



AGENDA FOR JULY 15TH, 2026
CITY OF BALDWIN REGULAR MEETING
7:00 p.m.
(Revised 7/10/2026)

7:00 p.m. Call to Order

- a. Pledge of Allegiance
- b. Additions/Corrections to Agenda
- c. Approval of Regular Meeting Agenda With/Without Additions/Corrections

Treasurer's Report:

Public Comment Requests:

Approval of Consent Agenda *(Items on Consent Agenda are reviewed in total by the City Council and may be approved through one motion. Any item on the Consent Agenda may be removed by any of the City Council Members for separate consideration.)*

- Approve City Council Meeting Minutes for July 1st, 2026

Planning Items:

- a. Discuss/Approve/Disapprove Resolution 26-20; Conditional Use Permit for Vertical Bridge/The Towers LLC at 28509 128th Street
- b. Discuss/Approve/Disapprove Directing City Staff to Notice a Public Hearing and Preparing an Interim Ordinance Establishing a Moratorium on Application for Communication Towers
- c. Schedule Joint Meeting with the Planning Commission on August 12th to Discuss Cell Tower Ordinance Revisions. Side Lot Setback Requirements on Smaller Lots and Other Planning Commission Information. – Jay Swanson

Engineering:

- a. Discuss/Approve/Disapprove Resolution 26-23; Construction Plans, Project Specifications and Authorizing Advertisement for Bids for the 2026 Microsurfacing Project
- b. Discuss/Approve/Disapprove Request for Quotes for the 2026 Crack Sealing Project
- c. Discuss Hakanson Anderson Construction and Observation for the 2026 Crack Sealing Project
- d. Discuss/Approve/Disapprove Construction Pay Application No. 2 for the 2026 Street Reconstruction Project
- e. Discuss Construction Cost Estimate for Chip Sealing
- f. Discuss Resident Meeting Date for 303rd Avenue Street Reconstruction Project
- g. Discuss/Approve/Disapprove Ordinance 2026-09; Amending Ordinance 100 Right-of-Way Permits

Disclaimer: This agenda has been prepared to provide information regarding an upcoming meeting of the Baldwin City Council. This document does not claim to be complete and is subject to change. A quorum of the Baldwin City Council must be present. Five Copies of the agenda and one copy of the packet materials are available for review by the public. The meeting will be video and audio recorded for transcription purposes only.

Frontier Trails Update:

- a. Discuss June 2026 Wastewater Operation Summary – Jay Swanson
- b. Discuss Revenues and Expenditures for Frontier Trails SSD - Clerk

Road Report – Alan Walker

- a. Discuss Public Works Report
- b. Discuss/Approve/Disapprove Micro Surface Project Striping – Tom Rush

Tabled Items:

- a. Discuss/Approve/Disapprove Quote from NSU of \$14,566.48 for Telemetry Units – Jay Swanson
- b. Discuss/Approve/Disapprove Eliminating Direct Deposit for Fire Department Payroll – Tom Rush
- c. Discuss/Approve/Disapprove Survey on 100th Street – Alan Walker

New Business:

- a. Discuss Expenditure Procedure for Continuing Education for Public Works – Tom Rush
- b. Discuss Cameras at Young Park – Jeff Holm
- c. Discuss/Approve/Disapprove Quotes for Tree Removal at Elk Lake Rain Garden – Alan Walker
- d. Discuss/Approve/Disapprove Discontinuing Task Tracking Spreadsheets for Staff – Tom Rush
- e. Discuss/Approve/Disapprove Restitution for Vandalism at Young Park – Tom Rush
- f. Discuss Tire Skid Marks at Young Park Parking Lot – Tom Rush

Announcements:

- a. July 14th – July 28th, Filing Period Opens for Municipal Office of Mayor; Four Year Term and Two Positions for City Council; Four Year Term
- b. Park Committee Meeting Thursday, July 16th, 2026 at 7:00 p.m.
- c. Planning Commission Meeting Wednesday, July 22nd, 2026 at 7:00 p.m.
- d. Next City Council Meeting Wednesday, August 5th, 2026 at 7:00 p.m.
- e. Primary Election Tuesday, August 11th, 2026. Polls Open from 7:00 a.m. to 8:00 p.m.
- f. National Night Out August 4th, 2026 from 6:00 p.m. to 8:30 p.m. at Baldwin City Hall and Blue Hill Township
- g. Baldwin Fire Dance August 29th, 2026 from 8:00 pm. To Midnight
- h. Baldwin Fire Department Open House September 12th, 2026 from 11:00 a.m. to 3:00 p.m.
- i. Baldwin FunFest September 19th, 2026 from 11:00 a.m. to 3:00 p.m. held at Young Park

Any Other Business:**Approve Bill for Payment:****Adjourn:**

	MTD Amounts	YTD Amounts	MTD Amounts	Begin + YTD
Begin	\$1,715,799.35	\$1,725,230.87		\$0.00
Receipt	\$81,406.27	\$1,201,447.73	Investments	\$0.00
Disbursements	(\$275,677.60)	(\$1,226,124.28)	Petty Cash	\$0.00
Transfers Rec/Disb	\$0.00	\$0.00	Savings	\$0.00
Transfers JE	\$0.00	\$2.04	Money Market	\$0.00
JE Payroll	(\$69,094.02)	(\$248,092.36)	Balance	\$1,452,464.00
				In Balance

CITY OF BALDWIN

*Cash Balances

Cash Account: 10100
June 2026

Fund	Begin June 2026	Transfers			JE Payroll	Balance No Investments	Investments	Balance	
		Receipts	Disbursements	Rec/Disb					Journal Entries
10100 - Old National Bank									
101 - General Fund	(\$838,615.76)	\$392,096.27	(\$154,707.20)	\$0.00	(\$14,999.37)	(\$616,226.06)	\$0.00	(\$616,226.06)	In Balance
225 - Cemetery Fund	\$9,582.31	\$2,252.76	(\$40.70)	\$0.00	(\$767.66)	\$11,026.71		\$11,026.71	In Balance
250 - Fire Fund	\$71,865.96	\$95,423.31	(\$6,808.89)	\$0.00	(\$3,261.21)	\$157,219.17		\$157,219.17	In Balance
275 - Street Capital	\$902,579.09	\$175,267.40	(\$8,436.25)	\$0.00		\$1,069,410.24		\$1,069,410.24	In Balance
301 - G.O. 2017A	\$238,057.99	\$8,811.73		\$0.00		\$246,869.72		\$246,869.72	In Balance
302 - G.O. 2024A	\$12,217.44	\$33,136.74		\$0.00		\$45,354.18		\$45,354.18	In Balance
401 - Capital Project Fund	\$175,320.50	\$43.85		\$0.00		\$175,364.35		\$175,364.35	In Balance
402 - Fire Services	(\$6,024.61)			\$0.00		(\$6,024.61)		(\$6,024.61)	In Balance
403 - Fire Infrastructure Fund	\$262,277.49	\$17,569.98		\$0.00		\$279,847.47		\$279,847.47	In Balance
404 - Parks Capital Fund	\$63,781.21	\$26,871.73	(\$772.49)	\$0.00	(\$2,969.48)	\$86,910.97		\$86,910.97	In Balance
602 - Sewer Fund	\$47,106.41	\$7,595.99	(\$6,047.61)	\$0.00	(\$711.83)	\$47,942.96		\$47,942.96	In Balance
801 - Developers Account - Escrow	\$197,312.57	\$6,656.50	(\$5,842.65)	\$0.00		\$198,126.42		\$198,126.42	In Balance
802 - Baldwin Estates Escrow	\$2,389.61			\$0.00		\$2,389.61		\$2,389.61	In Balance
804 - Buck Run Escrow	\$15,401.81			\$0.00		\$15,401.81		\$15,401.81	In Balance
805 - Sumser Farms 1st Addt Escr	\$2,186.41			\$0.00		\$2,186.41		\$2,186.41	In Balance
		MTD Amounts		Begin + YTD					
Begin	\$1,155,438.43	\$1,725,230.87	Investments	\$0.00		\$0.00		\$0.00	
Receipt	\$765,726.26	\$1,120,041.46	Petty Cash	\$0.00		\$0.00		\$0.00	
Disbursements	(\$182,655.79)	(\$950,446.68)	Savings	\$0.00		\$0.00		\$0.00	
Transfers Rec/Disb	\$0.00	\$0.00	Money Market	\$0.00		\$0.00		\$0.00	
Transfers JE	\$0.00	\$2.04							
JE Payroll	(\$22,709.55)	(\$179,028.34)	Balance	\$1,715,799.35		In Balance			



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BALDWIN CITY COUNCIL REGULAR MEETING

July 1st, 2026

Present – Mayor Jay Swanson, City Council; Tom Rush, Alan Walker, Scott Case, and Jeff Holm

Also Present – City Planning & Zoning Administrator; Dan Licht from The Planning Company (TPC)

Call to Order – The July 1st, 2026 regular meeting of the City of Baldwin was called to order by Mayor Jay Swanson at 7:00 p.m.

Pledge of Allegiance – All present recited the Pledge of Allegiance.

Prayer Request from Delmas Hines

Additions/Corrections to Agenda

Approval of Regular Meeting Agenda With/Without Additions/Corrections - Rush/Walker unanimous to approve as amended.

July 2026 Preliminary Treasurer's Report – The Deputy Clerk/Treasurer reported a beginning balance of \$1,695,662.67, no receipts yet for the month of July, disbursements of \$206,563.81, leaving an unaudited ending balance of \$1,489,098.86.

Sheriff's Report – Deputy Wilson reported a total of 278 calls for service in the City of Baldwin for the month of June 2026. These calls consisted of 6 motor vehicle accidents, 44 traffic stops, 60 additional patrols were performed, and the rest was miscellaneous calls for service. No thefts or burglaries were reported. Young Park was vandalized and police report was filed.

Fire Department Report - Fire Chief Robin Fischer reported a total of 42 calls for the month on June 2026. These calls consisted of 36 medicals, 1 fire, 1 mutual aid, 2 alarms and 1 personal injury accident. There were 3 calls for Blue Hill Township. Pancake Breakfast on Sunday, June 28, 2026, was very successful.

Discuss/Approve/Disapprove Elected Fire Chief, Robin Fischer Effective 6/9/2026
Holm made a motion to approve elected Fire Chief, Robin Fischer. Rush seconded. Case disapproved. Motion carried 4-1.

Discuss/Approve/Disapprove Elected Assistant Fire Chief, Brian Torborg Effective 6/9/2026 - Rush/Holm unanimous to approve elected Assistant Fire Chief, Brian Torborg.



Discuss/Approve/Disapprove Elected Captain 5, Connor Loscheider Effective 6/9/2026 - Holm/Rush unanimous to approve elected Captain 5, Connor Loscheider.

Discuss/Approve/Disapprove Using Cell Tower Funds to Pay for First Due - Assistant Fire Chief Brian Torborg explained that First Due is a cloud-based system that tracks calls, training, maintenance, and other reports. Case noted that this system can grow as the city grows and can be used by public works. Case asked for contract options and if there is a yearly percentage increase. The first year is \$7550, after that it is \$1000 a year. **Holm/Rush unanimous to approve** First Due and using cell tower funds to pay for the first year.

Discuss/Approve/Disapprove Donation for Fire Dance Liquor License Fee and Insurance - Rush/Holm unanimous to approve donation for Fire Dance Liquor License and Insurance fees up to \$1100.

Discuss/Approve/Disapprove Changing the Fire Department Liaison to Scott Case- Swanson stated that Case has a background in fire and Rush has stated he is not going to run for another term. Rush stated he would like to remain the liaison. Rush has concerns about Case taking over as liaison due to personality conflicts with the new chief. Case stated qualifications should be looked at for a change in the liaison. **Holm motioned to disapprove** changing the Fire Department Liaison for the remainder of the term. **Walker seconded.** Swanson stated that Case as Fire Department Liaison makes sense and it is not to upset anyone. Rush stated once a new city council gets voted in, they can make a decision on reorganization. **Swanson approved. Motion carried to disapprove 4-1.**

Public Comment Requests - None.

Approval of Consent Agenda - Rush/Walker unanimous to approve Consent Agenda.

- Approve Road Workshop Meeting Minutes for June 11th, 2026
- Approve Special City Council Meeting Minutes/Employee Reviews for June 16th, 2026
- Approve City Council Meeting Minutes for June 17th, 2026
- Approve Baldwin Newsletter for July - September 2026
- Approve Resolution 26-18; Application for Exempt Bingo and Raffle Permit for Christ Our Light Catholic Parish for event on September 20th, 2026
- Approve Application for One Day Temporary On-sale Liquor License for Christ Our Light Catholic Parish for Event on September 20th, 2026

Planning Items:

Discuss/Approve/Disapprove Conditional Use Permit for Vertical Bridge/The Towers LLC at 28509 128th Street - Full Planning Report on file in the Clerks' Office or online at baldwinmn.gov under Government/Agenda/Minutes/Agenda Packet. Case motioned to approve the Conditional Use Permit for Vertical Bridge/The Towers LLC

at 28509 128th Street. **Swanson seconded.** Alex Trueman representing Vertical Bridge was asked to explain how the location of the cell tower was selected. Swanson discussed the concerns of the residents. Holm requested clarification on the residential area definition. City Planner Licht stated the current deadline for City Council action is August 28th, 2026 for this application. **Case rescinded his motion and motioned to table** until the July 15th, 2026 City Council meeting. **Swanson seconded. Motion carried.**

Discuss/Approve/Disapprove Dvoracek Variance at 28506 97th Street - Full Planning Report on file in the Clerks' Office or online at baldwinmn.gov under Government/Agenda/Minutes/Agenda Packet. **Rush/Walker unanimous to approve** Dvoracek Variance at 28506 97th Street.

Discuss/Approve/Disapprove Coen Variance at 14203 285th Street - Full Planning Report on file in the Clerks' Office or online at baldwinmn.gov under Government/Agenda/Minutes/Agenda Packet. **Holm/Case unanimous to approve** Coen Variance at 14203 285th Street.

Discuss/Approve/Disapprove Resolution 26-19; Adopting a Comprehensive Plan Update - City Planner Licht presented the draft Comprehensive Plan. Discussion was had about the zoning map. **Case/Walker unanimous to approve** Resolution 26-19, Adopting a Comprehensive Plan Update.

Discuss Code Enforcements -

PID# 01-00009-3210 - Junk and Debris, The Planning Company (TPC) requests to send step 1 code enforcement letter.

PID# 01-00486-0210 - ATV Track, The Planning Company (TPC) requests to send step 1 code enforcement letter.

PID# 01-00007-3101 - ATV Track, The Planning Company (TPC) requests to send step 1 code enforcement letter.

PID# 01-00535-0010 - ATV Track, The Planning Company (TPC) requests to send step 1 code enforcement letter.

With additional 7 administrative notices and 1 second citation. Inspections will be done next week. **Rush/Case unanimous to approve** above enforcement requested actions.

Park Committee Report -

Discuss/Approve/Disapprove Park Committee Member; Lester Kriesel's Resignation, Effective October 16th, 2026 - Rush/Walker unanimous to approve Lester Kriesel's resignation, effective October 16th, 2026. Swanson requested a thank you letter sent to Lester.

Discuss/Approve/Disapprove Park Committee Appointment of Krista Reinke - Case/Walker unanimous to approve Park Committee Appointment of Krista Reinke.



Cemetery Update -

Discuss/Approve/Disapprove Cemetery Sexton; Lester Kriesel's Resignation, Effective March 1st, 2026 - Rush/Walker unanimous to approve Lester Kriesel's resignation, effective March 1st, 2026.

Tabled Items:

Discuss/Approve/Disapprove Quote from NSU for Telemetry Units - Rush/Walker unanimous to table until July 15th, 2026.

Discuss/Approve/Disapprove Pay Increase/COLA for Employees - Case discussed increases for the Clerk and Deputy Clerk to bring salaries up to average amounts for surrounding areas. Swanson stated other cities have accreditations to base their salaries off of. **Case motioned to give 15% increases to the Clerk and Deputy Clerk. Swanson seconded.** Case stated there should be steps implemented to help with the pay increases for the future. **Rush disapproved. Motion carried 4-1.**

Discuss City Owned Land on County Road 9 and 45 - Case stated that the infrastructure committee is discussing this land and the remodel and that there would not be an infrastructure committee if this land was not on the table. Case stated that three companies are giving estimates on the remodel. Swanson stated the numbers will be brought to the infrastructure committee to continue discussion. Holm stated he wants to make sure that we get an honest look at the remodel to give to the infrastructure committee. Case stated this information is not fixed and we can make changes as we go. Swanson stated that the drawings can be changed as they are just a concept. Swanson went on to say that the 30 acres was purchased with the thought that the city was going to use it, not sit on it.

New Business:

Discuss/Approve/Disapprove Eliminating Direct Deposit for Fire Department Payroll - Case stated the monthly cost for having direct deposit is \$75 a month even though the city only does direct deposit for the fire department twice a year. Case recommends doing direct deposit for this July payroll. Rush asked to bring this to the Fire Departments attention. **Holm/Case unanimous to table** until the July 15th, 2026 City Council meeting.

Discuss CIP for the City of Baldwin - Case stated the city should consider a CIP (Capital Improvement Plan) so that the city can use it to get a rural development loan and have options for the future. City Planner Licht stated a CIP is beneficial to have so that all departments can inventory and prioritize future needs of the city. **Case/Walker unanimous to approve** City Planner Licht start preparation for the CIP.

Discuss Scheduling an open House for 100th Street Residence Regarding Road Project - Walker requested to schedule an open house for 100th Street residents as a

lot of the residents are in disagreement with the right-of-way. Rush stated letters were sent out with incorrect information and that's where the confusion came from. Rush disagrees with hosting another open house as the engineering fees have been too high. Rush went on to say if the residents on 100th Street do not want to sign the agreements; the city should focus on 297th. Swanson stated an idea would be to put stakes in the right-of-way to show the residents on 100th street where the easements are. Swanson went on to discuss imminent domain. Case asked for clarification on the cost of trees versus the cost of imminent domain. City Planner Licht clarified how imminent domain works. Holm discussed the safety of the road. The open house for 100th street residents should not be scheduled until a cost estimate is received. **Holm motioned to have the engineer estimate costs of 100th Street survey with stakes. Walker seconded. Rush disapproved. Motion carried 4-1.**

Discuss/Approve/Disapprove Survey on 100th Street - Case/Holm unanimous to table 100th Street survey until the July 15, 2026 City Council meeting.

Remove Dead Tree at Elk Lake Rain Garden - Public Works is requesting to get quotes to cut down a large dead oak tree at the Elk Lake Rain Garden. **Walker/Holm unanimous to get quotes for the removal of the dead oak tree at Elk Lake Rain Garden.**

Discuss/Approve/Disapprove Zero Turn Mower for Public Works - Walker stated the pump is out on one of the mowers and about to go out on the other mower. These mowers are old and are hard to get parts. The cost for one pump is \$1600. Quotes for Zero Turn Mowers were provided; Gravely for \$8,699 and Ferris for \$10,099. **Rush/Walker unanimous to approve purchase of the Ferris Mower for \$10,099.**

Discuss/Approve/Disapprove Frontier Trails Aerator Replacement \$874.78 - Case/Rush unanimous to approve new aerator replacement for \$874.78.

Discuss Poly-flex - Hakanson Anderson is requesting clarification on if the poly flex is needed for crack sealing. **Rush/Walker unanimous to approve poly flex for crack sealing.**

Discuss Pets at City Hall - Rush would like to discuss having pets at City Hall. Holm stated discretion should be used when bringing pets into the building. Rush stated liability issues if a dog bites a resident. This is only for discussion at this time.

Discuss Chip Sealing - Rush requested to get estimates for West Elk Lake, Lake Diann, and South Sandy for chip seal. **Rush/Walker unanimous to approve engineering getting estimates for West Elk Lake, Lake Diann, and South Sandy.**

Announcements:

- a. City Hall Closed Friday, July 3rd, 2026 in Observance of Independence Day
- b. Special Planning Commission Meeting Wednesday, July 8th, 2026 at 7:00 p.m.
- c. Next City Council Meeting Wednesday, July 15th, 2026 at 7:00 p.m.



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d. July 14th - July 28th, Filing Period Opens for Municipal Offices; Mayor; Four-Year Term and Two Positions for City Council; Four-Year Term

Any Other Business: None.

Approve Bills for Payment - Check numbers 29589 - 29625 for \$215,216.98. Void check number 29470 from May of 2026 and reissue check number 29594 for \$77.48, 3 EFT Payments for \$5,793.91 for a total of \$221,010.89.

Holm requested to hold the reduction of credit for Hardy Homestead due to some concerns with the punch list. Check number 29624 held back for review resulting in a change in total to \$196,974.92. **Rush/Walker unanimous to approve.**

Adjourn - Holm/Rush unanimous to approve adjournment at 11:04 p.m.

Submitted By: (s/) Kayla Nielsen
Deputy Clerk/Treasurer
City of Baldwin

Approved By: (s/) Jay Swanson
Mayor
City of Baldwin

Date

Attendees: Kristie Lacey, Delmas Hines, David Durelle, Chris Durelle, Peter Coen, Tom Croteau, Peggy Croteau, Dan Flynn, Bruce West, Fire Chief Robin Fischer, Assistant Fire Chief Brian Torborg, Connor Loscheider, Tim Dearick, Jan Takata, Gene Dvoracek, Nancy Dvoracek, Julie Weidenborner, and Dave Cowles

RESOLUTION NO: 26-20

**CITY OF BALDWIN
COUNTY OF SHERBURNE, MINNESOTA**

**CONDITIONAL USE PERMIT
01-00033-3200**

WHEREAS, Vertical Bridge/The Towers, LLC has applied for a Conditional Use Permit to allow for construction of a telecommunications tower at 28509 128th Street; and

WHEREAS, the subject property is legally described by Exhibit A; and

WHEREAS, the property is guided for Rural land uses by the Comprehensive Plan; and

WHEREAS, the property is zoned R1, General Rural District and is also partially located within the Shoreland Overlay District of Cantlin Lake; and

WHEREAS, the applicant is requesting approval of a Conditional Use Permit to allow for construction of a telecommunications tower in accordance with Chapter 27 of the Zoning Ordinance; and

WHEREAS, the City Council must take into consideration the possible effects of the request with its judgment based upon (but not limited to) the criteria outlined in Section 900-4-2 of the Zoning Ordinance:

- A. The proposed action's consistency with the specific policies and provisions of the City comprehensive plan.

Finding: The proposed use will improve communication services within the area benefiting local users, as well as transient users on US Highway 169, and is essential and incidental to human activity.

- B. The proposed use's compatibility with present and future land uses of the area.

Finding: The proposed use complies with the design standards established by the Zoning Ordinance to mitigate compatibility issues with existing and planned land uses in the area surrounding the subject property.

- C. The proposed use's potential to impact natural resources such as surface water, groundwater, or wetlands; sites identified for rare biological species habitat; ecologically sensitive areas; or historically significant areas.

Finding: The construction of the proposed use will not impact existing natural resources within the subject property.

- D. The proposed use's conformity with all performance standards contained within this ordinance and other City ordinances.

Finding: The proposed use complies with the requirements of the Zoning Ordinance.

- E. Traffic generation of the proposed use in relation to capabilities of streets serving the property.

Finding: The traffic generated by the proposed use can be accommodated by existing streets serving the subject property.

WHEREAS, the Planning Commission conducted a public hearing at their meeting on 24 June 2026 to consider the application, preceded by published and mailed notice; the public hearing was closed after hearing from all persons wishing to speak and the Planning Commission voted 5-1 to recommend the City Council approve the request; and

WHEREAS, the planning report dated 26 June 2026 prepared by the City Planner, The Planning Company LLC, is incorporated herein; and

WHEREAS, the City Council considered the application at its meeting on 1 July 2026; the application was tabled to the City Council meeting on 15 July 2026 to allow City staff to provide additional information regarding applicability of certain zoning provisions; and

WHEREAS, the City Council again considered the application and additional information from City staff at its meeting on 15 July 2026.

NOW THEREFORE BE IT RESOLVED BY THE BALDWIN CITY COUNCIL THAT based on the foregoing information and applicable ordinances, the Baldwin City Council hereby adopts findings of fact as stated herein and approves the application, subject to the following conditions:

1. The subject property shall be developed in accordance with the site and building plans submitted to the City subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-6 of the Zoning Ordinance.
2. The submitted plans shall be revised to illustrate the boundaries of the Shoreland Overlay District imposed upon the subject property.
3. The proposed tower shall be located within the rear yard as defined by the Zoning Ordinance, subject to review and approval of the Zoning Administrator.
4. The landscape plan shall be revised to provide for evergreen trees a minimum of eight feet in height at not more than 25 feet on center, subject to review and approval of the Zoning Administrator.
5. All new plants shall be guaranteed for 12 months from the date planting is completed and shall be alive, in good health, of good quality and structural condition, and insect- and disease-free at the end of the warranty period or be replaced, subject to review and approval of the Zoning Administrator.
6. Access to 128th Street (CR 45) shall be subject to review and approval of Sherburne County.
7. All signs shall comply with Section 900-27-2.B of the Zoning Ordinance.
8. All grading, drainage, and erosion control plans shall be subject to review and approval of the City Engineer.

9. The tower owner shall maintain insurance in the amount of \$1,000,000.00 for personal property damage and provide evidence of such coverage to the Zoning Administrator annually.
10. The applicant shall provide documentation to the Zoning Administrator that the lease for the telecommunications facility location, including revisions or renewals, requires removal of any unused equipment within 12 months after operations cease.

(remainder of page blank; signatures follow)

ADOPTED by the Baldwin City Council this 15th day of July, 2026.

MOTION BY:
SECOND BY:
ALL IN FAVOR:
THOSE OPPOSED:

CITY OF BALDWIN

BY: _____
Jay Swanson, Mayor

ATTEST:

BY: _____
Joan Heinen, City Clerk/Treasurer



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Baldwin Mayor and City Council

FROM: D. Daniel Licht

DATE: 19 June 2026

120 DAY DATE: 28 August 2026

RE: Baldwin – Verizon Tower CUP (PID 01-00033-3200)

BACKGROUND

Vertical Bridge/The Towers, LLC has submitted plans on behalf of Verizon to construct a 175-foot telecommunications tower with antennas and related equipment at 28509 128th Street. The subject property is a 7.22 acre parcel located at the southeast quadrant of 128th Street (CR 45) and 281st Avenue that is developed with a single family dwelling and detached accessory buildings.

The proposed tower requires issuance of a Conditional Use Permit subject to the performance standards established by Chapter 27 of the Zoning Ordinance. Applications for a Conditional Use Permit are subject to review by the Planning Commission and approval of the City Council. A public hearing to consider the proposed tower was held by the Planning Commission at their meeting on 24 June 2026. Mr. Alex Trueman of Vertical Bridge was present as the applicant and agreed with the recommendations of City staff.

The public hearing was well attended by persons residing in the area of the subject property. Comments and questions from the public addressed the process as to how the site for the tower was selected and the need for the facility, as well as concerns about radio frequency emissions. People speaking also addressed impacts to property values, aesthetics, and compliance with the Zoning Ordinance. After taking questions and comments, the public hearing was closed.

Exhibits:

- Property Location Map
- Residential Area Analysis
- Service Analysis (6 pages)
- Civil plans (45 sheets)

ANALYSIS

Telecommunications Act of 1996. The Federal Telecommunications Act of 1996 establishes parameters to which the City is allowed to regulate telecommunications facilities. Under the Act, telecommunications towers and antennas are treated similarly to electric and gas utilities as essential services. Baldwin is required to allow such facilities within the City and must limit regulation to zoning issues, such as minimum lot area, setbacks, structure height, screening, and the like. However, the City is prohibited from regulating or considering perceived health or environmental effects of telecommunications facilities.

