



CITY OF BALDWIN
PLANNING COMMISSION MEETING AGENDA
Wednesday, October 22, 2025 at 7:00 P.M.
Baldwin City Hall

- A. **Call to Order:**
 - 1. Pledge of Allegiance
 - 2. Roll Call
 - 3. Planning Commission claim forms
- B. **Approval of the Agenda**
- C. **Approval of Minutes:**
 - 1. Planning Commission meeting of August 27, 2025.
- D. **Public Hearings:**
 - 1. Travis and Mikaela Nietz (31516 136th Street NW):
 - a. Interim Use Permit for commercial dog kennel.
 - 2. Matt and Kathleen Finlayson (Lots 4 and 5, Block 1 Hunter Estates)
 - a. Vacation of drainage and utility easements
- E. **New Business:**
 - 1. Ruff Start Rescue (12526 319th Avenue)
 - a. Site and building plan review
 - 2. Boe Companies (31540 125-1/2 Street)
 - a. Site and building plan review
- F. **Old Business:**
 - 1. None.
- G. **City Council Liaison Update**
- H. **Commissioner Update**
- I. **City Staff Update**
- J. **Miscellaneous Information and Communications**
 - a. July, August, and September Building Permits
- K. **Adjourn by 9:00PM**

Notes:

- 1. Five copies of the agenda and two copies of the packet materials are available for review by the public.
- 2. The meeting will be video and audio recorded for transcription purposes only.
- 3. This agenda does not claim to be complete and is subject to change.
- 4. A quorum of the City Council may be present at the Planning Commission meeting.

PUBLIC HEARING PROCEDURE

The following process will be used for each public hearing agenda item:

1. The Chair is to announce the application.
2. City staff will present the Planning Report.
3. The applicant will be given an opportunity by the Chair to describe the request, make additional statements, and state if they agree with the recommendations of City staff.
4. The Chair will open the public hearing and invite comments and questions from the audience:
 - Please state your name and address to be recorded in the meeting minutes.
 - Comments and questions are to be directed to the Chair.
 - Please limit individual comments or questions to 5 minutes or less.
 - The Chair may request that only new information be presented.
5. The Chair will ask for any additional public comments and, if hearing none, will ask for a motion to close the public hearing.
6. The Chair may ask the applicant and/or City staff to respond to comments or questions from the public hearing.
7. The Planning Commission will discuss the application and ask questions of the applicant and/or City staff.
8. The Chair will ask for a motion for a recommendation to the City Council as to the whether the application be approved or denied, including any recommended stipulations. The Planning Commission may also table consideration of an application.
9. The Chair will announce the date the application is likely to be considered by the City Council.

The City Council and Planning Commission want to ensure that all comments regarding development applications before the City are received at the proper time and place to be most effective. In order for comments regarding a Comprehensive Plan amendment, Zoning Ordinance amendment, Conditional Use Permit, Interim Use Permit, or variance to be legally considered by the City Council and Planning Commission, they must only be received in writing prior to or verbally at a property noticed public hearing. After the Planning Commission has closed the public hearing, people will be advised by the Planning Commission Chair and/or City staff that additional comments are no longer able to be heard.



PLANNING COMMISSION MEETING MINUTES

AUGUST 27, 2025

Call to Order: Chair Clarence Mattson called the Baldwin Planning Commission meeting to order at 7:00 pm.

Pledge of Allegiance: All present recited the Pledge of Allegiance.

Roll Call: Present: Chair Clarence Mattson, Vice Chair Richard Marshall, Commissioners Patti Miller, Teresa Barnes, Abby Newland, and Ed Stofferahn.

Absent: Commissioner Calvin Schmock

Also present: City Planner, Dan Licht and City Council Liaison, Jay Swanson.

All claim forms were filled out and returned to the Deputy Clerk.

Approval of the Agenda:

Under New Business add B. Second Driveway review for 14215 278th Avenue NW and C. Commissioner Marshall's Status

Commissioner Stofferahn motioned to approve the agenda as amended. Commissioner Newland seconded. All in favor. Motion carried.

Approval of the Minutes:

Planning Commission meeting of July 23, 2025

Commissioner Miller motioned to approve the minutes as amended. Commissioner Newland seconded. All in favor. Motion carried.

Public Hearings:

Meadows of Baldwin (PID: 01-00018-4102)

City Planner Licht presented the planning report. Meadows of Baldwin, LLC has submitted an application to subdivide 58.34 acres located at the southwest quadrant of 305th Avenue and 136th Street into 17 single family lots.

The applicant, Joss Jondahl, 29820 108th St NW, was in attendance.

Mr. Jondahl stated that the project would come to a halt if another street was added through this subdivision to the adjoining property. Chair Mattson asked if the street would be between lots 3 and 4 or on the north side of lot 4. Mr. Jondahl stated between lots 3 and 4. One of the lots would have to be removed and there would be an expense of a street.

Chair Mattson asked where lots 7 and 8 driveways would be located. Mr. Jondahl stated it would come off the new road that would be created with this subdivision. Lots 5 and 6 and lots 1 and 2 would have a shared driveway.

Chair Mattson opened the public hearing at 7:13 pm.

Susan Vordenbruggen, 30339 136th St, stated concerns with the speed on 136th street. Mrs. Vordenbruggen is requesting a speed study on 136th street and a four-way stop at 305th and 136th Street due to the potential increase in traffic with this added subdivision. City Planner Licht stated the speed concern is not specific to the development and should be considered a separate issue to be addressed with the City Council. The four-way stop can be addressed by the City Engineer.

Charlie Jones, 30305 136th St, stated concerns with the speed on 136th street and has concerns that the subdivision would add more traffic. Mr. Jones asked about trails in these developments. City Planner Licht stated the City has discussed the idea of adding trails in new developments, however doing so in one section of this development will not connect to any other development at this time. This would be part of a larger discussion the City would need to have as part of pre-improvement plans.

Andrew Schwantz, 13938 302nd Ave, stated the back of his property butts up to lot 1 in the new development. Mr. Schwantz has asked if they could buy any of that land. City Planner Licht stated that would be between him and the property owner.

Michelle Jones, 30305 136th St, stated there is a trail that is currently used for recreation on this property. Mrs. Jones asked if that trail would stay or if it would become part of the subdivision. City Planner Licht stated the trail looks to be part of the right-of-way and wont be affected by the subdivision.

Mrs. Jones reiterated the concern for a speed study to be done on 136th Street as the road is very busy. Mrs. Jones asked if the speed study would be done prior to the approval of the subdivision. Chair Mattson stated the speed study is something that would need to be discussed with the City Council. City Planner Licht stated the City Engineer and The Planning Company have reviewed the traffic patterns on 305th Avenue and 136th Street and have stated that the traffic patterns are not high enough that this new subdivision would cause congestion issues on those roadways.

Mrs. Jones asked what the proposed start date is for the subdivision. City Planner Licht stated the developer will have permission to start construction this fall.

Ken Larson, no address, asked about the street being developed and where it is located. City Planner Licht stated that the developer would extend 138th Street through to 305th Avenue. Mr. Larson asked how close the new road would come to the current property to the east. Mr. Jondahl stated there is 533 feet from that property to the new road.

Commissioner Marshall motioned to close the public hearing at 7:25 pm. Commissioner Barnes seconded. All in favor. Motion carried.

Commissioner Miller asked about lots 5 and 6 having a shared driveway. City Planner Licht stated there was discussion on shared driveways, however with two lots being accessed by 138th Street instead of the new road, staff is comfortable with these two driveways directed towards 305th.

Chair Mattson asked to discuss the access to the 20 acres on the west side of this property. Chair Mattson asked if there should be an easement between lots 3 and 4 going west. City Planner Licht stated the street would not be required to be constructed, just the right of way dedicated. If the property to the west develops in the future, the applicant would be responsible for construction of that road. Mr. Jondahl is correct in stating that in order to dedicate the right of way, they would lose one of those lots.

City Planner Licht stated the city's goal is to avoid cul-de-sac's as the city is losing the connectivity between subdivided neighborhoods. Cul-de-sac's also impact emergency vehicle access, circulation throughout the city, and street maintenance purposes. The property to the west would require a cul-de-sac to be subdivided into multiple parcels or it could be subdivided in half into two 10-acre parcels.

Chair Mattson asked if Mr. Jondahl was aware of the eleven conditions. Mr. Jondahl stated he was.

Commissioner Stofferahn stated that if the Planning Commission agrees to this subdivision without the additional road, then the city is not allowing the other parcel owner the full ability to develop that lot. City Planner Licht stated that the current subject site and the 20-acres to the west are under common ownership.

Commissioner Barnes motioned to approve the Preliminary Plat for Meadows of Baldwin (PID: 01-00018-4102), subject to the eleven conditions listed by city staff. Commissioner Newland seconded. All in favor. Motion carried.

New Business:

Jeremy Snow (PID: 01-00555-0010)

City Planner Licht presented the planning report. Jeremy and Casey Snow own Outlot A, Infinite Acres located at the terminus end of 302nd Street. The Infinite Acres plat is located at the northwest quadrant of 136th Street and 301st Avenue. The property owners are proposing to build a house upon the parcel, which requires it to be platted prior to issuance of a building permit. This was brought in front of the Planning Commission to discuss the support of the idea for a variance to allow for construction of the one house on the property, either with an easement for the future street, an outlot dedicated for the future street, or to require full compliance with the zoning ordinance and subdivision ordinance in order to build on the lot.

JulieAnna Snow, 9987 106th Place N, Maple Grove, was in attendance representing Jeremy and Casey Snow. Mrs. Snow is asking the Planning Commission to grant them permission to build a home on this outlot and the use of the current driveway.

City Planner Licht stated that the right of way for 302nd Street does extend to the property line. There is a temporary cul-de-sac with a public right of way to access the outlot.

Chair Mattson asked how the parcels to the west of this property are accessed. City Planner Licht stated there is no current home on that property and currently land locked.

Commissioner Barnes asked for clarification on the future street and if the applicant could split the parcel into two buildable lots. City Planner Licht stated the applicant would need to plat the right of way, build the street, and show each lot at 2.5 acres with 40,000 square feet buildable area which is what the subdivision ordinance requires.

Commissioner Barnes asked who would be required to build the rest of the street if the property to the west develops or who is required to build the road later. City Planner Licht stated that the city requires that houses be constructed on lots with direct access to public streets meaning the street would have to be built.

Mrs. Snow asked what would happen if they do not build on the outlot, but they keep ownership of the lot. The properties to the west would still not be able to develop in the future. City Planner Licht stated that the issue is the applicant is bringing forward the idea of developing this property and in order to develop this property, they have to comply with the city's regulations. If the applicant does not do anything with the property, then the properties to the west can't do anything with their property or they will need to find another way to get to that property.

Commissioner Marshall asked why this outlot does not comply with the zoning ordinance. Chair Mattson replied stating the outlot does not have the road frontage. City

Planner Licht stated that when Infinite Acres was built, if they would have brought 302nd Avenue into this outlot, and platted it, the property would have been buildable. Instead, the road was stopped short of this parcel and platted as an outlot.

Commissioner Newland asked if the applicant knew about the ordinance when they purchased the lot. Mrs. Snow stated no, they did not.

City Planner Licht stated the alternative option would be to extend the street cul-de-sac into the property so that they have the road frontage to build and then dedicate easement for the future street through the property. The second option would be the Planning Commission agreeing to making 302nd Street a permanent cul-de-sac, in which the applicant would then need to extend the cul-de-sac into the property to gain the road frontage.

Chair Mattson stated the way it is currently platted, developed, and with the ordinances, the Planning Commission cannot give a variance for this property. City Planner Licht provided different options for the applicant on how to make this property buildable. At this time, the applicant will need to work with City Planner Licht on different scenarios to make this lot conform to city ordinances and come back to the Planning Commission at a later date.

Second Driveway review for 14215 278th Ave NW

The Second Driveway application for Glen Peterson (14215 278th Ave NW) is under review with the Planning Commission. City Engineer, Sam Jochum, from Hakanson Anderson reviewed the second driveway. Hakanson Anderson recommends approval as the second driveway does meet all requirements of Ordinance 100.

Commissioner Barnes asked where the location of the second driveway would be. Commissioner Stofferahn stated the application states 277th Avenue. This would access the south side of the property.

Commissioner Stofferahn motioned to approve the second driveway for 14215 278th Avenue NW. Commissioner Miller seconded. All in favor. Motion carried.

Commissioner Marshall's Status

Commissioner Marshall presented a resignation letter effective no later than the conclusion of the November 2025 meeting schedule or as soon as a replacement is found. The Planning Commission has posted an opening for Seat A with a term ending in 2027.

Old Business: None.

City Council Liaison Update: None.

Commissioner Update:

Commissioner Miller cannot attend the Special Planning Commission meeting on September 17, 2025.

Chair Mattson discussed the vacancy on the Planning Commission, noted how variances work, and noted how public hearings work for the new Planning Commission members.

City Staff Update:

City Planner Licht updated the Planning Commission on future meeting agenda items.

Miscellaneous Information and Communications: None.

Adjourn:

Commissioner Marshall motioned to adjourn the August 27, 2025 Planning Commission meeting at 8:15 pm. Commissioner Miller seconded. All in favor. Motion carried.

Submitted by: Kayla Nielsen
Deputy Clerk/Treasurer

Approved by: Clarence Mattson
Chair

Date

Attendees: JulieAnna Snow, Andrew Schwantz, Susan Vordenbruggen, Charlie Jones, Michelle Vaughan, Ken Larson, Donna Larson, Josh Manke, Joss Jondahl, CT Ogham, and City Council member Alan Walker.



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PLANNING REPORT

TO: Baldwin Planning Commission

FROM: D. Daniel Licht

REPORT DATE: 13 October 2025

120-DAY DATE: 13 December 2025

RE: Baldwin – North Country Goldens, LLC; Commercial Kennel IUP

TPC FILE: 269.02

BACKGROUND

Travis and Mikaela Nietz own the property at 31516 136th Street (PID 01-00007-1105). The 10.00 acre property is developed with a single family dwelling and two detached accessory buildings. The property owners operate a commercial kennel upon the property that includes dog boarding as a secondary use of the property.

Commercial animal kennels are allowed with approval of an Interim Use Permit. Applications for approval of an interim use permit are processed in accordance with Section 900-5-4 of the Zoning Ordinance subject to review by the Planning Commission and approval of the City Council. A public hearing to consider the proposed use has been noticed for the Planning Commission meeting on 22 October 2025 at 7:00PM.

Exhibits:

- Site Location Map
- Applicant Narrative
- Distances to Surrounding Dwellings
- Draft findings of fact

ANALYSIS

Comprehensive Plan. The Comprehensive Plan guides development of land uses that provide for continuation of rural character. The Planning Commission recommended, and the Town Board, approved in September 2023 amendments of the Animal Ordinance and Zoning Ordinance related to kennels to ensure that animal kennels continue to be an allowed as it is considered to be consistent with the character of rural areas.

Zoning. The subject site is zoned R1, General Rural District. The existing single family dwelling and detached accessory buildings upon the property are permitted uses. Development of the proposed commercial kennel is allowed as an interim use. Section 900-5-4.H of the Zoning Ordinance establishes conditions for approval of an interim use permit to allow the proposed use, which are reviewed in subsequent paragraphs.

Surrounding Uses. The property is surrounded by larger unplatted rural residential parcels ranging in area from 2.5 acres to more than 60 acres. The area of the surrounding parcels and the subject site will separate the proposed commercial kennel from nearby residential dwellings mitigating potential compatibility issues. The proposed kennel is to be located within an existing detached accessory building surrounded by existing mature trees that further mitigates any potential compatibility issues.

Building. The kennel is operated from an existing 1,296 square foot detached accessory building located along the north line of the subject property. The existing building should be subject to inspection by the Building Official to identify any Building Code deficiencies related to the kennel operation that may pose health and safety risks. Any Building Code compliance issues that are identified will be required to be corrected, subject to review and approval of the Building Official.

Number of Dogs. Section 900-5-4.H.2 of the Zoning Ordinance limits the number of dogs that may be kept to no more than 40 dogs over six months of age, including no more than 10 unsterilized female dogs over six months of age, unless approved by the City Council. City staff recommends that this number of dogs be set as a limit on the number of animals be a condition of approval.

Confinement. Section 900-5-4.H.3 of the Zoning Ordinance requires that dogs be confined and under control of the operator and/or staff at all times. The commercial kennel is to be operated by the property owners, who reside on the property.

Section 900-5-4.H.6.a of the Zoning Ordinance requires provision of adequate shelter for dogs boarded at the kennel. The kennel is operated from the 1,296 square foot pole building. The narrative describes that dogs are kept inside the building or shelters as required by the Zoning Ordinance.

