot lines and comply with the Right-of-Way Ordinance.

Section 1.08.4(b) of the Right-of-Way Ordinance limits the access width to 24 feet measured at the right-of-way line or edge of pavement, unless approved by the City Engineer. The west access is proposed as 49 feet wide, and the east access is proposed as 39 feet wide. The civil plans include turning radii for a semi-tractor trailer, demonstrating the need for accesses wider than 24 feet.

Off-Street Parking. Section 900-21-4.B.1.a of the Zoning Ordinance requires that off-street areas be set back 15 feet from public rights-of-way or roadway easements. The off-street drive aisles and parking spaces comply with the setback requirements of the Zoning Ordinance.

Section 900-21-7 of the Zoning Ordinance establishes the minimum number of off-street parking spaces to be provided for specific uses, which is calculated in the table below for the initial 6,520-square-foot building.

Use	Gross Floor Area	Net Floor Area	Parking Required	Required Spaces
Office	1,520sf.	1,368sf.	1/250sf.	6
Warehouse	5,000sf.	4,500sf.	1/2000sf.	3
Total				9

The site plan illustrates 18 off-street parking spaces, including one Americans with Disabilities Act van-accessible space. The 18 off-street parking spaces are sufficient for the initial building and exceed the number of spaces required by the Zoning Ordinance. The calculation of required parking spaces will need to be reevaluated in the future if the building is proposed to be expanded.

Section 900-21-6.A of the Zoning Ordinance requires off-street parking spaces to be a minimum of 9 feet wide by 18 feet deep. The parking spaces shown on the site plan comply with these dimensions and are accessed by drive aisles at least 26 feet in width to allow sufficient area for maneuvering and to access the loading doors on the north elevation of the building.

Section 900-21-6.B.2 of the Zoning Ordinance requires that off-street parking spaces and drive aisles for industrial uses be surfaced with asphalt or concrete. The site plan illustrates that the off-street parking area is to be surfaced with asphalt.

Section 900-21-6.B.3 of the Zoning Ordinance requires a 6-inch concrete curb at the perimeter of off-street parking areas. The site plan illustrates concrete curb as required within the front yard.

The design and construction of off-street parking areas is to be subject to review and approval of the City Engineer.

Landscaping. Section 900-19-2 of the Zoning Ordinance requires all industrial uses to provide a landscape plan and specifications for plantings to be installed with an emphasis upon the following areas:

- a. *The boundary or perimeter of the proposed site at points adjoining other property.*
- b. *The immediate perimeter of the structure.*
- c. *The perimeter of parking and loading areas within the front yard or side yard of a corner lot abutting a public right-of-way.*
- d. *Quantities:*

<i>Districts</i>	<i>Yard</i>		
	<i>Front</i>	<i>Side</i>	<i>Rear</i>
<i>Industrial; only lots abutting US Highway 169, 128th Street, 313th Avenue, or Rum River Drive</i>	<i>-1 shade or evergreen tree/50ft. of frontage - Turf grass</i>	<i>Turf grass</i>	<i>Turf grass or natural landscape</i>
<i>Other Industrial</i>	<i>Turf grass</i>	<i>Turf grass</i>	<i>Turf grass or natural landscape</i>

The subject property is required to provide a minimum of three deciduous shade or evergreen trees within the front yard along 313th Avenue. Deciduous trees are required to be a minimum of 2.5 caliper inches and evergreen trees must be a minimum of 6 feet in height at the base of the leader. A landscape plan illustrating the required trees will be required to be submitted with application for a building permit and is subject to review and approval by the Zoning Administrator.

Lighting Plan. Section 900-16-10 of the Zoning Ordinance establishes performance standards for outdoor lighting. Industrial uses are required to provide a plan for any lighting used to illuminate a building, structure, parking, or other area within the lot, which must be arranged to deflect light away from any adjoining property or from any public right-of-way. A lighting plan that includes photometric illumination patterns, light intensity, fixture shielding, and height specifications is to be submitted and is subject to review and approval by the Zoning Administrator prior to issuance of a building permit.