There were also questions during the public hearing as to how the subject property was selected for the proposed telecommunications facility. Verizon has identified a need for an antenna facility in the area of the subject property to address service area gaps and meet demand for increasing services. This analysis also includes an evaluation as to whether there are existing towers in the area on which Verizon could locate to address the service needs. If no existing tower is adequate or available, Verizon then contacts property owners in the area with a proposal to lease a portion of their property to locate a tower. The property owner must agree to lease a portion of their property to Verizon. With a lease established, Verizon proceeds with preparation of site and building plans for the telecommunications facility, which are submitted to the City. The Zoning Ordinance includes telecommunications facilities broadly within the various zoning districts and performance standards pertaining to location and construction.

In summary, and in accordance with Act, the City cannot:

- Consider operation of the proposed telecommunications system and must only evaluate the land use aspects of the application for compliance with the standards established by the Zoning Ordinance.
- Direct that the applicant locate a proposed tower on a different property but must review the current proposal for the subject property for compliance with the provisions of the Zoning Ordinance.

Comprehensive Plan. The Comprehensive Plan guides the subject property for Rural land uses. Allowance of telecommunications towers provides services necessary for residents and businesses in the area as well as transient users along the US Highway 169 corridor. The proposed telecommunications tower is consistent with the policies of the Comprehensive Plan.

Zoning. The subject property is zoned R1, General Rural District. Telecommunications towers are allowed within the R1 District subject to the provisions of Chapter 27 of the Zoning Ordinance. Section 900-27-7.A.2.b of the Zoning Ordinance requires issuance of a Conditional Use Permit for a freestanding tower up to a height of 175 feet, which the applicant has requested.

Section 900-27-7.A.3 of the Zoning Ordinance prohibits towers within platted lots or residential areas defined by Section 900-2-2 of the Zoning Ordinance:

Residential Area. Shall include all platted land and land which has been legally subdivided into tracts less than ten acres for the purpose of residential use, where there are 24 homes or more within a 0.25 mile radius of the proposed tower site.

A question was raised at the public hearing whether the subject property is within a defined residential area. City staff evaluated this requirement as part of its review of the application finding that the subject property is not within a defined residential area. Following the public hearing, the applicant provided a map illustrating that there are 19 homes within 0.25 mile of the proposed tower. The applicant did a second analysis based on a 0.30 mile radius of the proposed tower and identified 21 homes. Section 900-27-7.A.3 of the Zoning Ordinance does not apply to the subject property and application.

Portions of the subject property are within the S, Shoreland Overlay District of Cantlin Lake to the northeast. The submitted site plans must be revised to identify the boundaries of the Shoreland Overlay District. Due to the height of the proposed tower, it must be located outside of the Shoreland Overlay District applicable to the subject property.

The subject property is not within the airport safety zone surrounding the Princeton Airport. Any regulations pertaining to aviation safety would be based on the height of the proposed tower in accordance with Federal Aviation Safety rules.

Surrounding Uses. The area surrounding the subject property is guided by the Comprehensive Plan for rural uses that are zoned R1 District.

The proposed tower is in the central portion of the property and is surrounded in all directions by unplatted parcels developed with single family dwellings. The closest residential dwelling on an adjacent property is located approximately 400 feet to the east of the subject property. Compliance with the performance standards of Chapter 27 of the Zoning Ordinance is required to ensure that the proposed tower is as compatible as possible with surrounding land uses.

City staff also notes that the residential area analysis required by Section 900-27-7.3 of the Zoning Ordinance is not a setback requirement, nor does it apply reciprocally upon adjacent properties. A new single family dwelling is allowed to be constructed on a vacant property that is within 0.25 mile of the tower location (if approved) with issuance of a building permit. If in the future there are 24 or more single family dwellings within 0.25 mile of the subject property, the tower would become a legal non-conforming structure regulated by Chapter 15 of the Zoning Ordinance.

Property Values. The Planning Commission and City Council do not consider potential impacts to property values in making decisions for land use applications. Information pertaining to possible property value changes is highly subjective and inconsistent; even comprehensive real estate appraisals prepared by licensed appraisers can provide widely different interpretations of property values. Furthermore, because the proposed use is consistent with the Comprehensive Plan and allowed by the Zoning Ordinance, there is an existing possibility that a use such as this may develop on the subject property. The potential for the use to develop on the subject property, therefore, must be considered as part of any expectations regarding the value of nearby properties.

Service Analysis. Section 900-27-4.B of the Zoning Ordinance requires an applicant for construction of a new telecommunications tower to demonstrate through a service coverage analysis the need for the proposed tower location. The purpose of this requirement is to balance the need for telecommunication services within the City (and along US Highway 169) with minimizing the number of tower locations and promoting co-location on existing towers or structures where feasible.

The applicant has provided a coverage analysis for the proposed location based on existing towers in the area. There is a service coverage gap for the provider within the City in the area of the proposed tower location. The analysis further illustrates that the service coverage gap will be mitigated with the construction of the proposed tower and installation of additional telecommunications antennas. The service analysis provided by the applicant reasonably demonstrates the need for the proposed tower located at the subject property as required by the Zoning Ordinance.

Lot Area. Section 900-27-2.G.1 of the Zoning Ordinance establishes a minimum lot area of 2.5 acres for construction of a tower over 35 feet in height. The 7.22 acre area of the subject property exceeds the minimum area requirement of the Zoning Ordinance.

Yard Location. Section 900-27-2.I of the Zoning Ordinance requires that the tower be located within the rear yard defined by the Zoning Ordinance when located on a property with another principal residential use. The front lot line of the subject property as defined by the Zoning Ordinance is the north line abutting the 281st Avenue right-of-way. A rear yard is defined in Section 900-2-2 of the Zoning Ordinance as the area extending the full width of the lot between the rear lot line and the nearest line of the principal building. The tower is proposed to be located behind the south line of the principal building and is, therefore, within a rear yard.

Setbacks. The setbacks required by Chapter 27 of the Zoning Ordinance exceed the base setbacks required within the R1 District by Section 900-51-8 of the Zoning Ordinance.

Section 900-27-5.B of the Zoning Ordinance requires that towers over 60 feet in height be located no closer than the height of the tower plus 20 feet from any residential dwelling other than a dwelling located on the same property. The proposed tower location is more than 400 feet from the nearest residential dwelling not located on the same property.

Section 900-27-5.C of the Zoning Ordinance further requires that the proposed tower not be located closer to a property line than the height of the tower. The proposed tower and ground-mounted equipment are more than 195 feet from the east, south, and west property lines. The proposed tower and ground-mounted equipment comply with the applicable setback requirements of the Zoning Ordinance.

Screening. Section 900-27-2.H of the Zoning Ordinance requires installation of fencing and landscaping to screen views of the telecommunications facility from off-site properties.

A six-foot chain link fence with one-foot security arms is to be installed to form a 50-foot by 50-foot perimeter around the proposed tower and ground-mounted equipment. There is one gate on the north side of the fence enclosure for access to the proposed tower. The proposed fence complies with the provisions of Section 900-19-4 of the Zoning Ordinance regulating fences.

The site plan illustrates installation of nine eastern red cedar trees at the outside perimeter of the fenced enclosure. The quantity of trees is not sufficient to provide complete screening of the enclosed area, and the landscape plan must be revised to provide for evergreen trees planted at not more than 25 feet on center. The size of the proposed trees is identified as five feet and must be increased to eight feet as required by Section 900-19-2.B.3.b of the Zoning Ordinance. The Zoning Administrator will review the revised landscape plan.

Section 900-19-2.C of the Zoning Ordinance requires that all new plants be guaranteed for 12 months from the date planting is completed. Plants must be alive, in good health, of good quality and structural condition, and insect- and disease-free at the end of the warranty period or be replaced.

Access. The proposed telecommunications facility is to be accessed via an existing driveway to 128th Street (CR 45). Use of the existing driveway for the proposed telecommunication facility is to be subject to review and approval of Sherburne County. The driveway is shown to be improved with a 12-foot wide gravel driveway. A gravel driveway is allowed for the proposed use by Section 900-21-6.B.2.a of the Zoning Ordinance.

Design Standards. Section 900-27-3 of the Zoning Ordinance establishes design standards for proposed telecommunications towers as follows:

- Section 900-27-3.A of the Zoning Ordinance requires that all telecommunications towers be a monopole design. The proposed tower is a monopole design that complies with the Zoning Ordinance.
- Section 900-27-3.B of the Zoning Ordinance requires engineered plans for the proposed tower. The submitted plans are to be signed by a licensed professional engineer upon approval.
- Section 900-27-3.C of the Zoning Ordinance requires use of anti-climbing measures for the proposed tower. The proposed tower and ground-mounted equipment are to be surrounded by a perimeter chain link fence that is seven feet in height with outward angled barbed wire security arms. The monopole design of the tower does not include any climbing equipment.
- Section 900-27-3.D of the Zoning Ordinance prohibits illumination of the tower unless required by Federal aviation regulations. No lighting is included on the proposed tower.
- Section 900-27-3.E of the Zoning Ordinance requires the proposed tower to be a silver or galvanized finish. The proposed tower is to have a galvanized finish as required by the Zoning Ordinance.
- Section 900-27-3.F.2 of the Zoning Ordinance requires that towers over 125 feet in height make provision for co-location of two other antenna systems upon the tower. The purpose of this requirement is to minimize the need for additional towers within the community and ensure adequate access to telecommunications. The proposed tower can accommodate two additional antenna systems in addition to Verizon's facilities.

Signs. Section 900-27-2.B of the Zoning Ordinance prohibits advertising signs from being affixed to the proposed tower. The submitted plans detail the regulatory and safety signs to be installed for the facility, which do not include any advertising. The signage complies with the Zoning Ordinance.

Utilities. The site plan indicates extension of electric utilities to serve the proposed telecommunications facility from 128th Street (CR 45) overlaid by a utility easement. The Building Official will review extension of the electric utility as part of the Building Permit application.

Grading. The submitted plans include information for grading, drainage, and erosion control related to construction of the telecommunications tower, equipment, and facilities. The City Engineer has reviewed the submitted plans and commented on the need for additional erosion control to protect a wetland south of the proposed tower location. All grading, drainage, and erosion control issues are to be subject to review and approval of the City Engineer.

Insurance. Section 900-27-2.M of the Zoning Ordinance requires that the tower owner provide evidence of at least \$1,000,000.00 in property damage liability coverage. A certificate of insurance coverage will be required to be submitted as a condition of approval.

Termination. Section 900-27-2.C of the Zoning Ordinance requires that unused telecommunications equipment, including antennas, ground-mounted equipment, or the tower itself, must be removed within 12 months after operations cease. The applicant must provide documentation that the removal provision is included in the ground lease with the property owner.

Building Permit. A building permit must be obtained prior to construction of the proposed tower or ground-mounted equipment upon the subject property. The building permit application will be subject to review and approval of the Building Official.

RECOMMENDATION

Subject to the recommended conditions of approval, the application for a Conditional Use Permit for construction of a new telecommunications tower complies with the criteria and standards established by the Zoning Ordinance. The Planning Commission, after closing the public hearing, discussed the application and concurred with the recommendations of City staff. The Planning Commission voted 5-1 to adopt findings of fact and recommend the City Council approve the application. City staff has drafted a resolution for consideration by the City Council to adopt findings of fact and approve the Conditional Use Permit, which is to be subject to the conditions stated.

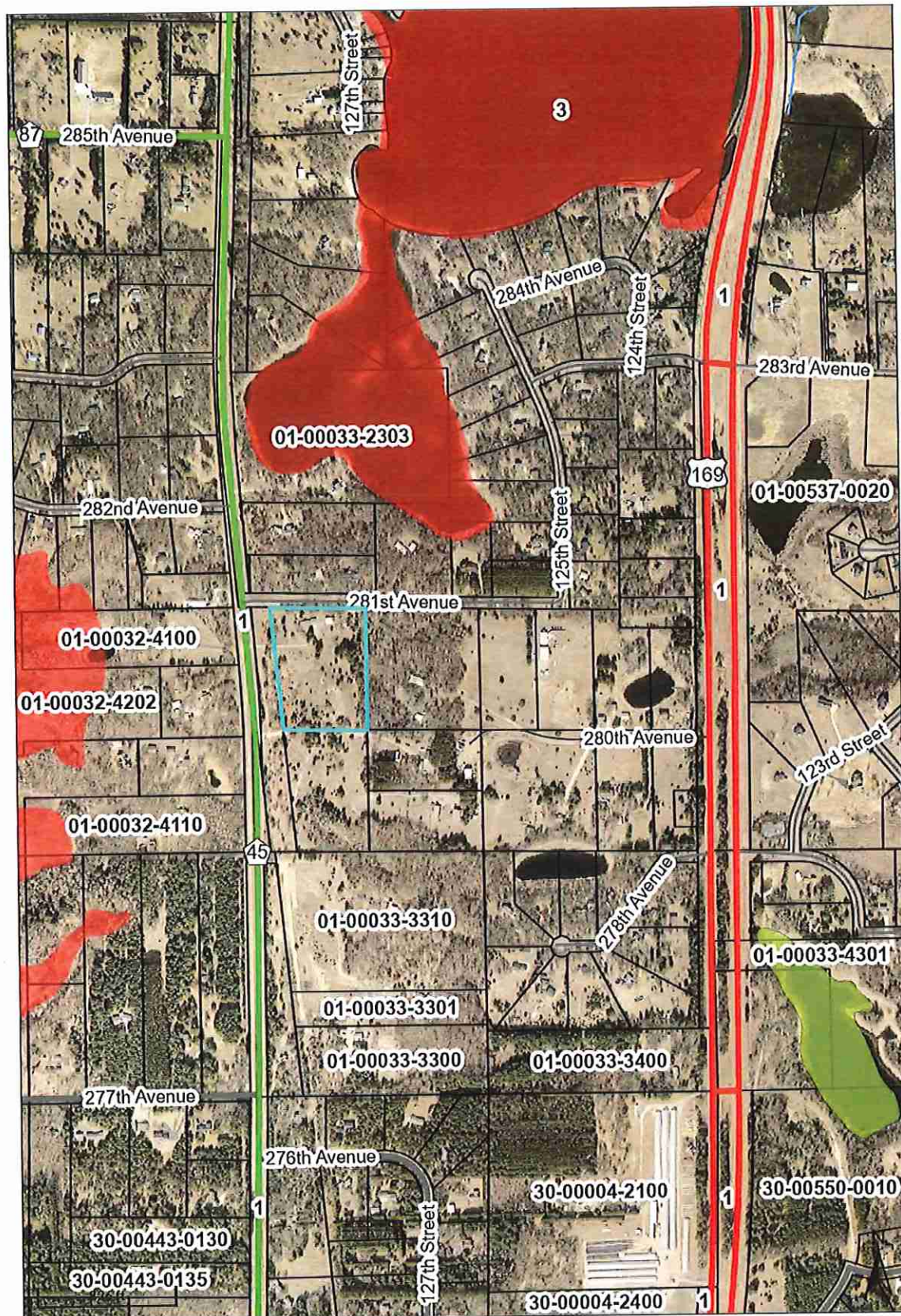
POSSIBLE ACTION

Motion to adopt a resolution approving findings of fact and a Conditional Use Permit for a telecommunications tower for Vertical Bridge/The Towers, LLC subject to the conditions stated.

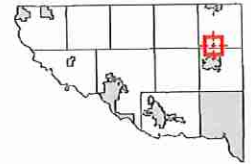
- c. Joan Heinen, City Clerk/Treasurer
 Sam Jochum, City Engineer
 Andy Schreder, Building Official
 Bob Ruppe, City Attorney

Property Location Map

28059 128th Street (01-00033-3200)



Overview



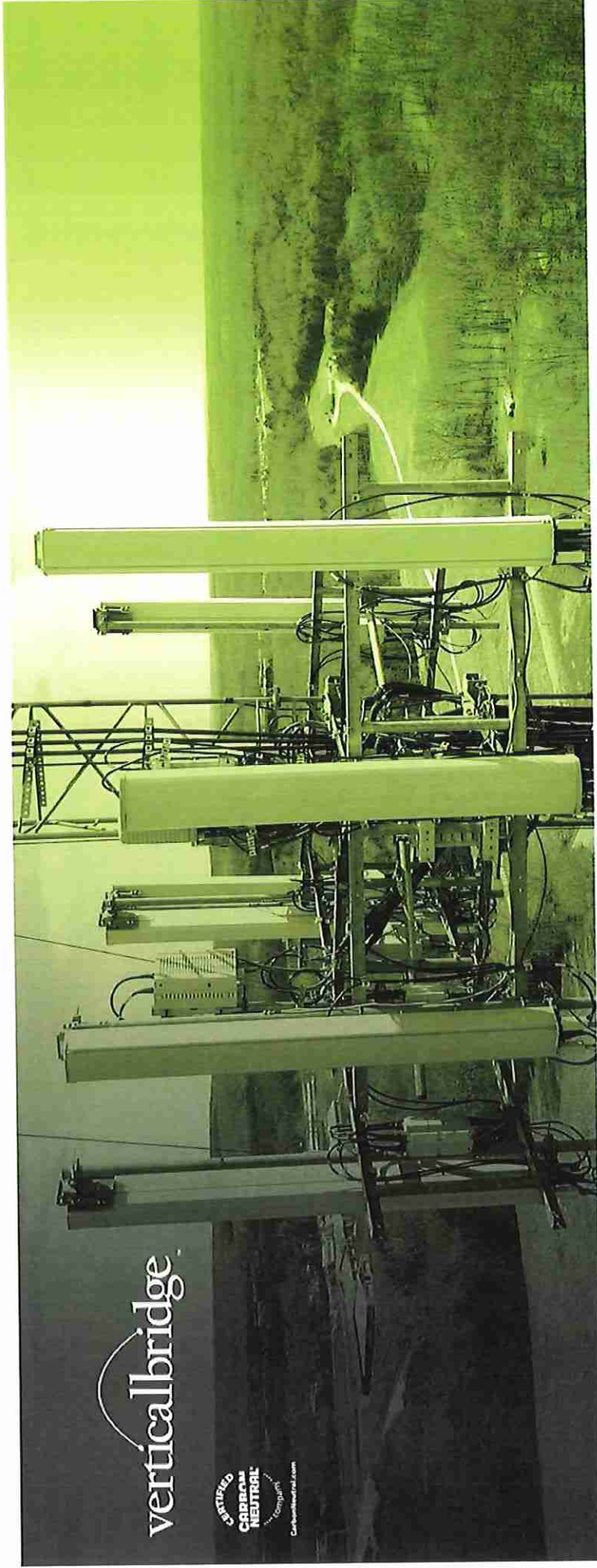
Legend

Public Water Inventory

- Not Classified
- General Development
- Natural Environment
- Recreational Development

Roads

- MN Highway; US Highway
- Municipal-State Aid Street
- Municipal Street
- Township Road
- State Forest Road
- Bureau of Fish and Wildlife Road
- Connector (Ramp)
- Privately Maintained Public Access Road
- County Road
- County-State Aid Highway
- Parcels
- Streams

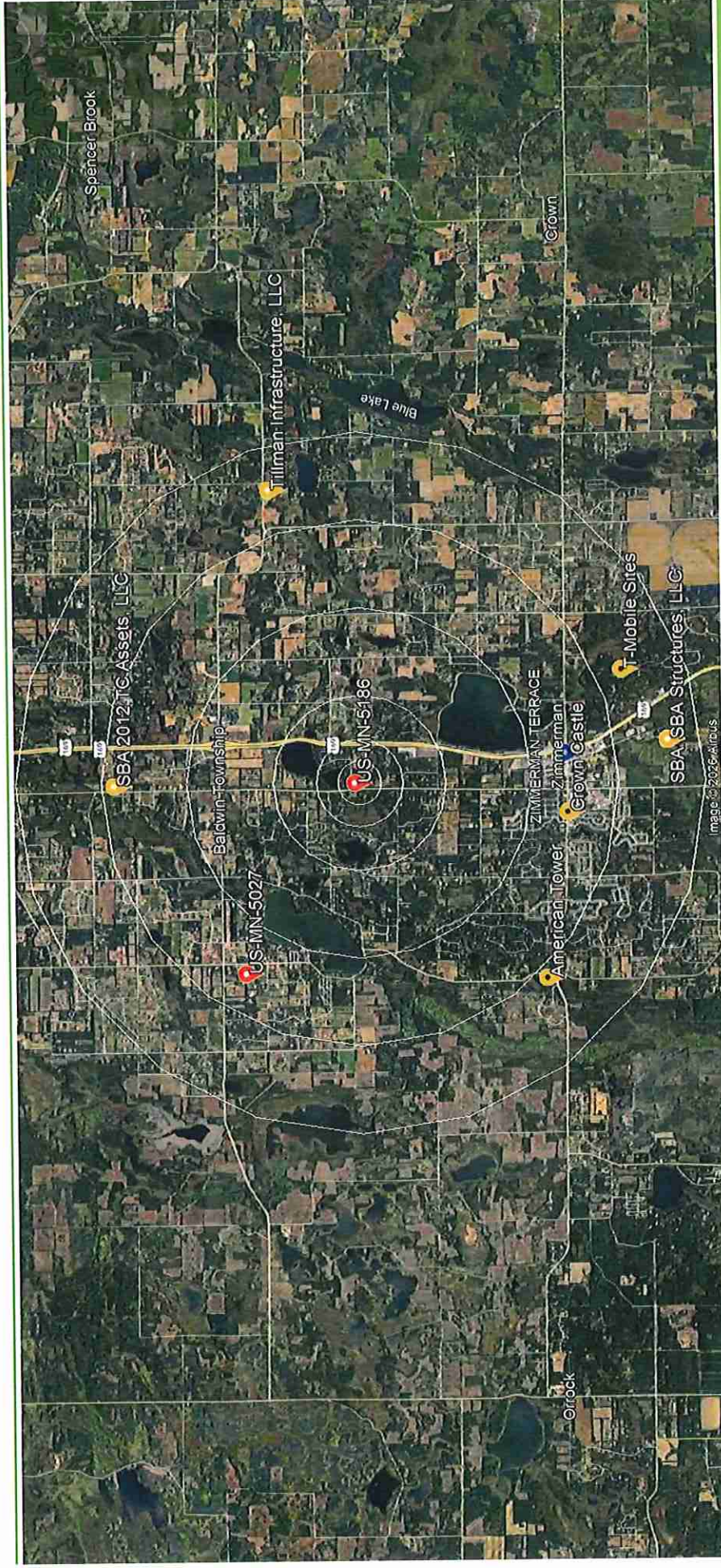


Propagation Maps for US-MN-5186

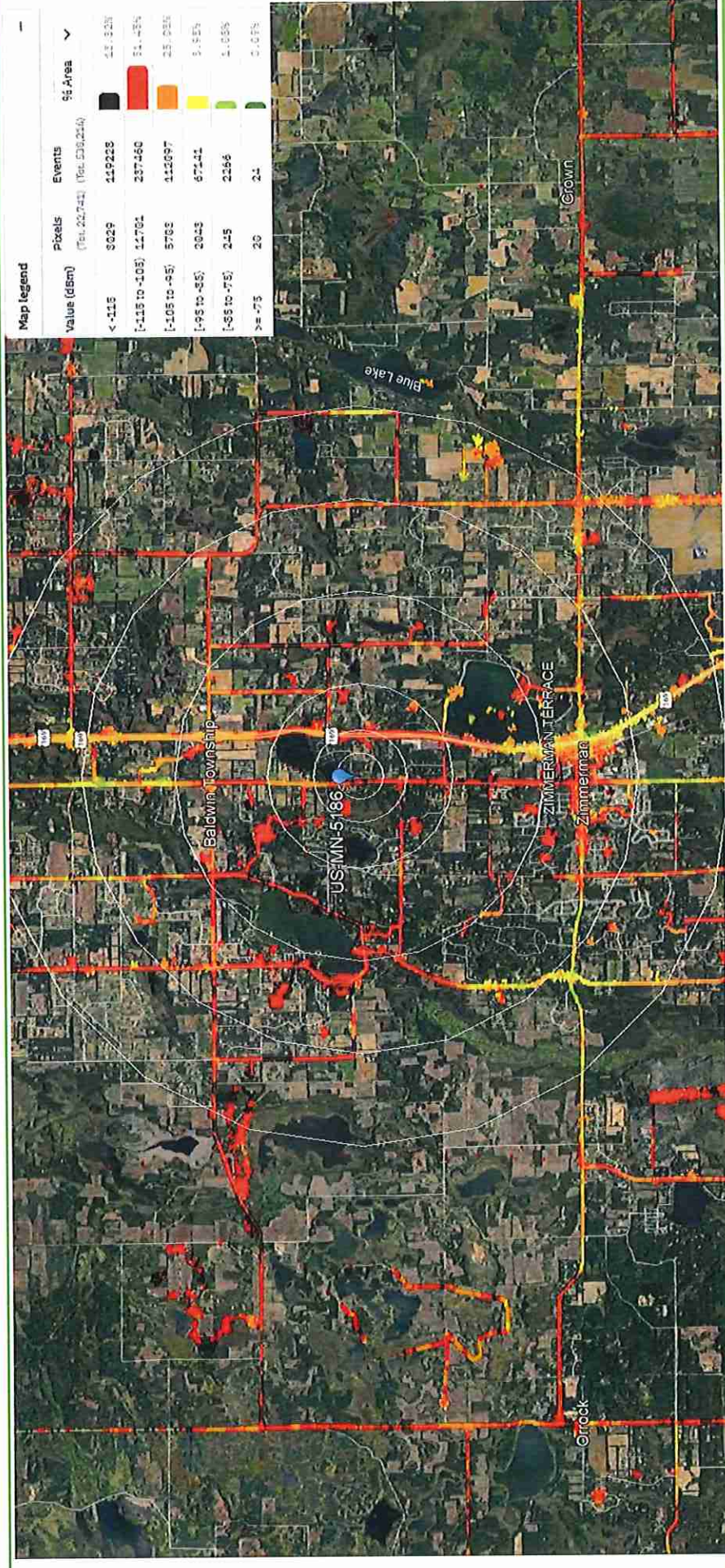
April 17, 2026

Strictly Private and Confidential

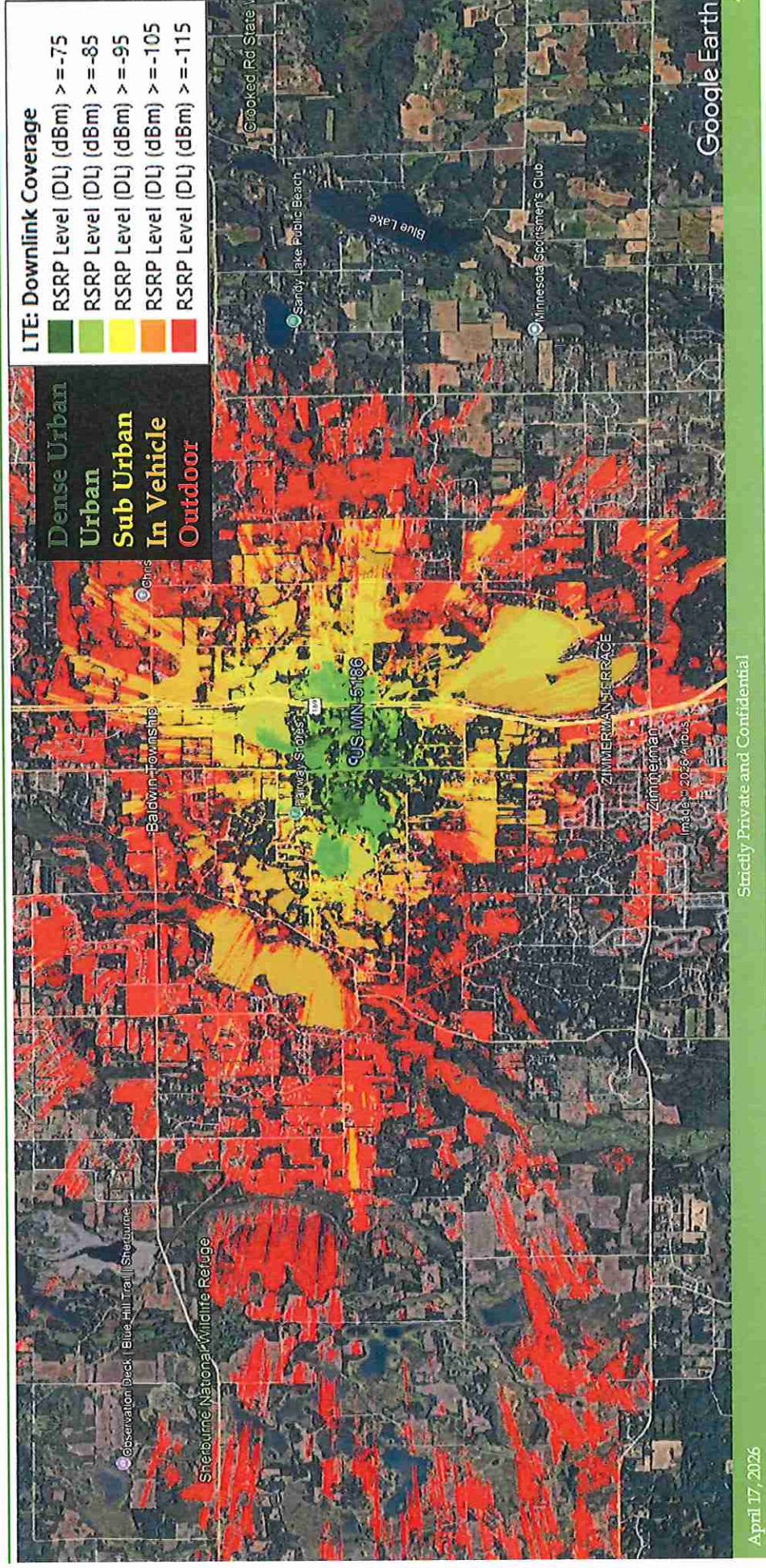
US-MN-5186 CMA



Verizon Crowdsourced Data



US-MN-5186 Coverage @ 170 Feet RAD



Disclaimer



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Edge
Engineering & Construction
www.edgeinc.com

verticalbridge
THE TOWER, LLC

verizon

SITE PLAN
87C FREMONT (V&W # 17660181)
ZIMMERMAN, MINNESOTA
87C FREMONT (VB # US-NM-5186)

CONTRACT:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
DATE:

REVISIONS:

PROJECT INFORMATION:
SITE: DESCRIPTION:
DATE: 10/1/17
SCALE: 1" = 1' - 1" = 50'

TOWER SETBACK - HEIGHT OF TOWER - 20' (19')

MISC. ZONING / PERMITTING NOTE:

DISTANCE FROM TOWER CENTER TO PROPERTY LINES:

- DISTANCE FROM TOWER CENTER TO NORTH PROPERTY LINE = 488.72 ±
- DISTANCE FROM TOWER CENTER TO SOUTH PROPERTY LINE = 210.48 ±
- DISTANCE FROM TOWER CENTER TO WEST PROPERTY LINE = 250.07 ±
- DISTANCE FROM TOWER CENTER TO EAST PROPERTY LINE = 262.89 ±

EXISTING BUILDING

EXISTING GRAVEL DRIVEWAY

EXISTING OVERHEAD UTILITIES (TYP.)