There is an outdoor kennel area adjacent to the detached accessory building that is enclosed by a fence. Section 900-5-4.H.5 of the Zoning Ordinance requires that outdoor exercise areas be fenced with a minimum height of six feet and constructed with durable materials to keep dogs from escaping over, under, or through the fence. The narrative states that the fence is six feet in height.

Shelters and outdoor kennel areas, including required fencing, is to be subject to inspection and approval of the Zoning Administrator.

Waste. Section 900-5-4.H.7 of the Zoning Ordinance requires the operator to submit a waste management plan for proper disposal of animal feces. The applicants indicate that animal waste is collected twice each day and disposed of in enclosed containers that prevent odor. The waste management plan is to be subject to review and approval of the Zoning Administrator.

Lot Requirements. Section 900-5-4.H.8.a of the Zoning Ordinance requires that the kennel be located on a parcel that complies with the minimum lot requirements of the Zoning Ordinance. Unplatted parcels within the R1 District are required by Section 900-51-7 of the Zoning Ordinance to be 20.0 acres in area, 200 feet in width measured at the front setback line abutting a public right-of-way, and 300 feet in depth. The subject site is 10.0 acres in area, approximately 330 feet in width, and approximately 1,300 feet in depth. The property is a legal non-conforming lot of record governed by Section 900-15-3.C of the Zoning Ordinance. Provided that the proposed use complies with applicable setback requirements, the non-conforming area of the subject property is not a concern.

Setbacks. The table below summarizes the setback requirements of the R1 District established by Section 900-51-8 of the Zoning Ordinance applicable to buildings within the subject site. The existing 1,296 square foot pole building used for the kennel complies with these setback requirements.

136 th St.	Side	Rear
50ft.	10ft.	25ft.

Section XX-5-4.H.8.b of the Zoning Ordinance further requires that the kennel building and any outdoor runs shall be setback a minimum of 500 feet from any existing residence except that of the kennel owner. The proposed kennel is approximately 600 feet from the closest existing house, which is to the northeast of the 1,296 square foot pole building. The location of the kennel building and outdoor run complies with the additional setback requirements for kennel uses.

Utilities. The existing single family dwelling within property is served by a Subsurface Sewage Treatment System and private well. So long as no building permit is required for any improvements upon the property a certificate of compliance for the existing Subsurface Sewage Treatment System is not required to be provided as required by Section 11-4-2.C of the Building Ordinance at this time.

Access. The property is currently accessed from 136th Street via an existing driveway, which is designated as a collector roadway intended to carry higher volumes of traffic than that within in a residential neighborhood. The City is developing plans for improvement of 136th Street that will improve capacity and the condition of the 136th Street. The single family dwelling and kennel operation share use of this single driveway to 136th Street. Any modification of the existing driveway within the public right-of-way requires a driveway permit subject to review and approval of the Town Engineer.

Wetlands. The existing 1,296 square foot pole building and outdoor dog runs do not impact wetlands within the subject property identified on the National Wetland Inventory Map.

Termination. Section 900-5-6 of the Zoning Ordinance outlines the events that terminate allowance of the commercial kennel use. City staff recommends that these conditions be included as a condition of approval for the Interim Use Permit.

RECOMMENDATION

Our office recommends approval of an Interim Use Permit allowing a commercial kennel subject to the conditions outlined below. Findings of fact consistent with this recommendation are provided for consideration by the Planning Commission.

POSSIBLE MOTION

Motion to recommend **approval** of an Interim Use Permit for a commercial kennel upon 31516 136th Street, subject to the following conditions:

1. The property shall be developed in accordance with the plans on file with the Town as provided for by Section 900-5-7 of the Zoning Ordinance, subject to review and approval of the Zoning Administrator.
2. The 1,296 square foot pole building shall be subject to inspection by the Building Official; and Building Code deficiencies shall be corrected by the property owner.
3. Dogs shall be confined or under control of the operator and/or staff at all times; at minimum of one employee shall be present 24 hours each day.
4. The number of dogs that may be kept at the kennel shall be limited to not more than boarding for 40 dogs over six months of age, including no more than 10 unsterilized female dogs over six months of age.
5. Outdoor exercise areas shall be subject to review and approval of the Zoning Administrator, and:

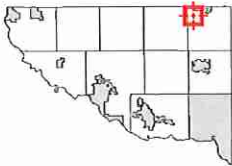
- a. Fenced with a minimum height of six feet and constructed with durable materials to keep dogs from escaping over, under, or through the fence.
 - b. Setback a minimum of 500 feet from any single family dwelling not that of the property owner.
- 6. Waste management:
 - a. The property owner shall provide for proper disposal of animal feces at least twice each with disposal into containers suitable to control odor and prevent organism contamination, subject to review and approval of the Zoning Administrator.
 - b. Waste containers shall be emptied, removed from the property, and disposed of by a licensed mixed municipal solid waste hauler.
- 7. A driveway permit shall be required for any modification of the existing driveway within the public right-of-way, subject to review and approval of the City Engineer.
- 8. The Interim Use Permit shall terminate upon any of the following events, whichever occurs first:
 - a. Upon violation of conditions under which the interim use permit was issued.
 - b. Upon change in the town's zoning regulations that renders the use nonconforming.
 - c. The redevelopment of the use and property upon which it is located to a permitted or conditional use as allowed within the respective zoning district.
 - d. Upon a change in ownership, whether pursuant to move, sale, transfer, assignment, or otherwise, the interim use permit is terminated and the proposed new owner is required to apply for a new Interim Use Permit in accordance with the provisions of the Zoning Ordinance.
 - e. The approved use is inactive for one year or longer as determined by the zoning administrator.
- c. Joan Heinen, City Clerk/Treasurer
Andy Schreder, Building Official

31516 136th Street

Subject Property



Overview



Legend

Public Water Inventory

- Not Classified
- General Development
- Natural Environment
- Recreational Development

Roads

- MN Highway; US Highway
- Municipal-State Aid Street
- Municipal Street
- Township Road
- State Forest Road
- Bureau of Fish and Wildlife Road
- Connector (Ramp)
- Privately Maintained Public Access Road
- County Road
- County-State Aid Highway
- Parcels
- Streams

Narrative Response for Interim Use Kennel Permit – North Country Goldens

At North Country Goldens, dogs aren't just pets — they're part of the family. That belief is the foundation of everything we do and the reason we began dedicating our lives to caring for our furry children and creating a home full of wagging tails and slobbery kisses.

Our journey began 11 years ago when My husband, Travis, and I began watching our friends' and family's dogs while they went away on vacation. That quickly grew into caring for neighbors' dogs, who were just like family too. When we moved to the country, in Baldwin Township, we knew we had found the perfect home — a place where we could continue welcoming dogs into our lives and give them a safe, happy space to stay. Today, the City of Baldwin is not only our home, but also the home away from home for so many of our furry friends.

When your pup comes to stay with us, they become part of our extended family. Both my husband and I are fully hands-on in the daily care of the dogs, from feeding and cleaning to exercise, playtime, and lots of affection. The permit will always remain solely in our names and would never be transferred. At no time will more than 40 dogs over six months of age be housed on the property. The kennel will strictly adhere to the limit of no more than 10 unsterilized female dogs unless otherwise approved by the city council. Unlike large commercial kennels that bring in dozens of dogs at a time, we intentionally prefer to keep our kennel small. This allows us to know each pup individually — whether we've seen them once or a hundred times — and give them the attention, care, and comfort they deserve.

We also recognize that quality pet care should be accessible. That is why we strive to offer an economical solution for local families, giving them peace of mind knowing their dogs are safe, loved, and well cared for without the high cost often associated with larger operations.

Our kennel is operated with a strong focus on safety, compliance, and community harmony. Dogs are always either securely housed in comfortable, all-weather shelters or under direct supervision always. This includes whether indoors or outdoors, ensuring no pup is left unattended or uncontrolled. Outdoor areas are fully fenced with at least six-foot or greater, durable barriers and the are are secured and designed to prevent escape. Additionally, we are mindful of the unique individual needs of each pup and have areas that support smaller, larger or a need for less socialization. The care of our extended family is our primary focus.

Our property is well-suited for this purpose and fully compliant with zoning requirements. The kennel, shelters, and runs are located on a parcel that meets all minimum lot requirements, with kennel structures located more than 500 feet from any neighboring residence other than our own. This thoughtful placement ensures compatibility with the surrounding area.

Cleanliness and sanitation are a top priority. We have a daily waste management system in place to collect and dispose of waste in a safe and odor-free manner, protecting both the environment and the comfort of our neighbors. Waste is collected at least twice daily disposed of properly in odor-proof containers, in full compliance with sanitation requirements. In addition, we are mindful of sound and activity levels to ensure our operation does not disturb the peace and quiet

of those around us. Noise reduction measures, including thoughtful scheduling of outdoor activities, sound-mitigating building materials, and attentive supervision, support minimizing disturbances

Beyond the direct benefit to pets and their owners, North Country Goldens contributes positively to the community. As a small, family-run business, we bring economic value to the City of Baldwin by providing trusted local services, supporting responsible pet ownership, and keeping business revenue within the community. By keeping our business local, we not only provide trusted services but also support the community with responsible, small-scale growth.

North Country Goldens is more than just a kennel — it's a family-centered haven where dogs are cared for with love, attention, and respect. Noise control, waste management, and thoughtful scheduling all ensure our facility remains a respectful part of the neighborhood. We are committed to maintaining the highest standards of safety, compliance, and cleanliness while giving each pup the feeling of being at home.

A Day at the Kennel

Our daily routine balances activity, rest, cleanliness, and care. This structured routine keeps pups safe, happy, and healthy while ensuring a clean and peaceful environment in our community.

A typical day at North Country Goldens looks like this:

- **6 - 8:00 AM – Morning Routine Potty Breaks & Breakfast**
Greet all pups and check for health and well-being. Dogs start the day with supervised outdoor potty breaks, small groups or solo. kennels are refreshed with bedding checks and a full morning, disinfect cleanup. Care and instructions as per family followed (Special diets, medications etc.) Fresh water is provided, breakfast is served in clean feeding areas, and laundry collected.
- **8 - 11:00 AM – Morning Play & Exercise**
Dogs enjoy time in secure outdoor play areas, running, socializing, and playing under direct supervision. Small groups, individual and enrichment for those needing added socialization or solo time, and games. Photo and video Ops. This helps burn energy and keeps tails wagging. Supervision and cleaning of waste in yard
- **11- 3:00 PM – Midday Rest & Refresh and Afternoon Enrichment & Care**
After exercise, dogs have quiet time to rest comfortably indoors or in shaded areas. Waste removal and cleaning are performed throughout the day to maintain a sanitary environment. Health and wellness check on dogs following socialization and playtime. Organize and sanitize toys,
- **3 – 5:00 PM Enrichment or One on one time/ Afternoon play and Dinner prep**
Dogs receive individual attention — from puzzles, games, baths, walks and training games to extra snuggles and enrichment activities. *New photos and videos and update clients as requested. Prep dogs belongings that will be leaving at the end of the day. Check and refill/ clean cleaning supplies. Check community water and clean and

then refill. Supervise another round of play time. Kennel areas are cleaned again to ensure odor-free, fresh spaces.

- **5- 7:00 PM – Dinner & Evening Routine**

Let dogs out for potty breaks before and after dinner. Dinner is served with fresh water provided. Dogs have a final round of supervised play and potty breaks to end the day on a positive note. Feed Dinner and monitor eating. Give evening meds. Begin calming activities for wind down, such as a movie for the pups. After dinner clean up/Wash including bowls for the dogs that finished dinner.

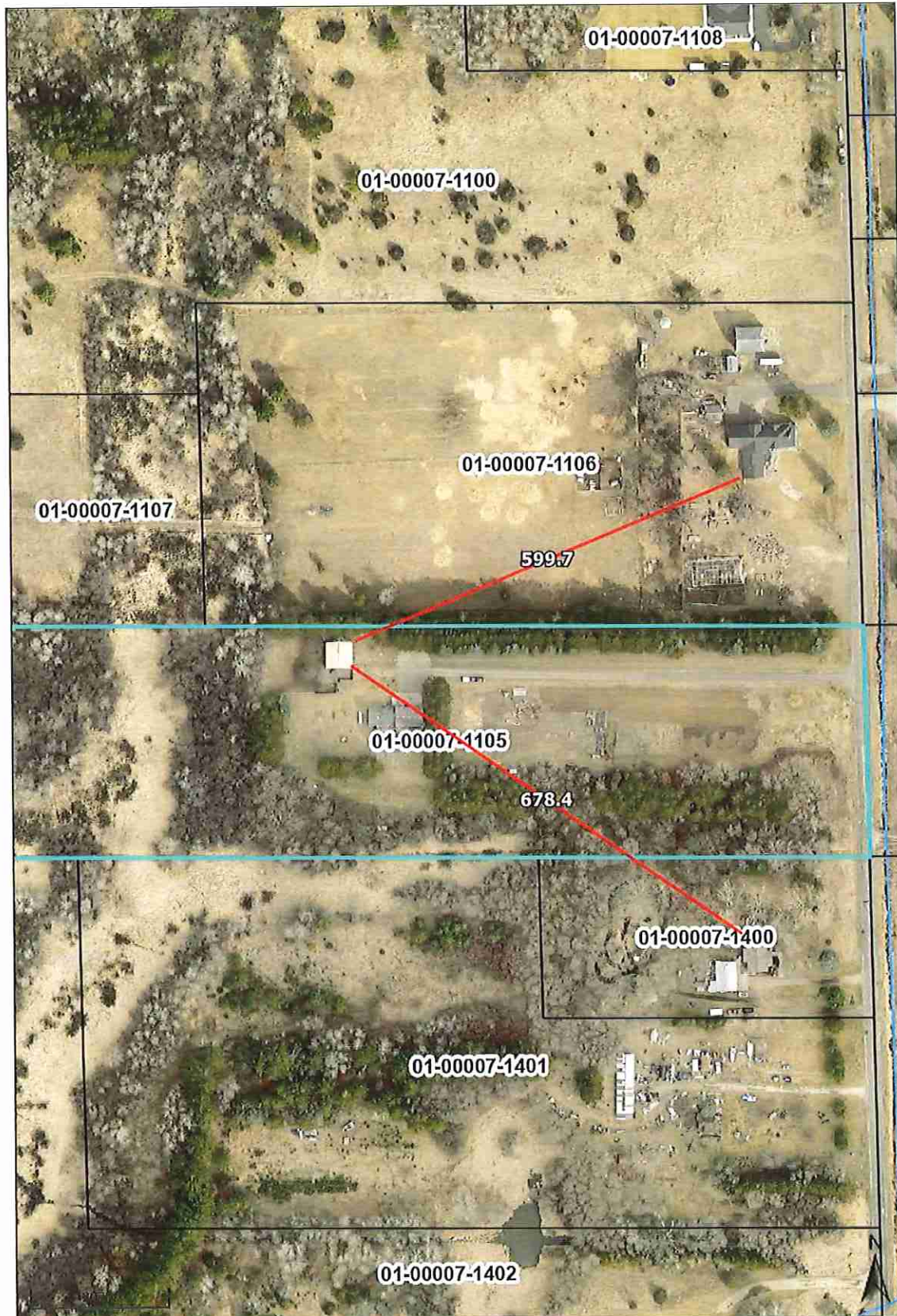
- **7- 9:00 PM – Bedtime & Final Checks**

Dogs are settled in with clean bedding, fresh water, and a final health and wellness check to ensure comfort and security for the night. Lock up securely and log end of day notes as needed.

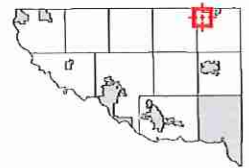
This routine provides structure, consistency, and plenty of attention while ensuring that sanitation, safety, and community harmony remain top priorities.

31516 136th Street

Distance to Surrounding Dwellings



Overview



Legend

Public Water Inventory

Not Classified

General Development

Natural Environment

Recreational Development

Parcels

Streams

Narrative Response for Interim Use Kennel Permit – North Country Goldens

At North Country Goldens, dogs aren't just pets — they're part of the family. That belief is the foundation of everything we do and the reason we began dedicating our lives to caring for our furry children and creating a home full of wagging tails and slobbery kisses.

Our journey began 11 years ago when My husband, Travis, and I began watching our friends' and family's dogs while they went away on vacation. That quickly grew into caring for neighbors' dogs, who were just like family too. When we moved to the country, in Baldwin Township, we knew we had found the perfect home — a place where we could continue welcoming dogs into our lives and give them a safe, happy space to stay. Today, the City of Baldwin is not only our home, but also the home away from home for so many of our furry friends.