Waste Storage. The site and building plans do not identify a location for waste and recycling container storage for the proposed use. Any outdoor waste and recycling containers are required to be within an enclosure that screens the containers from view of public streets and adjacent properties. Plans for an exterior waste and recycling container enclosure are subject to review and approval by the Zoning Administrator.

Signs. The submitted plans do not identify freestanding or wall signs to be placed upon the property. Installation of any signs upon the property must comply with Chapter 23 of the Zoning Ordinance and requires a sign permit approved by the Zoning Administrator.

Stormwater Management. Plans for grading, erosion control, and stormwater management have been submitted for the property. As noted in the background section, a wetland delineation was completed that necessitated changes to the site plan. The revised setback still impacts delineated wetland areas but only to the extent allowed as a de minimis impact.

The City Engineer has reviewed the remaining wetland impacts together with the revised grading, drainage, and erosion control plans and given approval. The property owner will also be required to execute a Stormwater Maintenance Agreement prior to issuance of a building permit.

Utilities. Provision of sewer and water utilities for the proposed use of the subject property is to be provided by a Subsurface Sewage Treatment System and a private well. All plans for construction of a Subsurface Sewage Treatment System and a private well are subject to review and approval by the Building Official prior to issuance of a building permit.

RECOMMENDATION

The revised site and building plans comply with the provisions of the Zoning Ordinance, subject to conditions that will be addressed administratively by City staff during the building permit review. Our office recommends approval of the application as outlined below.

POSSIBLE MOTION

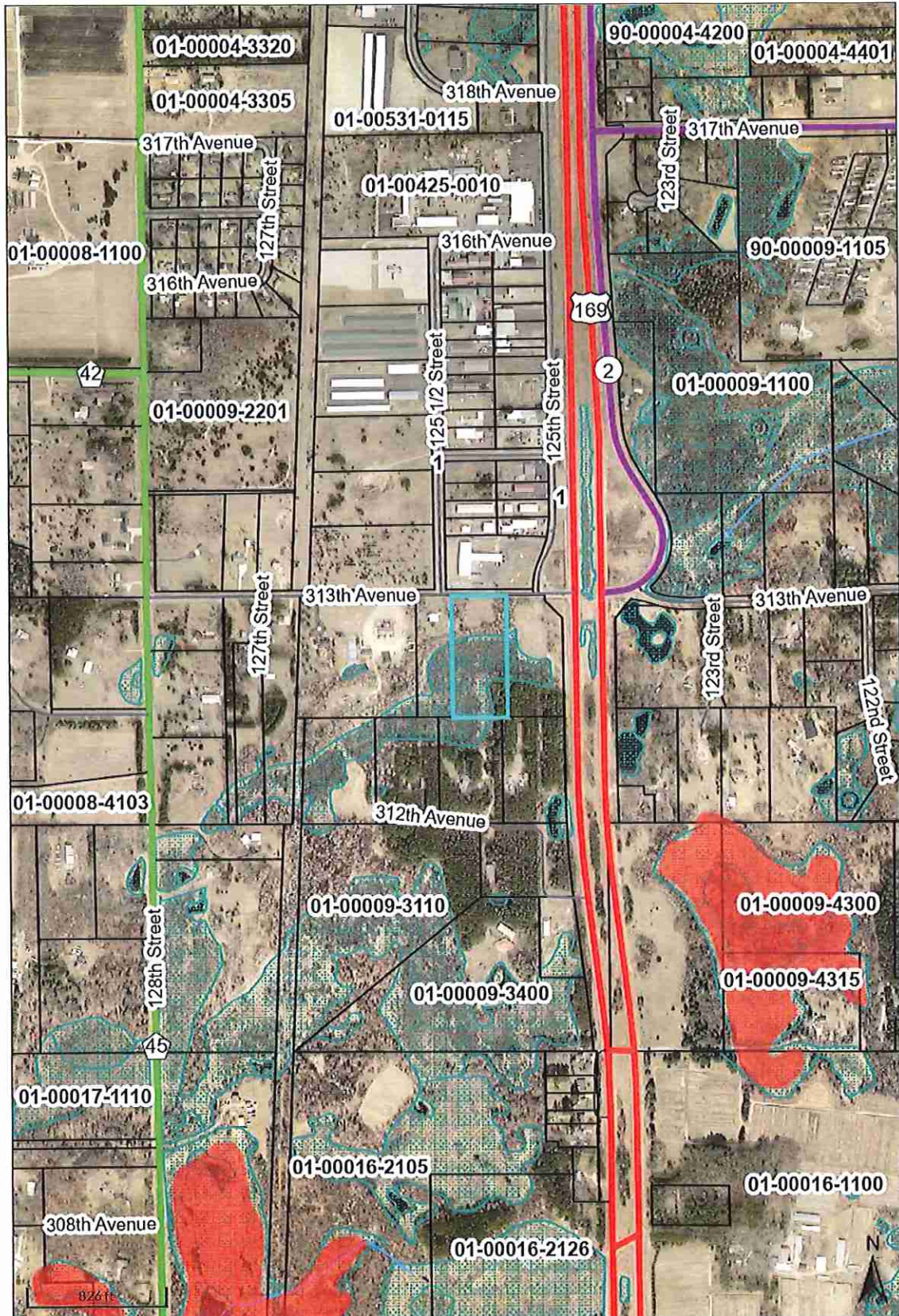
Motion to recommend **approval** of site and building plans for PID 01-00009-3105 subject to the following conditions:

1. The subject property shall be developed in accordance with the site and building plans submitted to the City, subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-5 of the Zoning Ordinance.
2. Expansion of the principal building shall require only approval of a building permit provided that the structure complies with the provisions of the Zoning Ordinance then in effect, subject to review and approval of the Zoning Administrator.
3. Uses occupying the subject property shall include only those permitted uses allowed within the I1 District, or those conditional or interim uses subject to approval of the necessary zoning application; residential occupancy of the principal building is prohibited.
4. The exterior finish of the principal building shall comply with Section 900-D.2 of the Zoning Ordinance, subject to review and approval by the Zoning Administrator.
5. The height of the principal building shall comply with Section 900-71-9.A, subject to review and approval by the Zoning Administrator.
6. A landscape plan shall be submitted for the subject property to include planting of the minimum number of trees as required by the Zoning Ordinance, subject to review and approval by the Zoning Administrator.

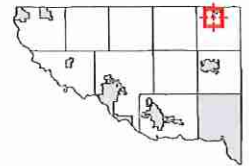
7. The design and construction of off-street parking areas shall be subject to review and approval by the City Engineer.
 8. A photometric lighting plan detailing intensity, fixture design, and height that complies with Section 900-16-10 of the Zoning Ordinance shall be submitted prior to issuance of a building permit, subject to review and approval by the Zoning Administrator.
 9. Any exterior storage of waste containers shall be within an enclosure that screens the area from view of public rights-of-way and adjacent properties, subject to review and approval by the Zoning Administrator.
 10. All signs shall comply with Chapter 23 of the Zoning Ordinance, subject to issuance of a sign permit by the Zoning Administrator.
 11. All wetland delineation, grading, drainage, and erosion control plans shall be subject to review and approval by the City Engineer.
 12. The property owner shall enter into a Stormwater Maintenance Agreement drafted by the City Attorney and subject to approval of the City Council.
 13. All utility plans shall be subject to review and approval by the Building Official.
- c. Joan Heinen, City Clerk/Treasurer
Sam Jochum, City Engineer
Bob Ruppe, City Attorney
Andy Schreder, Building Official

Andy's Electric

Site Location Map

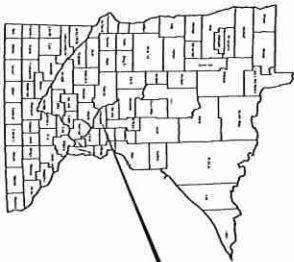


Overview



Legend

- Public Water Inventory**
- Not Classified
 - General Development
 - Natural Environment
 - Recreational Development
- Roads**
- MN Highway; US Highway
 - Municipal-State Aid Street
 - Municipal Street
 - Township Road
 - State Forest Road
 - Bureau of Fish and Wildlife Road
 - Connector (Ramp)
 - Privately Maintained Public Access Road
 - County Road
 - County-State Aid Highway
- Other Features**
- Parcels
 - Streams
 - Wetlands