EXISTING UTILITY POLE (TYP.)

FLOOD ZONE A

PROPOSED BURIED UTILITIES FROM S.W. TO CORNER OF LOT APPROX. 400' IN LENGTH SEE VB E-102 FOR DETAILS

PROPOSED FIBER VAULTS INSTALLED AT P.O.C. SEE VB E-102 FOR DETAILS

EXTENTS OF PROPOSED 30' WIDE ACCESS AND UTILITY EASEMENT (VERTICAL BROCKE)

PROPOSED 17'-0" WIDE x 330' LONG GRAVEL ACCESS DRIVE SEE VB C-101 FOR DETAILS

EXISTING TREE BRUSH WITHIN PROPOSED LEASE AREA ACCESSIBILITY EASEMENT TO BE REMOVED TO ACCOMMODATE PROPOSED ACCESS DRIVE, UTILITIES AND COMPOUND

PROPOSED CULVERT SEE VB C-104 FOR DETAILS

PROPOSED 50' x 50' FENCED COMPOUND SEE VB C-102 FOR DETAILS

PROPOSED MONOPOLE TOWER DESIGNED BY OTHERS; SEE VB T-201 FOR DETAILS

PROPOSED 75' x 70' LEASE AREA (VERTICAL BROCKE)

195'-0" TOWER SETBACK

EXTENT OF 100' TOWER SETBACK FROM PROPERTY LINES (P.O.T. = 30')

CRASS

EXISTING TREE (TYP.)

EXISTING OVERHEAD UTILITIES (TYP.)

PROPERTY LINE

SECTION LINE

RIGHT OF WAY

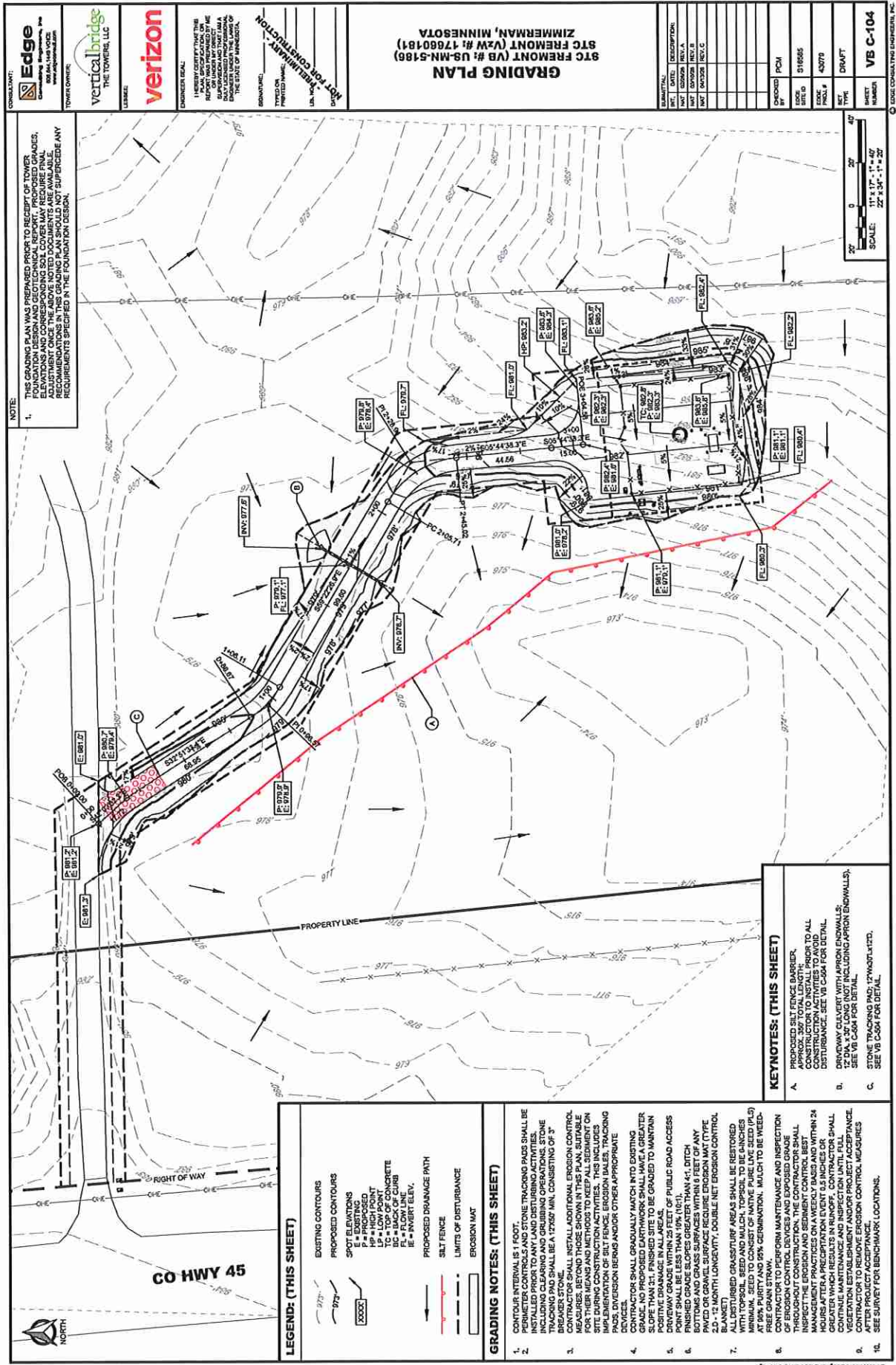
CO HWY 45

281ST AVE NW

AERIAL OVERVIEW OF SITE (LOOKING NORTHEAST)

AERIAL OVERVIEW OF SITE (LOOKING SOUTH)

AERIAL OVERVIEW OF SITE (LOOKING SOUTHEAST)



NOTE:
1. THIS GRADING PLAN HAS BEEN PREPARED PRIOR TO RECEIPT OF TOWER FOUNDATION DESIGN AND GEOTECHNICAL REPORT. PROPOSED GRADES, ELEVATIONS AND CORRESPONDING SOIL COVER MAY REQUIRE FINAL REVISIONS BASED ON THE RESULTS OF THE FOUNDATION DESIGN. ANY REQUIREMENTS SPECIFIED IN THE FOUNDATION DESIGN.

Edge CONSULTANT 10000 15th Avenue S Suite 100 Minneapolis, MN 55426 www.edgeinc.com		verticalbridge THE TOWER, LLC LICENSEE		verizon LICENSEE		ENGINEER'S SEAL I HAVE EXAMINED THIS PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINNESOTA ENGINEERING ACT. I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA. SIGNATURE: _____ PRINTED NAME: _____ DATE: _____		NOT FOR CONSTRUCTION		GRADING PLAN 8TC FREMONT (V# # US-MN-5186) ZIMMERMAN, MINNESOTA		SUBMITTAL DATE: _____ DESCRIPTION: _____ NOT ISSUED: REV. A DATE: 04/03/2018 NOT: 04/03/2018 REV. C		DESIGNED BY: _____ CHECKED BY: _____ DATE: 01/16/2018 SCALE: 40079 DATE: 04/03/2018 REV. C		BY: _____ DATE: _____ SCALE: 40079 DATE: 04/03/2018 REV. C		DRAWN BY: _____ DATE: _____ SCALE: 40079 DATE: 04/03/2018 REV. C		PROJECT NUMBER: VB C-104	
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- LEGEND: (THIS SHEET)**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - SPOT ELEVATIONS
P = PROPOSED
E = EXISTING
LP = LOW POINT
TC = TOP OF CONCRETE
FL = FLOW LINE
IE = INVERT ELEV.
 - PROPOSED DRAINAGE PATH
 - SELF FENCE
 - LIMITS OF DISTURBANCE
 - EROSION MAT

- GRADING NOTES: (THIS SHEET)**
- CONTOUR INTERVAL IS 1 FOOT.
 - ALL PROPOSED GRADING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES. TRACKING PADS SHALL BE A 12'x60' MIN. CONSISTING OF 3" MEASURES. BEYOND THOSE SHOWN IN THIS PLAN, SUTABLE FOR THEIR MEANS AND METHODS TO KEEP ALL SEDIMENT ON IMPLEMENTATION OF SILT FENCE, EROSION BARRIERS, TRACKING PADS, DIVERSION BARRIERS AND/OR OTHER APPROPRIATE DEVICES.
 - CONTRACTOR SHALL GRADUALLY MATCH INTO EXISTING GRADE. NO PROPOSED EARTHWORK SHALL HAVE A GREATER SLOPE THAN 3:1. FINISHED SITE TO BE GRADED TO MAINTAIN POSITIVE DRAINAGE IN ALL AREAS.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 10' OF RIBBLE ROAD ACCESS POINTS SHALL BE LESS THAN 10% (10:1).
 - FINISHED GRADE SLOPES GREATER THAN 4:1, DITCH BOTTOMS AND GRASS SURFACES WITHIN 6 FEET OF ANY EXISTING OR GRAVEL SURFACE REQUIRE EROSION MAT (TYPE 2) WITH LONGER 11" DOUBLE (NET EROSION CONTROL BLANKET).
 - ALL DISTURBED GRASS/STURF AREAS SHALL BE RESTORED WITH TOPSOIL, SEED AND MULCH, TOPSOIL TO BE LAYED AT 10% PURITY AND 90% GERMINATION. MULCH TO BE NEED FREE GRASS STRAW.
 - CONTRACTOR TO PERFORM MAINTENANCE AND INSPECTION THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL. BEST MANAGEMENT PRACTICES ON A WEEKLY BASIS AND WITHIN 24 HOURS OF ANY RAINFALL. CONTRACTOR SHALL CONTINUE MAINTENANCE AND INSPECTION UNTIL FULL VEGETATION ESTABLISHMENT AND/OR PROJECT ACCEPTANCE. AFTER PROJECT ACCEPTANCE.
 - SEE SURVEY FOR BENCHMARK LOCATIONS.

- KEYNOTES: (THIS SHEET)**
- PROPOSED SELF FENCE BARRIER. CONTRACTOR TO INSTALL PRIOR TO ALL CONSTRUCTION ACTIVITIES TO AVOID DISTURBANCE. SEE VB C-104 FOR DETAIL.
 - DRIVEWAY CULVERT WITH APRON ENDWALLS. SEE VB C-104 FOR DETAIL.
 - STONE TRACKING PAD. 12'x60'x4" D. SEE VB C-104 FOR DETAIL.



C PIPE BOLLARD

NOTES ON CONTRIBUTORS



CONSULTANT:

THE TOWNERS, LLC

VERIZON

DESIGNED BY: [Signature]

DATE: [Date]

PROJECT: [Project Name]

LOCATION: [Location]

NOT FOR CONSTRUCTION

81C FREMONT (V# 17660181)

81C FREMONT (V# 17660181)

LANDSCAPE PLAN

REV.	DATE	DESCRIPTION
1	10/20/2018	REV. A
2	10/20/2018	REV. B
3	10/20/2018	REV. C

PROJECT #

DATE

SCALE

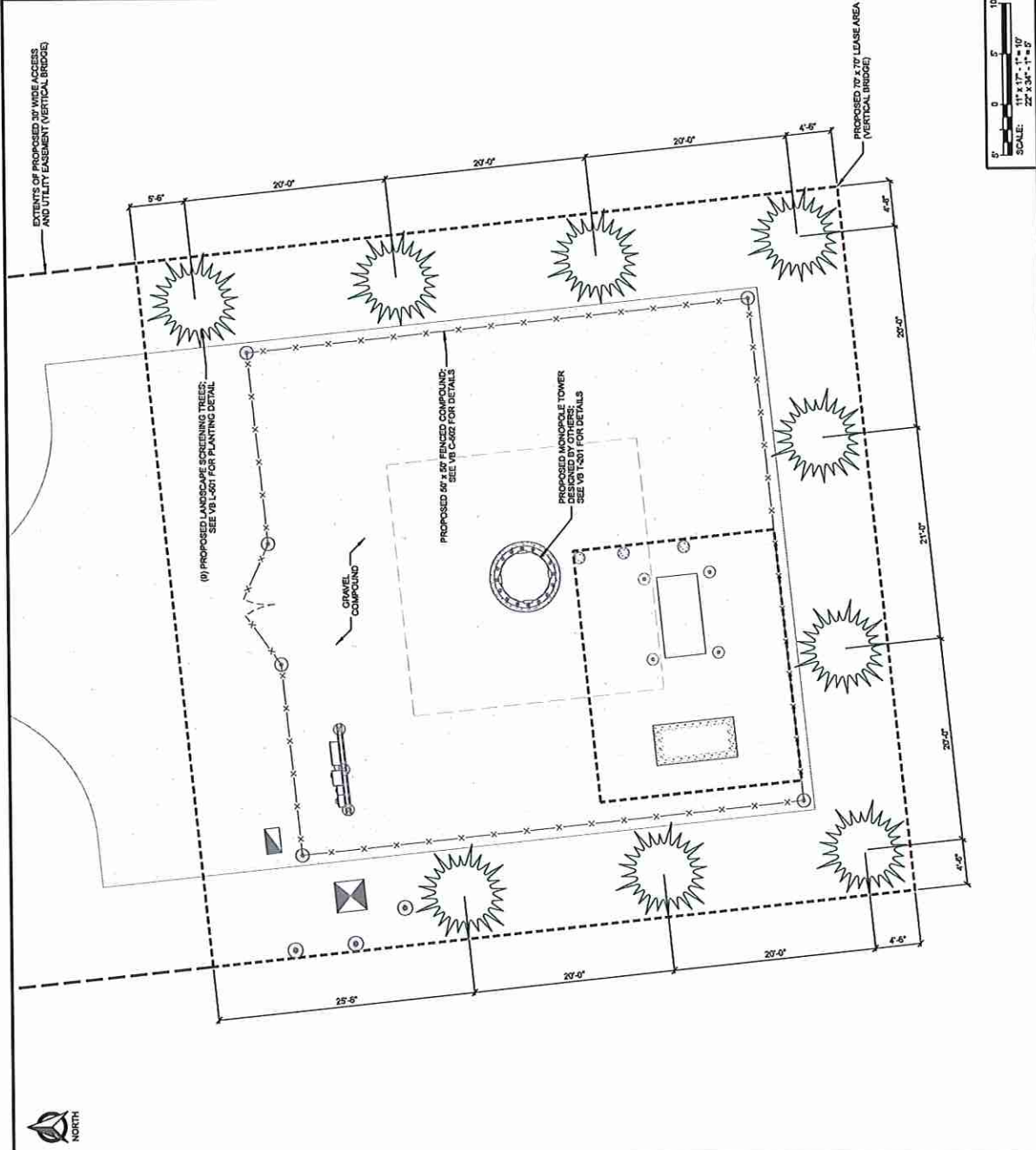
1" = 10'

1" = 10'

1" = 10'

VB L-101

NUMBER



LEGEND: (THIS SHEET)

(1) EASTERN RED CEDAR
Juniperus virginiana L.
MIN. PLANTING SIZE = 2" Trunk

NOTES: (THIS SHEET)

1. PLANT CONTAINER OR BALLED-AND-BURLAPED PLANTS IN SPRING OR FALL.
2. ALL PLANTINGS SHALL BE PROTECTED BY A PROTECTIVE WASHCOTTS AND SOIL EROSION CONTROL MEASURES.
3. ALL PLANTINGS SHALL BE PROTECTED BY A PROTECTIVE WASHCOTTS AND SOIL EROSION CONTROL MEASURES.
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10. ALL PLANTINGS SHALL BE PROTECTED BY A PROTECTIVE WASHCOTTS AND SOIL EROSION CONTROL MEASURES.



CONSULTANT:



TOWER OWNER:



CLIENT:

VERIZON CERTIFY THAT THIS PROJECT IS A PUBLIC PROJECT AND THAT THE PROJECT IS NOT A PRIVATE PROJECT. VERIZON CERTIFIES THAT THE PROJECT IS A PUBLIC PROJECT AND THAT THE PROJECT IS NOT A PRIVATE PROJECT.

DATE:

PROJECT NAME:

PROJECT LOCATION:

PROJECT NUMBER:

PROJECT DESCRIPTION:

PROJECT STATUS:

PROJECT OWNER:

PROJECT CONTACT:

PROJECT ADDRESS:

PROJECT CITY:

PROJECT STATE:

PROJECT ZIP:

PROJECT PHONE:

PROJECT FAX:

PROJECT EMAIL:

PROJECT WEBSITE:

PROJECT SOCIAL MEDIA:

PROJECT VIDEO:

PROJECT AUDIO:

PROJECT IMAGES:

PROJECT DOCUMENTS:

PROJECT PRESENTATIONS:

PROJECT REPORTS:

PROJECT STUDIES:

PROJECT ANALYSES:

PROJECT EVALUATIONS:

PROJECT RECOMMENDATIONS:

PROJECT CONCLUSIONS:

PROJECT SUMMARY:

PROJECT OVERVIEW:

PROJECT SCOPE:

PROJECT OBJECTIVES:

PROJECT DELIVERABLES:

PROJECT MILESTONES:

PROJECT RISKS:

PROJECT OPPORTUNITIES:

PROJECT CHALLENGES:

PROJECT SOLUTIONS:

PROJECT BENEFITS:

PROJECT IMPACTS:

PROJECT LEGACY:

PROJECT FUTURE:

PROJECT VISION:

PROJECT MISSION:

PROJECT VALUES:

PROJECT PRINCIPLES:

PROJECT ETHICS:

PROJECT INTEGRITY:

PROJECT TRANSPARENCY:

PROJECT ACCOUNTABILITY:

PROJECT RESPONSIBILITY:

PROJECT COMMITMENT:



LOCATE ANCHOR STAKE 18" AWAY FROM TREE TRUNK. STAKE SHOULD BE WIND-RESISTANT IRON STAKE OR ACCEPTABLE WOODEN SUBSTITUTE.

ANCHOR STAKE SHALL BE PLACED TO FINISHED GRADE AS IT BORE TO PLACE ON SUBGRADE PEDESTAL.

CONCRETE SHALL BE PLACED TO FINISHED GRADE AS IT BORE TO PLACE ON SUBGRADE PEDESTAL.

3" MIN. OF MULCH:

PINE BARK OR WOOD CHIPS

6" MIN. SOIL SAUCER WITH TOPSOIL:

USE PREPARED SOIL

FOLD DOWN OR CUT AND REMOVE TOPSOIL MIX OR CLEAN SUBSOIL BACKFILL

PREPARED SUBSOIL PEDESTAL

12" MIN.

CONIFEROUS TREE PLANTING

A

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[illegible]

EQUIPMENT PAD FOUNDATION

1. ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND MOST CURRENT VERSION OF ACI STANDARDS.
2. ALL EXPOSED CONCRETE SURFACES EXPOSED TO VIEW SHALL HAVE A FINISHED FINISH #120 IN ACCORDANCE WITH ACI 301.
3. ALL CONCRETE SURFACES EXPOSED TO WATER SHALL BE NORMAL WEIGHT CONCRETE WITH A MINIMUM 4" THICK SLAB SHALL BE NORMAL WEIGHT CONCRETE WITH A MINIMUM 4" THICK SLAB. ALL CONCRETE SHALL BE 4000 PSI. EXPOSED EXTERIOR CONCRETE TO BE AIR ENTRAINMENT WITH 6% AIR CONTENT. CONTRACTOR TO PERFORM CONCRETE SLUMP TEST (#4) MAX SLUMP. NO WATER TO BE ADDED AFTER SLUMP HAS BEEN MEASURED.
4. ALL CONCRETE REINFORCING SHALL BE ASTM A615 GRADE 60 AND PLACED ACCORDING TO THE REINFORCING SCHEDULE. MINIMUM COVERAGE IF CAST AGAINST EARTH AND 2" MIN COVERAGE OTHERWISE.
5. REMOVE ALL ORGANIC MATERIAL, SOFT AREAS, AND POOR SOILS BENEATH FOUNDATION TO A DEPTH OF AT LEAST 2' OF BELOW FOUNDATION.
6. SLAB NOT SUITABLE AT SITES WITH ORGANIC SOIL, UNCOMPACTED FILL, EXPANSIVE SOIL, OR SOILS SUSCEPTIBLE TO Frost HEAVE.
7. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM ALL FOUNDATIONS.
8. DESIGN BASED ON PRESUMPTIVE SOIL BEARING CAPACITY OF 3000 PSF. NO GEOTECHNICAL REPORT FOR THE EQUIPMENT PAD HAS BEEN COMPLETED.



NOTE:
1. 3" MIN. CONCRETE COVER OVER BAR AND WIRE.

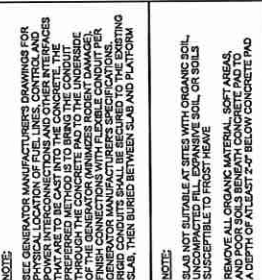
THICKENED SLAB FOUNDATION



NOTE:
VERIFY EXACT CONDUIT STUB-UP
LOCATIONS WITH GENSET PLANS



A



GENERATOR PAD DETAILS
8TC FREMONT (VB #: US-MN-5186)
8TC FREMONT (VZW #: 17660181)
ZIMMERMAN, MINNESOTA

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TOWER ELEVATION
 3TC FREMONT (VB #; US-MN-5186)
 3TC FREMONT (VZW #; 17660181)
 ZIMMERMAN, MINNESOTA



KEYNOTES: (THIS SHEET)

- A. MAINTAIN 2-FOOT CLEARANCE FROM ALL STRUCTURES
- B. TOWER GROUND RING, #2 SOLID BARE TINNED COPPER
- C. GROUND LEADS FROM TOWER STEEL TO GROUND RING (TYP. OF 3) USE GROUNDING TIES WHEN AVAILABLE, #2 SOLID BARE TINNED COPPER
- D. TOWER FOUNDATION GROUND, #2 SOLID BARE TINNED COPPER, SEE PAGE VB E-601 FOR DETAILS
- E. MULTIMETER BACK POST (TYP.)
- F. GROUND ELECTRIC METER HOUSING TO (2) INDEPENDENT GROUND RODS, SPACED 10' O.C. WITH #2 SOLID BARE TINNED COPPER
- G. GATE, FENCE FABRIC AND DETENTMENT WIRING GROUND, SEE PAGE VB E-601
- H. PERIPHERAL GROUND RING SHOULD BE INSTALLED, 1" TO 2" INSIDE THE FENCED LINE, #2 SOLID BARE TINNED COPPER
- I. FENCE CORNER GROUND LEAD, GROUND FENCE WITHIN 12" OF EQUIPMENT PAD
- J. 6"Ø DIAMETER 1/2" LONG COPPER CLAD GROUND ROD, (MAX. 10' SEPARATION)
- K. INSPECTION WELL (TYP.), SEE PAGE VB E-601
- L. 1/2" Ø 1/4" LONG AND 1/2" Ø 1/4" HOLE, CONTRACTOR TO DRIVE 8" GROUND ROD & CLAMP TO GROUND BAR
- M. 1/2" Ø 1/4" BARE TINNED COPPER GROUND LEADS TO GROUND RING, COIL LEADS FOR FUTURE CARRIER CONNECTION TO LOWER ANTENNA GROUND BAR
- N. EQUIPMENT GROUND RING #2 AWG SOLID TINNED COPPER GROUND LEAD MIN. 1/4" Ø BURY OR 6" BELOW FROST WHICH EVER IS GREATER
- O. COIL GROUND LEAD FOR MASTER GROUND BAR (MGB) INSTALLATION VERTICALLY TO FIRST ICE BRIDGE POST ON INSULATORS
- P. SOLID EQUIPMENT GROUND RING TO THE TOWER GROUND RING WITH (2) #2 SOLID BARE TINNED COPPER GROUND LEADS
- Q. EQUIPMENT CABINET GROUND LEADS, (TYP. OF 4); SEE E-601 FOR DETAILS
- R. INTEGRATED LOAD CENTER (L.C.) GROUND LEAD; SEE E-601 FOR DETAILS
- S. PRIOR ENCLOSURE GROUND LEAD; SEE E-601 FOR DETAILS
- T. GENERATOR GROUND LEADS, (TYP. OF 2); SEE E-601 FOR DETAILS
- U. EQUIPMENT PAD REBAR GROUND; SEE E-602 FOR DETAILS
- V. ICE BRIDGE POST GROUND LEAD; SEE E-601 FOR DETAILS

NOTES: (THIS SHEET)

- 1. ALL EXTERIOR GROUNDING SHALL MEET OR EXCEED THE CURRENT NEC AND NFPA 70B CODE.
- 2. THE COIL GROUND LEADS FROM THE EQUIPMENT SHALL BE INSPECTED PRIOR TO BACK FILLING WITH RESULTS APPROVED BY THE CARRIER. THE SYSTEM SHALL PROVIDE 5 OHM OR LESS RESISTANCE UPON COMPLETION.
- 3. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH THE CARRIER'S REQUIREMENTS. GROUNDING CONDUCTORS TO MAIN GROUNDING CONDUCTOR CONNECTIONS, AFTER INSPECTION CONNECTIONS SHALL BE WRAPPED WITH ELECTRICAL VINYL.
- 4. ALL MECHANICAL CONNECTIONS SHALL INCLUDE ANTI-OXIDANT COMPOUND BETWEEN LUGS & CONNECTION POINT. BORAPLANT FROM OBJECT BEING GROUNDED TO THE LUG. TOUCH UP PAINT ANY EXPOSED METAL AFTER CONNECTION IS INSTALLED.
- 5. GROUNDING CONDUCTORS SHALL MAINTAIN TO THE TOP OF THE DOWNPOCKET, THE RADIUS OF BEND SHALL NOT BE LESS THAN 18" AND THE ANGLE OF ANY BEND SHALL NOT BE SHARPER (LESS) THAN 90°.
- 6. ALL GROUNDING CONDUCTORS SHALL BE INSTALLED VERTICALLY BETWEEN GROUNDING CONDUCTOR (NOT IN CONDUIT) SUPPORTS SHALL NOT EXCEED 1 FT.
- 7. ALL GROUNDING CONDUCTORS SHALL BE BUNDLED TO THE TOP AND BOTTOM OF THE CONDUIT.
- 8. ALL NON-INSULATED GROUND LEADS EXTENDING ABOVE GROUND LEVEL SHALL BE ALL ABOVE GRADE. EXOTHERMIC CONNECTIONS (TO GALVANIZED ITEMS) SHALL BE SPRAYED WITH COLD GALVANIZING COMPOUND TO PREVENT CORROSION.
- 9. ALL GROUNDING CONDUCTORS SHALL BE INSTALLED IN 30" BELOW FINISHED GRADE.
- 10. INSTALL IF 1/2" Ø COPPER PLATES IN LIEU OF GROUND RODS WHEN INSTALLING GROUND RODS IS NOT FEASIBLE.
- 11. REFER TO GEOTECH REPORT FOR SOIL CONDITIONS.