When your pup comes to stay with us, they become part of our extended family. Both my husband and I are fully hands-on in the daily care of the dogs, from feeding and cleaning to exercise, playtime, and lots of affection. The permit will always remain solely in our names and would never be transferred. At no time will more than 40 dogs over six months of age be housed on the property. The kennel will strictly adhere to the limit of no more than 10 unsterilized female dogs unless otherwise approved by the city council. Unlike large commercial kennels that bring in dozens of dogs at a time, we intentionally prefer to keep our kennel small. This allows us to know each pup individually — whether we've seen them once or a hundred times — and give them the attention, care, and comfort they deserve.

We also recognize that quality pet care should be accessible. That is why we strive to offer an economical solution for local families, giving them peace of mind knowing their dogs are safe, loved, and well cared for without the high cost often associated with larger operations.

Our kennel is operated with a strong focus on safety, compliance, and community harmony. Dogs are always either securely housed in comfortable, all-weather shelters or under direct supervision always. This includes whether indoors or outdoors, ensuring no pup is left unattended or uncontrolled. Outdoor areas are fully fenced with at least six-foot or greater, durable barriers and the are are secured and designed to prevent escape. Additionally, we are mindful of the unique individual needs of each pup and have areas that support smaller, larger or a need for less socialization. The care of our extended family is our primary focus.

Our property is well-suited for this purpose and fully compliant with zoning requirements. The kennel, shelters, and runs are located on a parcel that meets all minimum lot requirements, with kennel structures located more than 500 feet from any neighboring residence other than our own. This thoughtful placement ensures compatibility with the surrounding area.

Cleanliness and sanitation are a top priority. We have a daily waste management system in place to collect and dispose of waste in a safe and odor-free manner, protecting both the environment and the comfort of our neighbors. Waste is collected at least twice daily disposed of properly in odor-proof containers, in full compliance with sanitation requirements. In addition, we are mindful of sound and activity levels to ensure our operation does not disturb the peace and quiet

of those around us. Noise reduction measures, including thoughtful scheduling of outdoor activities, sound-mitigating building materials, and attentive supervision, support minimizing disturbances

Beyond the direct benefit to pets and their owners, North Country Goldens contributes positively to the community. As a small, family-run business, we bring economic value to the City of Baldwin by providing trusted local services, supporting responsible pet ownership, and keeping business revenue within the community. By keeping our business local, we not only provide trusted services but also support the community with responsible, small-scale growth.

North Country Goldens is more than just a kennel — it's a family-centered haven where dogs are cared for with love, attention, and respect. Noise control, waste management, and thoughtful scheduling all ensure our facility remains a respectful part of the neighborhood. We are committed to maintaining the highest standards of safety, compliance, and cleanliness while giving each pup the feeling of being at home.

A Day at the Kennel

Our daily routine balances activity, rest, cleanliness, and care. This structured routine keeps pups safe, happy, and healthy while ensuring a clean and peaceful environment in our community.

A typical day at North Country Goldens looks like this:

- **6 - 8:00 AM – Morning Routine Potty Breaks & Breakfast**
Greet all pups and check for health and well-being. Dogs start the day with supervised outdoor potty breaks, small groups or solo. kennels are refreshed with bedding checks and a full morning, disinfect cleanup. Care and instructions as per family followed (Special diets, medications etc.) Fresh water is provided, breakfast is served in clean feeding areas, and laundry collected.
- **8 - 11:00 AM – Morning Play & Exercise**
Dogs enjoy time in secure outdoor play areas, running, socializing, and playing under direct supervision. Small groups, individual and enrichment for those needing added socialization or solo time, and games. Photo and video Ops. This helps burn energy and keeps tails wagging. Supervision and cleaning of waste in yard
- **11- 3:00 PM – Midday Rest & Refresh and Afternoon Enrichment & Care**
After exercise, dogs have quiet time to rest comfortably indoors or in shaded areas. Waste removal and cleaning are performed throughout the day to maintain a sanitary environment. Health and wellness check on dogs following socialization and playtime. Organize and sanitize toys,
- **3 – 5:00 PM Enrichment or One on one time/ Afternoon play and Dinner prep**
Dogs receive individual attention — from puzzles, games, baths, walks and training games to extra snuggles and enrichment activities. *New photos and videos and update clients as requested. Prep dogs belongings that will be leaving at the end of the day. Check and refill/ clean cleaning supplies. Check community water and clean and

then refill. Supervise another round of play time. Kennel areas are cleaned again to ensure odor-free, fresh spaces.

- **5- 7:00 PM – Dinner & Evening Routine**

Let dogs out for potty breaks before and after dinner. Dinner is served with fresh water provided. Dogs have a final round of supervised play and potty breaks to end the day on a positive note. Feed Dinner and monitor eating. Give evening meds. Begin calming activities for wind down, such as a movie for the pups. After dinner clean up/Wash including bowls for the dogs that finished dinner.

- **7- 9:00 PM – Bedtime & Final Checks**

Dogs are settled in with clean bedding, fresh water, and a final health and wellness check to ensure comfort and security for the night. Lock up securely and log end of day notes as needed.

This routine provides structure, consistency, and plenty of attention while ensuring that sanitation, safety, and community harmony remain top priorities.

**CITY OF BALDWIN
PLANNING COMMISSION
FINDINGS OF FACT & RECOMMENDATION
NORTH COUNTRY GOLDENS LLC INTERIM USE PERMIT**

APPLICANT: North Country Goldens LLC

APPLICATION: Request for approval of an Interim Use Permit to allow a commercial kennel at 31516 136th Street.

PLANNING COMMISSION MEETING: 22 October 2025

FINDINGS: Based upon review of the application and evidence received, the Baldwin Planning Commission now makes the following findings of fact:

1. The property identified as PIDs 01-00007-1105.
2. The property is guided for rural land uses by the Comprehensive Plan.
3. The property is zoned R1, General Rural District.
4. The applicant is requesting approval of an Interim Use Permit to allow a commercial kennel.
5. The Planning Commission must take into consideration the possible effects of the request with their judgment based upon (but not limited to) the criteria outlined in Section 900-5-3 of the Zoning Ordinance:

- A. The proposed action's consistency with the specific policies and provisions of the City Comprehensive Plan.

Finding: The Comprehensive Plan promotes continuation and development of rural character. Operation of a commercial kennel is a use common in rural areas and consistent with the policies of the Comprehensive Plan.

- B. The proposed use's compatibility with present and future land uses of the area.

Finding: The 10.00 acre property is surrounded by large unplatted rural residential parcels such that the area of the surrounding parcels and the subject site will separate the proposed commercial kennel from adjacent dwellings mitigating potential compatibility issues. Furthermore, the proposed kennel is to be located within an existing building upon the property surrounded by existing mature trees, which will further mitigate any potential compatibility issues.

- C. The proposed use's potential to impact natural resources such as surface water, groundwater, or wetlands; sites identified for rare biological species habitat; ecologically sensitive areas; or historically significant areas.

Finding: The proposed commercial kennel will not impact existing natural resources within the property.

- D. The proposed use's conformity with all performance standards contained within this ordinance and other town ordinances.

Finding: The proposed commercial kennel complies with the requirements of the Zoning Ordinance and other ordinances adopted by the City.

- E. Traffic generation of the proposed use in relation to capabilities of roads serving the property.

Finding: The traffic generated by the proposed commercial kennel is within the capacity of 316th Street and other streets serving the property.

6. The planning report dated 13 October 2025 prepared by the Town Planner, The Planning Company LLC, is incorporated herein.
7. The Planning Commission conducted a public hearing at their meeting on 25 October 2025 to consider the application, preceded by published and mailed notice; based upon review of the application and evidence received, the public hearing was closed and the Planning Commission voted to recommended that the City Council approve the request based on the aforementioned findings.

RECOMMENDATION: Based on the foregoing information and applicable ordinances, the Planning Commission recommends the request be **APPROVED**, subject to the following conditions:

1. The property shall be developed in accordance with the plans on file with the Town as provided for by Section 900-5-7 of the Zoning Ordinance, subject to review and approval of the Zoning Administrator.
2. The 1,296 square foot pole building shall be subject to inspection by the Building Official; and Building Code deficiencies shall be corrected by the property owner.
3. Dogs shall be confined or under control of the operator and/or staff at all times; at minimum of one employee shall be present 24 hours each day.
4. The number of dogs that may be kept at the kennel shall be limited to not more than boarding for 40 dogs over six months of age, including no more than 10 unsterilized female dogs over six months of age.
5. Outdoor exercise areas shall be subject to review and approval of the Zoning Administrator, and:
 - a. Fenced with a minimum height of six feet and constructed with durable materials to keep dogs from escaping over, under, or through the fence.

- b. Setback a minimum of 500 feet from any single family dwelling not that of the property owner.
- 6. Waste management:
 - a. The property owner shall provide for proper disposal of animal feces at least twice each with disposal into containers suitable to control odor and prevent organism contamination, subject to review and approval of the Zoning Administrator.
 - b. Waste containers shall be emptied, removed from the property, and disposed of by a licensed mixed municipal solid waste hauler.
- 7. A driveway permit shall be required for any modification of the existing driveway within the public right-of-way, subject to review and approval of the City Engineer.
- 8. The Interim Use Permit shall terminate upon any of the following events, whichever occurs first:
 - a. Upon violation of conditions under which the interim use permit was issued.
 - b. Upon change in the town's zoning regulations that renders the use nonconforming.
 - c. The redevelopment of the use and property upon which it is located to a permitted or conditional use as allowed within the respective zoning district.
 - d. Upon a change in ownership, whether pursuant to move, sale, transfer, assignment, or otherwise, the interim use permit is terminated and the proposed new owner is required to apply for a new Interim Use Permit in accordance with the provisions of the Zoning Ordinance.
 - e. The approved use is inactive for one year or longer as determined by the zoning administrator.

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ADOPTED by the Baldwin Planning Commission this 22nd day of October, 2025.

MOTION BY:

SECOND BY:

ALL IN FAVOR:

THOSE OPPOSED:

BALDWIN PLANNING COMMISSION

BY: _____
Clarence Mattson, Chair

ATTEST: _____
Kayla Nielsen, Secretary



3601. Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Baldwin Planning Commission

FROM: D. Daniel Licht

DATE: 12 October 2025

RE: Finlayson – D/U Easement Vacation (01-00584-0120/0125)

TPC FILE: 269.02

BACKGROUND

Matt and Kathleen Finlayson own Lots 4 and 5, Hunter Estates, which are located west of 128th Street (CR 45) and south of 293rd Avenue (CSAH 9). The City approved an administrative subdivision to combine the two lots into one lot on 25 June 2025. The property owners are desirous of constructing a new home upon the lot that would overlay what had been the interior lot line. The administrative subdivision erases the lot line, but does not vacate the drainage and utility easement overlying the property line. Vacation of drainage and utility easements requires a separate process that includes a public hearing as set forth by Minnesota Statutes 412.851. The property owners have petitioned for vacation of the drainage and utility easements to allow the proposed location of their single family dwelling. A public hearing to consider the petition has been noticed for the Planning Commission meeting on 22 October 2025 at 7:00PM.

Exhibits:

- Site Location Map
- Vacation exhibit

ANALYSIS

The Subdivision Ordinance requires drainage and utility easements to be dedicated at the perimeter of platted lots. The drainage and utility easements are to be a minimum of 12 feet in width and may overlay interior side or rear lot lines one-half on each side. The purpose of these easements is to allow for conveyance of stormwater along lot lines and allow locations for utilities such as phone, gas, or cable lines where such services are available.

The combination of Lots 4 and 5, Block 1 Hunter Estates as one lot through the administrative subdivision approval removes the public purpose for the drainage and utility easement that had been dedicated with the Hunter Estates Plan. In that the drainage and utility easement no longer serves a public purpose for two separate properties, it is appropriate to vacate the easement and return the property rights to the owner.

RECOMMENDATION

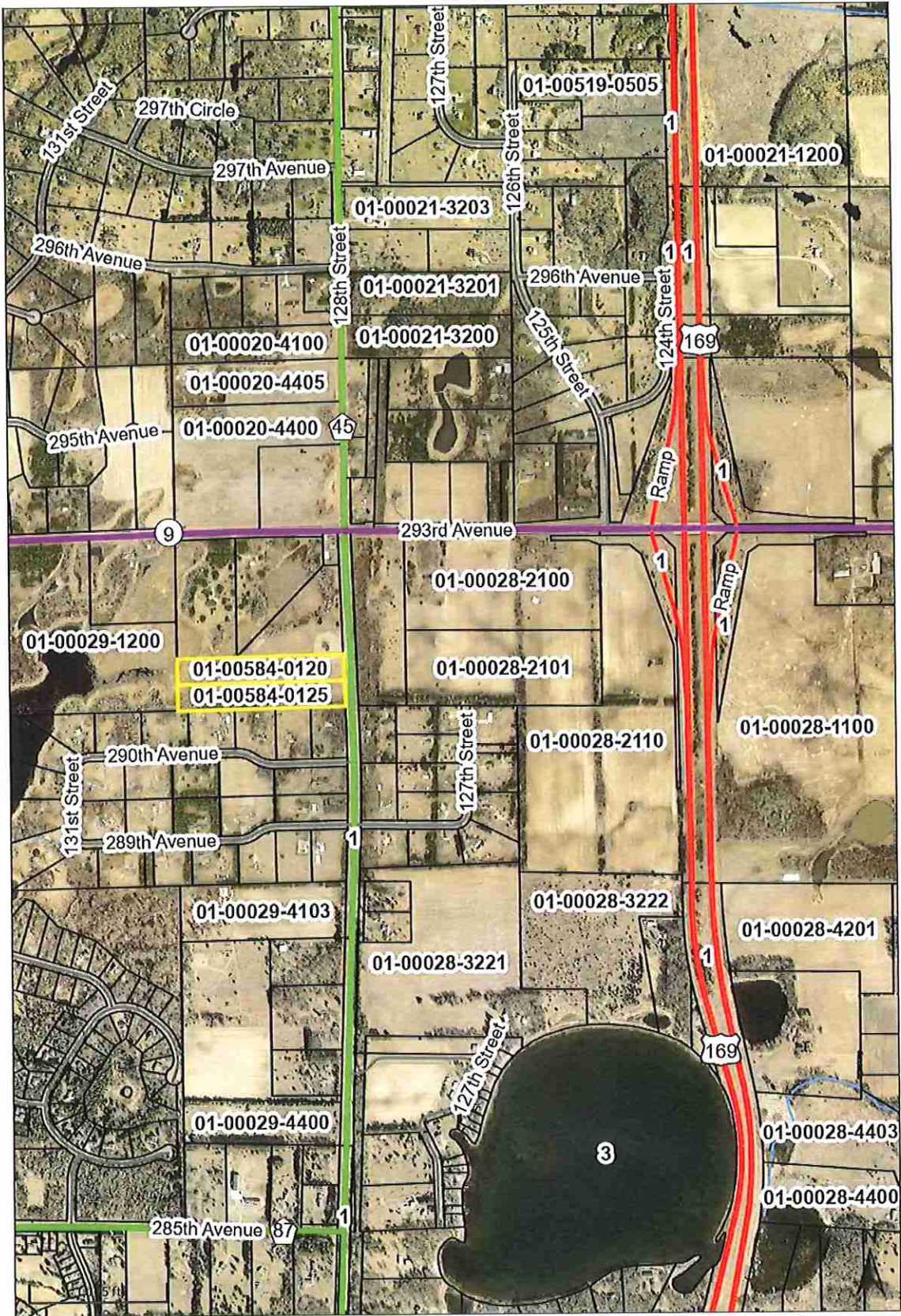
The drainage and utility easement overlying the common lot line between Lots 4 and 5, Block 1 Hunter Estates no longer serves a public purpose with the combination of the lots as one. City staff recommends approval of the requested vacation.

POSSIBLE ACTION

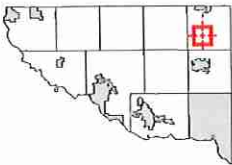
Motion to **recommend** City Council adopt a resolution vacating existing drainage and utility easements within Lots 4 and 5, Block 1 Hunter Estates.