PROJECT LOCATION
CITY OF BALDWIN, SHERBURNE COUNTY, MN

ANDYS ELECTRIC

BALDWIN, MINNESOTA
JUNE 2026

PROJECT INFORMATION:
OWNER: ANDY'S ELECTRIC
ADDRESS: PO BOX 166, BRINCKTON, MN 55371
BUILDER/ARCHITECT: STRUCTURAL BUILDINGS
NAME: ERIC STONERAKER
ADDRESS: 12639 FIRST ST, JEROME, MN 55308
ENGINEER: WIDSETH
NAME: CHRISTOPHER J. DANN
ADDRESS: 13076 FIRST ST, JEROME, MN 55308



MAP SOURCE: A YEAR, AERIAL PHOTOGRAPHY, MAPING, 2024
MAP DESCRIPTION: PARTIAL MAP OF BALDWIN, SHERBURNE COUNTY, MINNESOTA

WIDSETH
ARCHITECTS • ENGINEERS • LANDSCAPE ARCHITECTS

DRAWN BY: DAK
CHECKED BY: CD

THIS PLAN SET CONTAINS COLOR GRAPHICS. BLACK AND WHITE PRINTS ARE NOT OFFICIAL SIGNED DOCUMENTS.
DATE: 06/24/2025
SCALE: 1" = 100'

NO.	DATE	DESCRIPTION
1	06/24/2025	ISSUED FOR PERMIT

Andys Electric Project in The City of Baldwin, MN

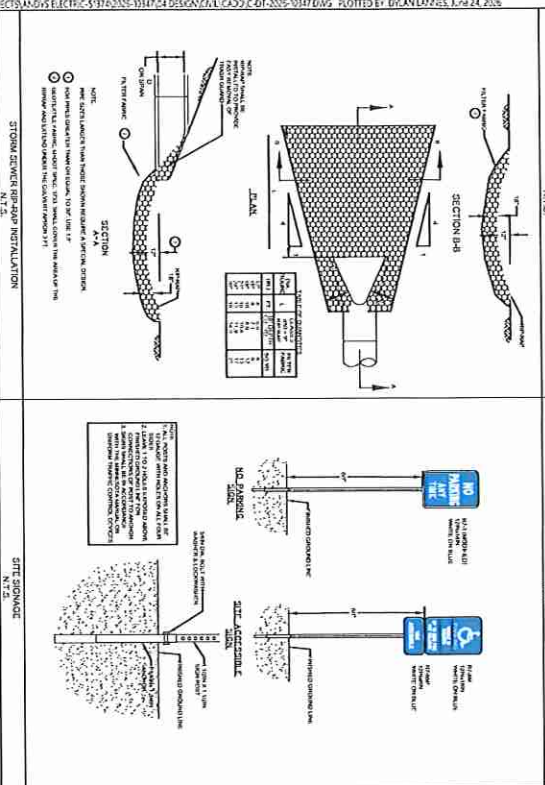
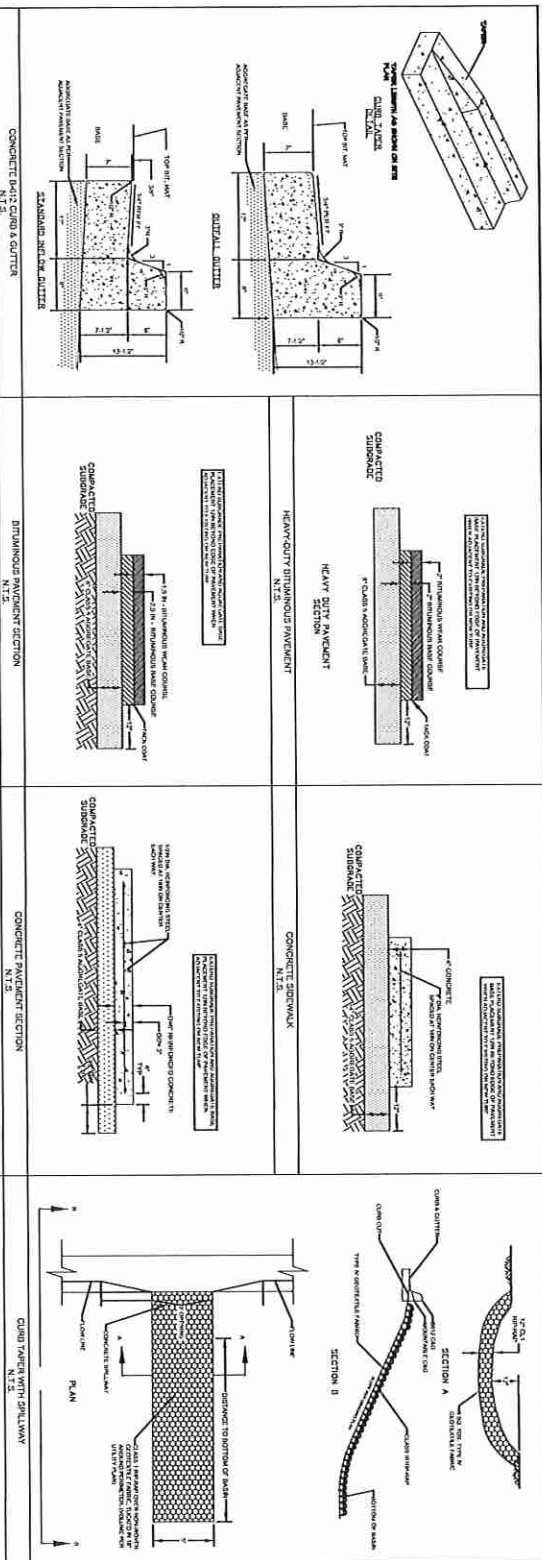
TITLE SHEET