GROUNDING LEGEND: (THIS SHEET)

- ▲ EXOTHERMIC OR U. RATED IRREVERSIBLE CONNECTION
- MECHANICAL CONNECTION
- GROUND LEAD
- ⊗ GROUND INSPECTION WELL
- ⊗ COPPER CLAD GROUND ROD, (3/8" DIA. x 6' LONG) SPACE @ 10' O.C. MAX.

GROUNDING NOTE:
THIS GROUNDING PLAN WAS PREPARED PRIOR TO THE COMPLETION OF THE TOWER FOUNDATION DESIGN. THE LAYOUT OF RADIALS AND GROUND RODS ARE ADJUSTED TO THE TOWER FOUNDATION DESIGN. THE DESIGN ENGINEER, IN ADDITION, SOME ADJUSTMENT TO THE GROUND METHOD MAY BE REQUIRED IN INSTANCES WHERE THE TOWER FOUNDATION DESIGN IS DIFFERENT. THE DESIGN ENGINEER, IN ADDITION, SOME ADJUSTMENT TO THE GROUND METHOD MAY BE REQUIRED IN INSTANCES WHERE THE TOWER FOUNDATION DESIGN IS DIFFERENT. THE DESIGN ENGINEER, IN ADDITION, SOME ADJUSTMENT TO THE GROUND METHOD MAY BE REQUIRED IN INSTANCES WHERE THE TOWER FOUNDATION DESIGN IS DIFFERENT.

NOTE:
VERTICAL BRIDGE CONTRACTOR TO INSTALL BURIED GROUND RINGS/LEADS AND COIL ABOVE GRADE THAT WILL BE CONSIDERED PERMANENT. SEE E-601 THROUGH E-607 FOR DETAILS ON PAGES 4-5. VERTICAL BRIDGE CONTRACTOR TO CONNECT GROUND LEADS TO EQUIPMENT CABINETS, ICE BRIDGE POSTS, MASTER GROUND BAR, AND LOWER ANTENNA GROUND BAR.



CONSULTANT:
Edge
10000 Highway 101, Suite 100
Minnetonka, MN 55345
www.edgeinc.com

verticalbridge
THE TOWERS, LLC
TOWER DIVISION

verizon

OWNER SEAL:
I HAVE REVIEWED THIS PLAN
AND APPROVE IT FOR THE
WORK DESCRIBED HEREIN.
DATE: _____
BY: _____
TITLE: _____
FIRM: _____
STATE: _____

DESIGNER SEAL:
I HAVE REVIEWED THIS PLAN
AND APPROVE IT FOR THE
WORK DESCRIBED HEREIN.
DATE: _____
BY: _____
TITLE: _____
FIRM: _____
STATE: _____

NOT FOR CONSTRUCTION
DRAWN BY: _____
CHECKED BY: _____
DATE: _____
FIRM: _____
STATE: _____

PROJECT:
87C FREMONT (VB #; US-MN-5-186)
ZIMMERMAN, MINNESOTA

REVISION	DATE	DESCRIPTION
1	11/20/2024	REV. A
2	11/20/2024	REV. B
3	11/20/2024	REV. C

PROJECT NO.: VB E-401
SHEET NO.: 1 OF 1
DRAFT

Edge
CONSULTANT:
COMMERCIAL ENGINEERING, INC.
www.edgeinc.com

verticalbridge
THE TOWER, LLC
TOWER OWNER

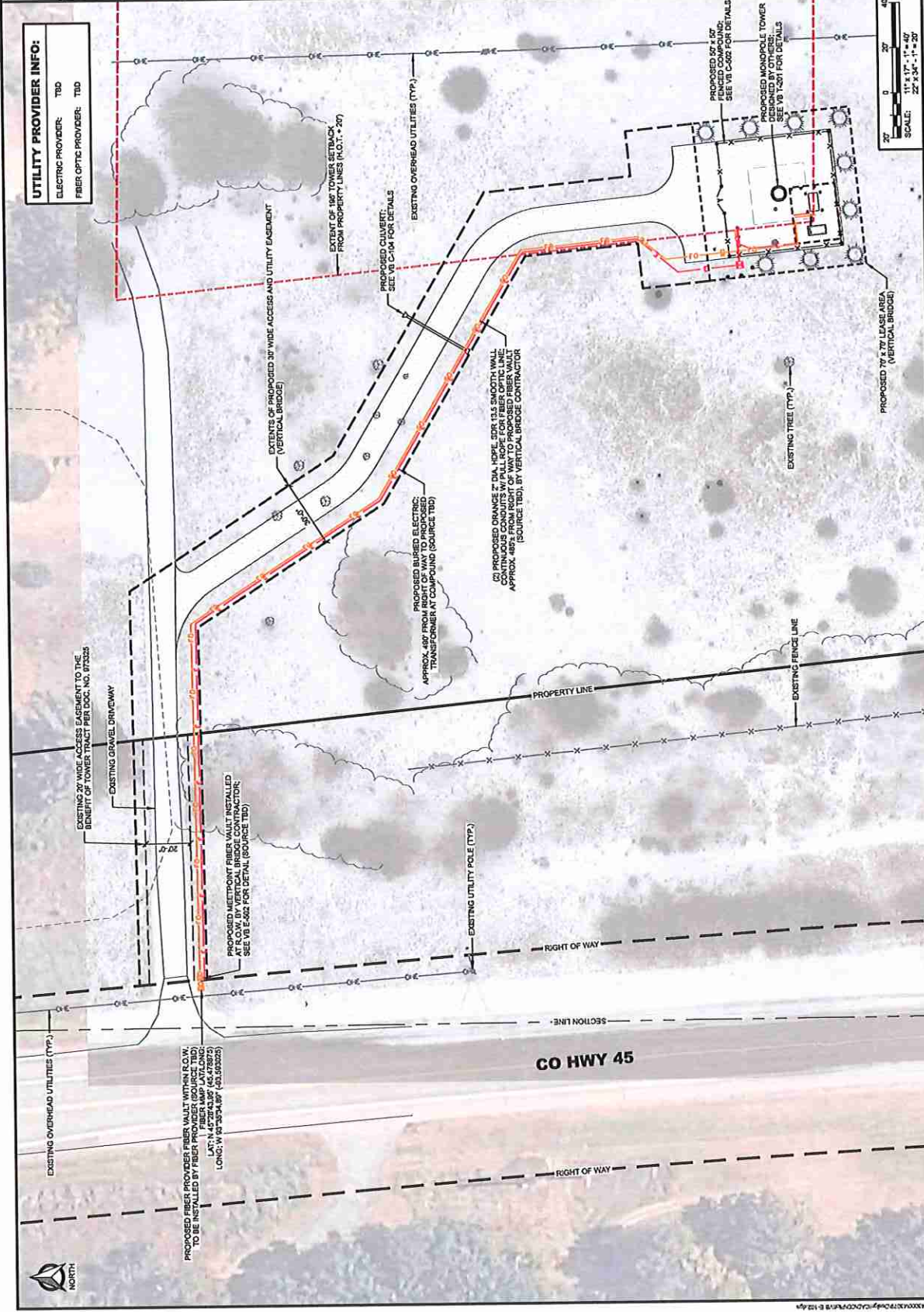
verizon
LEASEE

ENGINEER SEAL
I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA AND THAT I HAVE PREPARED THIS PLAN AND SPECIFICATIONS IN ACCORDANCE WITH THE ENGINEERING ACT OF THE STATE OF MINNESOTA.
SIGNATURE: _____
PRINTED NAME: _____
DATE: _____
NOT FOR CONSTRUCTION

UTILITY PLAN
8TC FREMONT (VW #; US-MN-5186)
ZIMMERMAN, MINNESOTA

SHEET NO.	DATE	DESCRIPTION
1	10/20/2017	10/20/2017 PRELIMINARY
2	11/15/2017	11/15/2017 PRELIMINARY
3	12/15/2017	12/15/2017 PRELIMINARY
4	01/15/2018	01/15/2018 PRELIMINARY
5	02/15/2018	02/15/2018 PRELIMINARY
6	03/15/2018	03/15/2018 PRELIMINARY
7	04/15/2018	04/15/2018 PRELIMINARY
8	05/15/2018	05/15/2018 PRELIMINARY
9	06/15/2018	06/15/2018 PRELIMINARY
10	07/15/2018	07/15/2018 PRELIMINARY
11	08/15/2018	08/15/2018 PRELIMINARY
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15	12/15/2018	12/15/2018 PRELIMINARY
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17	02/15/2019	02/15/2019 PRELIMINARY
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19	04/15/2019	04/15/2019 PRELIMINARY
20	05/15/2019	05/15/2019 PRELIMINARY
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22	07/15/2019	07/15/2019 PRELIMINARY
23	08/15/2019	08/15/2019 PRELIMINARY
24	09/15/2019	09/15/2019 PRELIMINARY
25	10/15/2019	10/15/2019 PRELIMINARY
26	11/15/2019	11/15/2019 PRELIMINARY
27	12/15/2019	12/15/2019 PRELIMINARY
28	01/15/2020	01/15/2020 PRELIMINARY
29	02/15/2020	02/15/2020 PRELIMINARY
30	03/15/2020	03/15/2020 PRELIMINARY
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35	08/15/2020	08/15/2020 PRELIMINARY
36	09/15/2020	09/15/2020 PRELIMINARY
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77	02/15/2024	02/15/2024 PRELIMINARY
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83	08/15/2024	08/15/2024 PRELIMINARY
84	09/15/2024	09/15/2024 PRELIMINARY
85	10/15/2024	10/15/2024 PRELIMINARY
86	11/15/2024	11/15/2024 PRELIMINARY
87	12/15/2024	12/15/2024 PRELIMINARY
88	01/15/2025	01/15/2025 PRELIMINARY
89	02/15/2025	02/15/2025 PRELIMINARY
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93	06/15/2025	06/15/2025 PRELIMINARY
94	07/15/2025	07/15/2025 PRELIMINARY
95	08/15/2025	08/15/2025 PRELIMINARY
96	09/15/2025	09/15/2025 PRELIMINARY
97	10/15/2025	10/15/2025 PRELIMINARY
98	11/15/2025	11/15/2025 PRELIMINARY
99	12/15/2025	12/15/2025 PRELIMINARY
100	01/15/2026	01/15/2026 PRELIMINARY

UTILITY PROVIDER INFO:
ELECTRIC PROVIDER: TBD
FIBER OPTIC PROVIDER: TBD



SCALE: 1" = 40'
11' x 17" - 1" = 40'
22' x 34" - 1" = 20'

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SITE SURVEY
FOR: THE TOWERS, LLC

PARENT PARCEL DESCRIPTION: [per Tower LLC, LLC Commitment No. VTB-202943-C, dated February 9, 2020]

TOWER TRACT

The Northwest Quarter of the Northwest Quarter of the Southwest Quarter of Section 33, Township 35, Range 25, Sherburne County, Minnesota, described as follows:
[Detailed description of the Tower Tract, including bearings, distances, and area.]

Together with an ingress and egress easement over a strip of land 20 feet wide over and across that part of the former Burlington Northern and Santa Fe Railway Company right-of-way...
[Detailed description of the easement and its location.]

The East 50 feet of said Railway Company's 100 foot wide Branch Line property in the Southwest Quarter of said Section 33 and the West Half of said Section 33, at said Township 35 North, bounded on the North by the South line of the North 1/2 Section 33...
[Detailed description of the property boundaries.]

The West 1/2 of said Section 33, at said Township 35 North, bounded on the North by the South line of the North 1/2 Section 33...
[Detailed description of the property boundaries.]

The East 50 feet of said Railway Company's 100 foot wide Branch Line property in the Southwest Quarter of said Section 33 and the West Half of said Section 33, at said Township 35 North, bounded on the North by the South line of the North 1/2 Section 33...
[Detailed description of the property boundaries.]

The West 1/2 of said Section 33, at said Township 35 North, bounded on the North by the South line of the North 1/2 Section 33...
[Detailed description of the property boundaries.]

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[Detailed description of the property boundaries.]

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[Detailed description of the property boundaries.]

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[Detailed description of the property boundaries.]

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[Detailed description of the property boundaries.]

The West 1/2 of said Section 33, at said Township 35 North, bounded on the North by the South line of the North 1/2 Section 33...
[Detailed description of the property boundaries.]



PROPERTY OWNER:
TOWER TRACT: BRUCE A. ROELKE LIVING TRUST
ACCESS TRACT: SHERBURNE COUNTY

PARCEL NO:
TOWER TRACT: 01-00033-3200
ACCESS TRACT: 01-00009-0000

ZONED:
GENERAL RURAL

DEED REFERENCED:
TOWER TRACT: INSTR. NO. 973325
ACCESS TRACT: INSTR. NO. 405798

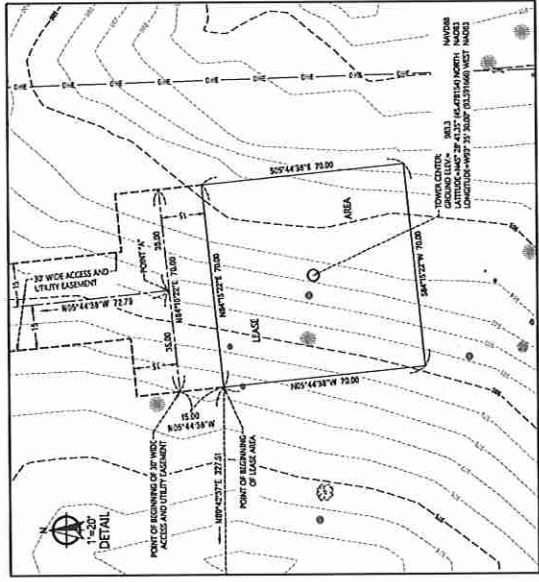
VERTICAL BRIDGE SITE NAME:
FREMONT

VERTICAL BRIDGE SITE NUMBER:
US-MN-5186

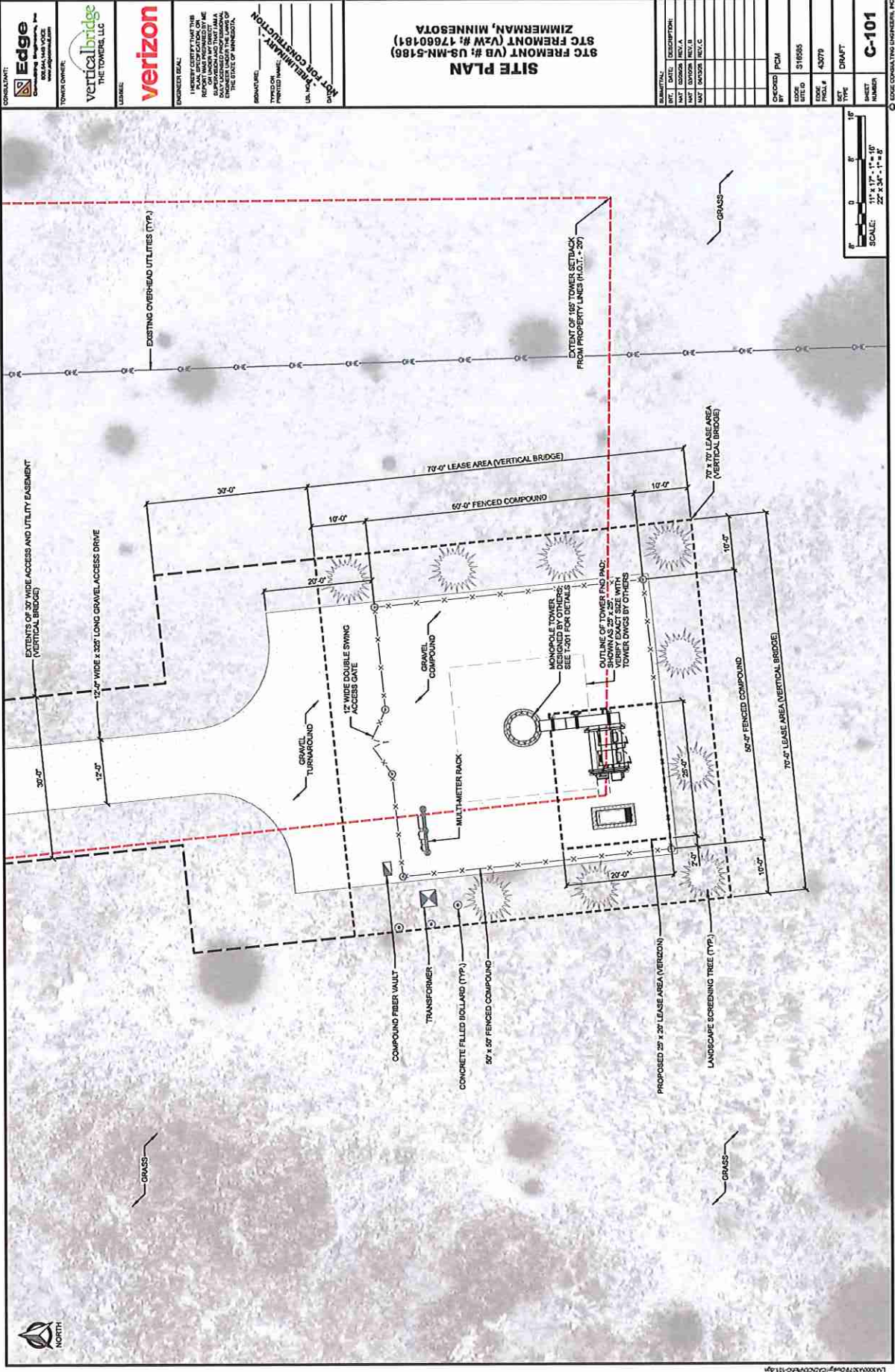
SITE ADDRESS:
28509 NW 128TH STREET, ZIMMERMAN,
SHERBURNE COUNTY, MINNESOTA 55398

I HEREBY CERTIFY TO: VERTICAL BRIDGE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, THAT THE SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Surveyor information and title block including name, license number, date, and sheet number.



SHEET 2 OF 2 SHEETS





DESIGNED BY: STC FREMONT (VZ) # 17660181

DATE: 10/1/2019

PROJECT: STC FREMONT (VZ) # 17660181

LOCATION: STC FREMONT (VZ) # 17660181

SCALE: 1" = 20'

SHEET: 1 OF 1

DATE: 10/1/2019

PROJECT: STC FREMONT (VZ) # 17660181

LOCATION: STC FREMONT (VZ) # 17660181

SCALE: 1" = 20'

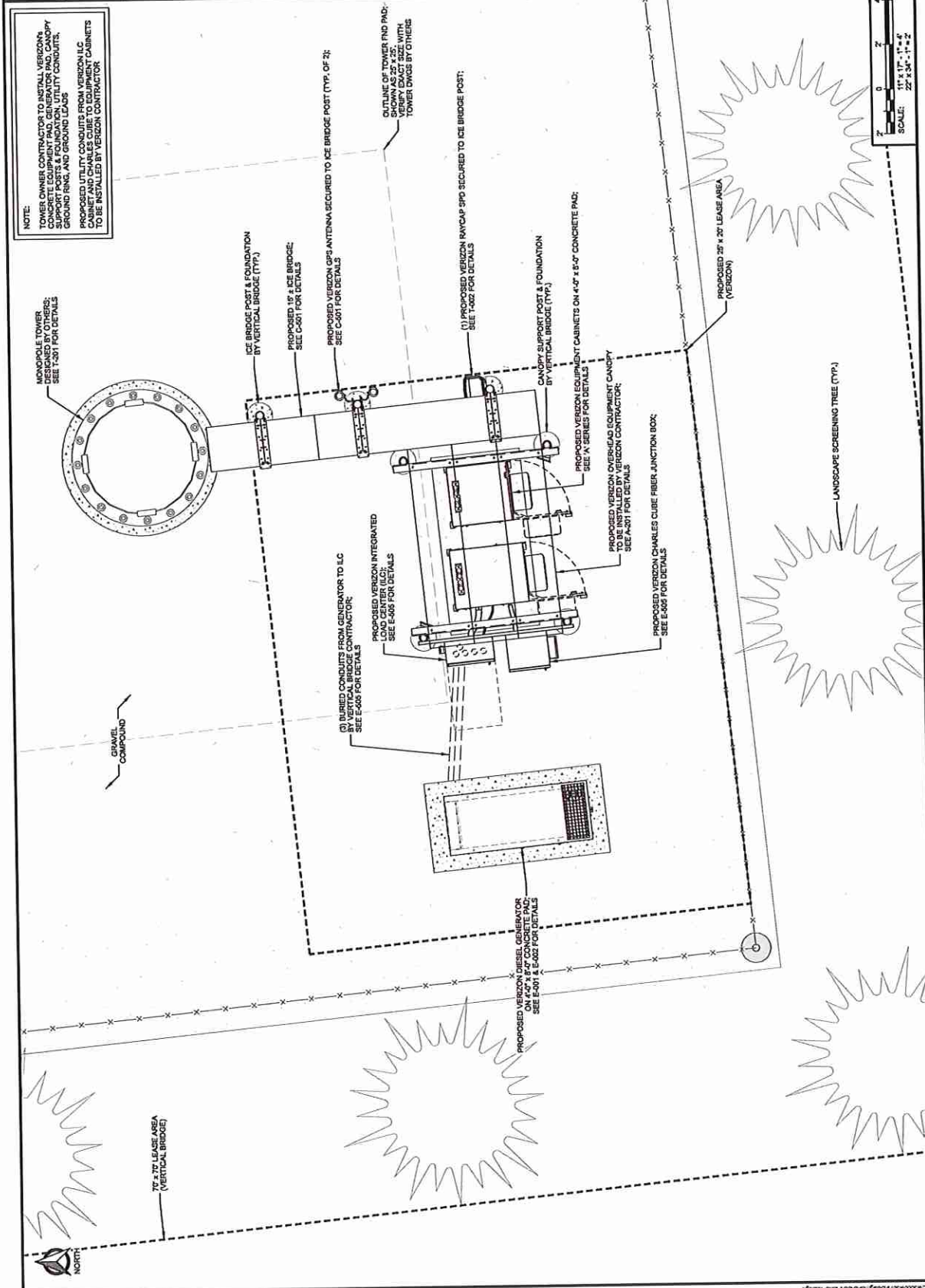
SHEET: 1 OF 1

DATE: 10/1/2019

PROJECT: STC FREMONT (VZ) # 17660181

LOCATION: STC FREMONT (VZ) # 17660181

SCALE: 1" = 20'



NOTE: TOWER OWNER CONTRACTOR TO INSTALL VERIZON EQUIPMENT CABINETS, GENERATOR PAD, CANOPY, SUPPORT POSTS & FOUNDATION, UTILITY CONDUITS, GROUND RING, AND GROUND LEADS TO BE INSTALLED BY VERIZON CONTRACTOR.

PROPOSED VERIZON EQUIPMENT CABINETS ON 4'-0" x 8'-0" CONCRETE PAD; SEE E-001 FOR DETAILS.

PROPOSED VERIZON OVERHEAD EQUIPMENT CANOPY TO BE INSTALLED BY VERIZON CONTRACTOR; SEE E-002 FOR DETAILS.

PROPOSED VERIZON CHARLES CUBE FIBER JUNCTION BOX; SEE E-003 FOR DETAILS.

PROPOSED VERIZON RAINCAP SPO SECURED TO ICE BRIDGE POST; SEE E-004 FOR DETAILS.

PROPOSED VERIZON GPS ANTENNA SECURED TO ICE BRIDGE POST (TYP. OF 2); SEE E-005 FOR DETAILS.

PROPOSED 15' x 15' ICE BRIDGE; SEE E-006 FOR DETAILS.

ICE BRIDGE POST & FOUNDATION BY VERTICAL BRIDGE (TYP.); SEE E-007 FOR DETAILS.

TURNED CONDUITS FROM GENERATOR TO ILC BY VERTICAL BRIDGE CONTRACTOR; SEE E-008 FOR DETAILS.

PROPOSED VERIZON INTEGRATED ILC; SEE E-009 FOR DETAILS.

PROPOSED VERIZON RAINCAP SPO SECURED TO ICE BRIDGE POST; SEE E-010 FOR DETAILS.

PROPOSED VERIZON GPS ANTENNA SECURED TO ICE BRIDGE POST (TYP. OF 2); SEE E-011 FOR DETAILS.

PROPOSED 15' x 15' ICE BRIDGE; SEE E-012 FOR DETAILS.

ICE BRIDGE POST & FOUNDATION BY VERTICAL BRIDGE (TYP.); SEE E-013 FOR DETAILS.

TURNED CONDUITS FROM GENERATOR TO ILC BY VERTICAL BRIDGE CONTRACTOR; SEE E-014 FOR DETAILS.

PROPOSED VERIZON INTEGRATED ILC; SEE E-015 FOR DETAILS.

PROPOSED VERIZON RAINCAP SPO SECURED TO ICE BRIDGE POST; SEE E-016 FOR DETAILS.