- c. Joan Heinen, City Clerk
 Bob Ruppe, City Attorney
 Andy Schreder, Building Official

Property Location



Overview



Legend

- Roads**
- MN Highway; US Highway
 - Municipal-State Aid Street
 - Municipal Street
 - Township Road
 - State Forest Road
 - Bureau of Fish and Wildlife Road
 - Connector (Ramp)
 - Privately Maintained Public Access Road
 - County Road
 - County-State Aid Highway
- Parcels
- Streams

Easement Vacation Exhibit

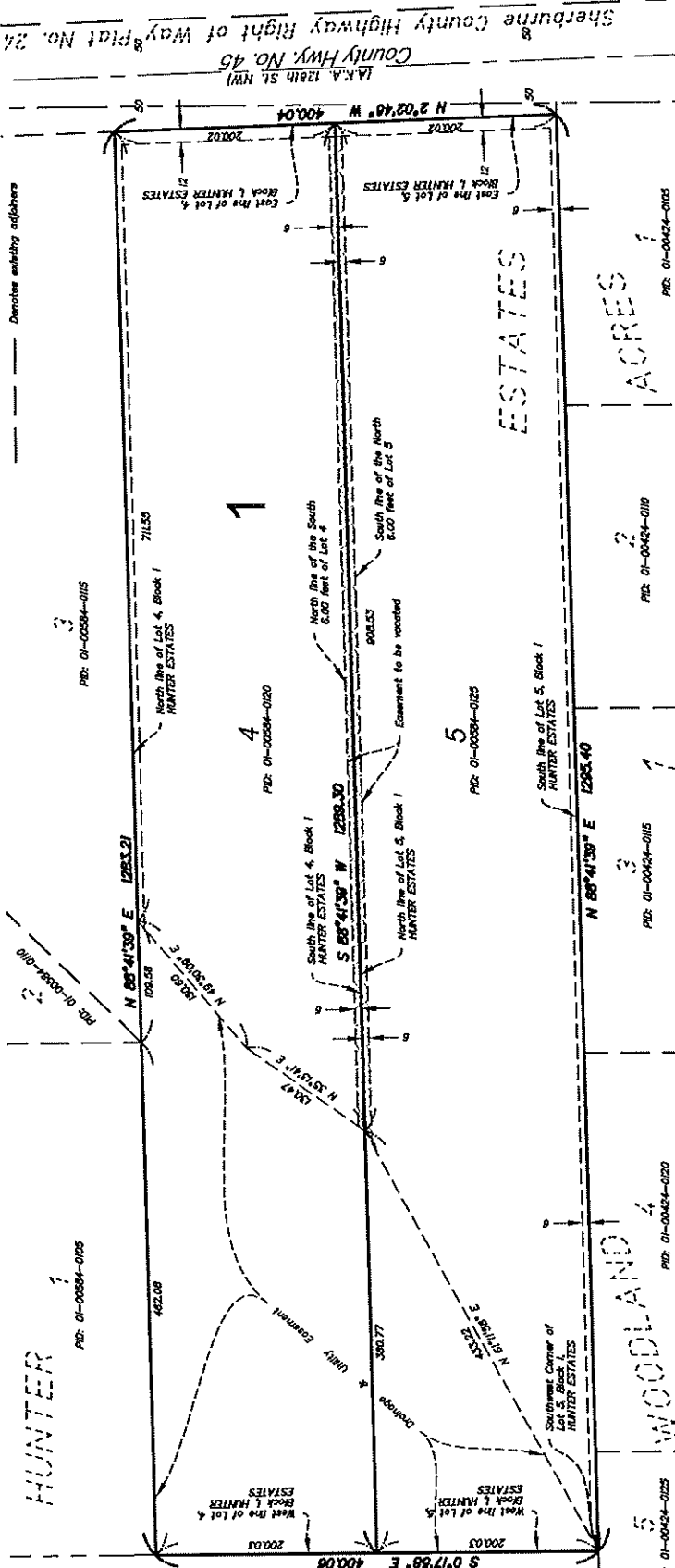
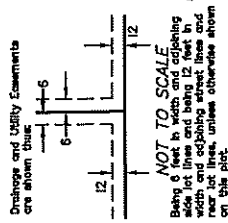
for
All State Companies

Lots 4 & 5, Block 1, HUNTER ESTATES
City of Baldwin, Sherburne County, Minnesota

Property Description (Warranty Deed) - Doc. No. 9712002.
Lots 4 and 5, Block 1, HUNTER ESTATES, Sherburne County, Minnesota.

Proposed Easement Vacation Description:
Those parts of the South 6.00 feet of Lot 4 and the North 6.00 feet of Lot 5, all in Block 1, HUNTER ESTATES, according to the recorded plat thereof, Sherburne County, Minnesota (City of Baldwin), which are shown hereon as according to the recorded plat of HUNTER ESTATES.

Beginning at the southwest corner of said Lot 4; thence North 01 degree 11 minutes 59 seconds East, a distance of 433.22 feet; thence North 35 degrees 13 minutes 41 seconds East, a distance of 120.47 feet; thence North 49 degrees 30 minutes 03 seconds East, a distance of 120.00 feet to the north line of said Lot 4; and said line there terminating.



SHEET NO.	Easement Vacation Exhibit All State Companies L4 & 5, BI, HUNTER ESTATES Sherburne County, Minnesota	BOGART, PEDERSON & ASSOCIATES, INC. LAND SURVEYING CIVIL ENGINEERING MAPPING 12075 FIRST STREET, BECKER, MN 55305-9322 TEL: 763-262-9822 FAX: 763-262-9844	I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. Signed: <i>David J. Jurek</i> David J. Jurek Date: 5/29/25 Lic. No. 64154	DATE: _____ DESIGN BY: _____ DRAWN BY: ZH CHECKED BY: DJJ DWG FILE: 25-0311Ems FILE NO: 25-0311.00	REV NO. _____ DATE _____ DESCRIPTION _____
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3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

PLANNING REPORT

TO: Baldwin Planning Commission

FROM: D. Daniel Licht

REPORT DATE: 15 October 2025

60-DAY DATE: 9 December 2025

RE: Baldwin – Ruff Start Animal Rescue (01-00419-0170)

TPC FILE: 269.02

BACKGROUND

Ruff Start Animal Rescue is proposing another addition onto the existing principal building located at 12526 319th Avenue. An addition to the principal building had previously been approved by the Town Board on 7 October 2024. This proposed 3,040 square addition is in the northwest elbow of the existing building and will include space for veterinary services, administration and indoor/outdoor space for kenneling cats.

Section 900-9-2.A of the Zoning Ordinance requires that expansion of an existing principal building within the I1, General Industrial District is subject to review by the Planning Commission and approval of the City Council. A public hearing is not required for Site and Building Plan review applications. The Planning Commission will consider the site and building plan review application at their meeting on 22 October 2025 at 7:00PM.

Exhibits:

- Site Location Map
- Certificate of Survey dated 10/9/25
- Building Plans dated 10/6/25 (5 sheets)

ANALYSIS

Comprehensive Plan. The Comprehensive Plan guides the property for both industrial and commercial uses. The purpose of areas planned for commercial uses is to develop business locations that provide services to local and regional patrons. The existing animal rescue business is consistent with the uses guided by the Comprehensive Plan. Expansion of an existing business to include veterinary services is also consistent with the City's economic development goals to increase business activity. In-place expansion of an existing business demonstrates the success of the operation and contributes positively to the economic vitality in the area.

Zoning. The property is divided between the C1, General Commercial District and I1, General Industrial District. Animal services and veterinary clinics are allowed as a permitted use within both zoning districts.

Surrounding Uses. The property is at a mid-block location and has existing commercial and industrial businesses west, east and northeast. Directly north of the subject property is undeveloped as is the land south of 319th Avenue. There are no residential uses or rural zoned property abutting the property. The proposed expansion of the existing building will be compatible with surrounding uses, especially as the location of the expansion is largely screened from view from the public street by the 2024 addition.

Lot Requirements. Lots in the C1 and I1 Districts are to be a minimum of 22,500 square feet in area and 150 feet in width. The subject property is 0.91 acres or 39,639 square feet in area and approximately 200 feet in width at the front setback line. The existing lot complies with the minimum requirements of the Zoning Ordinance.

Setbacks. The table below outlines the setbacks applicable to the property and principal building and addition, as required within the C1 and I1 District by the Zoning Ordinance:

	319 th Ave.	Side	Rear
Required	50ft.	20ft.	20ft.
Proposed ¹	130ft.	40ft.	120ft.
1. Measurements are approximate			

The existing building complies with the setback requirements of the Zoning Ordinance. The proposed addition to within the elbow at the northwest corner of the building not extend closer to the side (west), or rear (north) lot lines than the existing structure. The proposed building addition complies with the setback requirements of the Zoning Ordinance

Building Construction. The existing building constructed in 1971 has 4,096 square feet of office and 1,200 square feet of warehouse (5,296 square total area). A 30 foot by 40 foot (1,200 square feet) expansion was added to the west end of the building in 2024. The proposed 3,040 square foot expansion, for 9,526 square feet total area, will be post and beam construction with metal siding consistent with the building type and exterior finish of the existing building. The building plans are subject to review and approval of the Building Official in accordance with Section 900-17-4 of the Zoning Ordinance and issuance of a building permit

Building Height. Buildings within the I1 District are allowed to be constructed to a height of 2.5 stories or 35 feet measured to the midpoint of the pitched roof in accordance with Section 900-71-9.A of the Zoning Ordinance. The existing building and proposed expansion is a one story structure. The height of the proposed addition is 26 feet to the peak and 21 feet to the mid-point of the pitched roof. The height of the building complies with the Zoning Ordinance.

Parking. The following calculation of required off-street parking spaces is made with respect to Section 900-21-9 of the Zoning Ordinance based on the existing and proposed use of the building:

	Use	Gross Floor Area	Net Floor Area	Required Spaces	Number Required
Existing	Office	4,096sf.	3,687sf.	1/250sf.	15
	Warehouse	2,400sf.	2,160sf.	1/2,000sf.	2
Addition	Office	3,040sf.	2,7236sf.	1/250sf.	11
Total					28

The on-site parking area is a mix of asphalt paving and gravel surfaces, so the number of available spaces is difficult to define. There are 23 on-site parking stalls designated on an asphalt surface in the front yard of the property. The expansion of the proposed building requires that there be a minimum of 28 parking spaces.

City staff estimated space for approximately 40 vehicles can be parked upon the subject property with the 2024 addition. The proposed addition will reduce that number, but City staff still estimates there is sufficient area for 28 parking spaces. The applicant is preparing a site plan based on a certificate of survey for a building permit application. City staff recommends that the site plan illustrate the number of required parking spaces. The property has also hosted special pet adoption events that has resulted in on-street parking and obstruction of traffic. City staff recommends that consideration be given to expanding the parking area to the extent possible to accommodate these events if they are to continue.

The existing surface conditions, lack of perimeter, curb, and setbacks from property lines do not comply with the requirements of Section 900-21-6 of the Zoning Ordinance, but exist as legal non-conforming conditions. The property owner should also be considering improvements to the off-street parking area as the business grows, including paving the surface.

Landscaping. Section 900-19-2 of the Zoning Ordinance requires only that areas not taken up by buildings or parking and loading areas be landscape green areas or left in a natural state. Section 900-19-3 of the Zoning Ordinance further requires that landscape screening is required where commercial property abuts a rural zoning district, which this property does not. No changes to the site landscaping are proposed as part of the current building expansion.

Outdoor Lighting. Section 900-16-10 of the Zoning Ordinance regulates standards for outdoor lighting. If any additional outdoor lighting is to be added with the building expansion, a plan will be required that includes photometric, intensity and illumination patterns, fixture shielding, and height specifications. Any new site lighting is to be subject to review and approval of the Zoning Administrator.

Waste Storage. The site and building plans do not identify a location for waste and recycling container storage. Any outdoor storage of waste and recycling containers will be required to be kept within an accessory structure that encloses the containers and screens the area from view of public streets and adjacent properties.

Signs. The submitted plans do not identify any free standing or wall signs to be placed upon the property. Installation of any signs upon the property must comply with Chapter 23 of the Zoning Ordinance and requires a sign permit approved by the Zoning Administrator.

Utilities. The property is served by an existing well and septic system. The existing septic system and any changes required for additional fixtures is to be subject to review and approval of the Building Official as required by Section 920-4-2.C.2 of the Building Ordinance as part of the building permit process.

Stormwater. The applicant has provided a Certificate of Survey identifying and indicated proposed grading of the subject site for the proposed expansion. All grading, drainage, and erosion control issues are subject to review and approval of the City Engineer.

Easements. The Certificate of Survey identifies an existing drainage and utility easement that bisects the lot north-to-south. Portions of the existing building already encroach into this drainage and utility easement. The proposed expansion would be a further encroachment upon the drainage and utility easement.

We recommend that the drainage and utility easement interior to the property be vacated prior to issuance of a building permit for the current expansion. The vacation will require a public hearing to be held. Statute does not require that the Planning Commission hold the public hearing to consider vacation requests. As such, the Planning Commission may recommend that the City Council vacate the drainage and utility easement subject to conducting the required public hearing.

Performance Agreement. Section 11-9-5 of the Zoning Ordinance requires that the applicant enter into a performance agreement with the City to provide for construction of the project improvements within the subject property. City staff will need to determine the extent of improvements beyond the building construction to determine if a performance agreement will be required. If needed, the City Attorney will draft the performance agreement, which is subject to approval by City Council resolution.

RECOMMENDATION

The proposed expansion of the Ruff Start Rescue is consistent with the economic development policies of the Comprehensive Plan and the site and building plans further comply with the requirements of the Zoning Ordinance. Our office recommends approval of the site and building plan review application subject to the conditions below.

POSSIBLE ACTIONS

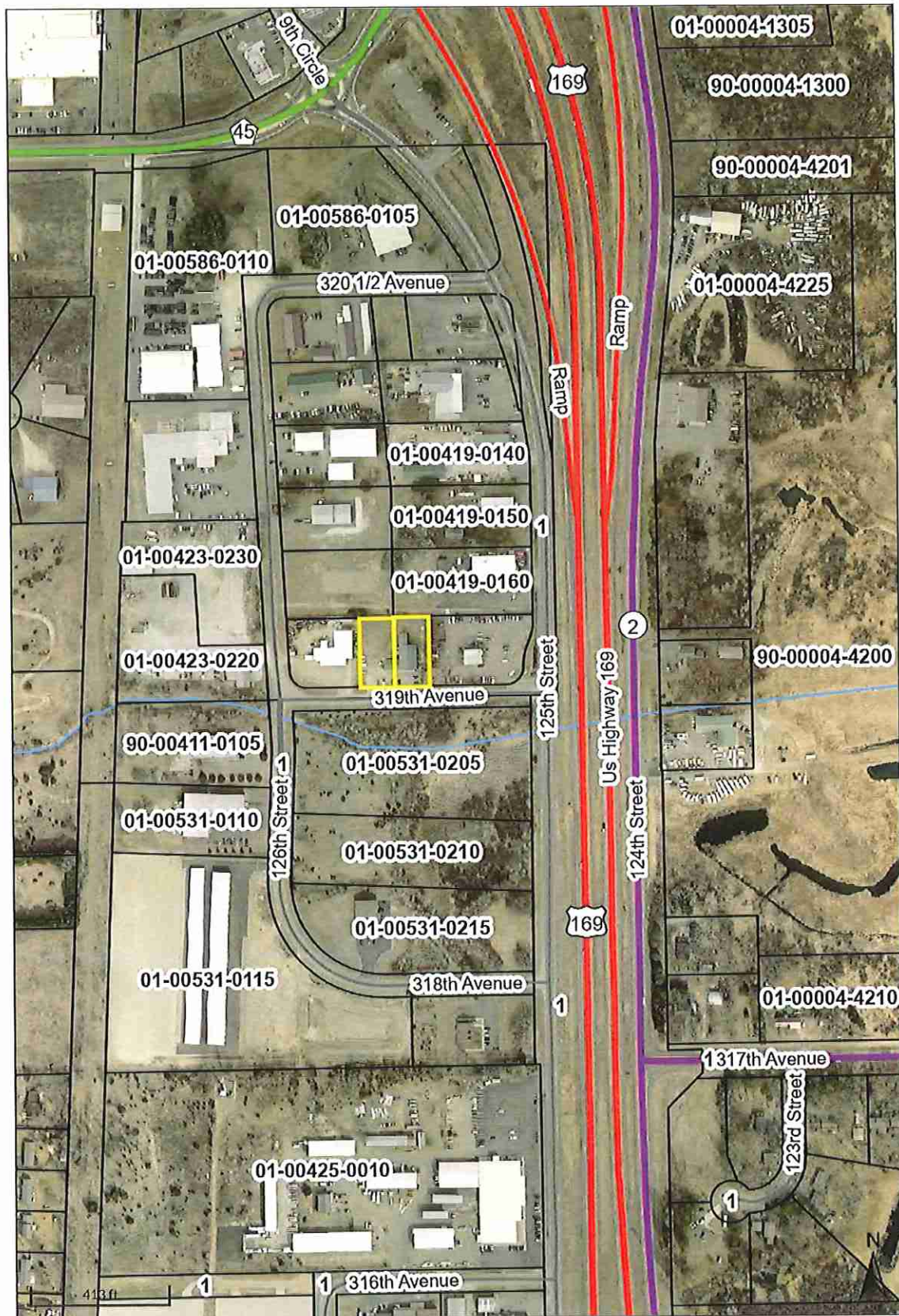
Motion to recommend **approval** of site and building plans for 12526 319th Avenue, subject to the following conditions:

1. The subject property shall be developed in accordance with the site and building plans submitted to the City subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-5 of the Zoning Ordinance.
2. The building plans shall be subject to review and approval of the Building Official in accordance with Section 900-17-4 of the Zoning Ordinance.
3. A site plan shall be submitted prepared using a Certificate of Survey identifying a minimum of 29 off-street parking spaces compliant with Section 900-21-6.A of the Zoning Ordinance.
4. Any new exterior lighting shall comply with Section 900-16-10 of the Zoning Ordinance, subject to review and approval of the Zoning Administrator.
5. Any exterior storage of waste containers shall be within an enclosure that screens the area from view of public rights-of-way and adjacent properties, subject to review and approval of the Zoning Administrator.
6. All signs shall comply with Chapter 23 of the Zoning Ordinance, subject to issuance of a sign permit of the Zoning Administrator.
7. All grading, drainage, and erosion control issues shall be subject to review and approval of the City Engineer.