C1.00
PROJECT # 2025-10347

SHEET INDEX TABLE

SHEET NUMBERS	SHEET TITLE
C1.00	TITLE SHEET
C2.00	LEGEND SHEET
C3.00	DETAILS
C4.00	EXISTING CONDITIONS
C5.00	DEMOLITION PLAN
C6.00	SITE PLAN
C7.00	VEHICLE TRAILING MOVEMENT
C8.00	UTILITY PLAN
C9.00	SWPP MANAGEMENT
C10.00	GRADING PLAN
C11.00	EROSION CONTROL PLAN
C12.00	FILTER BEDDING DRAINAGE

THIS PLAN CONTAINS 13 SHEETS



WIDSETH
ARCHITECTURE • ENGINEERING • INTERIORS • LANDSCAPE

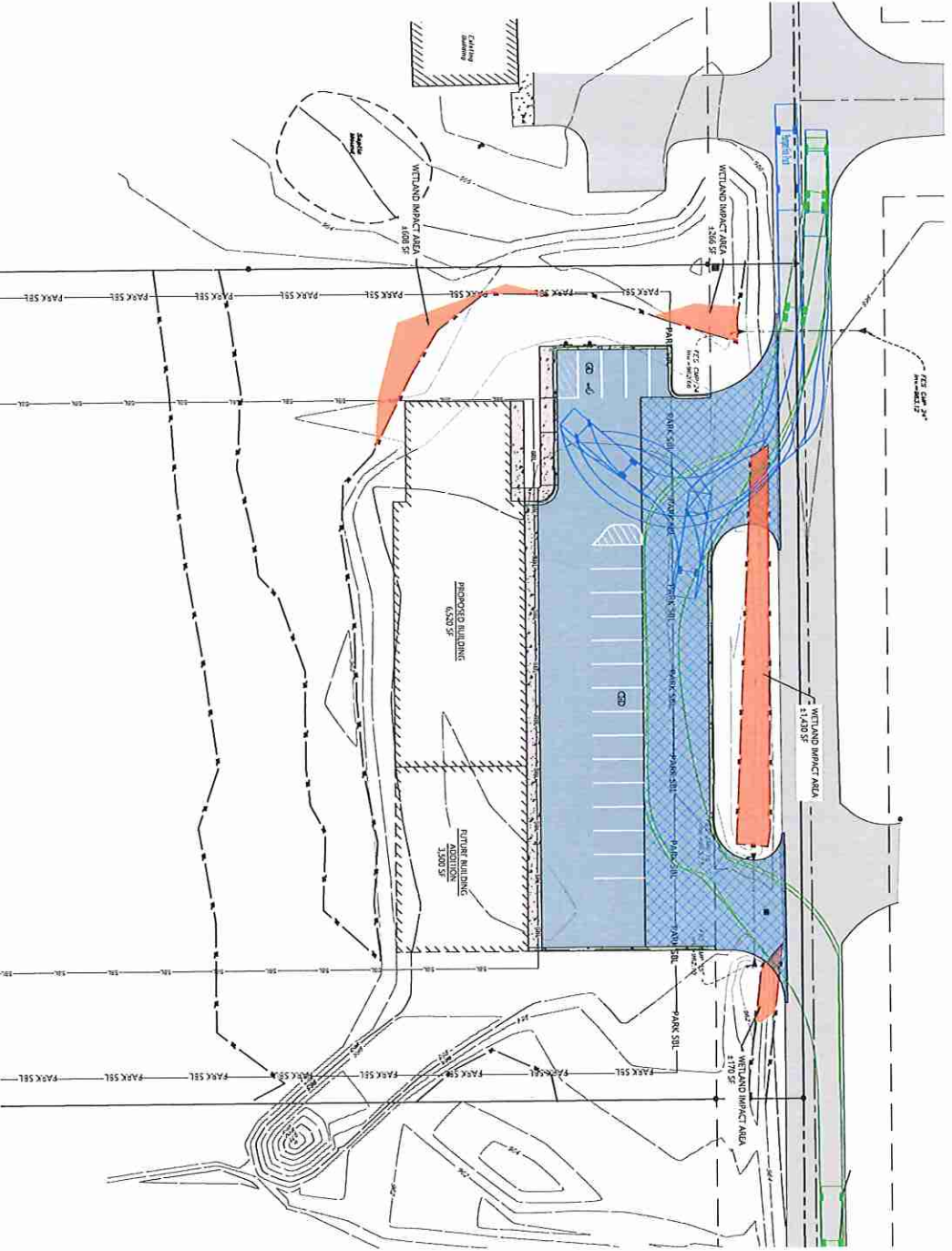
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THIS DRAWING IS THE PROPERTY OF WIDSETH ARCHITECTURE, ENGINEERING, INTERIORS, LANDSCAPE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF WIDSETH ARCHITECTURE, ENGINEERING, INTERIORS, LANDSCAPE IS PROHIBITED.

DATE	REVISION

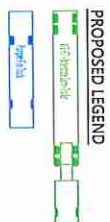
Andys Electric Project in The City of Baldwin, MN
WETLAND IMPACT AREA

C6.01
PROJECT # 2256-10147



PROPOSED LEGEND
WETLAND IMPACT AREAS (WITHIN GOADING LIMITS)