PROPOSED VERIZON GPS ANTENNA SECURED TO ICE BRIDGE POST (TYP. OF 2); SEE E-017 FOR DETAILS.

PROPOSED 15' x 15' ICE BRIDGE; SEE E-018 FOR DETAILS.

ICE BRIDGE POST & FOUNDATION BY VERTICAL BRIDGE (TYP.); SEE E-019 FOR DETAILS.

TURNED CONDUITS FROM GENERATOR TO ILC BY VERTICAL BRIDGE CONTRACTOR; SEE E-020 FOR DETAILS.

PROPOSED VERIZON INTEGRATED ILC; SEE E-021 FOR DETAILS.

PROPOSED VERIZON RAINCAP SPO SECURED TO ICE BRIDGE POST; SEE E-022 FOR DETAILS.

PROPOSED VERIZON GPS ANTENNA SECURED TO ICE BRIDGE POST (TYP. OF 2); SEE E-023 FOR DETAILS.

PROPOSED 15' x 15' ICE BRIDGE; SEE E-024 FOR DETAILS.

ICE BRIDGE POST & FOUNDATION BY VERTICAL BRIDGE (TYP.); SEE E-025 FOR DETAILS.

TURNED CONDUITS FROM GENERATOR TO ILC BY VERTICAL BRIDGE CONTRACTOR; SEE E-026 FOR DETAILS.

PROPOSED VERIZON INTEGRATED ILC; SEE E-027 FOR DETAILS.

PROPOSED VERIZON RAINCAP SPO SECURED TO ICE BRIDGE POST; SEE E-028 FOR DETAILS.

PROPOSED VERIZON GPS ANTENNA SECURED TO ICE BRIDGE POST (TYP. OF 2); SEE E-029 FOR DETAILS.

PROPOSED 15' x 15' ICE BRIDGE; SEE E-030 FOR DETAILS.

ICE BRIDGE POST & FOUNDATION BY VERTICAL BRIDGE (TYP.); SEE E-031 FOR DETAILS.

TURNED CONDUITS FROM GENERATOR TO ILC BY VERTICAL BRIDGE CONTRACTOR; SEE E-032 FOR DETAILS.

PROPOSED VERIZON INTEGRATED ILC; SEE E-033 FOR DETAILS.

PROPOSED VERIZON RAINCAP SPO SECURED TO ICE BRIDGE POST; SEE E-034 FOR DETAILS.

PROPOSED VERIZON GPS ANTENNA SECURED TO ICE BRIDGE POST (TYP. OF 2); SEE E-035 FOR DETAILS.

PROPOSED 15' x 15' ICE BRIDGE; SEE E-036 FOR DETAILS.

ICE BRIDGE POST & FOUNDATION BY VERTICAL BRIDGE (TYP.); SEE E-037 FOR DETAILS.

TURNED CONDUITS FROM GENERATOR TO ILC BY VERTICAL BRIDGE CONTRACTOR; SEE E-038 FOR DETAILS.

PROPOSED VERIZON INTEGRATED ILC; SEE E-039 FOR DETAILS.

PROPOSED VERIZON RAINCAP SPO SECURED TO ICE BRIDGE POST; SEE E-040 FOR DETAILS.

PROPOSED VERIZON GPS ANTENNA SECURED TO ICE BRIDGE POST (TYP. OF 2); SEE E-041 FOR DETAILS.

PROPOSED 15' x 15' ICE BRIDGE; SEE E-042 FOR DETAILS.

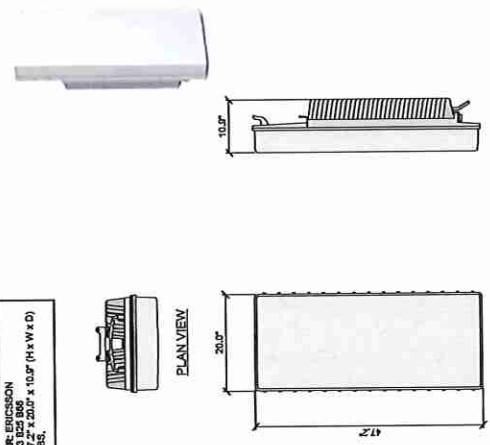
ICE BRIDGE POST & FOUNDATION BY VERTICAL BRIDGE (TYP.); SEE E-043 FOR DETAILS.



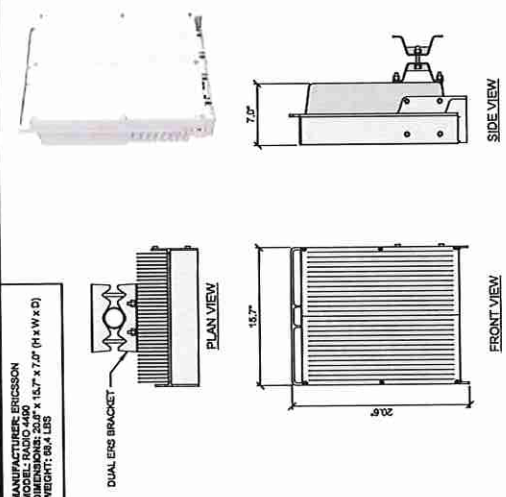
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FRONT VIEW **SIDE VIEW**

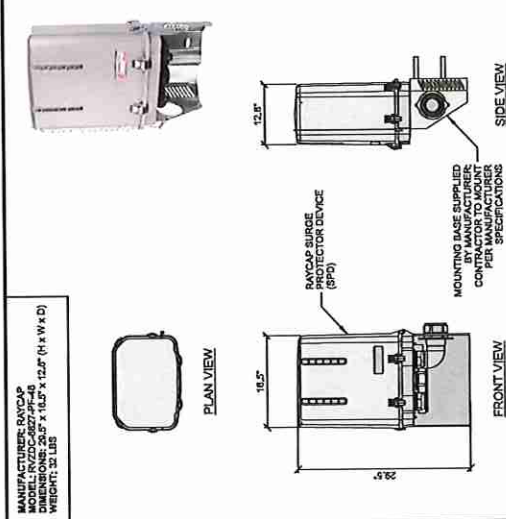
ERICSSON AIR3283 B25 B66



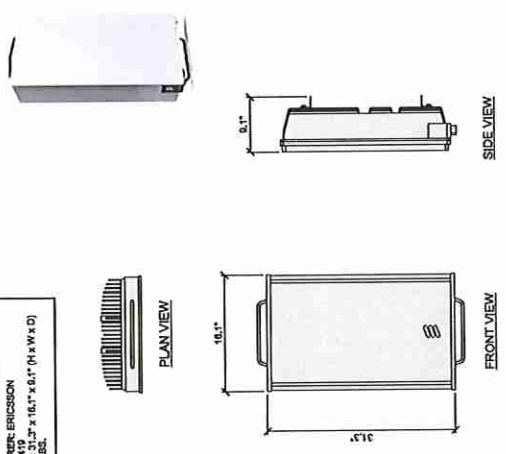
B ERICSSON RADIO 4490



A RAYCAP SURGE PROTECTOR DEVICE (SPD)

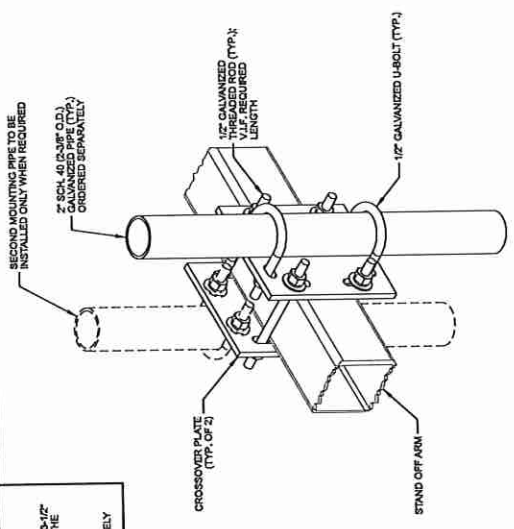


D ERICSSON AIR6419



THIS SPACE INTENTIONALLY LEFT BLANK

CROSSOVER PLATE



MANUFACTURER: SITE PRO 1
MODEL: B9PMK1
CONNECTS 3/4" O.D. PIPE TO 3-1/2"
TO 4-1/2" STAND OFF ARM WITH THE
USE OF A CROSSOVER PLATE
ALL HARDWARE INCLUDED
MAST PIPES ORDERED SEPARATELY

RF EMISSION REPORT REQUIRED

☐ YES ☐ NO
 DATE: _____



I HEREBY CERTIFY THAT THE
 REPORT WAS PREPARED BY ME
 OR UNDER MY CLOSE PERSONAL
 SUPERVISION AND THAT I AM A
 LICENSED PROFESSIONAL ENGINEER
 IN THE STATE OF MINNESOTA.

SIGNATURE: _____
 PRINTED NAME: _____
 LICENSE NO.: _____
 EXPIRATION DATE: _____

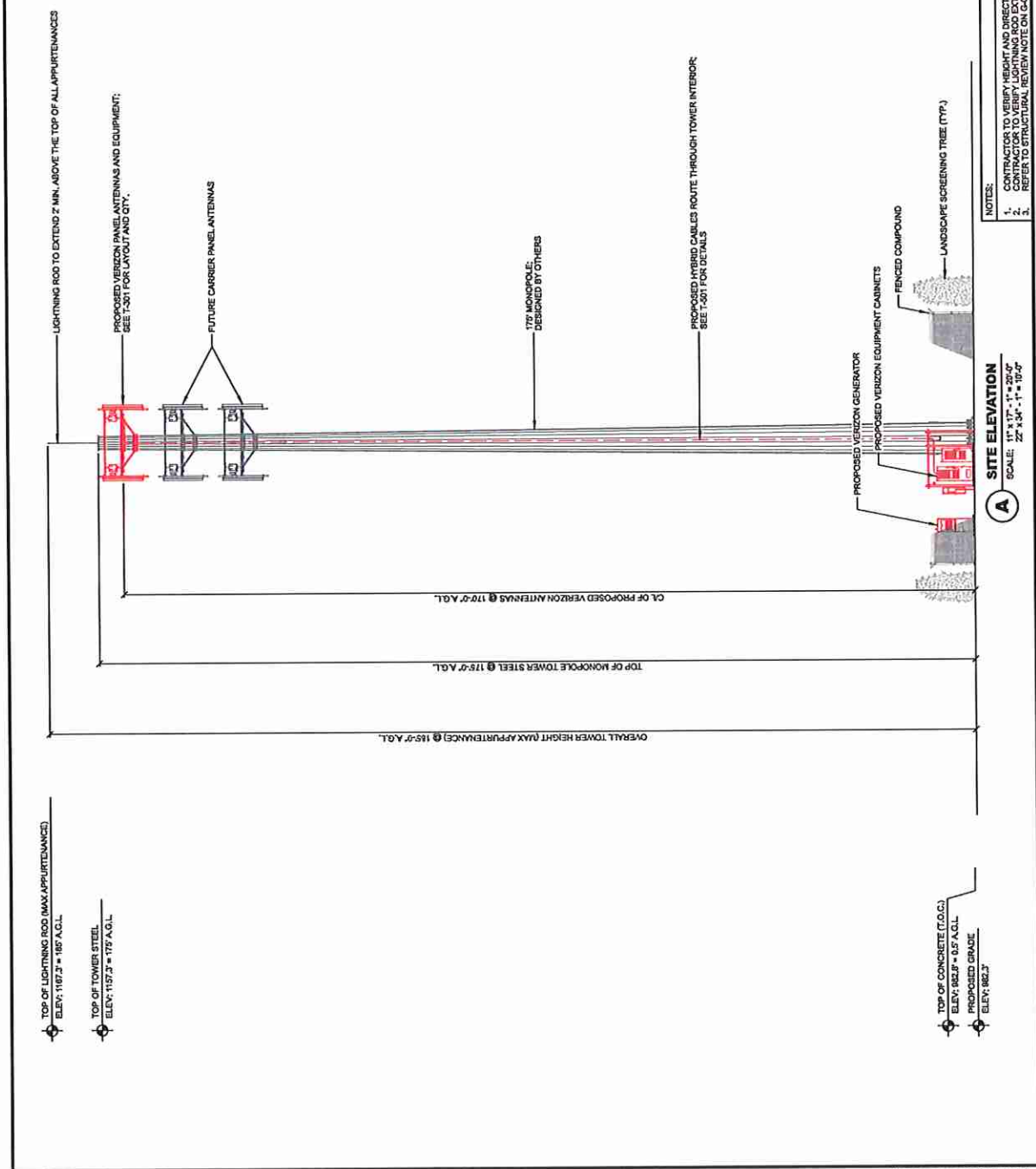
NOT FOR CONSTRUCTION

TOWER ELEVATION
 8TC FREMONT (V&W # 17660181)
 ZIMMERMAN, MINNESOTA

REV.	DATE	DESCRIPTION
1	03/09/2018	REV. A
2	03/09/2018	REV. B
3	03/09/2018	REV. C

PROJECT: PCH
 SHEET: 510055
 DATE: 4/20/18
 DRAWN: _____
 CHECKED: _____

T-201
 SHEET NUMBER



A SITE ELEVATION
 SCALE: 1/4" = 1' ± 25.0'
 1/8" = 1' ± 10.0'

- NOTES:
1. CONTRACTOR TO VERIFY HEIGHT AND DIRECTION OF ANTENNAS WITH PROJECT MANAGER AND FINAL RF DESIGN.
 2. CONTRACTOR TO VERIFY LIGHTNING ROD EXTENDS 2 MIN. ABOVE ALL ANTENNAS & EQUIPMENT.
 3. REFER TO STRUCTURAL REVIEW NOTE ON G-201.

Edge
CONSULTANT
COMMUNICATIONS
1800.444.VOICE
www.edgecomm.com

verticalbridge
THE TOWERS, LLC

verizon

ENGINEER SEAL
I HEREBY CERTIFY THAT THIS
PLAN, SPECIFICATION, OR
STATEMENT OF WORK WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A
DULY LICENSED PROFESSIONAL
ENGINEER IN THE STATE OF MINNESOTA.

DATE: _____
PROJECT: _____
SHEET: _____
SIGNED: _____
PRINTED NAME: _____
TITLE: _____
FIRM: _____
NOT FOR CONSTRUCTION

STC FREMONT (VZ # 17680181)
ZIMMERMAN, MINNESOTA
ANTENNA & EQUIPMENT SUMMARY

FINAL ANTENNA SCHEDULE													
LOCATION				ANTENNA SUMMARY				NON ANTENNA SUMMARY					
SECTOR	RAD	AZ	POS	QTY.	ANTENNA	BAND	ELEC D-TILT	MECH D-TILT	STATUS	QTY.	ADDITIONAL TOWER MOUNTED EQUIPMENT	STATUS	
A	170°	60°	A1	1	JWA M008FHG665-BHG	700/850 LTE	2°	0°	INSTALL	1	Ericsson 4490	INSTALL	
	170°	60°	A2	1	Ericsson AIR3283	1900/4WS LTE	2°	0°	INSTALL	-	-	-	
	170°	60°	A3	1	Ericsson AIR6419	C-BAND NR	3°	0°	INSTALL	-	-	-	
	-	-	A4	-	-	-	-	-	-	-	-	-	
B	170°	170°	B1	1	JWA M008FHG665-BHG	700/850 LTE	2°	0°	INSTALL	1	Ericsson 4490	INSTALL	
	170°	170°	B2	1	Ericsson AIR3283	1900/4WS LTE	2°	0°	INSTALL	1	Raycap SPD RVZDC-6827-PF-48	INSTALL	
	170°	170°	B3	1	Ericsson AIR6419	C-BAND NR	3°	0°	INSTALL	-	-	-	
	-	-	B4	-	-	-	-	-	-	-	-	-	
C	170°	290°	C1	1	JWA M008FHG665-BHG	700/850 LTE	2°	0°	INSTALL	1	Ericsson 4490	INSTALL	
	170°	290°	C2	1	Ericsson AIR3283	1900/4WS LTE	2°	0°	INSTALL	-	-	-	
	170°	290°	C3	1	Ericsson AIR6419	C-BAND NR	3°	0°	INSTALL	-	-	-	
	-	-	C4	-	-	-	-	-	-	-	-	-	
ANTENNA TOTAL:				9					NON ANTENNA TOTAL:				4

PROPOSED HARDWARE

QTY	MANUFACTURER	MODEL	DESCRIPTION	LOCATION	STATUS
1	RAYCAP	RVZDC-6827-PF-48	DISTRIBUTION BOX	ON ICE BROCK POST	INSTALL
1	RAYCAP	RVZDC-6827-PF-48	DISTRIBUTION BOX	ON TOWER	INSTALL

HYBRID CABLE LENGTH

QUANTITY	2
LENGTH FROM GROUND SURGE PROTECTOR TO TOWER	30 FT
LENGTH FROM T.O.C. TO TOWER TOP SURGE PROTECTOR O/L	170 FT
TOTAL LENGTH OF HYBRID CABLE(S)	200 FT

→ HYBRID CABLE LENGTH NOT TO EXCEED 307'

JUMPER CABLE LENGTH CHECK

IS THE DISTANCE FROM SURGE PROTECTOR TO RADIO UNIT LESS THAN 307'	YES
ALPHA SECTOR	YES
BETA SECTOR	YES
Gamma SECTOR	YES

verizon
NPP RFDS

MIDWEST > Upper Midwest > Great Plains > Bloomington-2 > STC FREMONT
Anderson, Paul - paul.anderson@verizonwireless.com - 20260203_153343

NOTE

1. RF DESIGN DETAILED ON THIS SHEET PROVIDED BY VERIZON AND IS NOT USED FOR CONSTRUCTION ONLY. FINAL RF DESIGN TO BE VERIFIED WITH VERIZON.
2. IF CABLE LENGTH EXCEEDS MAXIMUM ALLOWED LENGTH CONTRACTOR SHALL CONTACT CLIENT AND ENGINEER TO RESOLVE PRIOR TO CONSTRUCTION.

PROPOSED ANTENNA SUMMARY

A

Edge COMMUNICATIONS
1800.444.VOICE
www.edgecomm.com

verticalbridge
THE TOWERS, LLC

verizon

ENGINEER SEAL
I HEREBY CERTIFY THAT THIS
PLAN, SPECIFICATION, OR
STATEMENT OF WORK WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A
DULY LICENSED PROFESSIONAL
ENGINEER IN THE STATE OF MINNESOTA.

DATE: _____
PROJECT: _____
SHEET: _____
SIGNED: _____
PRINTED NAME: _____
TITLE: _____
FIRM: _____
NOT FOR CONSTRUCTION

STC FREMONT (VZ # 17680181)
ZIMMERMAN, MINNESOTA
ANTENNA & EQUIPMENT SUMMARY

FINAL ANTENNA SCHEDULE													
LOCATION				ANTENNA SUMMARY				NON ANTENNA SUMMARY					
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	170°	60°	A3	1	Ericsson AIR6419	C-BAND NR	3°	0°	INSTALL	-	-	-	
	-	-	A4	-	-	-	-	-	-	-	-	-	
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	-	-	B4	-	-	-	-	-	-	-	-	-	
C	170°	290°	C1	1	JWA M008FHG665-BHG	700/850 LTE	2°	0°	INSTALL	1	Ericsson 4490	INSTALL	
	170°	290°	C2	1	Ericsson AIR3283	1900/4WS LTE	2°	0°	INSTALL	-	-	-	
	170°	290°	C3	1	Ericsson AIR6419	C-BAND NR	3°	0°	INSTALL	-	-	-	
	-	-	C4	-	-	-	-	-	-	-	-	-	
ANTENNA TOTAL:				9					NON ANTENNA TOTAL:				4

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ALPHA SECTOR	YES
BETA SECTOR	YES
Gamma SECTOR	YES

verizon
NPP RFDS

MIDWEST > Upper Midwest > Great Plains > Bloomington-2 > STC FREMONT
Anderson, Paul - paul.anderson@verizonwireless.com - 20260203_153343

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2. IF CABLE LENGTH EXCEEDS MAXIMUM ALLOWED LENGTH CONTRACTOR SHALL CONTACT CLIENT AND ENGINEER TO RESOLVE PRIOR TO CONSTRUCTION.

PROPOSED ANTENNA SUMMARY

A

Edge
Engineering & Inspection, Inc.
www.edgeinsp.com

Vertical Bridge
THE TOWER, LLC

verizon

CONSULTANT:

ENGINEER SEAL:

DESIGNER SEAL:

PROJECT NO.:

PROJECT NAME:

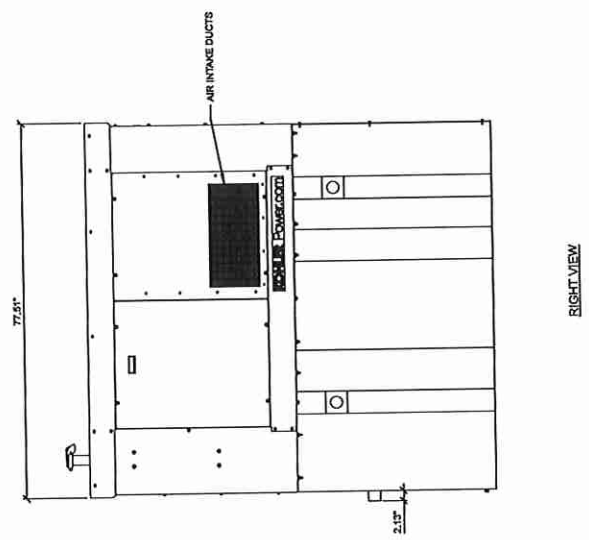
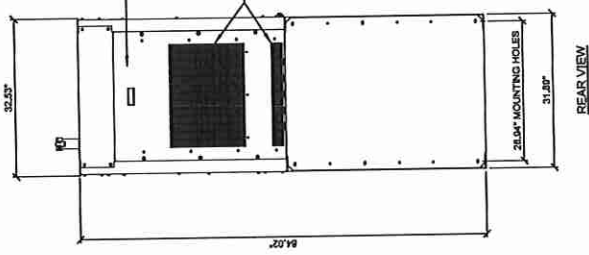
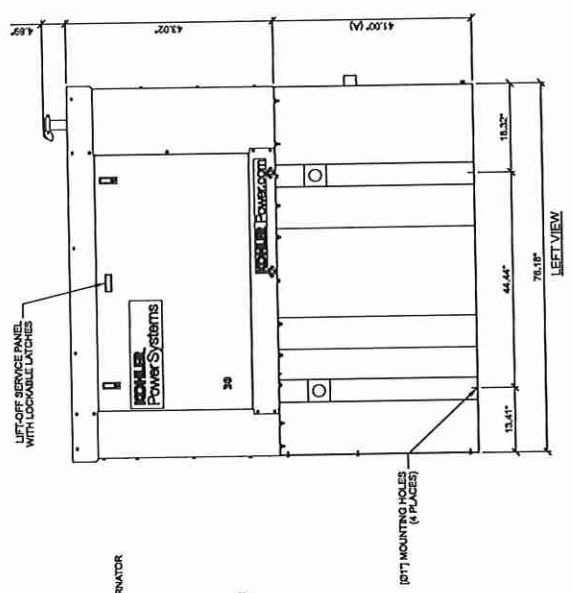
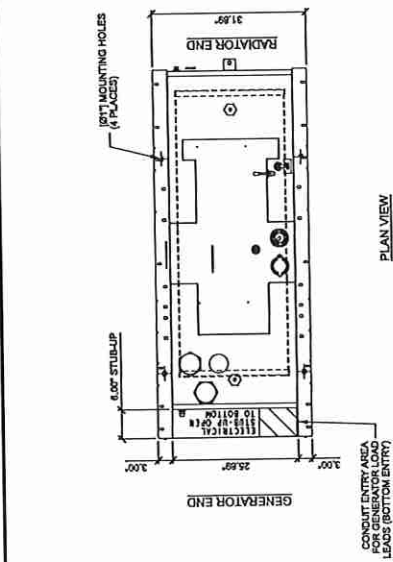
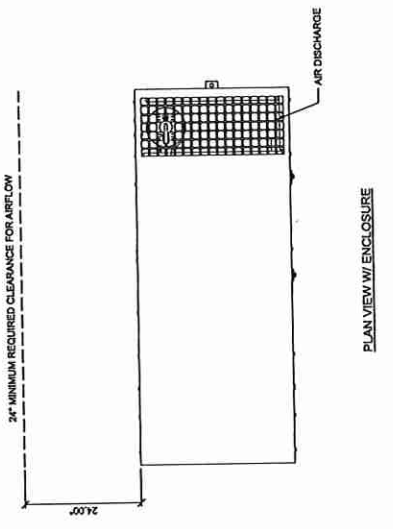
DATE:

NOT FOR CONSTRUCTION

87C FREMONT (V&W # 17680181)
ZIMMERMAN, MINNESOTA

GENERATOR SPECIFICATIONS

- NOTES:
1. THE RIGHT SIDE OF THE GENERATOR IS SERVICE ACCESSIBLE.
 2. 120VAC ENGINE BLOCK HEATER.
 3. GENERATOR MUST BE SERVICE ACCESSIBLE.
 4. GENERATOR MUST BE SERVICE ACCESSIBLE.
 5. MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
 6. BASE ACCESS SERVICE PANEL IS LOCATED ON THE RIGHT SIDE OF GENERATOR ONLY.
 7. BASE TANK REQUIRED ALL STUPLIPS TO BE IN PREAR TANK STUPLIP AREA.
 8. BASE TANK REQUIRED ALL STUPLIPS TO BE IN PREAR TANK STUPLIP AREA.
 9. IT IS THE RESPONSIBILITY OF THE INSTALLATION TO COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS.
 10. GENERATOR IS INSTALLED ON A UL-HI RATE DOUBLE WALL SUBBASE FUEL TANK.
 - 11.
 - 12.
 - 13.