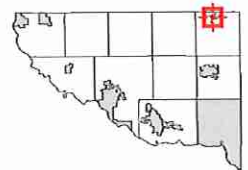
8. The existing septic system shall be subject to review and approval of the Building Official as required by Section 920-4-2.C.2 of the Building Ordinance.
 9. Approval of a building permit shall be contingent upon vacation of the existing drainage and utility easement interior to the subject property.
 10. The property owner shall enter into a Performance Agreement, if determined necessary by City staff, as required by Section 900-9-6 of the Zoning Ordinances drafted by the City Attorney and subject to approval of the City Council.
- c. Joan Heinen, City Clerk/Treasurer
Sam Jochum, City Engineer
Andy Schreder, Building Official

Site Location

Ruff Start Rescue



Overview



Legend

Public Water Inventory

Not Classified

General

Development

Natural

Environment

Recreational

Development

Roads

MN Highway; US Highway

Municipal-State Aid Street

Municipal Street

Township Road

State Forest Road

Bureau of Fish and Wildlife Road

Connector (Ramp)

Privately Maintained Public Access Road

County Road

County-State Aid Highway

Parcels

Streams

Certificate of Survey

for

Image Contracting, Inc.

Lot 6, Block 1, BUENAVENTURA VISTA and
Lot 9, Block 1, BUENAVENTURA VISTA 2ND ADDITION
City of Baldwin, Sherburne County, Minnesota

Existing Property Description (Per Doc. No. 872441):
LOT 6, BLOCK 1, BUENAVENTURA VISTA 2ND
ADDITION, Sherburne County, Minnesota.

Survey Notes:

1. This survey was performed without the benefit of a title report. No search for encumbrances or easements was made by the surveyor. We reserve the right to update this survey upon receipt of title documentation.
2. Bearings are based on the plot of BUENAVENTURA VISTA and BUENAVENTURA VISTA 2ND ADDITION, which is a part of the plat of BUENAVENTURA VISTA.
3. The easement for utility easement that was dedicated in BUENAVENTURA VISTA may still exist as shown on this survey. No documents were provided that the easement was vacated.
4. The purpose of this survey is to show a proposed building addition and suggested gradings.

REFERENCE BENCHMARK

MINDOT Geodetic Monument "HOLAND"
Elevation = 962.80 feet (NAD 83)

PROPOSED ADDITION ELEVATIONS

Finished Floor Elevation = 967.5

SETBACKS

50' Front (From ROW)
20' Side
20' Rear
ZONING: C-1 - General Commercial

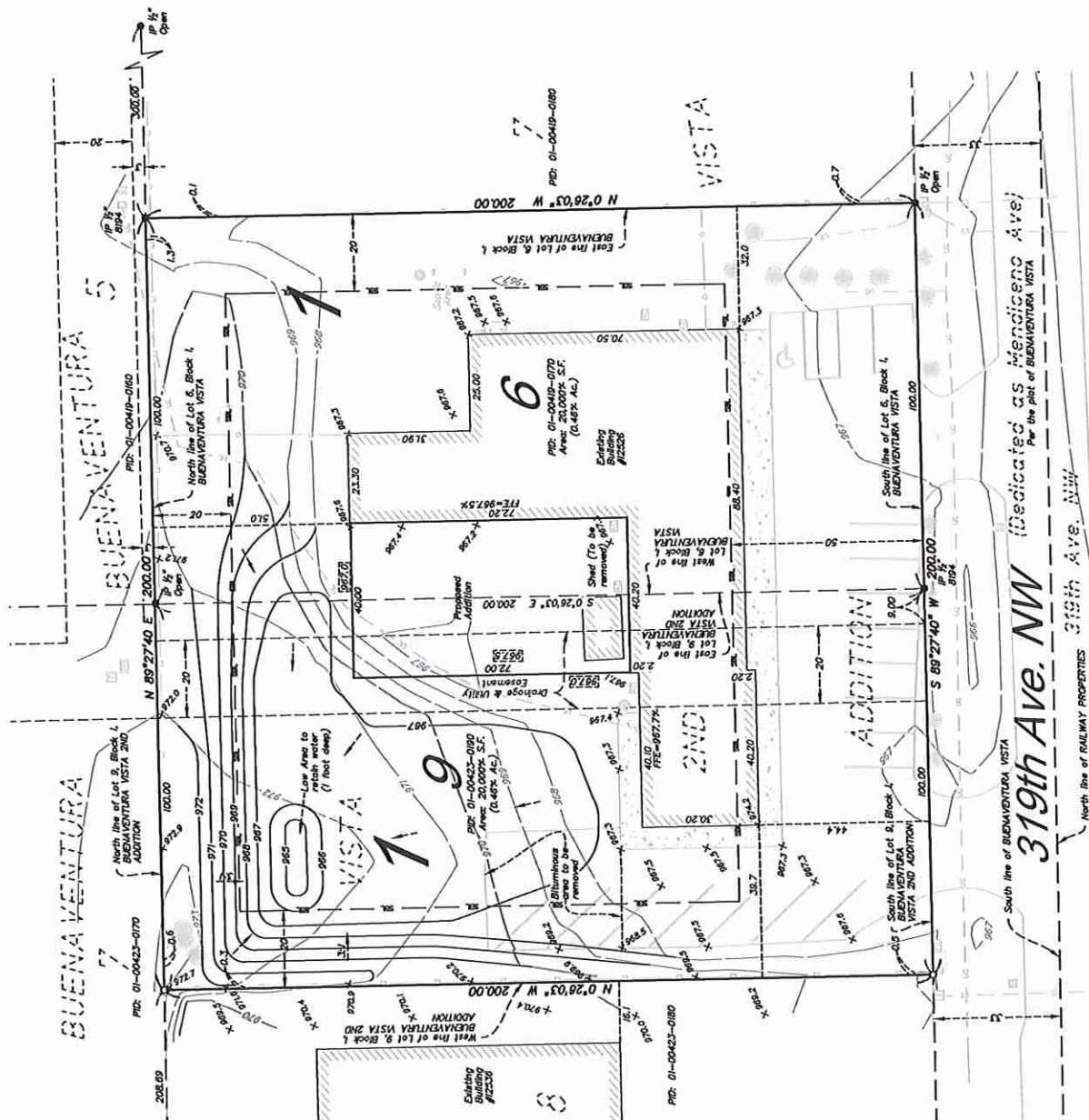
IMPERVIOUS SURFACES
Total Area = 17,200 S.F.
Concrete Surface Area = 6,374 S.F.
Asphalt Surface Area = 1,369 S.F.
Bituminous Surface Area = 8,617 S.F.
Proposed Bituminous Surface Area = 2,800 S.F.
Total Impervious Area = 17,200 S.F. (64.3%)
Total Impervious Area = 17,200 S.F. (64.3%)

LEGEND:

- Denotes found iron monument
- Denotes set iron monument
- Denotes existing ground elevation
- Denotes proposed ground elevation
- Denotes proposed drainage flow
- Denotes manhole
- Denotes sanitary manhole
- Denotes telephone pedestal
- Denotes electric meter
- Denotes cable television box
- Denotes floor optic service box
- Denotes floor optic vault
- Denotes gas meter
- Denotes well
- Denotes air conditioning
- Denotes tree, coniferous
- Denotes tree, other, L.S.
- Denotes bituminous surface
- Denotes gravel surface
- Denotes wood fence
- Denotes chain-link fence
- Denotes underground telephone
- Denotes underground gas line
- Denotes underground electric
- Denotes major contour
- Denotes minor contour
- Denotes existing adjacence
- Denotes building setback line
- Denotes proposed contour



0 20
SCALE: 1" = 20'



I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision, and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Signed: *Christopher E. Gray*
Date: 10/19/25, Lic. No. 64367

BOGART, PEDERSON
& ASSOCIATES, INC.

LAND SURVEYING
ENGINEERING
MAPPING
15074 FIRST STREET, BECKER, MN 55309-3322
TEL: 763-262-8622 FAX: 763-262-8644

Image Contracting, Inc.
L6, B1, BUENAVENTURA VISTA &
L9, B1, BUENAVENTURA VISTA 2ND ADD.
12526 319th Ave. NW., Princeton, MN 55371
City of Baldwin, Sherburne County, Minnesota

Certificate of Survey

SHEET NO.

1

1

OF SHEETS

DATE: 10/19/25

REV

NO.

DATE

DESIGN BY:

DRAWN BY:

CHECKED BY:

DWG FILE: 25-0419COS

FILE NO: 25-0419.00

DESCRIPTION

PRELIMINARY PLANS

[illegible]

TABLE R403.3(1)

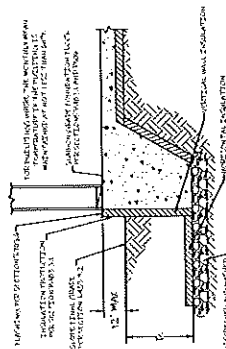


FIGURE R403.3(1) INSULATION DETAIL

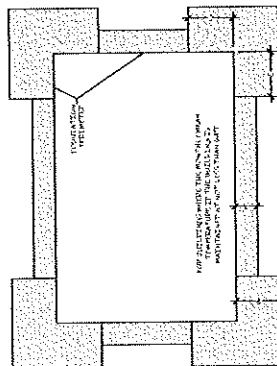
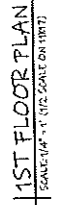


FIGURE R403.3(1) INSULATION PLAN

FOUNDATION PLAN
SCALE: 1/4" = 1' (1/2" SCALE ON 11/17)

SCALE ON 1147)

1ST FLOOR PLAN
SCALE: 1/4" = 1' (1/2 SCALE ON 1987)

[illegible]

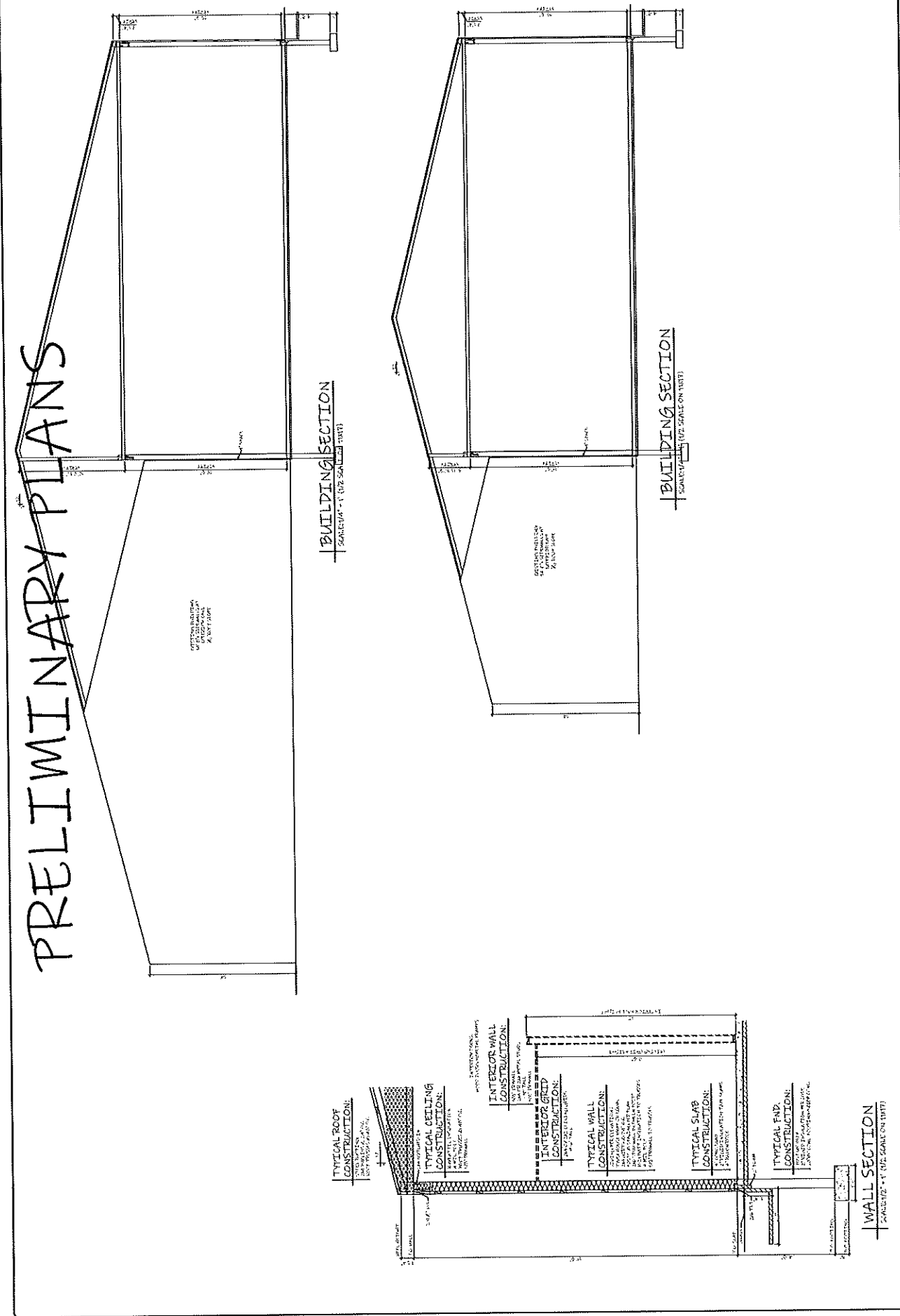
DISCLAIMER:
THAT I, NANCY AND I DO NOT
WARRANT ANY RESULTS OR
USE OF ANY INFORMATION
OBTAINED FROM THIS
PROGRAM. I AM NOT
RESPONSIBLE FOR ANY
DAMAGES, LOSSES OR
INJURIES OF ANY KIND
THAT MAY BE SUFFERED
BY ANY PERSON USING
THE INFORMATION
OBTAINED FROM THIS
PROGRAM. I AM NOT
RESPONSIBLE FOR ANY
DAMAGES, LOSSES OR
INJURIES OF ANY KIND
THAT MAY BE SUFFERED
BY ANY PERSON USING
THE INFORMATION
OBTAINED FROM THIS
PROGRAM.