THIS SHEET IS ONLY VALID IF PRINTED IN COLOR

C7.00
PRODUCT #: 2026-103







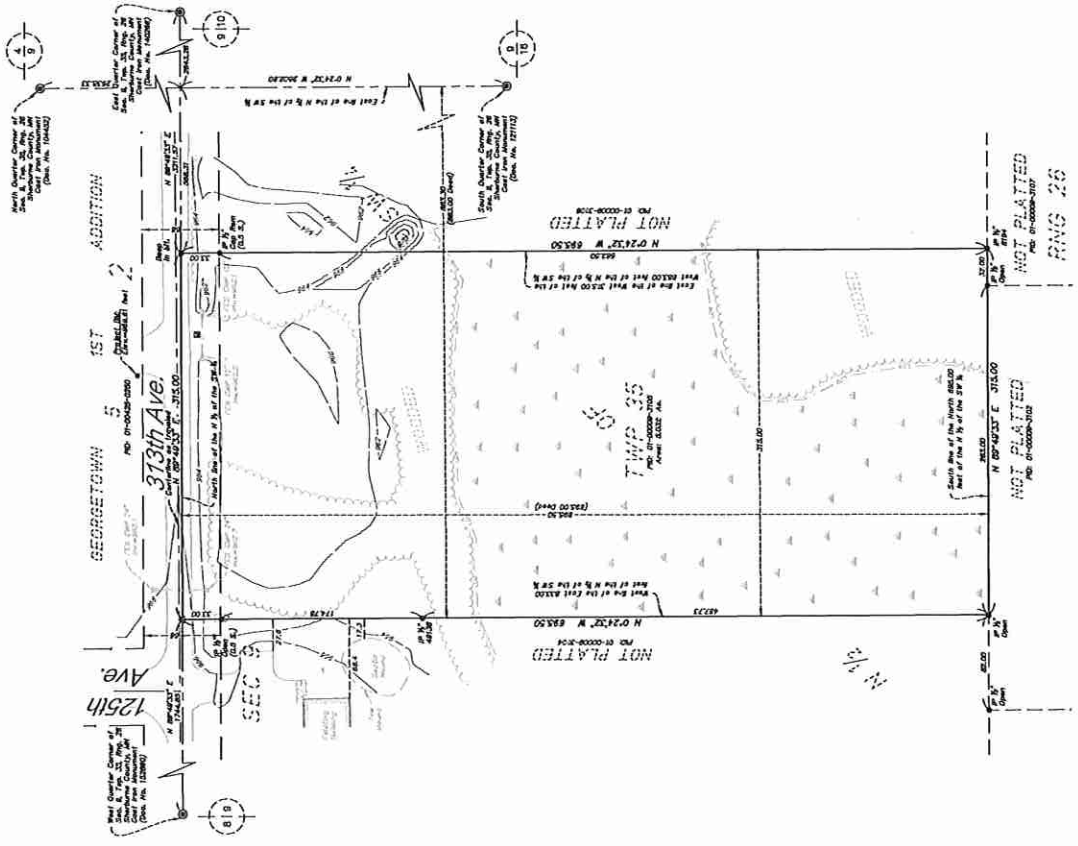
CHRISTOPHER L. DAVIS	12 MO	05/01/2021
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Andys Electric Project in The City of Baldwin, MN

FILTER BERM DRAINAGE

C12.00



REMARKS:
 1. This survey was performed under the authority of a 125' wide easement for the purpose of establishing the location of the easement.
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SCALE IN FEET
 0 20 40
 1" = 50'

Andys Electric Project in The City of Baldwin, MN
 V4.00
 PROJECT # 10-0104

REVISION	DATE	BY	DESCRIPTION
1	10/10/2010	WIDSETH	INITIAL DESIGN
2	10/10/2010	WIDSETH	REVISIONS
3	10/10/2010	WIDSETH	REVISIONS
4	10/10/2010	WIDSETH	REVISIONS
5	10/10/2010	WIDSETH	REVISIONS
6	10/10/2010	WIDSETH	REVISIONS
7	10/10/2010	WIDSETH	REVISIONS
8	10/10/2010	WIDSETH	REVISIONS
9	10/10/2010	WIDSETH	REVISIONS
10	10/10/2010	WIDSETH	REVISIONS

WIDSETH
 ARCHITECTS - ENGINEERS - SURVEYORS
 1000 1st Avenue S.W.
 Minneapolis, MN 55415
 TEL: 612-339-1100
 FAX: 612-339-1101
 WWW.WIDSETH.COM

DESIGNED BY: WIDSETH
 CHECKED BY: WIDSETH
 DATE: 10/10/2010
 PROJECT: 10-0104

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