A KOHLER 30RE02K DIESEL GENERATOR			
GENSET	TANK P/N	TANK HT(A) IN	ASST WEIGHT
30RE02K	GM97093-MA2	41.0"	2114 LBS
30RE02K	GM97093-MA1	32.0"	1969 LBS

REV	DATE	DESCRIPTION
REV A	05/05/08	REV A
REV B	05/05/08	REV B
REV C	05/05/08	REV C

PROJECT NO.	516855
PROJECT NAME	87C FREMONT
PROJECT TYPE	DRAFT
PROJECT NUMBER	E-001

DESIGNED BY	PCB
CHECKED BY	PCB
DATE	05/05/08
PROJECT #	40079

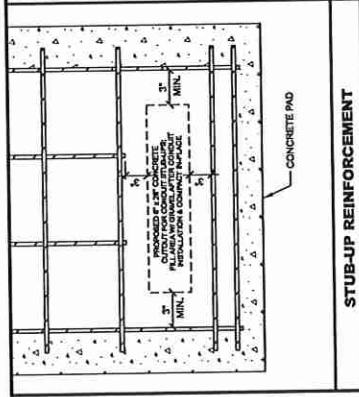
PROJECT NO.	516855
PROJECT NAME	87C FREMONT
PROJECT TYPE	DRAFT
PROJECT NUMBER	E-001

DESIGNED BY	PCB
CHECKED BY	PCB
DATE	05/05/08
PROJECT #	40079

PROJECT NO.	516855
PROJECT NAME	87C FREMONT
PROJECT TYPE	DRAFT
PROJECT NUMBER	E-001

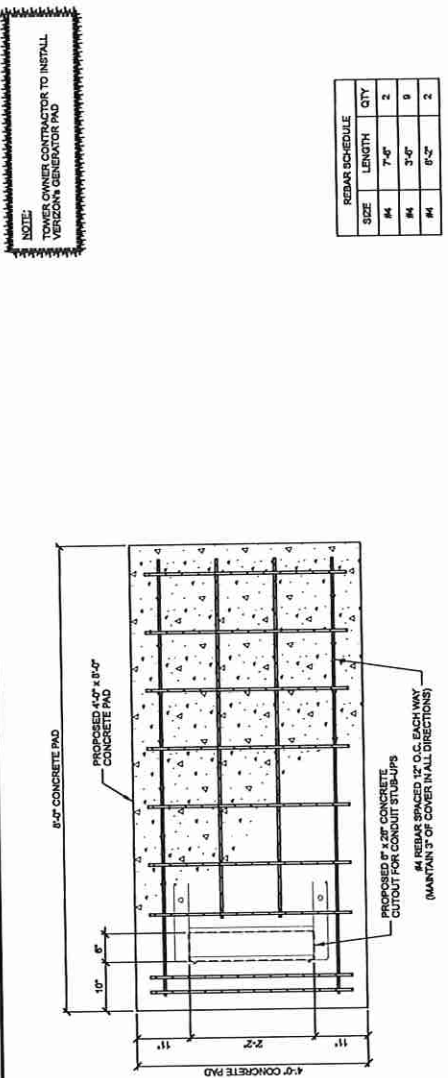
DESIGNED BY	PCB
CHECKED BY	PCB
DATE	05/05/08
PROJECT #	40079

PROJECT NO.	516855
PROJECT NAME	87C FREMONT
PROJECT TYPE	DRAFT
PROJECT NUMBER	E-001



STUB-UP REINFORCEMENT

VERIFY EXACT CONDUIT STUB-UP LOCATIONS WITH GENSET PLANS

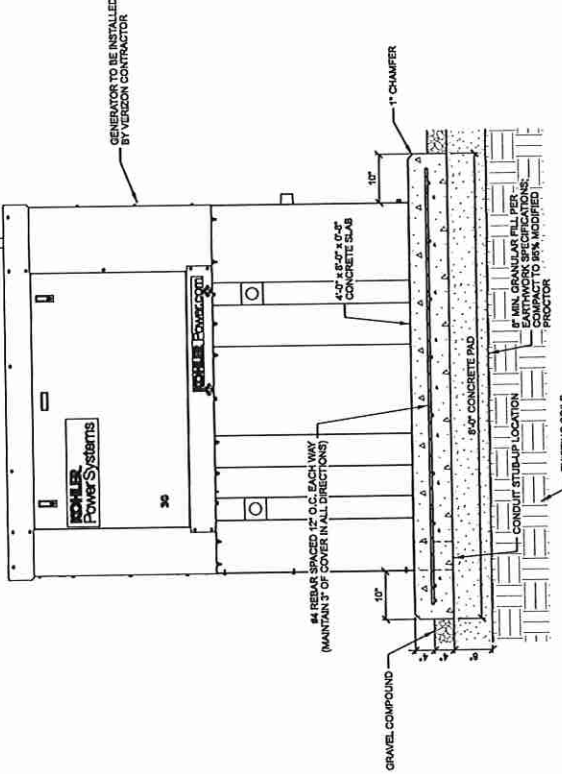


KOHLER 30REOZK DIESEL GENERATOR FOUNDATION LAYOUT

GENERATOR CLEARANCE NOTE:
 - MINIMUM OF 18" OF CLEARANCE FROM COMBUSTIBLE WALL
 - MINIMUM OF 24" OF CLEARANCE FROM AN OUTDOOR ELECTRICAL TRANSFORMER OR NORMAL POWER DISTRIBUTION EQUIPMENT

NOTE:
 SEE GENERATOR MANUFACTURER'S DRAWINGS FOR
 - MINIMUM CLEARANCE FROM COMBUSTIBLE WALL
 - MINIMUM CLEARANCE FROM OUTDOOR ELECTRICAL TRANSFORMER OR NORMAL POWER DISTRIBUTION EQUIPMENT
 - MINIMUM OF 18" OF CLEARANCE FROM COMBUSTIBLE WALL
 - MINIMUM OF 24" OF CLEARANCE FROM AN OUTDOOR ELECTRICAL TRANSFORMER OR NORMAL POWER DISTRIBUTION EQUIPMENT

NOTE:
 SLAB NOT SUITABLE AT SITES WITH ORGANIC SOIL.
 IN SUCH CASES, THE SLAB SHALL BE CONSTRUCTED ON A 4" MIN. GRANULAR FILL PER EARTHWORK SPECIFICATIONS.
 PROVIDE ALL ORGANIC MATERIAL, SOFT AREAS, AND POOR SOILS BENEATH CONCRETE PAD TO A DEPTH OF AT LEAST 2'-0" BELOW CONCRETE PAD



KOHLER 30REOZK DIESEL GENERATOR FOUNDATION DETAIL

Edge
CONSULTING ENGINEERS, INC.
800.441.4400
www.edge-engineers.com

verticalbridge
THE TOWERS, LLC

verizon

OWNER: THE TOWERS, LLC
PROJECT: VERIZON GENERATOR PAD
DATE: 11/11/2019
BY: J. J. JONES
CHECKED BY: J. J. JONES
SCALE: 1/8" = 1'-0"

PROJECT: VERIZON GENERATOR PAD
DATE: 11/11/2019
BY: J. J. JONES
CHECKED BY: J. J. JONES
SCALE: 1/8" = 1'-0"

PROJECT: VERIZON GENERATOR PAD
DATE: 11/11/2019
BY: J. J. JONES
CHECKED BY: J. J. JONES
SCALE: 1/8" = 1'-0"

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DATE: 11/11/2019
BY: J. J. JONES
CHECKED BY: J. J. JONES
SCALE: 1/8" = 1'-0"

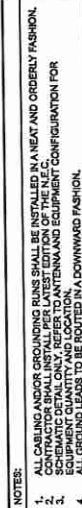
PROJECT: VERIZON GENERATOR PAD
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CHECKED BY: J. J. JONES
SCALE: 1/8" = 1'-0"

PROJECT: VERIZON GENERATOR PAD
DATE: 11/11/2019
BY: J. J. JONES
CHECKED BY: J. J. JONES
SCALE: 1/8" = 1'-0"

GENERATOR SPECIFICATIONS
 8TC FREMONT (V# #: 17660181)
 ZIMMERMAN, MINNESOTA

REV.	DATE	DESCRIPTION
1	11/11/2019	ISSUED FOR PERMIT
2	11/11/2019	ISSUED FOR CONSTRUCTION
3	11/11/2019	ISSUED FOR CONSTRUCTION
4	11/11/2019	ISSUED FOR CONSTRUCTION
5	11/11/2019	ISSUED FOR CONSTRUCTION
6	11/11/2019	ISSUED FOR CONSTRUCTION
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96	11/11/2019	ISSUED FOR CONSTRUCTION
97	11/11/2019	ISSUED FOR CONSTRUCTION
98	11/11/2019	ISSUED FOR CONSTRUCTION
99	11/11/2019	ISSUED FOR CONSTRUCTION
100	11/11/2019	ISSUED FOR CONSTRUCTION

E-002



- GROUNDING LEGEND: (THIS SHEET)**

- ▲ EXOTHERMIC OR UL RATED IRREVERSIBLE CONNECTION
■ MECHANICAL CONNECTION
— — GROUND LEAD

[illegible]



NOTES:

1. GROUNDING TRENCHES TO BE BACK FILLED WITH NATIVE SOIL.
2. COMPACT BACK FILL TO 95% MODIFIED PROCTOR.
3. CONTACT PSC MINIMUM 24HRS NOTICE PRIOR TO BACK FILLING TO ALLOW FOR INSPECTION.

MECHANICAL CONNECTIONS

EXOTHERMIC CONNECTIONS

**CITY OF BALDWIN
SHERBURNE COUNTY
STATE OF MINNESOTA**

RESOLUTION NO. 26-23

**RESOLUTION APPROVING CONSTRUCTION PLANS AND PROJECT
SPECIFICATIONS AND AUTHORIZING ADVERTISEMENT FOR BIDS FOR THE 2026
STREET MICROSURFACING PROJECT**

WHEREAS, Hakanson Anderson Associates, Inc. has prepared plans and specifications for the 2026 Street Microsurfacing Project; and,

WHEREAS, staff has presented such plans and specifications to the council for approval.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BALDWIN:

1. Such plans and specifications, dated June 29, 2026, a copy of which is attached hereto and made a part hereof, are hereby approved.
2. Hakanson Anderson Associates, Inc. shall prepare and cause to be inserted in the official paper an advertisement for bids upon the making of such improvement under such approved plans and specifications. The advertisement shall specify the work to be done and shall state that bids will be opened at 2:00 p.m. on Tuesday August 4, 2026 virtually. No bids will be considered unless submitted electronically in accordance with the advertisement for bids and shall be accompanied by a bid bond payable to the City of Baldwin for 5 percent of the amount of such bid.

Passed this 15th day of July, 2026.

Jay Swanson
Mayor
City of Baldwin

Joan Heinen
Clerk/Treasurer
City of Baldwin

MEMORANDUM

To: City of Baldwin City Council Members

Cc: Joan Heinen, City Clerk/Treasurer

From: Sam Jochum, City Engineer
Shane Nelson, HAI

Date: July 9, 2026

Re: 2026 Microsurfacing Project - Design Memo

Thank you for providing us with the opportunity to prepare plans and specifications for the above-referenced project. The purpose of this design memo is to list our assumptions and state any further recommendations. We would summarize as follows:

Microsurfacing

Upon our evaluation of the roadways for this project, the pavement is in poor enough condition where these roadways will need to receive two microsurface lifts to properly extend their life span by means of microsurfacing. The first will be a scratch course that will help better level out the roadways and provide additional support. The second will be the surface course which will act as the final surface for the roadways. The eastern legs of 306th Avenue and 308th Avenue will only be receiving a surface course as this was requested by council at the June 11th Road Workshop.

Striping

Several roadways on the project are currently striped with a double solid centerline and single solid edge lines. Council members have heard from residents that they are opposed to the roadways being striped in this area in the past. In our experience, it is also uncommon to see roadway striping on rural residential roadways. Because of these reasons, we are proposing to not stripe any of the roadways once the microsurfacing is completed.

98th Street Surface Defects

98th Street currently shows two areas where the surface is showing defects. These areas are located at the following:

- 98th Street Station 17+50 to 18+40 south bound lane.
- 98th Street Station 11+50 to 12+40 north bound lane.

We are currently proposing to not perform any additional work in these areas to correct the surface defects. Possible solutions would be to pave a thin layer of bituminous over these areas or to perform

a mill and overlay in these areas. The unit construction cost for these repairs would be larger than normal due to the smaller size of the repair. This higher than normal cost is why we are proposing to only do the microsurfacing in this area.

Engineer's Estimate

Total construction cost for this project is estimated to be approximately \$339,900. This project is being bid mid construction season so we may see higher pricing depending on current contractor work loads. We have adjusted our unit pricing accordingly to account for this best we can.

Schedule

If construction plans and specifications are approved at the July 15th Council Meeting, we could open bids as soon as August 4th and have Council award the bid at the August 5th Council Meeting. We would anticipate construction to start in mid/late August and be completed by mid/late September. This information will be better known once a bid is awarded.

Conclusion

We want to remind the council that microsurfacing is a form of pavement maintenance and preservation. The purpose is to extend the roadway's life span for an additional 3-7 years. The roadways will appear rough for the first season but will smooth out over time. We look forward to discussing this memo and our design assumptions at the July 15th Council Meeting.

PROJECT MANUAL
FOR
2026 Street Microsurfacing Project

City of Baldwin
Sherburne County, Minnesota



June 29, 2026

**DOCUMENT 00 01 05
CERTIFICATION**

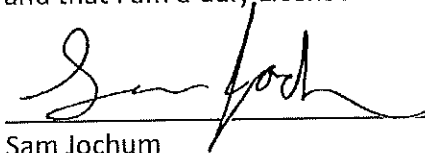
PROJECT MANUAL

FOR

2026 Street Microsurfacing Project

**City of Baldwin
Sherburne County, Minnesota**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.



Sam Jochum
City of Baldwin Engineer

61933
License No.

June 29, 2026
Date

SECTION 00 01 10
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Attachments

Attachment 1 – Construction Plans (Includes 24 sheets)

**DOCUMENT 00 11 00
ADVERTISEMENT FOR BIDS**

**City of Baldwin
Baldwin, MN
2026 Street Microsurfacing Project**

Bids for the construction of the 2026 Street Microsurfacing Project will be received electronically through the online electronic bid service QuestCDN, until 2:00pm on August 4, 2026, at which time the Bids received will be opened and reviewed. Once all the electronic bids have been reviewed and accepted (AS READ), the preliminary Base Bid results will be shared with all Bidders. Bid results may be viewed at www.questcdn.com.

Principal components of the project include the following:

BITUMINOUS MATERIAL FOR MICROSURFACING	33,289 GAL
MICRO-SURFACING SURFACE COURSE	550 TON
MICRO-SURFACING SCRATCH COURSE	523 TON
TRAFFIC CONTROL	1 LS

Bids will be received for a single prime Contract. The Contract Documents may be examined at the following locations:

Hakanson Anderson
3601 Thurston Avenue
Anoka, MN 55303

Bidding Documents may be obtained from the Issuing Office of: Hakanson Anderson, located at 3601 Thurston Avenue, Anoka, MN 55303 for a non-refundable purchase price of \$75 per set.

Alternatively, digital copies of the Bidding Documents are available at www.haa-inc.com under the "Projects/QuestCDN" link for \$30.00 (non-refundable). These documents may be downloaded by selecting this project and by entering eBidDoc™ Number 10272079 on the "Search Projects" page. For assistance and free membership registration, contact QuestCDN at (952) 233-1632 or info@questcdn.com.

Bidders will be charged a fee of \$42.00 to submit a bid electronically. For this project, bids will ONLY be received and accepted via the online electronic bid service QuestCDN.

Each bid must be accompanied by a certified check, cashier's check, cash deposit, or bid bond, made payable to the City of Baldwin, in the amount of five percent (5%) of the bid.

The City Council reserves the right to reject any and all bids and to waive irregularities and informalities therein and further reserves the right to award the contract in the best interests of the City.

CITY OF BALDWIN
Joan Heinen, City Administrator
Date: July 23, 2026

Published: Union Times: July 23, 2026
Posted: July 23, 2026 on <https://www.questcdn.com/>

MEMORANDUM

To: City of Baldwin City Council Members

Cc: Joan Heinen, City Clerk/Treasurer

From: Sam Jochum, City Engineer
Shane Nelson, HAI

Date: July 10, 2026

Re: 2026 Crack Sealing Project - Design Memo

Thank you for providing us with the opportunity to prepare a request for quote packet for the above-referenced project. The purpose of this design memo is to list our assumptions and state any further recommendations. We would summarize as follows:

Crack Filling

We have measured that the length of roadways proposed to be crack filled as part of this project is approximately 9.5 miles. The contractors will be expected to perform both "Route and Seal" and "Blow and Go" crack filling applications. Cracks that are less than $\frac{3}{4}$ " wide will be route and sealed, while cracks that are wider than $\frac{3}{4}$ " will receive a blow and go application. Where alligator cracking is present, we will not be having the contractor perform routing as this will cause more harm than good. The contractor will be expected to blow and go alligator cracking areas. If the cracks in these alligator areas are less than $\frac{1}{8}$ " wide, then no crack filling will be done. The rubber material used for each crack filling application will be the same and will need to satisfy MnDOT Specifications 3723.

Polyflex Crack Repair

We have measured approximately 470 polyflex cracks that will be repaired as part of this project. The application will involve the placement of the poly fiber sealant then followed by clean $\frac{1}{4}$ " aggregate placed over the sealant. We are allowing the contractors to either shovel the aggregate into the crack area or mechanically blow the aggregate into the crack area with compressed air.

Schedule

If the council approves HAI's prepared quote packet at the July 15th council meeting, then quotes will be sent out on July 16 and will need to be submitted by August 3rd by 10:00 AM. Quotes will be presented at the August 5th council meeting. It is anticipated that the contractor will be able to start work shortly after quotes are approved.

**CITY OF BALDWIN
SHERBURNE COUNTY, MINNESOTA**

REQUEST FOR QUOTES FOR CRACK FILLING

I. INTRODUCTION

The City of Baldwin, Sherburne County, Minnesota is soliciting Quotes for a contract to have an independent third party provide crack filling services for the City on the following roads: (see attached exhibit).

One copy of the documents listed in Section II must be submitted. The documents must be submitted by **10:00 A.M. On August 3, 2026** in order to be considered. Documents may be mailed, delivered, or emailed. All documents are to be made to:

Attn: Sam Jochum, City Engineer
c/o Hakanson Anderson
3601 Thurston Avenue
Anoka, MN 55303

Phone: 763-852-0488
Email: samj@haa-inc.com

II. SUBMITTAL OF QUOTE

1. The Contractor shall submit its Quote based off the estimated quantities in Section VIII of this document.
2. The Contractor shall submit a Responsible Contractor Form with its Quote.
3. Contractor shall submit an Affidavit of Non Collusion with its Quote.

III. CONTRACT REQUIREMENTS

1. Upon acceptance of a Quote, Contractor shall enter into the attached Contract for Local Improvement with the City of Baldwin.
2. If the Quote is accepted, the Contractor shall provide proof of insurance and shall name The City of Baldwin and Hakanson Anderson Associates, Inc. as additional insured.
3. If the Quote is accepted and is over \$75,000.00, the Contractor shall provide the City with Performance and Payment Bonds acceptable to the City Attorney.

IV. GENERAL REQUIREMENTS

1. The Contractor shall furnish all labor, tools, materials, equipment and supervision necessary for the performance of all operations.
2. The Contractor shall submit materials used for City review before work may begin
3. The contractor shall provide all traffic control in conformance with the MN MUTCD.
4. The Contractor shall provide the City with a schedule for completion of the work.
5. All divisions of the Minnesota Department of Transportation (MnDOT), "Standard Specifications for Construction", 2025 Edition, shall apply to all construction performed under this contract.

**CITY OF BALDWIN
SHERBURNE COUNTY, MINNESOTA**

REQUEST FOR QUOTES FOR CRACK FILLING

V. ROUT AND SEAL

1. Cracks that are less than $\frac{3}{4}$ " wide shall be mechanically routed to a depth of $\frac{3}{4}$ " and a width of $\frac{3}{4}$ ". Routing equipment must be capable of following a random crack in asphalt pavement. Longitudinal cracks shall not be routed.
2. All loose and foreign material, vegetation, and moisture shall be removed and the crack shall be cleaned with compressed air at approximately 100 psi.
3. A heat lance with tip temperature of approximately 2200 degrees Fahrenheit must be used for every crack immediately after or concurrent with cleaning.
4. The crack filling operation must follow immediately after the crack has been heated (melter shall not exceed 50 feet in distance from the heat lance).
5. Crack fill material must conform to ASTM D3405 or Mn/DOT 3723 for hot poured, elastic joint sealant. Material must be on the MnDOT approved products list or approved equal.
6. Application equipment shall consist of a double jacketed kettle equipped with an agitator and a squeegee (shoe) to strike off the sealant as it is placed.
7. All cracks shall be over banded with a 4" wide banding applicator.
8. In areas of pavement in which "alligator cracking" is present, do not route the cracks. Utilize "Blow and Go" method for all cracks $\frac{1}{8}$ " wide and larger. No treatment is necessary for hairline cracks narrower than $\frac{1}{8}$ " wide.

VI. BLOW AND GO

1. Cracks that have been previously filled and are showing failure or have sagged will be repaired with the blow and go procedure.
2. Cracks will be cleaned of all debris, vegetation, and moisture using compressed air and a heat lance.
3. Cracks will be filled and over banded using ASTM D3405 or Mn/DOT 3723 hot poured, elastic joint sealant. Material must be on the MnDOT approved products list or approved equal.

VII. POLY FLEX PATCH OF EXISTING DEPRESSED CRACKS

1. Approximately 470 transverse cracks were located and marked with a blue X.
2. Cracks shall be cleaned of all debris, vegetation, and moisture using compressed air and a heat lance.
3. Cracks will be filled with a poly fiber sealant (Deery 402 or equal) using a wand applicator. A Certificate of Compliance shall be submitted before any work.
4. Squeegee sealant tight to pavement surface leveling the depression caused by the crack.
5. Following application of sealant, immediately apply clean $\frac{1}{4}$ " trap rock.
6. Keep traffic off until sealant has cured. Contractor is responsible for any damage due to traffic driving on sealant too early.

**CITY OF BALDWIN
SHERBURNE COUNTY, MINNESOTA**

REQUEST FOR QUOTES FOR CRACK FILLING

VIII. QUANTITIES AND PAYMENT

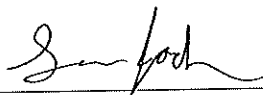
1. Payment will be made in accordance with the schedule set forth below.

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY		UNIT PRICE	EXTENSION
1	MOBILIZATION	1	LUMP SUM		
2	SEAL BITUMINOUS PAVEMENT CRACKS (BLOW AND GO)	502	RD STA		
3	ROUT AND SEAL BITUMINOUS PAVEMENT CRACKS	502	RD STA		
4	CRACK REPAIR SPECIAL (POLY FLEX PATCH)	11,880	LIN FT		
5	TRAFFIC CONTROL	1	LUMP SUM		

IV. SCHEDULE

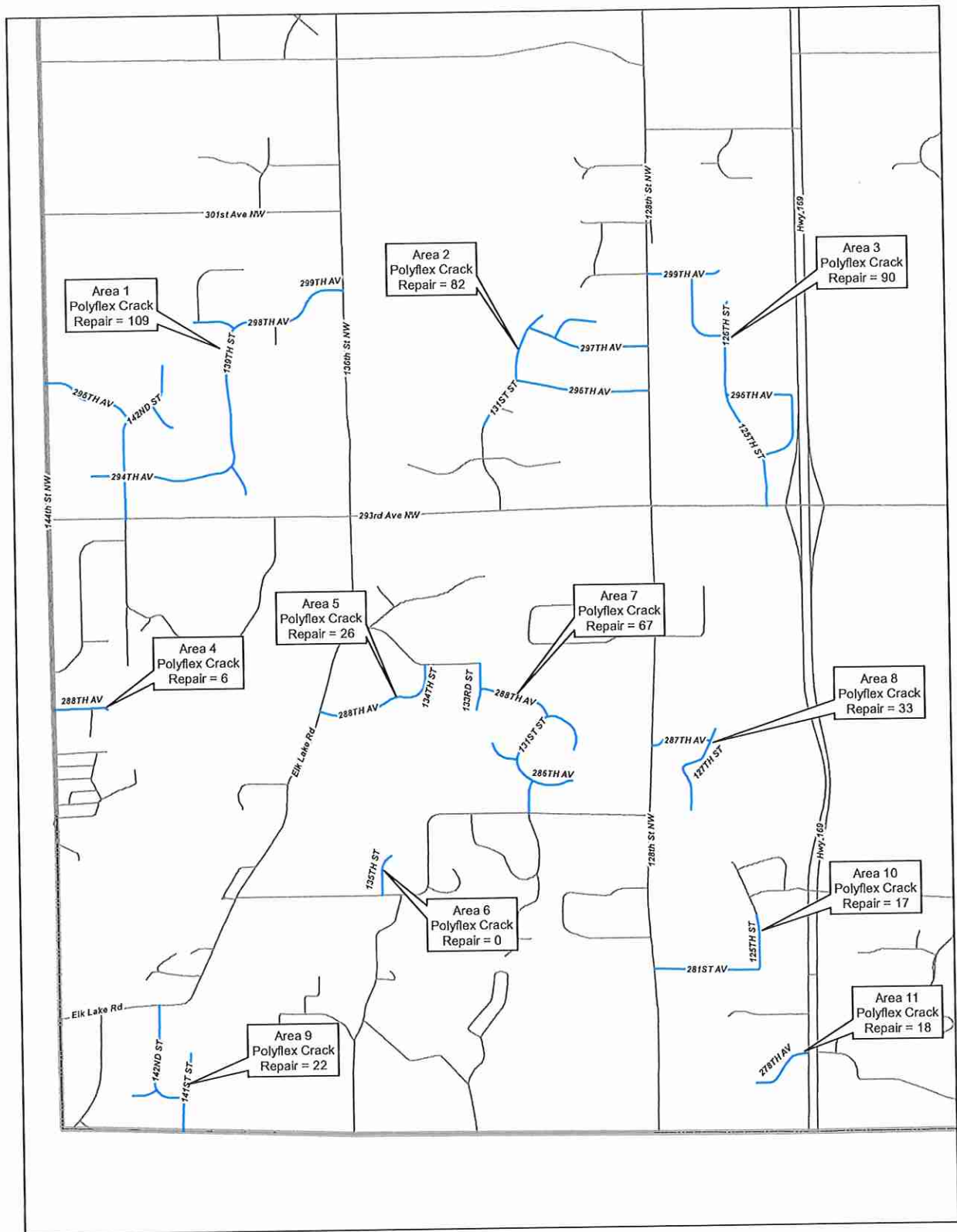
1. City Council considers quotes on August 5, 2026.
2. The work must be completed by October 16, 2026.
3. The Contractor must contact Sam Jochum at 612-270-6284, 48 hours prior to the commencement of any work.

Date: July 9, 2026

By: 
Sam Jochum, City Engineer

Enclosures:

Responsible Contractor Form
Affidavit of Non-Collusion
Contract for Local Improvement



0 900 1,800 Feet N



Legend

- 2026 Crackfilling
- Road Centerlines
- Baldwin Boundary

City of Baldwin
2026 CrackFilling Locations

DOCUMENT 00 45 14
RESPONSIBLE CONTRACTOR VERIFICATION AND
CERTIFICATION OF COMPLIANCE

PROJECT: 2026 CRACK SEALING PROJECT

Minn. Stat. § 16C.285, Subd. 7. **IMPLEMENTATION.** ... any prime contractor or subcontractor that does not meet the minimum criteria in subdivision 3 or fails to verify that it meets those criteria is not a responsible contractor and is not eligible to be awarded a construction contract for the project or to perform work on the project...