E.M.E. | DRAFTING

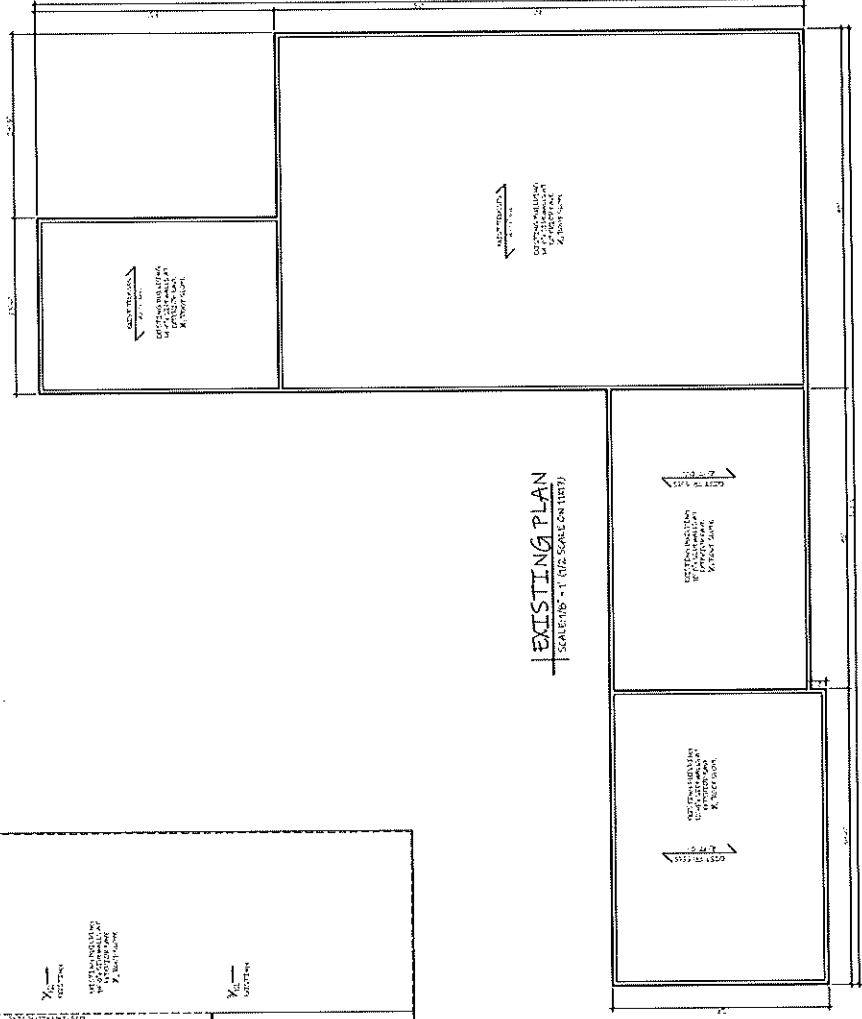
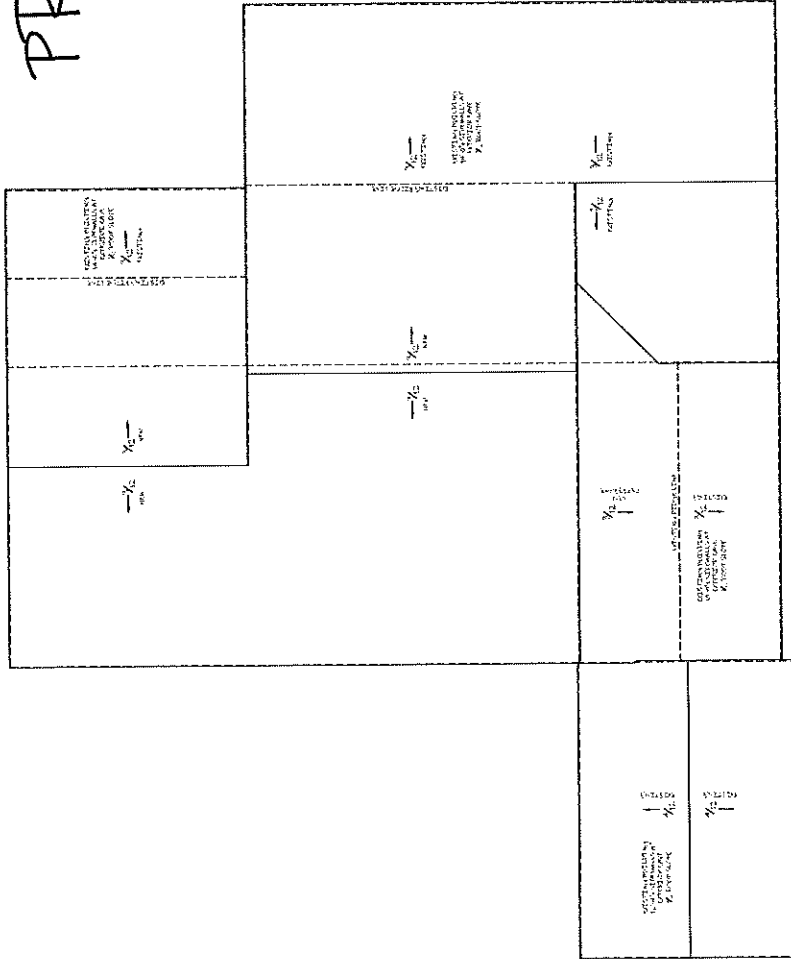
E.M.E. DRAFTING
2121 CLARK
200 MAPLE AVE. E.
MINN. 55401

PRINCE ST ART RESCUE
12526 319TH AVE
PRINCETON, MN 55371

SHIFT START RESCUE	
DATE/TIME	TIME
DATE	9/27/25
TIME	10/6/25
OFFICER	NAME
ASSISTANT	NAME
UNIT NO.	NAME
LOCATION	NAME
SECTIONS	
A4	



PRELIMINARY PLANS



PUFF START RESCUE
12526 34TH AVE
PRINCETON, MN 55371

E.M.F.
DRAFTING

F.M.F. DRAFTING
TAC CREDIT
900 MARKET AVE. E.
MILWAUKEE, WIS. 53204

DISCLAIMER:
THESE PLANS ARE FOR
PERSONAL INFORMATION OF
YOUR EYES ONLY. SOME
VARIATIONS MAY BE
NECESSARY THAT ARE
NOT SHOWN HERE. IT IS
THE USER'S RESPONSIBILITY
TO ADJUST THE
CONNECTIONS TO
THEir OWN PLANS.

START DATE	END DATE	START TIME	END TIME	STATUS
01/27/25	01/27/25	10:00	11:00	EXISTING



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

PLANNING REPORT

TO: Baldwin Planning Commission

FROM: D. Daniel Licht

REPORT DATE: 12 October 2025

60-DAY DATE: 1 December 2025

RE: Baldwin – Boe Resources, LLC; Site and Building Plan Review

TPC FILE: 269.02

BACKGROUND

Boe Resources, LLC has submitted plans for development of the 4.64 acre lot located at 31540 125-1/2 Street. The proposed development consists of a first phase construction of one 12,000 square foot industrial building. The site plan illustrates future plans for construction of four future principal buildings ranging between 7,800 square feet to 10,800 square feet.

The proposed Phase 1 development requires consideration of Site and Building Plan Review outlined by Chapter 9 of the Zoning Ordinance, subject to the recommendations of the Planning Commission and approval of the City Council. Site and building review applications will be required for future phases at the time construction of those buildings and site improvements are proposed.

The Planning Commission will consider the Site and Building Plan Review application at their meeting on 22 October 2025 at 7:00PM.

Exhibits:

- Site Location Map
- Architectural plan set dated 9/18/25 (8 sheets)
- Civil plan set dated 09/01/2025 (13 sheets)

ANALYSIS

Comprehensive Plan. The Comprehensive Plan guides development of high quality, high value industrial businesses that expand tax base and create employment opportunities within the community. Action steps included in the Comprehensive Plan call for development of an incubator business sites to help existing home based businesses that might want to consider becoming larger businesses. The proposed development is intended to accommodate the owner's electrical contracting business with Phase 1, but the building and expansion with future buildings on the property has potential to locate other businesses as well. Providing opportunity for new and expanded businesses within Baldwin is consistent with the economic development goals of the Comprehensive Plan.

Zoning. The subject property is zoned I1, General Industrial District. The occupant of 2,300 square feet of Building #1 is to the property owner's electrical contractor business. Use of the building space as office, shop, and warehouse for an electrical contractor is a permitted use within the I1 District. Occupants of the other four potential suites within the building will be required to be an allowed permitted, interim, or conditional use within the I1 District.

Surrounding Uses. The subject property is surrounded by the following existing and planned land uses:

Direction	Land Use Plan	Zoning Map	Existing Use
North	Industrial/Commercial	I1/C1 District	Marv's Tru Value
East	Commercial Industrial	C1 District	Medicomp
		I1 District	Affordable Transmission Precision Powder Coat
South	Commercial	C1 District	Self storage
West	Rural Residential	R1 District	Single family dwellings

The only potential compatibility issue with surrounding uses is the residential dwellings to the west. The subject property is separated from the Flower City neighborhood by an abandoned rail right-of-way owned by the City of Princeton intended for use as a regional recreation trail. The trail corridor serves to provide physical separation of the proposed industrial use on the subject property from the residential neighborhood. As future phases of development of the subject property are brought forward, the landscape requirements of Section 900-19-3 of the Zoning Ordinance will need to be installed. Consideration should be given to planting the required buffer yard now to allow trees to be established and grow to provide a more effective screen at the time the westerly portion of the subject site are developed.

Lot Requirements. Section 900-71-7 of the Zoning Ordinance requires lots within the I1 District are to be a minimum of 30,000 square feet in area, a minimum of 150 feet in width, and minimum of 200 feet deep. The subject property is 202,118.4 square feet in area. The width of the subject property is 320 feet. The depth of the property is 630 feet. The subject property complies with the minimum requirements of the I1 District.

Setbacks. Section 900-71-8 of the Zoning Ordinance establishes the following setbacks applicable to proposed Building #1. The location of proposed Building #1 complies with all setback requirements.

Yard	Required	Proposed
Abutting City Street	50ft.	(N) 50ft. (E) 50ft.
Interior Side	20ft.	205ft.
Rear Yard	20ft.	365ft.

Building Materials. The submitted plans detail that the exterior finish for Building #1 is to be a prefinished metal panel with two colors to simulate a wainscotting at the base. The exterior finish requirements applicable to the proposed building are established in Section 900-D.2 of the Zoning Ordinance for industrial uses not facing US Highway 169, 128th Street, 313th Avenue, or Rum River Drive. Prefinished metal siding is an allowed material for the exterior finish of the proposed building and the plans comply with the Zoning Ordinance.

Building Height. Section 900-71-9.A of the Zoning Ordinance limits the height of principal buildings within the I1 District to 35 feet. Building height is defined by the Zoning Ordinance as measured to the mid-point of a pitched roof. Building #1 has a shed roof with a peak height of 22 feet. The height of Building #1 measured to the mid-point of the pitched roof is 20 feet. The height of the proposed building complies with the Zoning Ordinance.

Access. The subject site abuts 125-1/2 Street and has one existing driveway to that street. The access is to be improved as part of the proposed development and is subject to the following requirements:

- Section 1.08.3(b) of the Right-of-Way Ordinance requires the driveway to be setback a minimum of 75 feet from the intersection of two public streets. The proposed driveway is to be setback 135 feet from the intersection of 125-1/2 Street and 316th Avenue. The location of the access complies with the Right-of-Way Ordinance.
- Section 1.08.3(c) of the Right-of-Way Ordinance requires the driveway to be setback a minimum of 10 feet from the south lot line. The proposed driveway is setback 155 feet from the south lot line and complies with the Right-of-Way Ordinance.
- The access to the subject property from 125-1/2 Street is off-set slightly from an existing driveway on the east side of the street. The alignment of the two driveways isn't ideal, but limited traffic volumes on the street or generated by the properties mean that this not a significant concern.

- Section 1.08.4(b) of the Right-of-Way Ordinance limits the driveway width to 24 feet measured at the right-of-way line. The proposed driveway is 24 feet wide and complies with the Right-of-Way Ordinance. A turning maneuver plan sheet has been submitted indicating the ability of fire apparatus to circulate within the subject property. This plan should be revised to illustrate the access of the fire apparatus (and other commercial vehicles) from the public street.

The subject property also abuts right-of-way for a future extension of 316th Avenue west of 125-1/2 Street, but no public street has been constructed. The submitted plans illustrate construction of 316th Avenue as part of Phase 2. This would be a developer cost of public infrastructure benefiting private properties. Construction of 316th Avenue would require dedication of right-of-way for a permanent cul-de-sac meeting the requirements of Section 910-10-4.C of the Subdivision Ordinance as the roadway is not likely to be extended further west than the subject property and property to the north due to the abandoned rail right-of-way corridor and Flower City plat. The site plan should be adjusted to indicate provision of a cul-de-sac that will be required when 316th Avenue is constructed.

Off-Street Parking. Section 11-21-7 of the Zoning Ordinance establishes the minimum number of off-street parking spaces to be provided for specific uses. The submitted building plans illustrate that Suite 101 is to be divided into 297 square feet of office, 1,804 square feet of warehouse, and 169 square feet of restroom and mechanical space. It will be assumed that the net floor area utilization will be consistent across all five tenant spaces as 15 percent office and 85 percent warehouse for the purpose of calculating the number of off-street parking spaces to be required. As shown below, Building #1 requires 12 off-street parking spaces. The site plan illustrates 16 off-street parking spaces being constructed with Building #1, including one Americans with Disabilities Act van accessible stall, which complies with the Zoning Ordinance.

Use	Gross Floor Area	Net Floor Area	Parking Required	Required Spaces
Office	1,800sf.	1,620sf.	1/250sf.	7
Warehouse	10,200sf.	9,180sf.	1/2000sf.	5
Total				12

Section 900-21-6.A of the Zoning Ordinance requires off-street parking spaces to be a minimum of 9-feet wide by 18-feet deep. The parking stalls shown on the site plan comply with these dimensions and are accessed by a 37 foot wide drive aisle to allow sufficient area for maneuvering and to access the loading doors on the south elevation of Building #1.

Section 900-21-6.B.2 of the Zoning ordinance requires that off-street parking spaces and drive aisles for industrial uses be surfaced with asphalt or concrete. The site plan illustrates that the Phase 1 off-street parking area is to be surfaced with asphalt.

Section 900-21-6.3 of the Zoning Ordinance requires a 6-inch concrete curb at the perimeter of off-street parking areas. Concrete bollards are allowed to be used to define the off-street parking area in areas other than the front yard. The site plan must be revised to provide for the concrete curb and/or concrete bollards as required by the Zoning Ordinance.

Landscaping. Section 900-19-2 requires all industrial uses to provide a landscape plan and specifications for plantings to be installed with an emphasis upon the following areas:

- a. *The boundary or perimeter of the proposed site at points adjoining other property.*
- b. *The immediate perimeter of the structure.*
- c. *The perimeter of parking and loading areas within the front yard or side yard of a corner lot abutting a public right-of-way.*
- d. *Quantities:*

Districts	Yard		
	Front	Side	Rear
<i>Industrial; only lots abutting US Highway 169, 128th Street, 313th Avenue, or Rum River Drive</i>	<i>-1 shade or evergreen tree/50ft. of frontage - Turf grass</i>	<i>Turf grass</i>	<i>Turf grass or natural landscape</i>
<i>Other Industrial</i>	<i>Turf grass</i>	<i>Turf grass</i>	<i>Turf grass or natural landscape</i>

Section 900-19-3 further requires installation of plantings for screening purposes when abutting rural zoned properties.

The subject property does not technically abut rural zoned property as the Flower City neighborhood is separated by the abandoned rail right-of-way that is within the City of Princeton. However, given the public recreation use of the trail corridor and the residential neighborhood, installation of a buffer yard along the west 20 feet of the property would be beneficial. This issue can be addressed in the future with additional building construction or could be installed now to establish plantings to grow and be more effective by the time additional buildings are added to the site. Requiring a buffer yard is likely to be a requirement of any future application to allow outdoor storage upon the subject property.

Lighting Plan. Section 900-16-10 of the Zoning Ordinance establishes performance standards for outdoor lighting. Industrial uses are required to provide a plan for any lighting used to illuminate a building, structure, parking, or other area within the lot, which must be arranged so as to deflect light away from any adjoining property or from any public right-of-way. A lighting plan that includes photometric illumination patterns and intensity, fixture shielding, and height specifications is to be submitted and is subject to review and approval of City staff prior to issuance of a building permit.

Waste Storage. The site and building plans do not identify locations for waste and recycling container storage for Building #1. Any outdoor storage of waste and recycling containers will be required to be kept within an accessory structure that encloses the containers and screens the area from view of public streets and adjacent properties.

Signs. The submitted plans do not identify free standing or wall signs to be placed upon the property. Installation of any signs upon the property must comply with Chapter 23 of the Zoning Ordinance and requires a sign permit approved by the Zoning Administrator.

Stormwater Management. Plans for grading, erosion control, and stormwater management have been submitted for the property. All grading, drainage, and erosion control plans are subject to review and approval of the City Engineer.

Utilities. Provision of sewer and water utilities for the proposed use of the subject property are to be provided using a Subsurface Sewage Treatment System and private well. All plans for construction of a SSTS and private well are to be subject to review and approval by the Building Official prior to issuance of a building permit.

Performance Agreement. Section 11-9-5 of the Zoning Ordinance requires that the developer enter into a performance agreement with the City to provide for construction of the project improvements within the subject property. The City Attorney will draft the performance agreement, which is subject to approval by City Council resolution.

RECOMMENDATION

The proposed site and building plans comply with the provisions of the Zoning Ordinance. Our office recommends approval of the application as outlined below.

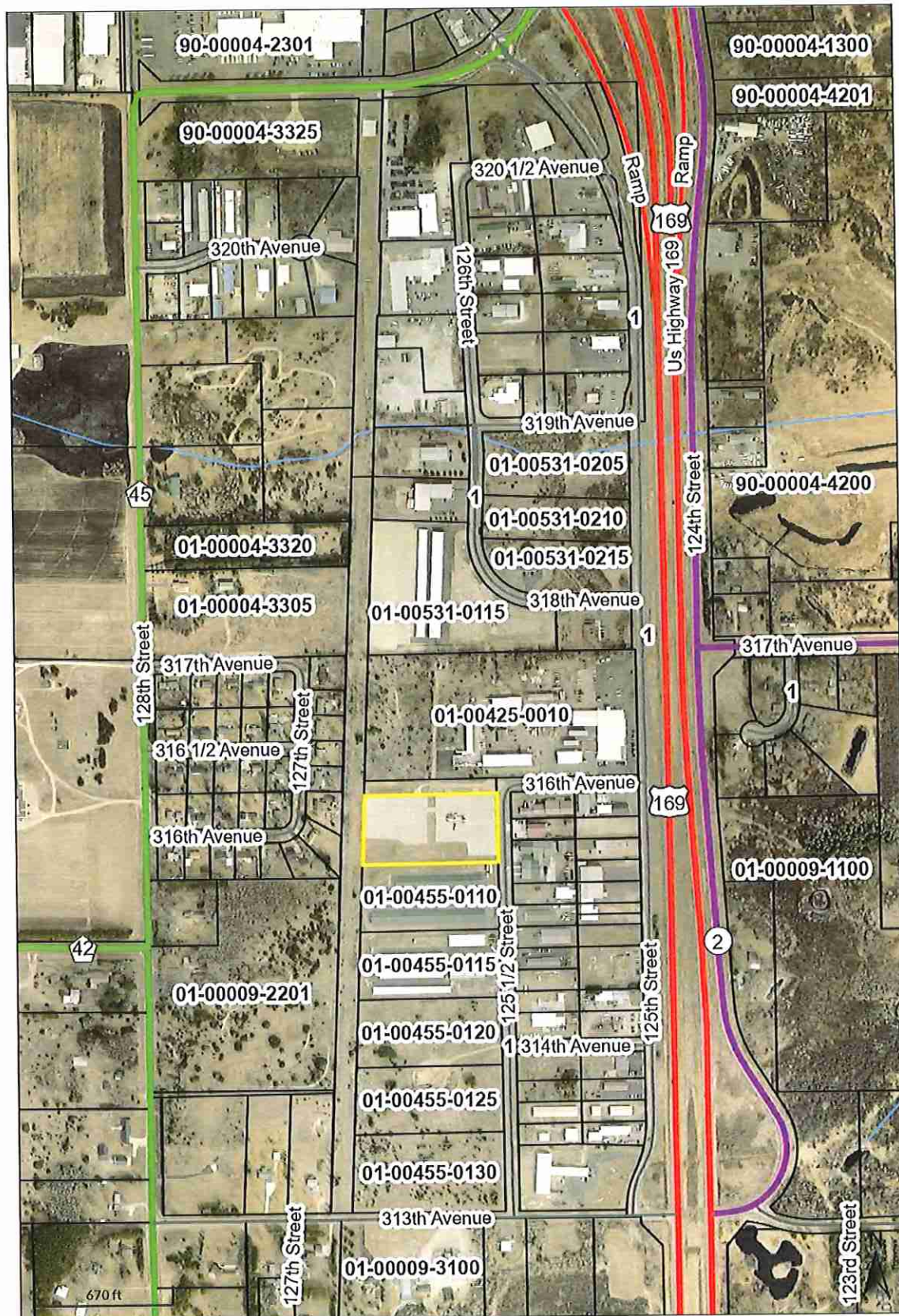
POSSIBLE MOTION

Motion to recommend **approval** of site and building plans for 31540 125-1/2 Street subject to the following conditions:

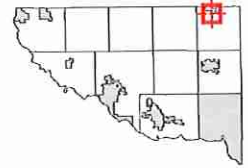
1. The subject property shall be developed in accordance with the site and building plans submitted to the City subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-5 of the Zoning Ordinance.

2. Uses occupying Building #1 shall include only those permitted uses allowed within the I1 District or those conditional or interim uses subject to approval of the applicable zoning application; residential occupancy of the principal building is prohibited.
3. The design and construction of the public street access and all off-street parking areas shall be subject to review and approval of the City Engineer.
 - a. The site plan shall be revised to provide for the concrete curb and/or concrete bollards as required by the Zoning Ordinance.
4. A photometric lighting plan detailing intensity, fixture design, and height that complies with Section 900-16-10 of the Zoning Ordinance shall be submitted prior to issuance of a building permit, subject to review and approval of the Zoning Administrator.
5. Any exterior storage of waste containers shall be within an enclosure that screens the area from view of public rights-of-way and adjacent properties, subject to review and approval of the Zoning Administrator.
6. All signs shall comply with Chapter 23 of the Zoning Ordinance, subject to issuance of a sign permit of the Zoning Administrator.
7. All grading, drainage, and erosion control plans shall be subject to review and approval of the City Engineer.
8. All utility plans shall be subject to review and approval of the Building Official.
9. The property owner shall enter into a Performance Agreement as required by Section 900-9-6 of the Zoning Ordinances drafted by the City Attorney and subject to approval of the City Council.
- c. Joan Heinen, City Clerk/Treasurer
Sam Jochum, City Engineer
Bob Ruppe, City Attorney
Andy Schreder, Building Official

Site Location Map



Overview



Legend

Public Water Inventory

- Not Classified
- General Development
- Natural Environment
- Recreational Development

Roads

- MN Highway; US Highway
- Municipal-State Aid Street
- Municipal Street
- Township Road
- State Forest Road
- Bureau of Fish and Wildlife Road
- Connector (Ramp)
- Privately Maintained Public Access Road
- County Road
- County-State Aid Highway
- Parcels
- Streams



ACME ARCHITECTS
1200 W. WISCONSIN AVE.
SUITE 200
MILWAUKEE, WI 53233
TEL: 414.224.1100
WWW.ACMEARCHITECTS.COM

HERITAGE
LANDSCAPE ARCHITECTS
1200 W. WISCONSIN AVE.
SUITE 200
MILWAUKEE, WI 53233
TEL: 414.224.1100
WWW.HERITAGELANDSCAPE.COM

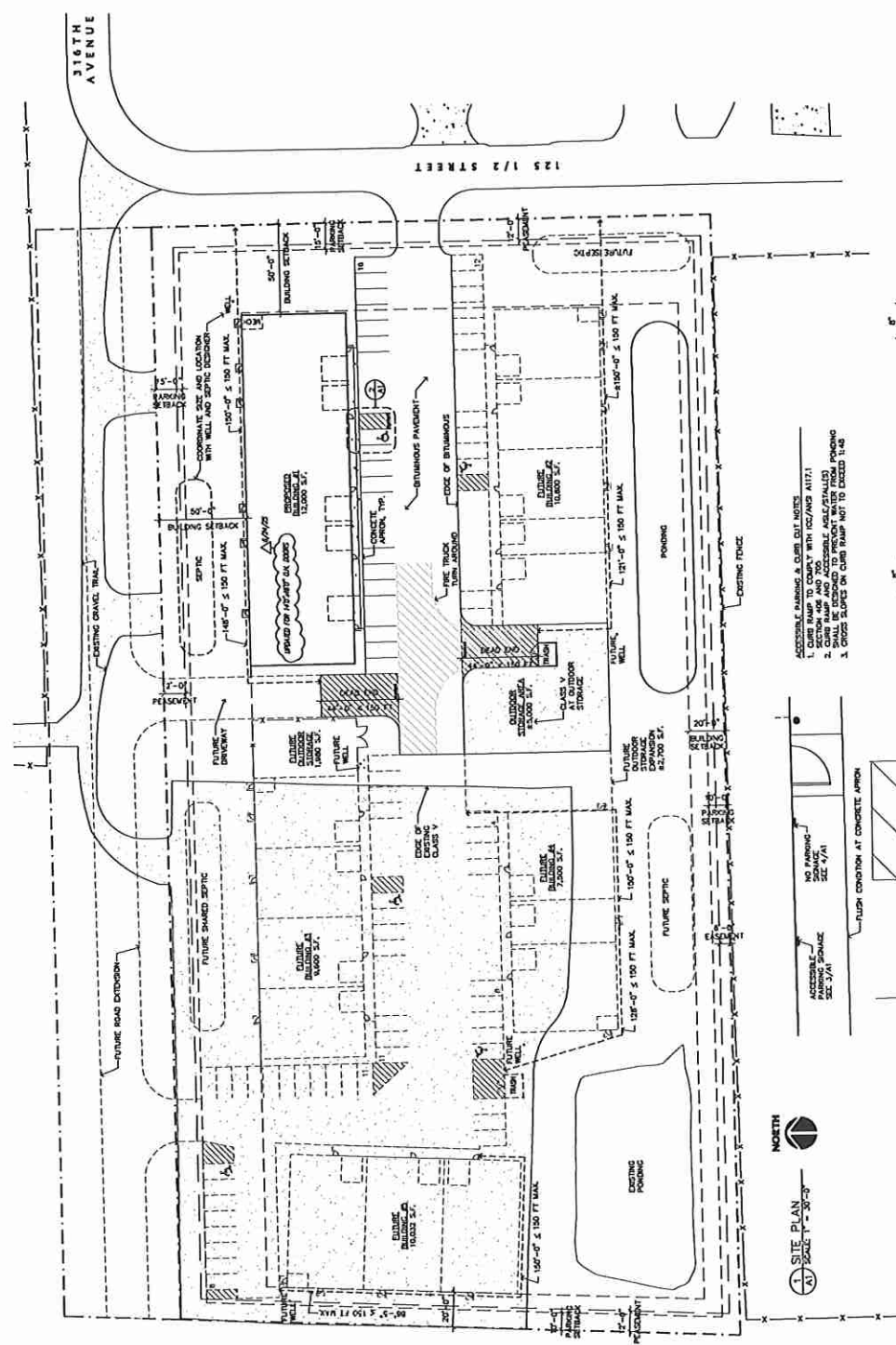
BOE INDUSTRIAL Baldwin Township, Minnesota

Project No.	230120-1
Project Name	BOE INDUSTRIAL
Project Location	Baldwin Township, Minnesota
Project Date	9/2/23
Project Status	FOR PERMIT
Project Description	CONCRETE

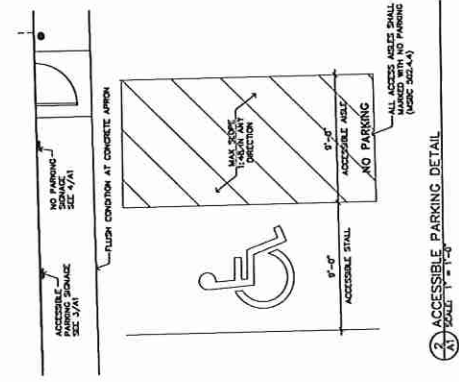
SITE PLAN
Sheet Number

A1

Project No. 230120-1



- ACCESSIBLE PARKING & CURB CUT NOTES**
1. CURB RAMP TO COMPLY WITH (C) AND (A) 117.1
 2. CURB RAMP AND ACCESSIBLE ASLE/TAILED
 3. SHALL BE CONFORM TO MINN. STAT. 16A.01, 16A.02, 16A.03, 16A.04, 16A.05, 16A.06, 16A.07, 16A.08, 16A.09, 16A.10, 16A.11, 16A.12, 16A.13, 16A.14, 16A.15, 16A.16, 16A.17, 16A.18, 16A.19, 16A.20, 16A.21, 16A.22, 16A.23, 16A.24, 16A.25, 16A.26, 16A.27, 16A.28, 16A.29, 16A.30, 16A.31, 16A.32, 16A.33, 16A.34, 16A.35, 16A.36, 16A.37, 16A.38, 16A.39, 16A.40, 16A.41, 16A.42, 16A.43, 16A.44, 16A.45, 16A.46, 16A.47, 16A.48, 16A.49, 16A.50, 16A.51, 16A.52, 16A.53, 16A.54, 16A.55, 16A.56, 16A.57, 16A.58, 16A.59, 16A.60, 16A.61, 16A.62, 16A.63, 16A.64, 16A.65, 16A.66, 16A.67, 16A.68, 16A.69, 16A.70, 16A.71, 16A.72, 16A.73, 16A.74, 16A.75, 16A.76, 16A.77, 16A.78, 16A.79, 16A.80, 16A.81, 16A.82, 16A.83, 16A.84, 16A.85, 16A.86, 16A.87, 16A.88, 16A.89, 16A.90, 16A.91, 16A.92, 16A.93, 16A.94, 16A.95, 16A.96, 16A.97, 16A.98, 16A.99, 16A.100



1. SITE PLAN
SCALE: 1" = 30'-0"

4. NO PARKING SIGN
SCALE: 1" = 1'-0"

3. ACCESSIBLE PARKING SIGN
SCALE: 1" = 1'-0"

2. ACCESSIBLE PARKING DETAIL
SCALE: 1" = 1'-0"



HERITAGE ARCHITECTS
 400 Summit Avenue
 St. Paul, MN 55102
 (612) 222-1111
 www.heritagearchitects.com

PROJECT INFORMATION
 1. OWNER: BOE INDUSTRIAL
 2. PROJECT: BOE INDUSTRIAL BUILDING #1
 3. LOCATION: BALDWIN TOWNSHIP, MINNESOTA
 4. DATE: 8/10/23
 5. DRAWN BY: LEONARD LAMPERT
 6. CHECKED BY: [Signature]
 7. PROJECTED DATE: 8/10/23

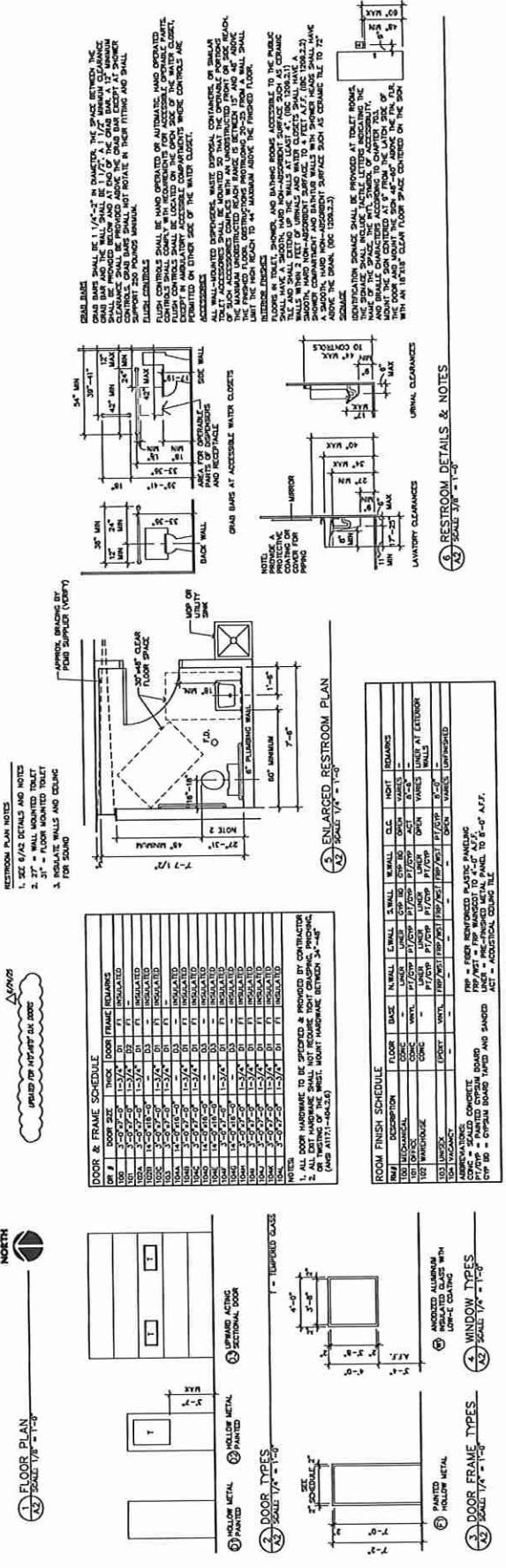
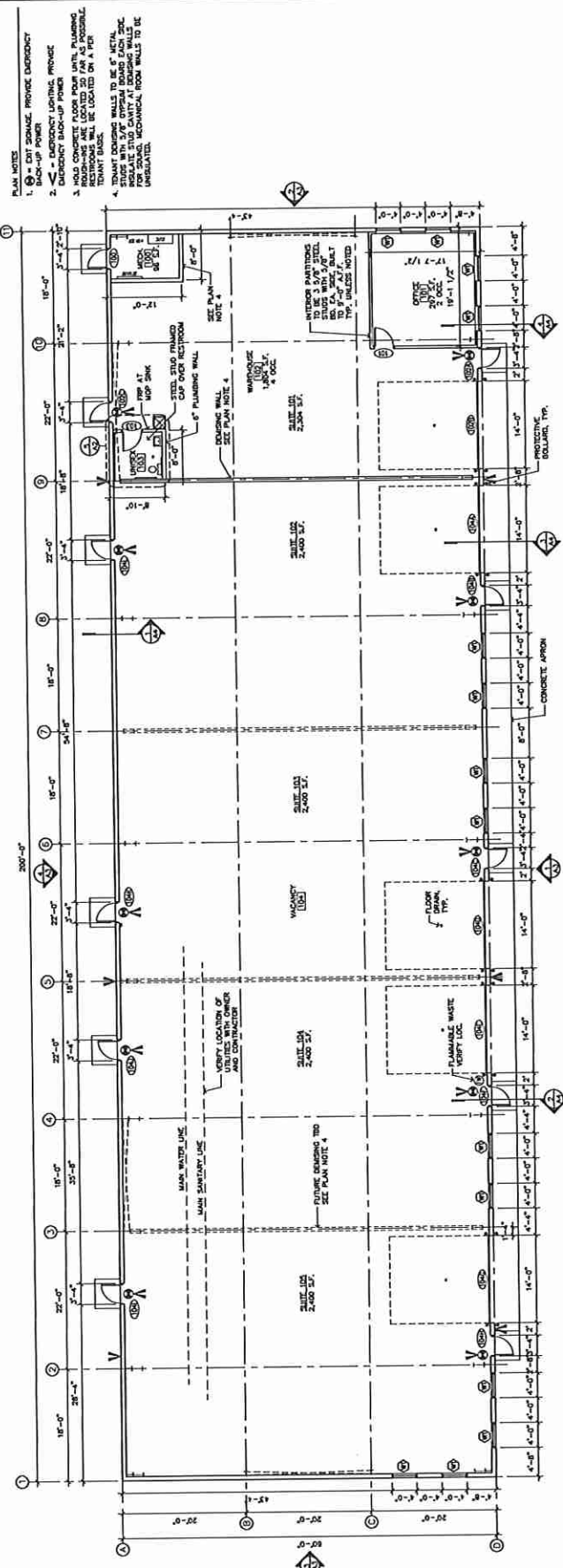
BOE INDUSTRIAL BUILDING #1

Baldwin Township, Minnesota

FLOOR PLAN COMPONENTS
 RESTROOM DETAILS
 Sheet Number

A2

Project No. 230120-1





LAMPERT ARCHITECTS
420 Summit Avenue
Plymouth, MN 55441
Phone: 763.833.1111
Fax: 763.833.1112
www.lamperarchitects.com

ARCHITECT CERTIFICATION:
I, the undersigned, being a duly licensed architect under the laws of the State of Minnesota, do hereby certify that I am the author of the design and content of the foregoing drawings and that I am a duly licensed architect under the laws of the State of Minnesota.