Minn. Stat. § 16C.285, Subd. 3. **RESPONSIBLE CONTRACTOR, MINIMUM CRITERIA.** "Responsible contractor" means a contractor that conforms to the responsibility requirements in the solicitation document for its portion of the work on the project and verifies that it meets the following minimum criteria:

- | | |
|-----|---|
| (1) | <p>The Contractor:</p> <ul style="list-style-type: none">(i) is in compliance with workers' compensation and unemployment insurance requirements;(ii) is currently registered with the Department of Revenue and the Department of Employment and Economic Development if it has employees;(iii) has a valid federal tax identification number or a valid Social Security number if an individual; and(iv) has filed a certificate of authority to transact business in Minnesota with the Secretary of State if a foreign corporation or cooperative. |
| (2) | <p>The contractor or related entity is in compliance with and, during the three-year period before submitting the verification, has not violated section 177.24, 177.25, 177.41 to 177.44, 181.13, 181.14, or 181.722, and has not violated United States Code, title 29, sections 201 to 219, or United States Code, title 40, sections 3141 to 3148. For purposes of this clause, a violation occurs when a contractor or related entity:</p> <ul style="list-style-type: none">(i) repeatedly fails to pay statutorily required wages or penalties on one or more separate projects for a total underpayment of \$25,000 or more within the three-year period;(ii) has been issued an order to comply by the commissioner of Labor and Industry that has become final;(iii) has been issued at least two determination letters within the three-year period by the Department of Transportation finding an underpayment by the contractor or related entity to its own employees;(iv) has been found by the commissioner of Labor and Industry to have repeatedly or willfully violated any of the sections referenced in this clause pursuant to section 177.27;(v) has been issued a ruling or findings of underpayment by the administrator of the Wage and Hour Division of the United States Department of Labor that have become final or have been upheld by an administrative law judge or the Administrative Review Board; or(vi) has been found liable for underpayment of wages or penalties or misrepresenting a construction worker as an independent contractor in an action brought in a court having jurisdiction. Provided that, if the contractor or related entity contests a determination of underpayment by the Department of Transportation in a contested case proceeding, a violation does not occur until the contested case proceeding has concluded with a determination that the contractor or related entity underpaid wages or penalties;* |

(3)	The contractor or related entity is in compliance with and, during the three-year period before submitting the verification, has not violated section 181.723 or chapter 326B. For purposes of this clause, a violation occurs when a contractor or related entity has been issued a final administrative or licensing order;*
(4)	The contractor or related entity has not, more than twice during the three-year period before submitting the verification, had a certificate of compliance under section 363A.36 revoked or suspended based on the provisions of section 363A.36, with the revocation or suspension becoming final because it was upheld by the Office of Administrative Hearings or was not appealed to the office;*
(5)	The contractor or related entity has not received a final determination assessing a monetary sanction from the Department of Administration or Transportation for failure to meet targeted group business, disadvantaged business enterprise, or veteran-owned business goals, due to a lack of good faith effort, more than once during the three-year period before submitting the verification;*
	* Any violations, suspensions, revocations, or sanctions, as defined in clauses (2) to (5), occurring prior to July 1, 2014, shall not be considered in determining whether a contractor or related entity meets the minimum criteria.
(6)	The contractor or related entity is not currently suspended or debarred by the federal government or the state of Minnesota or any of its departments, commissions, agencies, or political subdivisions; and
(7)	All subcontractors that the contractor intends to use to perform project work have verified to the contractor through a signed statement under oath by an owner or officer that they meet the minimum criteria listed in clauses (1) to (6).

Minn. Stat. § 16C.285, Subd. 5. SUBCONTRACTOR VERIFICATION.

A prime contractor or subcontractor shall include in its verification of compliance under subdivision 4 a list of all of its first-tier subcontractors that it intends to retain for work on the project.

If a prime contractor or any subcontractor retains additional subcontractors on the project after submitting its verification of compliance, the prime contractor or subcontractor shall obtain verifications of compliance from each additional subcontractor with which it has a direct contractual relationship and shall submit a supplemental verification confirming compliance with subdivision 3, clause (7), within 14 days of retaining the additional subcontractors.

A prime contractor shall submit to the contracting authority upon request copies of the signed verifications of compliance from all subcontractors of any tier pursuant to subdivision 3, clause (7). A prime contractor and subcontractors shall not be responsible for the false statements of any subcontractor with which they do not have a direct contractual relationship. A prime contractor and subcontractors shall be responsible for false statements by their first-tier subcontractors with which they have a direct contractual relationship only if they accept the verification of compliance with actual knowledge that it contains a false statement.

Minn. Stat. § 16C.285, Subd. 4. VERIFICATION OF COMPLIANCE.

A contractor responding to a solicitation document of a contracting authority shall submit to the contracting authority a signed statement under oath by an owner or officer verifying compliance with each of the minimum criteria in subdivision 3 at the time that it responds to the solicitation document.

A contracting authority may accept a sworn statement as sufficient to demonstrate that a contractor is a responsible contractor and shall not be held liable for awarding a contract in reasonable reliance on that statement. Failure to verify compliance with any one of the minimum criteria or a false statement under oath in a verification of compliance shall render the prime contractor or subcontractor that makes the false statement ineligible to be awarded a construction contract on the project for which the verification was submitted.

A false statement under oath verifying compliance with any of the minimum criteria may result in termination of a construction contract that has already been awarded to a prime contractor or subcontractor that submits a false statement. A contracting authority shall not be liable for declining to award a contract or terminating a contract based on a reasonable determination that the contractor failed to verify compliance with the minimum criteria or falsely stated that it meets the minimum criteria.

CERTIFICATION

By signing this document I certify that I am an owner or officer of the company, and I swear under oath that:

- 1) My company meets each of the Minimum Criteria to be a responsible contractor as defined herein and is in compliance with Minn. Stat. § 16C.285,
- 2) I have included a First Tier Subcontractors List with my company's solicitation response, and
- 3) If my company is awarded a contract, I will also submit the Additional Subcontractors List as required.

Authorized Signature of Owner or Officer:

Printed Name:

Title:

Date:

Company Name:

Sworn to and subscribed before me this
_____ day of _____, 20____,

PLACE NOTARY STAMP HERE

Notary Public

My Commission Expires: _____

NOTE: Minn. Stat. § 16C.285, Subd. 2, (c) If only one prime contractor responds to a solicitation document, a contracting authority may award a construction contract to the responding prime contractor even if the minimum criteria in subdivision 3 are not met.

FIRST-TIER SUBCONTRACTORS LIST

SUBMIT WITH PRIME CONTRACTOR PROPOSAL

PROJECT: 2026 CRACK SEALING PROJECT

Minn. Stat. § 16C.285, Subd. 5. A prime contractor or subcontractor shall include in its verification of compliance under subdivision 4 a list of all of its first-tier subcontractors that it intends to retain for work on the project.

FIRST TIER SUBCONTRACTOR NAMES (Legal name of company as registered with the Secretary of State)	Name of city where company home office is located

ADDITIONAL SUBCONTRACTOR NAMES (Legal name of company as registered with the Secretary of State)	Name of city where company home office is located

SUPPLEMENTAL CERTIFICATION	
By signing this document I certify that I am an owner or officer of the company, and I swear under oath that: All additional subcontractors listed on Additional Subcontractors List have verified through a signed statement under oath by an owner or officer that they meet the minimum criteria to be a responsible contractor as defined in Minn. Stat. § 16C.285.	
Authorized Signature of Owner or Officer:	Printed Name:
Title:	Date:
Company Name:	

AFFIDAVIT OF NON-COLLUSION

STATE OF MINNESOTA

COUNTY OF _____

I hereby swear (or affirm) under the penalty of perjury:

1. That I am the Bidder (if the bidder is an individual), a partner in the Bidder (if the bidder is a partnership) or an officer or employee of the Bidder corporation having authority to sign on its behalf (if the bidder is a corporation);
2. That the attached bid or bids have been arrived at by the Bidder individually and have been submitted without collusion with, and without any agreement, understanding or planned common course of action designed to limit individual bidding or competition with any other prospective Bidder or vendor of any materials, supplies, equipment or services described in the invitation to bid;
3. That the contents of the bid or bids have not been communicated by the Bidder or its employees or agents to any person not an employee or agent of the Bidder or its Surety on any bond furnished with the bid or bids, and will not be communicated to any such person, prior to any official opening of the bid or bids; and
4. That I have fully informed myself regarding the accuracy of the statements made in this affidavit.

Subscribed and sworn to before me _____
(Bidder)
this _____ day of _____, 2026.

(Firm making bid or bids)

Official Title

CONTRACT FOR LOCAL IMPROVEMENT

2026 Crack Filling Project
City of Baldwin, Minnesota

1. This agreement made this _____ day of _____ 2026 between the City of Baldwin, Sherburne County, hereafter referred to as the "City", and _____ hereinafter called the "contractor", witnessed;
2. The contractor, for and in consideration of the payment or payments herein specified and by the City to be made, hereby covenants and agrees to furnish all materials, all necessary tools and equipment, and to do and perform all the work and labor necessary as per the Request for Quotes for 2026 Crack Filling Project and the Proposal of contractor (both attached to this Agreement). Said Proposal is hereby referred to and made a part of this contract as fully and to the same extent as if herein set forth in detail.
3. The contractor also agrees that all the work and labor shall be done in the best and most diligent manner and that all materials and labor shall be in entire and strict conformity in every respect with the said specifications and plans and shall be subject to the inspection and approval of the City Road Supervisor designated by the proper authorities of the City for the supervision of the work, and in case any of said material or labor shall be rejected by the City Road Supervisor as defective or unsuitable, then the materials shall be removed and replaced with other approved materials and the labor shall be done anew to the satisfaction and approval of the City Road Supervisor at the cost and expense of the contractor.
4. The contractor agrees to commence the work as herein provided for, at the earliest practicable date and to prosecute the same diligently and without delay and to have the work entirely completed in every respect to the satisfaction and approval of the City Road Supervisor, aforesaid, on or before October 16, 2026. In case of the failure on the part of the contractor, for any reason except with the written consent of the City Council, to complete the work on or before the date aforesaid, the City shall have the right to deduct from any money due or which may become due to the contractor, the amount of \$400.00 per day for each and every day elapsing between the time stipulated for the completion, and the actual date of completion, in accordance with the terms thereof; or if no moneys shall be due the contractor, the City shall have the right to recover such sum; such deduction to be made or such sum to be recovered not as a penalty, but as liquidated damages, and in addition to such liquidated damages, the contractor agrees to pay all cost of local superintendence of the work

during such delay. The contractor agrees to notify the City Council in writing of any and all causes of delay of such work or any part thereof, within 24 hours after such cause of delay shall arise, and in case of the failure of the contractor to perform this contract and complete work immediately, or at any time thereafter, the City may proceed to complete the work at the cost and expense of the contractor. Upon receipt of written notice from the contractor of the existence of causes over which the contractor has no control and which must delay the completion of the work, the City Council may at its discretion, extend the date herein before specified for the completion of the work and in such case the contractor shall become liable for such liquidated damages for failure to perform and for all costs of the local superintendence of the work during any delay after the time is so extended.

5. No claim for extra work done by the contractor will be made by the contractor or allowed by the City, nor shall the contractor do any work not covered in the proposal submitted, unless such work is ordered in writing by the City Council. Any such work, which may be done by the contractor without such written order first being given, shall be at the contractor's own risk and expense. When any extra work is ordered by the City Council to be done, the contractor shall do such work for the actual cost thereof plus ten percent; and when any alteration of plans is ordered by the City Council, the contractor agrees to perform the work as altered and if such alteration shall reduce the cost of doing such work, the actual amount of such reduction in cost shall be deducted from the contract price for the work.
6. The contractor further agrees to pay all laborers employed, and all subcontractors in and about the performance of this contract, and for all by them so performed, but in case the contractor shall fail so to pay and to satisfy every and all claims and demands for labor as aforesaid, the City may apply the monies due and coming to the contractor under this contract toward paying and satisfying such claims and demands, and the City is herewith given the right to apply monies due and coming to the contractor hereunder towards paying any indebtedness or claim heretofore accrued or which may hereafter come due to the City from the contractor on any account whatsoever, and the amount of such payments shall be charged against the balance due the contractor hereunder; provided that nothing herein contained nor any variation from the amounts of the installments or from the manner and times of their payment shall be construed as impairing the right of the City or of those to whose benefit the bond herein agreed upon shall insure, to hold the contractor or surety liable on the bond for any breach of the conditions of the same nor as imposing upon the City any obligation to laborers, contractors, or sureties to pay or to retain for their benefit any monies coming to the

contractor hereunder.

7. The contractor agrees to hold the City harmless from all damages and claims for damages that may arise by reason of any negligence or violation of the law on the part of the contractor, contractor's agents or employees, while engaged in the performance of this contract and agrees to take all precautions necessary to protect the public against injury, and to keep danger signals out at night and at such other times and such places as public safety may require. In addition, contractor agrees to keep in force statutory workers' compensation insurance. Additionally, he shall maintain at all times during the performance of this contract liability coverage naming the City of Baldwin and Hakanson Anderson Associates, Inc. as an additional insured in at least the amount of \$500,000 per claimant and \$1,500,000 for each incident. If the amount of this contract is \$75,000 or more, contractor shall post with the City payment and performance bonds acceptable to the City in the amount of the contract to secure the faithful performance of this contract and the payment of all subcontractors by the contractor and to be conditioned as required by Minnesota Statutes, Section 574.26 to 574.32.
8. In consideration of the covenants and agreements stated above the City agrees to pay the contractor the sum mentioned in the proposal or quote of the contractor, which is attached hereto and made a part of this contract as fully and to the same extent as if herein set forth in full. The City shall hold payment until the final performance and completion of this contract by the contractor to the satisfaction, approval, and acceptance of the City Council including provision by the contractor of Minnesota Department of Revenue Form IC-134.
9. It is agreed and understood by the parties hereto that the use of said work and improvement project at any time by the City for any purposes shall not be construed to be or operate as an acceptance by the City of the work to be done by the contractor under this contract.

IN WITNESS WHEREOF, the parties have caused this agreement to be signed in their behalf by the proper officers thereunto duly authorized and their corporate seal to be hereto affixed, the day and year first above written.

In the presence of

[CONTRACTOR]

CITY OF BALDWIN

By _____

By: _____

Attest: _____

Its: _____

2

To (Owner):	City of Baldwin	Application Period:	Through June 30, 2026	Application Date:	July 8, 2026
Project:	2026 Street Reconstruction Project	From (Contractor):	TS Dirtworks	Via (Engineer):	Hakanson Anderson

Application For Payment Change Order Summary

Change Order Summary		
Approved Change Orders		
Number	Additions	Deductions
1	\$5,640.00	
	TOTALS	\$5,640.00
NET CHANGE BY CHANGE ORDERS		\$5,640.00

1. ORIGINAL CONTRACT PRICE.....		\$	\$280,600.20
2. Net change by Change Orders.....		\$	\$5,640.00
3. Current Contract Price (Line 1 ± 2).....		\$	\$286,240.20
4. TOTAL COMPLETED AND STORED TO DATE		\$	\$267,747.95
5. RETAINAGE:		\$	
a. 5% X Work Completed.....		\$	\$13,387.40
b. 0% X Stored Material.....		\$	\$0.00
c. Total Retainage (Line 5.a + Line 5.b).....		\$	\$13,387.40
6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5.c).....		\$	\$254,360.55
7. LESS PREVIOUS PAYMENTS.....		\$	\$162,632.35
8. AMOUNT DUE THIS APPLICATION.....		\$	\$91,728.20

Contractor's Certification

The undersigned Contractor certifies, to the best of its knowledge, the following:

- The undersigned Contractor certifies, to the best of its knowledge, the following:
- (1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;
 - (2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all Liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such Liens, security interest, or encumbrance(s); and
 - (3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor Signature

By: T. A. M. K. Date: 7-10-20

Date:

ENGINEER: HAKANSON ANDERSON

Certification: We recommend payment for work and quantities shown.

Sam Jochum
(Engineer)

(Engineer)

Date _____

OWNER: CITY OF BALDWIN

(Owner)

Date _____

PAY ESTIMATE #2
City of Baldwin
2026 Street Reconstruction Project

Base Bid ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
1	MOBILIZATION	1	LUMP SUM	\$ 25,000.00	\$ 25,000.00	1	\$ 25,000.00
2	CLEARING	2	EACH	\$ 100.00	\$ 200.00	4	\$ 400.00
3	GRUBBING	2	EACH	\$ 500.00	\$ 1,000.00	4	\$ 2,000.00
4	CLEARING	0.35	ACRE	\$ 6,000.00	\$ 2,100.00	0.35	\$ 2,100.00
5	GRUBBING	0.35	ACRE	\$ 6,000.00	\$ 2,100.00	0.35	\$ 2,100.00
6	REMOVE SIGN	2	EACH	\$ 200.00	\$ 400.00		\$ -
7	REMOVE MAIL BOX SUPPORT	16	EACH	\$ 125.00	\$ 2,000.00	16	\$ 2,000.00
8	SALVAGE SIGN	13	EACH	\$ 150.00	\$ 1,950.00	16	\$ 2,400.00
9	SAWING CONCRETE PAVEMENT (FULL DEPTH)	30	LIN FT	\$ 10.00	\$ 300.00	30	\$ 300.00
10	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	200	LIN FT	\$ 5.00	\$ 1,000.00	193	\$ 965.00
11	REMOVE PIPE CULVERTS	101	LIN FT	\$ 12.00	\$ 1,212.00	102	\$ 1,224.00
12	REMOVE CONCRETE DRIVEWAY PAVEMENT	56.9	SQ YD	\$ 10.00	\$ 569.00	57.8	\$ 578.00
13	REMOVE BITUMINOUS PAVEMENT	446.8	SQ YD	\$ 5.00	\$ 2,234.00	457.6	\$ 2,288.00
14	EXCAVATION - COMMON	312	CU YD	\$ 14.00	\$ 4,368.00	256	\$ 3,584.00
15	SUBGRADE PREPARATION	32.5	ROAD STA	\$ 125.00	\$ 4,062.50	33	\$ 4,062.50
16	AGGREGATE BASE CLASS 5	916	TON	\$ 18.50	\$ 16,846.00	1,019	\$ 18,851.50
17	FULL DEPTH RECLAMATION	8780.3	SQ YD	\$ 1.50	\$ 13,170.45	8,780.3	\$ 13,170.45
18	HAUL FULL DEPTH RECLAMATION (LV)	142	CU YD	\$ 20.00	\$ 2,840.00	24	\$ 480.00
19	MILL BITUMINOUS SURFACE (1.5")	10	SQ YD	\$ 86.00	\$ 860.00	10	\$ 860.00
20	BITUMINOUS MATERIAL FOR TACK COAT	433.1	GALLON	\$ 2.50	\$ 1,082.75	400	\$ 1,000.00
21	TYPE SP 9.5 WEARING COURSE MIXTURE (2.8) 2.5" THICK	559.7	SQ YD	\$ 20.00	\$ 11,194.00	559	\$ 11,180.00
22	TYPE SP 9.5 WEARING COURSE MIXTURE (2.8)	822	TON	\$ 65.50	\$ 53,841.00	828	\$ 54,234.00
23	TYPE SP 12.5 NON WEAR COURSE MIXTURE (2.8)	1086	TON	\$ 65.00	\$ 71,240.00	1,063	\$ 69,095.00
24	15" CS PIPE APRON	12	EACH	\$ 350.00	\$ 4,200.00	12	\$ 4,200.00
25	15" RC PIPE APRON	2	EACH	\$ 350.00	\$ 700.00	2	\$ 700.00
26	15" CS PIPE CULVERT	55	LIN FT	\$ 57.50	\$ 3,162.50	56	\$ 3,220.00
27	15" RC PIPE CULVERT DESIGN 3006 CLASS V	38	LIN FT	\$ 55.00	\$ 2,090.00	40	\$ 2,200.00
28	6" CONCRETE DRIVEWAY PAVEMENT	56.9	SQ YD	\$ 120.00	\$ 6,828.00	49	\$ 5,880.00
29	MAIL BOX SUPPORT	16	EACH	\$ 200.00	\$ 3,200.00		\$ -
30	TEMPORARY MAILBOX CLUSTER	1	EACH	\$ 1,300.00	\$ 1,300.00	1	\$ 1,300.00
31	TRAFFIC CONTROL SUPERVISOR	1	LUMP SUM	\$ 250.00	\$ 250.00	1	\$ 250.00

PAY ESTIMATE #2
City of Baldwin
2026 Street Reconstruction Project

Base Bid						
ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE
32	TRAFFIC CONTROL	1	LUMP SUM	\$ 2,200.00	\$ 2,200.00	1
33	INSTALL SIGN	13	EACH	\$ 115.00	\$ 1,495.00	
34	EROSION CONTROL SUPERVISOR	1	LUMP SUM	\$ 1,000.00	\$ 1,000.00	1
35	CULVERT END CONTROL	1	EACH	\$ 200.00	\$ 200.00	
36	SEDIMENT CONTROL LOG TYPE STRAW	2800	LIN FT	\$ 2.25	\$ 6,300.00	680
37	ROLLED EROSION PREVENTION CATEGORY 20	28	SQ YD	\$ 2.00	\$ 56.00	
38	COMMON TOPSOIL BORROW	559	CU YD	\$ 38.00	\$ 21,242.00	357
39	FERTILIZER TYPE 1	475	POUND	\$ 1.00	\$ 475.00	400
40	SEEDING	0.95	ACRE	\$ 350.00	\$ 332.50	1.17
41	HYDRAULIC BONDED FIBER MATRIX	3325	POUND	\$ 1.50	\$ 4,987.50	4,200
42	SEED MIXTURE SOUTHERN BOULEVARD	152	POUND	\$ 6.00	\$ 912.00	180
Total Base Bid					\$ 280,600.20	
						\$ 262,107.95

Change Order No. 1						
ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE
43	15" RC PIPE APRON	2	EACH	\$ 1,200.00	\$ 2,400.00	2
44	15" RC PIPE CULVERT DESIGN 3006 CLASS V	40	LIN FT	\$ 81.00	\$ 3,240.00	40
Total Change Order No. 1					\$ 5,640.00	
						\$ 5,640.00

BID SUMMARY						
Base Bid				\$	280,600.20	\$ 262,107.95
Change Order No. 1				\$	5,640.00	\$ 5,640.00
Total Bid				\$	286,240.20	\$ 267,747.95

MEMORANDUM

TO: City of Baldwin City Council

CC: Joan Heinen, City Clerk/Treasurer

FROM: Sam Jochum, City Engineer

DATE: July 10, 2026

RE: Chip Seal Construction Pricing

The purpose of this memo is to provide the City of Baldwin with the results of our evaluation of anticipated construction costs for a chip seal project. Based on past project specifications provided by the City, as well as specifications from similar projects completed by our firm, we have developed the following estimated unit costs:

- Chip seal over a gravel roadway: **\$11.50 per square yard**
- Chip seal over an existing chip seal roadway: **\$5.90 per square yard**

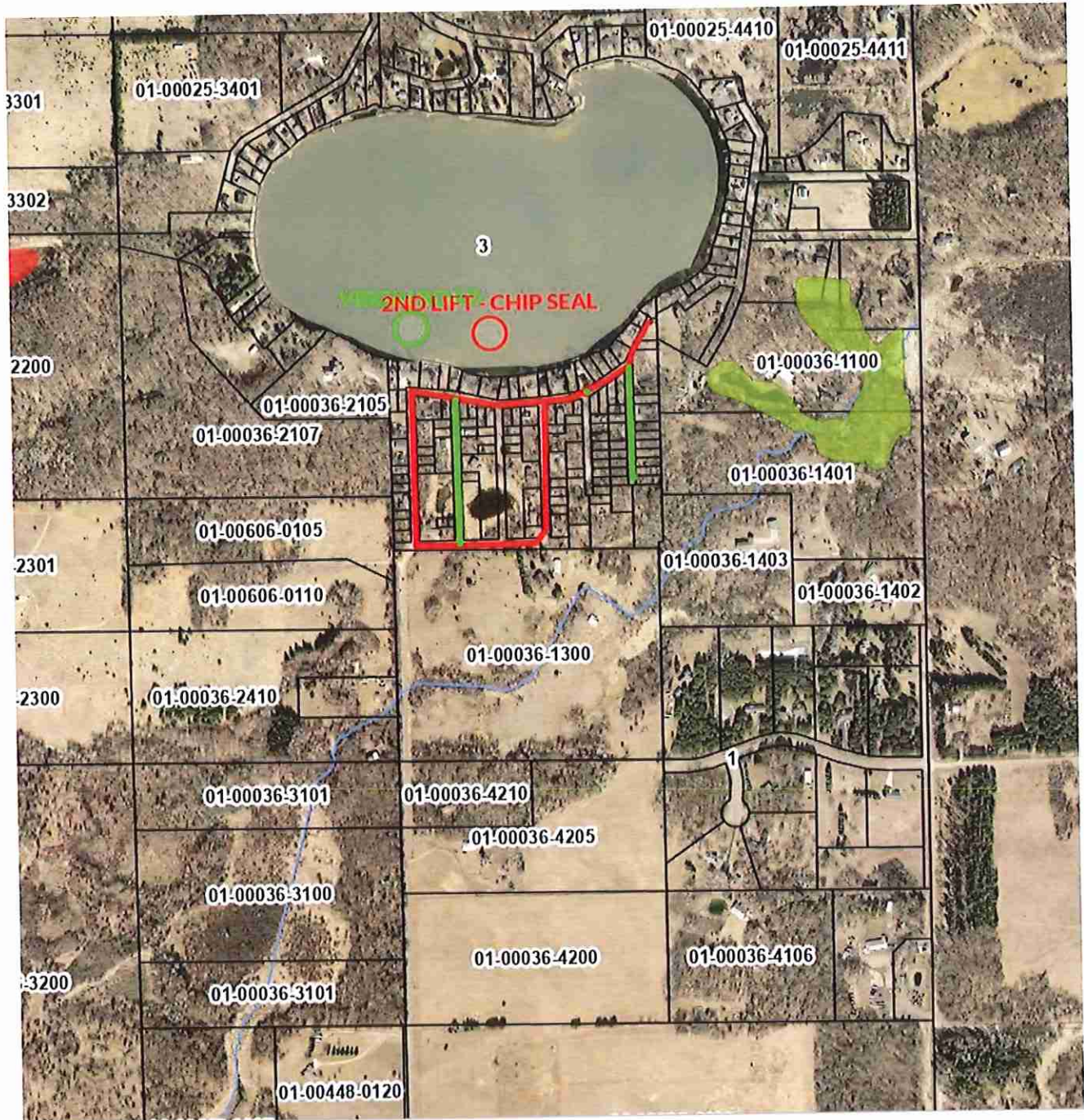
The higher cost for chip sealing a gravel roadway is due to the requirement for a double chip seal application, whereas existing chip seal roadways require only a single application.

Based on the roadway mapping provided by City staff, we estimate there are approximately 1,880 square yards of gravel roadways and 25,300 square yards of existing chip seal roadways. Using the unit costs identified above, the total estimated construction cost is approximately \$170,890.

Please note that the estimated quantities referenced above were developed using approximate roadway lengths and widths obtained from the Sherburne County GIS mapping system. These quantities should be considered preliminary. Preparation of construction plans would be necessary to determine the final project quantities and develop a more accurate construction cost estimate.

Please see the project areas provided to us by City staff attached.

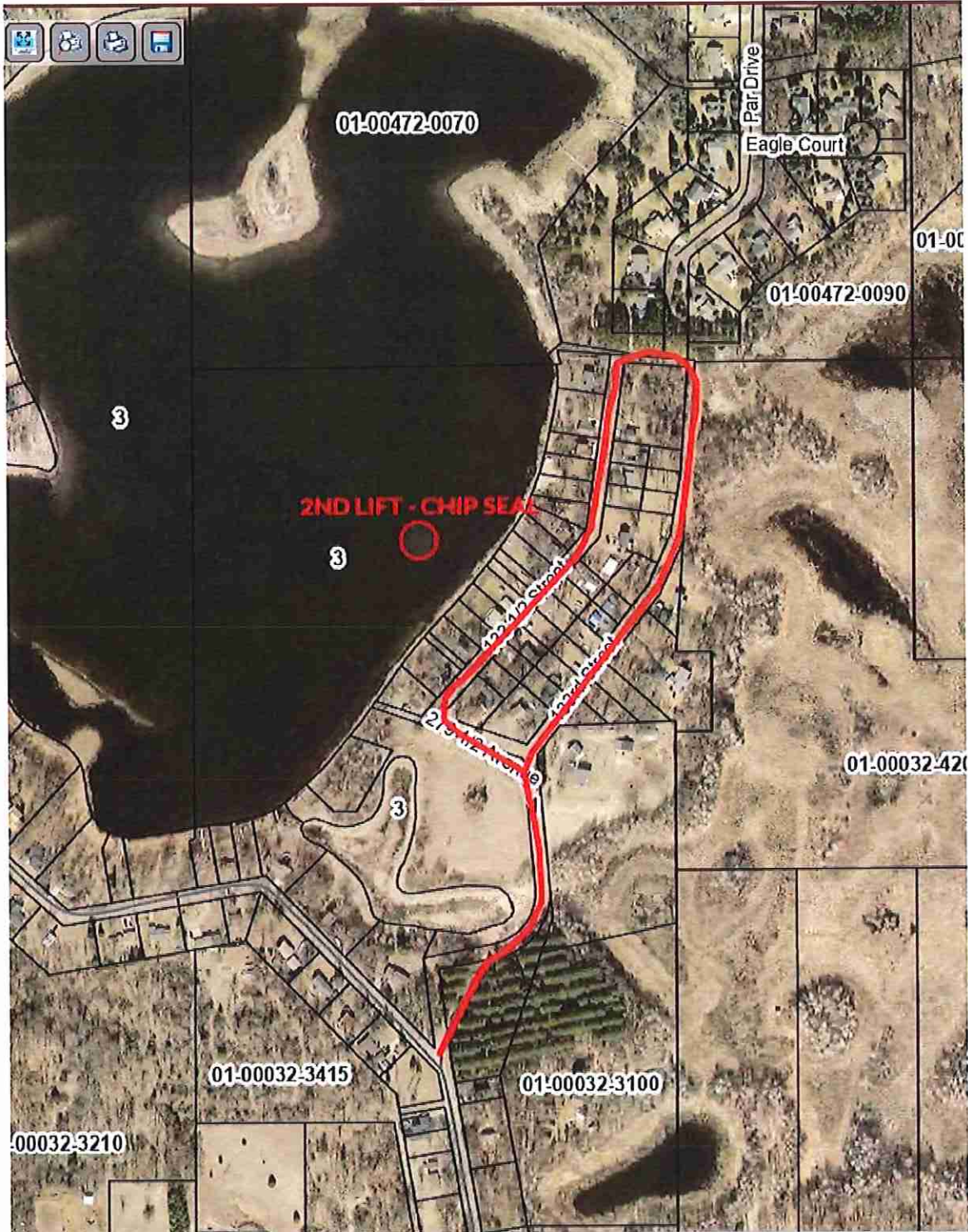
South Sandy Lake



West Elk Lake



East Lake Diann



Frontier Trails Wastewater Operation Summary

Frequency

Pretreatment Module

Log pump run times and event counters	1 / month	☒ Completed	☐ Not Completed
Verify pumps are operational	1 / month	☒ Completed	☐ Not Completed
Perform amp draw and voltage checks	2 / month	☒ Completed	☐ Not Completed
Check for orifice plugging	2 / year	☐ Completed	☒ Not Completed
Verify open pipes in VFW to flush solids	4 / year	☐ Completed	☒ Not Completed
Check blower for proper operation	1 / month	☒ Completed	☐ Not Completed

Disposal System

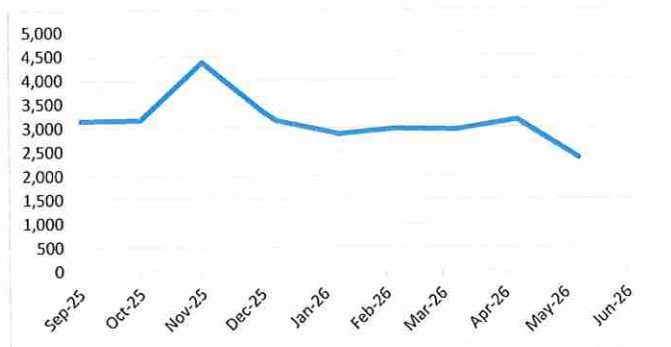
Sample effluent at WS007	4 / year	☒ Completed	☐ Not Completed
Visually inspect the drainfields	1 / month	☒ Completed	☐ Not Completed
Verify pumps are operational	2 / month	☒ Completed	☐ Not Completed
Turn pumps to hand to observe diverter operation at drainfields	2 / month	☒ Completed	☐ Not Completed
Sample wells at GW001-GW004 (Apr, July, Oct)	3 / year	☐ Completed	☒ Not Completed

Special Requirements

Home counts (Jun, Dec)	2 / year	☒ Completed	☐ Not Completed
------------------------	----------	---	--

Monthly Flow Data

Current flow reading	2349	gpd
Previous flow reading	3156	gpd
Increase/decrease	-807	gpd



Comments

Found the aerator was broken

Future Maintenance Needs

Date:	6/1/2026	6/9/2026	6/17/2026	6/23/2026	6/29/2026
Operator:	Josh C	Josh C	Josh C	Josh C	Josh C

CITY OF BALDWIN

*Cash Balances

Cash Account: 10100

June 2026

Fund	Begin June 2026	Transfers			JE Payroll	Balance No Investments	Investments	Balance	
		Rec/Disb	Journal Entries						
10100 - Old National Bank									
101 - General Fund	(\$838,615.76)	\$392,096.27	(\$154,707.20)	\$0.00	(\$14,999.37)	(\$616,226.06)	\$0.00	(\$616,226.06)	In Bal
225 - Cemetery Fund	\$9,582.31	\$2,252.76	(\$40.70)	\$0.00	(\$767.66)	\$11,026.71		\$11,026.71	In Bal
250 - Fire Fund	\$71,865.96	\$95,423.31	(\$6,808.89)	\$0.00	(\$3,261.21)	\$157,219.17		\$157,219.17	In Bal
275 - Street Capital	\$902,579.09	\$175,267.40	(\$8,436.25)	\$0.00		\$1,069,410.24		\$1,069,410.24	In Bal
301 - G.O. 2017A	\$238,057.99	\$8,811.73		\$0.00		\$246,869.72		\$246,869.72	In Bal
302 - G.O. 2024A	\$12,217.44	\$33,136.74		\$0.00		\$45,354.18		\$45,354.18	In Bal
401 - Capital Project Fund	\$175,320.50	\$43.85		\$0.00		\$175,364.35		\$175,364.35	In Bal
402 - Fire Services	(\$6,024.61)			\$0.00		(\$6,024.61)		(\$6,024.61)	In Bal
403 - Fire Infrastructure Fund	\$262,277.49	\$17,569.98		\$0.00		\$279,847.47		\$279,847.47	In Bal
404 - Parks Capital Fund	\$63,781.21	\$26,871.73	(\$772.49)	\$0.00	(\$2,969.48)	\$86,910.97		\$86,910.97	In Bal
602 - Sewer Fund	\$47,106.41	\$7,595.99	(\$6,047.61)	\$0.00	(\$711.83)	\$47,942.96		\$47,942.96	In Bal
801 - Developers Account - Escrow	\$197,312.57	\$6,656.50	(\$5,842.65)	\$0.00		\$198,126.42		\$198,126.42	In Bal
802 - Baldwin Estates Escrow	\$2,389.61			\$0.00		\$2,389.61		\$2,389.61	In Bal
804 - Buck Run Escrow	\$15,401.81			\$0.00		\$15,401.81		\$15,401.81	In Bal
805 - Sumser Farms 1st Addt Escr	\$2,186.41			\$0.00		\$2,186.41		\$2,186.41	In Bal
		MTD Amounts		Begin + YTD					
Begin	\$1,155,438.43	\$1,725,230.87	Investments	\$0.00	\$0.00				
Receipt	\$765,726.26	\$1,120,041.46	Petty Cash	\$0.00	\$0.00				
Disbursements	(\$182,655.79)	(\$950,446.68)	Savings	\$0.00	\$0.00				
Transfers Rec/Disb	\$0.00	\$0.00	Money Market	\$0.00	\$0.00				
Transfers JE	\$0.00	\$2.04							
JE Payroll	(\$22,709.55)	(\$179,028.34)	Balance	\$1,715,799.35	In Balance				

CITY OF BALDWIN

07/13/26 1:48 PM

Page 1

602 Transactions

2026

June

Last Dim Descr	Search Name	Dr/Cr Amt	Comments
R Revenue			
Interest Earnings	Bremer Bank	-\$11.99	June 2026 Bank Interest
Interest Earnings	Bremer Bank	-\$11.42	June 2026 Bank Interest
Interest Earnings	Bremer Bank	\$11.42	June 2026 Bank Interest
Late Payments Se	Frontier Trails	-\$215.21	UB Receipt Serv Pen 1 Frontier Trails
Sewer Charges	Credit Card Payments	-\$200.00	[REDACTED] Colt Lysdahl
Sewer Charges	Frontier Trails	\$200.00	[REDACTED] Colt Lysdahl
Sewer Charges	Frontier Trails	\$150.00	[REDACTED] Colt Lysdahl
Sewer Charges	Frontier Trails	\$186.00	[REDACTED]
Sewer Charges	Frontier Trails	\$186.00	[REDACTED]
Sewer Charges	Frontier Trails	\$397.00	[REDACTED]
Sewer Charges	Frontier Trails	\$190.00	[REDACTED]
Sewer Charges	Frontier Trails	-\$5,791.79	UB Receipt Serv 1 Frontier Trails
Sewer Charges	Credit Card Payments	-\$190.00	[REDACTED]
Sewer Charges	Credit Card Payments	-\$397.00	[REDACTED]
Sewer Charges	Credit Card Payments	-\$186.00	[REDACTED]
Sewer Charges	Credit Card Payments	-\$200.00	[REDACTED]
Sewer Charges	Credit Card Payments	-\$186.00	[REDACTED]
Sewer Charges	Credit Card Payments	-\$186.00	[REDACTED]
Sewer Charges	Credit Card Payments	-\$397.00	[REDACTED]
R Revenue		-\$6,651.99	
G General Ledger			
Deferred Revenue	Frontier Trails	-\$944.00	UB JR Receipt Group 01 FRONTIER TRAILS
G General Ledger		-\$944.00	
E Expenditure			
Electric Utilities	Connexus Energy	\$527.97	Electric Utilities
Employer Paid Ins		\$134.07	Labor Distribution
FICA Contributions		\$31.01	Labor Distribution
Fuel	Princeton Gas	\$40.70	Lawn Mowers Gas
Legal Fees	Couri and Ruppe PLLP	\$71.25	HOA and Certification
Medicare Contribut		\$7.25	Labor Distribution
MN Paid Leave Ins		\$4.38	Labor Distribution
Other Professional	Natural Systems Utilities	\$62.50	Frontier Trails SSD Chemical Spill CleanUp
Other Professional	Hilliard Heating and Cooling Inc	\$3,200.00	Frontier Trails Ventilation Fan
Other Professional	Natural Systems Utilities	\$2,096.39	Frontier Trails SSD Service Provider
Pera Contributions		\$37.33	Labor Distribution
Postage	Elan Financial Services	\$48.80	FT Postage
Salaries and Wage		\$497.79	Labor Distribution
E Expenditure		\$6,759.44	
		-\$836.55	

\$7595.99 Revenues

Expenditures

Joan Heinen

From: Tom Rush
Sent: Tuesday, July 7, 2026 4:10 PM
To: Joan Heinen; Kayla Nielsen
Subject: Fw: Microsurface Project Striping

FYI

[Get Outlook for iOS](#)

From: Sam Jochum <samj@haa-inc.com>
Sent: Monday, 06 July 2026 13:24:26
To: Tom Rush <councilmemberD@baldwinmn.gov>; Alan Walker <councilmemberC@baldwinmn.gov>
Subject: Re: Microsurface Project Striping

Hi Tom,

See below for estimated pricing for the various possible options:

- Construction cost for only striping roads that currently have striping now: \$33,900.
- Construction cost for striping all street within the project: \$41,900 (approximately \$8,000 more).

Thanks,

Sam

From: Tom Rush <councilmemberD@baldwinmn.gov>
Sent: Monday, July 6, 2026 12:22 PM
To: Sam Jochum <samj@haa-inc.com>; Alan Walker <councilmemberC@baldwinmn.gov>
Subject: Re: Microsurface Project Striping

Hi Sam,
How much would that be for the developments already having the lines. Rough estimate is fine.

Thanks

[Get Outlook for iOS](#)

From: Sam Jochum <samj@haa-inc.com>
Sent: Monday, 06 July 2026 10:43:17
To: Alan Walker <councilmemberC@baldwinmn.gov>; Tom Rush <councilmemberD@baldwinmn.gov>
Subject: Microsurface Project Striping

Good Morning Al and Tom,

As we finalize our plans and specifications for the microsurfacing project, I wanted to verify striping for this job. We are only proposing to stripe the roadways that currently have striping now. There are a

couple segments that do not have any striping so we would propose to not stripe those. Please let me know if this is the City's expectations or not.

Thank you,

Sam



Natural Systems Utilities Work Order Request and Cost Estimate Form

Project	Frontier Trails	PM	Greg Flood
Date	4/13/2026	Phone	763-620-0706
Location	Baldwin Township	Email	gfflood@nsuwater.com

Description of Work

NSU will acquire, program, and install two remote monitoring devices. One device will be installed at the north site and another at the south. The north site will require external housing. South will be installed within the building. Each unit will be able to realtime monitor for alarms and function. Each unit will also have the ability to produce a daily flow as required by permit for WS004 and WS001. These units require a yearly subscription for wireless connectivity and realtime monitoring.

Cost Estimate

Labor	Rate (per hour)	Quantity	Subtotal
Operations Manager	\$210.00	0	\$0.00
Operations Supervisor	\$166.00	0	\$0.00
Project Engineer I	\$160.00	0	\$0.00
Lead Operator	\$155.00	20	\$3,100.00
Wastewater Operator	\$125.00	0	\$0.00

Expenses	Rate (per mile)	Quantity	Subtotal
Mileage	\$0.725	50	\$36.25

Other Operation Services	Rate	Quantity	Subtotal
Confined Space Entry (per permit)	\$100.00	0	\$0.00
Use of HAZMAT Monitoring Equipment (per hour)	\$50.00	0	\$0.00
Pressure Washer / Jetter Unit (per hour, 2 hour min.)	\$90.00	0	\$0.00
Rough Cut Mower (per hour)	\$50.00	0	\$0.00

Materials	Cost	Quantity	Subtotal
Omnite XR50 with External Housing	\$4,000.00	1	\$4,000.00
Omnisite XR50 interior	\$5,100.00	1	\$5,100.00
Additional Current Sensors (2)	\$400.00	1	\$400.00
Additional Electrical Supply	\$100.00	1	\$100.00
5 S-WS-OBXRCB-REALTIME1 Remote monitoring St	\$506.00	1	\$506.00

Subtotal	\$13,242.25
Contingency (10%)	\$1,324.23
Total	\$14,566.48

This document is intended as an estimate only, and may change based on unexpected or unforeseen issues, additional tax and/or shipping costs, etc. Work order authorization via email is acceptable. Please contact your Project Manager with questions.

MEMORANDUM

TO: City of Baldwin City Council

CC: Joan Heinen, City Clerk/Treasurer

FROM: Sam Jochum, City Engineer

DATE: July 9, 2026

RE: 100th Street Right of Way Staking Estimated Cost and Schedule

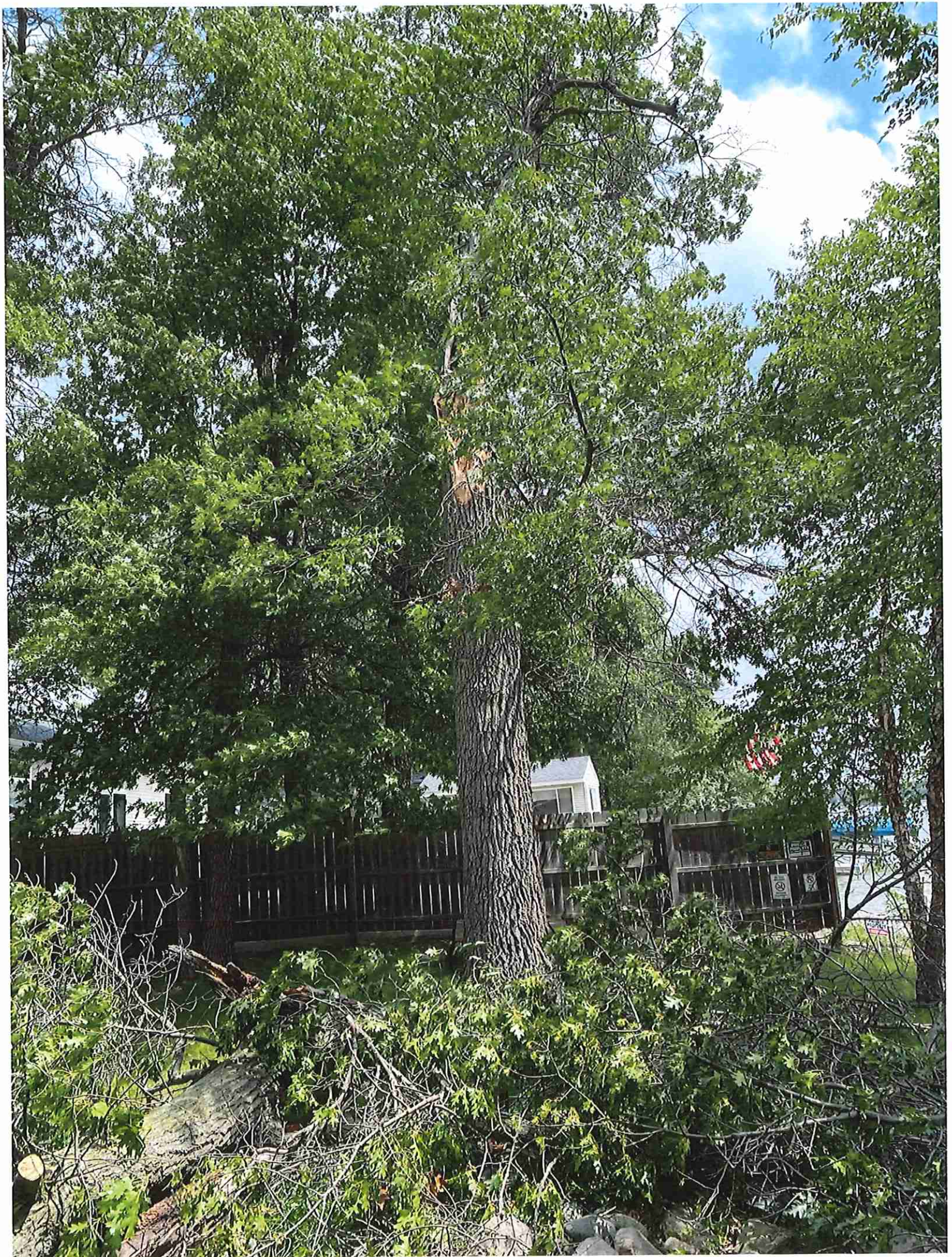
Hakanson Anderson was tasked with providing a cost for staking the proposed right of way easement on 100th Street. Our survey department estimates that this cost would be \$6,230. This cost includes the office preparation work for point computations, approximately 20 hours of field work, and equipment costs per our normal rates.

The staking would cover the following:

- Placement of right of way, drainage and utility easement, and temporary construction easement stakes along both sides of 100th Street.
- For most of the lots, stakes will be placed at the property corners as well as the mid-point of the lot.
- For larger lots (lots that span well over 300 feet wide), stakes will be placed every 200 feet.
- In wooded areas, stakes will be placed at approximately 100-foot intervals to improve visibility and provide residents with a clearer representation of the proposed easement limits.

If council approves the staking request at the July 15 Council Meeting, Hakanson Anderson could have the staking completed by July 30, 2026.





763-286-1747

Aim Tree Service
Ash tree injection and removal experts
North Metro Tree Service
(763) 441-9727 Senior Discounts
30 Years Experience

WORKING AGREEMENT DATE July 9/2026
NAME Baldwin Township
ADDRESS 28489 143rd St
Baldwin
PHONE Zack 286-3394

COMPLETE TRIMMING INCLUDES: Thinning to lessen wind resistance. Removal of dead wood and sucker growth. Cutting away interfering and weak branches away from house, garage, power lines and neighboring structures. Includes hauling and clean-up of all work sites.

option Raise birch & Elm
over Ramp \$1175⁰⁰/hr

COMPLETE TREE & STUMP REMOVAL INCLUDES: Trees cut flush to ground (as close as possible) or stumps and surface roots removed to 6" below surface. Includes hauling and clean-up of wood, brush and stump chippings from site.

Cut down & haul broken oak
at the Boat ramp

Clean up wood & brush

OTHER SERVICES: Description as follows:

\$3250⁰⁰/hr



MN STATE SALES TAX \$

\$

North Metro Tree Service is Licensed and Fully insured and is fully responsible for any damages to your property during the course of our work & clean-up.
BALANCE DUE AND PAYABLE UPON COMPLETION.

- ☐ Flyer ☐ Referral
☐ Phone ☐ Yellow Pages

Customer
Signature _____
Supervisor _____

Joe Hodge



ESTIMATE 01534-E

Client City of Baldwin
Client Address 30239 128th Street Northwest, Baldwin, MN 55371
Client Phone (763) 389-8931
Client Email publicworks@baldwinmn.gov
Project Address 28489 143rd Street Northwest, Zimmerman, MN 55398

Proposed Work

Price

Tree(s) Removal / Hauling

\$ 1,500.00

Removal of one (1) standing portion of the broken off tree and clean up and removal of the remaining wood, branches and wood debris on the ground.

Tree(s) will be removed in a controlled manner and cut to the ground as low as possible.

Hauling, removal and disposal of brush, logs and wood debris. DOES NOT include hauling of stumps/roots.

Price DOES NOT include stump grinding.

Subtotal **\$ 1,500.00**

Tax 0% **\$ 0.00**

Total \$ 1,500.00

*We thank you for the opportunity to submit the prices and specifications noted above.
Please contact us at (612) 709-3828 if you would like to proceed with the quotation.*

Acceptance of proposal.

The prices, specifications, and terms and conditions are satisfactory and hereby accepted. Jake's Top Notch Tree Service is authorized to do the work as specified.

Estimator: TJ Johnson

Revision Date: 07/13/2026, Rev 4

Authorized Signature:

Confirmation Date:

■ 30301 US Highway 169, Princeton, MN 55371, United States ■ PHONE: 612) 709-3828

■ EMAIL: Office@JakesTopNotch.com ■ WEB: <https://jakestopnotch.com/>



This quote is valid for 30 days from the date issued. After that time, pricing and availability may change.

5% discount for military and law enforcement on projects \$1,500.00 or greater.

Equipment selection, including use of lift, crane, or other machinery, will be determined on site based on access, safety requirements, and operating conditions. Pricing reflects the overall scope of work and risk involved, not the specific equipment used on the day of service.

YARD and LANDSCAPING

Repairs to yard areas or existing landscaping are NOT INCLUDED in this agreement and will be billed separately if requested.

Jake's Top Notch Tree Service takes reasonable precautions to reduce impact to turf, landscaping, irrigation, hardscapes, and surrounding property. Due to the nature of tree work, equipment weight, ground conditions, and access limitations, some level of disturbance or damage may occur.



■ 30301 US Highway 169, Princeton, MN 55371, United States ■ PHONE: 612) 709-3828

■ EMAIL: Office@JakesTopNotch.com ■ WEB: <https://jakestopnotch.com/>

**SATELLITE INDUSTRIES INC**

13705 1st Avenue North
Plymouth, MN 55441
USA
Phone : 763-553-1900
Fax : 763-553-1905
Federal ID No.: 41-0854413

QUOTATION

Quote Number: GTE-0071478
Quote Date: 7/6/2026
Shipping Date:
Expected Delivery Date:

To help protect you from potential scammers:
If you receive notice of a change in bank account information, we
encourage you to always do a verbal verification using a known
number.
If you have any questions, please contact us by phone

Sold To Customer: SII030555

City of Baldwin

30239 128TH ST NW
Baldwin, Minnesota 55371-3752
United States

Buyer: Kayla Nielson
PO#:

Ship To Customer: SII030555

City of Baldwin

30239 128TH ST NW
Baldwin, Minnesota 55371-3752
United States

Shipping From: 200US - SAT CDC
Shipping Via: Small Parcel Ground Service
Carrier: TBD
Freight Terms: Prepaid
Payment Terms: CASHINADVANCE

Product	Description	Quantity	Price Each	Discount	Assembly	Surcharge	Net Price	Ext. Price
20895	Kit-Disp Foam Soap/San- 1000ml 3	EA	16.00	0.00	0.00	0.00	16.00	48.00

Shipped from: 1686 Commerce Dr , Bristol, IN 46507-9348

Name: Jay Kremer.
E-mail: jayk@satelliteindustries.com
Tel. :

Subtotal:	48.00	US Dollar
Additional Charges:		
Freight Charges	21.06	US Dollar
Export Fees	0.00	US Dollar
Insurance	0.00	US Dollar
Customs Fees	0.00	US Dollar
Discount	0.00	US Dollar
Rewards Discount	0.00	US Dollar
Tax	0.00	US Dollar
Total:	69.06	US Dollar

Kayla 763-389-8931

BOE ELECTRICAL CONTRACTORS INC

31540 125th 1/2 Street NW, Suite 101

Princeton, MN 55371

(763) 241-8922



ADDRESS

City of Baldwin

30239 128th St NW

Baldwin, MN 55371

SHIP TO

Young Park

11141 305th Ave

Princeton, MN 55371

ESTIMATE 3188

DATE 07/13/2026

QTY DESCRIPTION

RATE

AMOUNT

Furnish and install electrical as follows:

334.25

Replace broken 2 gang weatherproof cover for receptacles

Install a new photocell raised out of reach of the public on west side of building

Credit card transactions are subject to a 3% processing fee.

Thank you for your business.

We look forward to working with you.

TOTAL

\$334.25

Accepted By

Accepted Date

Joan Heinen

From: Kyle Wilson <Kyle.Wilson@co.sherburne.mn.us>
Sent: Friday, July 10, 2026 10:15 AM
To: Joan Heinen
Cc: Renee Casey
Subject: RE: Baldwin/RE: Park/driving complaint #26017360
Attachments: Princeton (700.08) - 1229828361~~~2305~~~Title 7 - Traffic and Vehicles.pdf; Big Lake City - 600.03 - 600.04.pdf; Becker City - (8.05.2) - CHAPTER 08_202512261158246920.pdf; St. Cloud (1000.15.9 - Page 582).pdf; Elk River - Sec._74_61.____Exhibition_driving_.docx; Anoka - Sec._66_7.____Unnecessary_acceleration_.docx; Zimmerman (4.01) - Chapter 4 Traffic.pdf

Joan,

As we discussed this morning, it may be wise for the city to consider adopting an ordinance that would specifically prohibit driving conduct of this nature (exhibition driving and or unnecessary acceleration). As Deputy Casey mentioned, the threshold to charge, and get a conviction for reckless driving, is quite high and does not appear to have been met in this incident. Adopting an ordinance, like many other cities have, with verbiage like those I have attached, should assist in meeting the threshold for an ordinance violation.

I would suggest removing the discussion for enforcement from the agenda for the next meeting as the criminal elements for the misdemeanor are lacking and therefore not prosecutable. If the city chooses to go the route of developing an ordinance I would suggest working with the Sherburne County Attorney's Office to amend the previous agreement to have the offense included with the dog ordinances they would prosecute. Otherwise the prosecution would rest with the city attorney.

The statute for reckless/careless driving; <https://www.revisor.mn.gov/statutes/cite/169.13>

Let me know if anything further is needed.



Sergeant Kyle Wilson

Sherburne County Sheriff's Office
13880 Business Center Drive NW
Elk River, MN 55330
p 763-765-3519
C 320-319-6296
kyle.wilson@co.sherburne.mn.us

"Commitment to Service with Integrity and Pride"

www.co.sherburne.mn.us/sheriff

Facebook: @SherbCoSheriff

From: Joan Heinen <city.clerk@baldwinmn.gov>
Sent: Friday, July 10, 2026 8:46 AM
To: Kyle Wilson <Kyle.Wilson@co.sherburne.mn.us>
Subject: FW: Baldwin/RE: Park/driving complaint #26017360