Edward Lamper
EDWARD LAMPERT
Title: Principal
Date: 04/08/20

HERITAGE ARCHITECTURAL
10000 Highway 100, Suite 200
Plymouth, MN 55441
Phone: 763.833.1111
Fax: 763.833.1112
www.heritagearchitectural.com

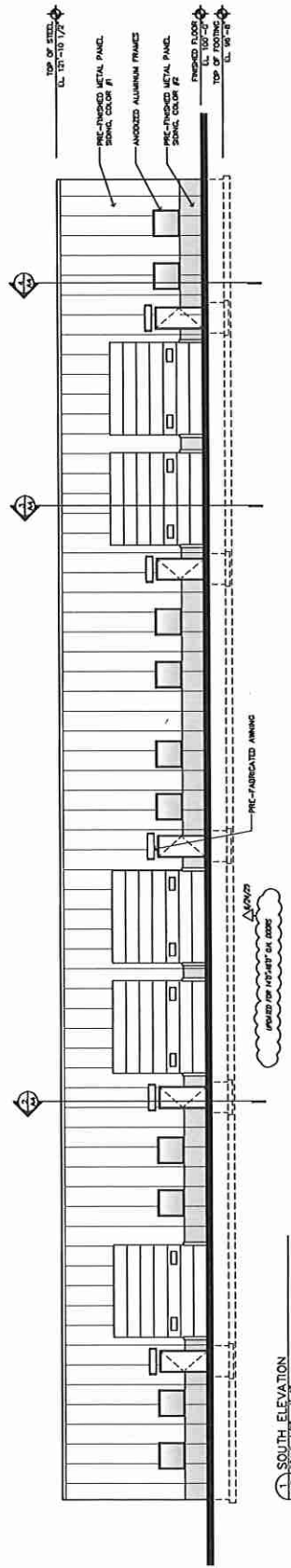
BOE INDUSTRIAL BUILDING #1
Baldwin Township, Minnesota

Drawn By: LLS	Project: Designer: L. Schacht
Checked By: LLS	Project: Designer: L. Schacht
Date: 04/08/20	Project: Designer: L. Schacht
Scale: 1/8" = 1'-0"	Project: Designer: L. Schacht
Sheet: 01 OF 02	Project: Designer: L. Schacht
Coordination: 07/07/20	Project: Designer: L. Schacht

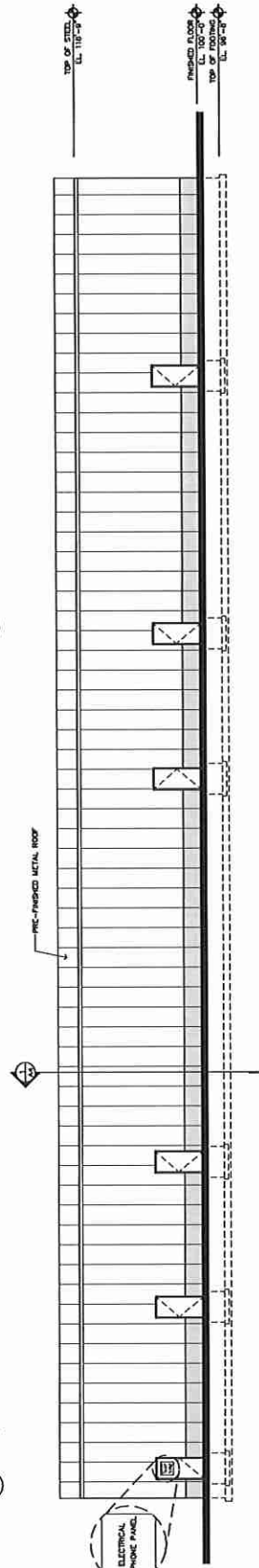
BUILDING ELEVATIONS

Sheet Number

A3
Project No. 230120-1



3 WEST ELEVATION
SCALE 1/8" = 1'-0"



5 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



LEONARD LAMBERT ARCHITECTS, INC.
20000 Highway 101, Suite 200
Minnetonka, MN 55345
Phone: 763.853.1111 Fax: 763.853.1112
www.leonardlambert.com

PROJECT DESCRIPTION:
BOE INDUSTRIAL BUILDING #1
14000 Highway 101, Suite 200
Minnetonka, MN 55345
Project No. 250120-1

DESIGNED BY:
LEONARD LAMBERT
1/20/20

DATE:
1/20/20

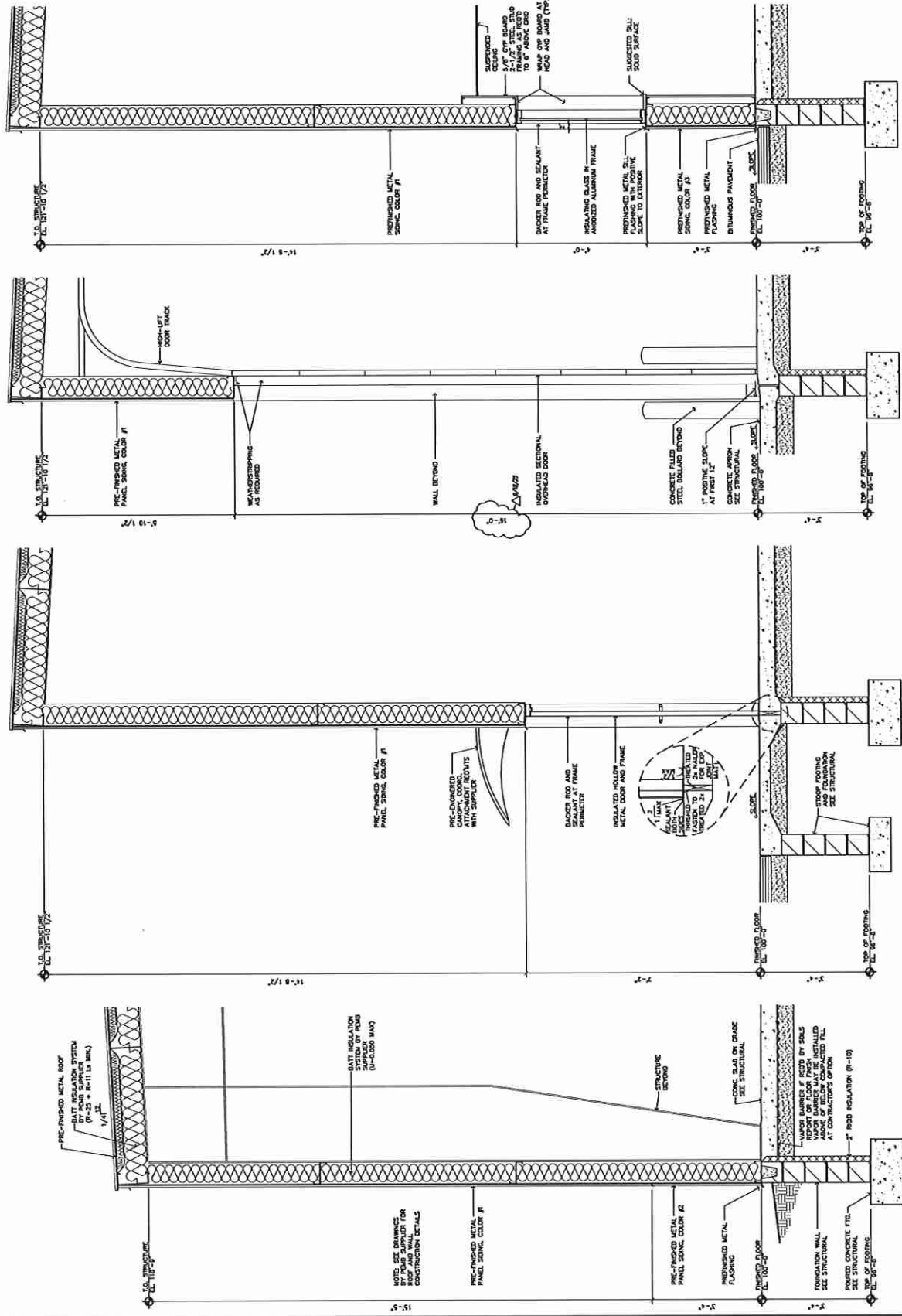
BOE INDUSTRIAL BUILDING #1
Baldwin Township, Minnesota

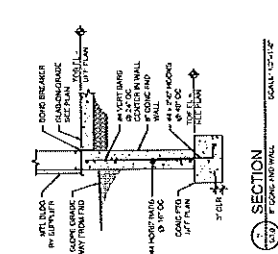
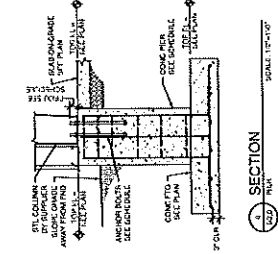
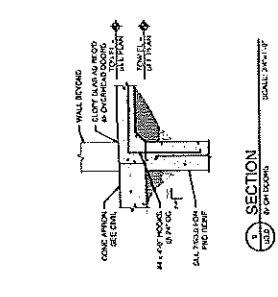
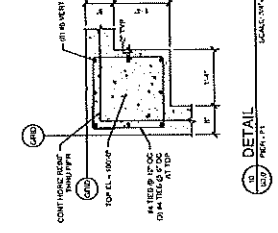
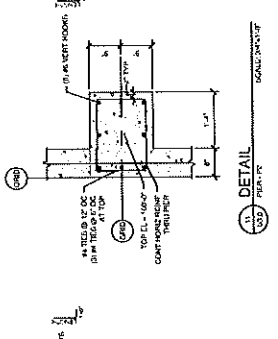
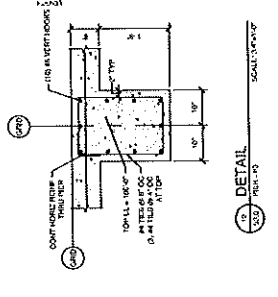
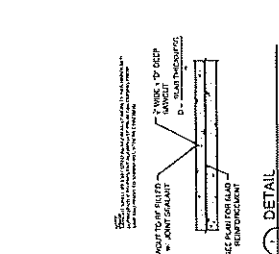
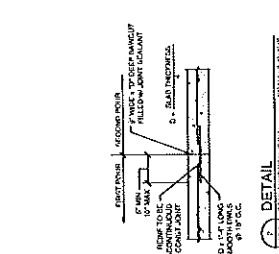
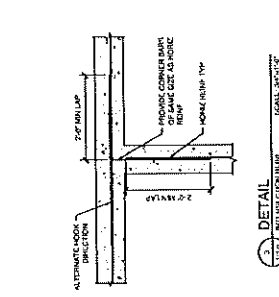
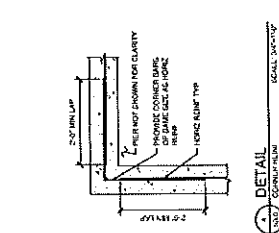
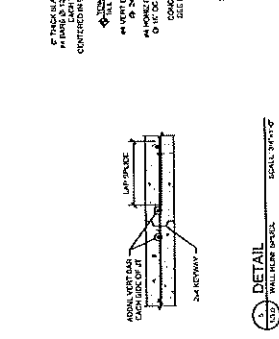
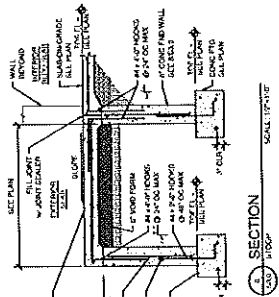
PROJECT INFORMATION
Project Name: BOE INDUSTRIAL BUILDING #1
Project Location: Baldwin Township, Minnesota
Project No.: 250120-1
Project Date: 1/20/20
Project Status: Schematic Design
Project Phase: Schematic Design
Project Budget: \$1,000,000
Project Owner: BOE
Project Architect: Leonard Lambert Architects, Inc.

WALL SECTIONS
Sheet Number

A4

Project No. 250120-1



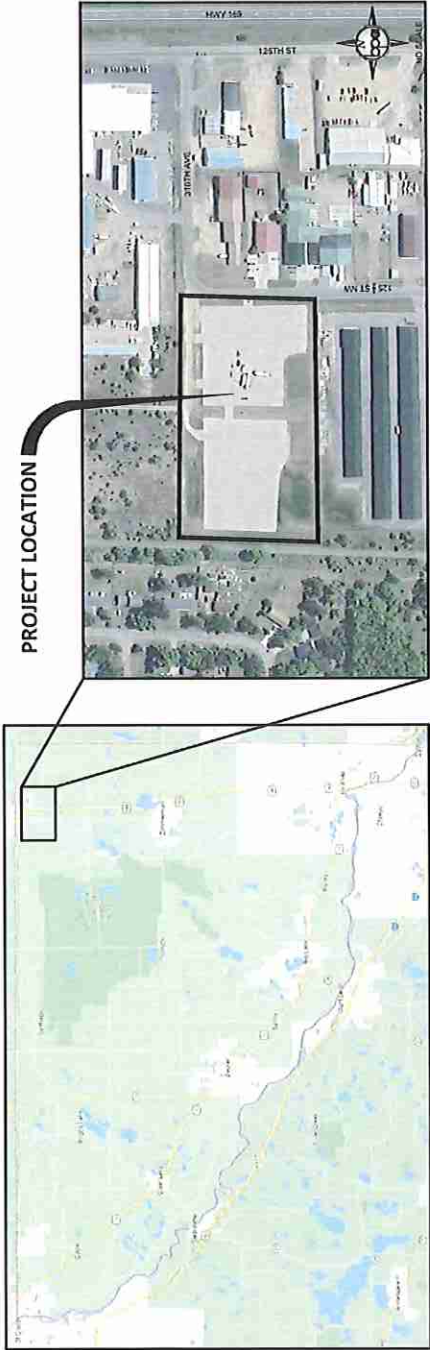


**BOE INDUSTRIAL
HERITAGE CONSTRUCTION**
31540 125 1/2 STREET NW
CITY OF BALDWIN, SHERBURNE COUNTY, MN
SEPTEMBER 2025
FINAL PLANS

CIVIL & SURVEY PLANS PREPARED BY:



Civil Plans	
Sheet Number	Sheet Title
	Cover
V1	Existing Conditions
C1	Demolition Plan
C2	Phasing Plan
C3	Site Plan
C4	Grading Plan
C5	Utility Plan
C6	Erosion Control Plan
C7	SWPPP Narrative
C9	Details
C10	Details
C11	Details
C12	Vehicle Turning Exhibit



SHERBURNE COUNTY, MINNESOTA

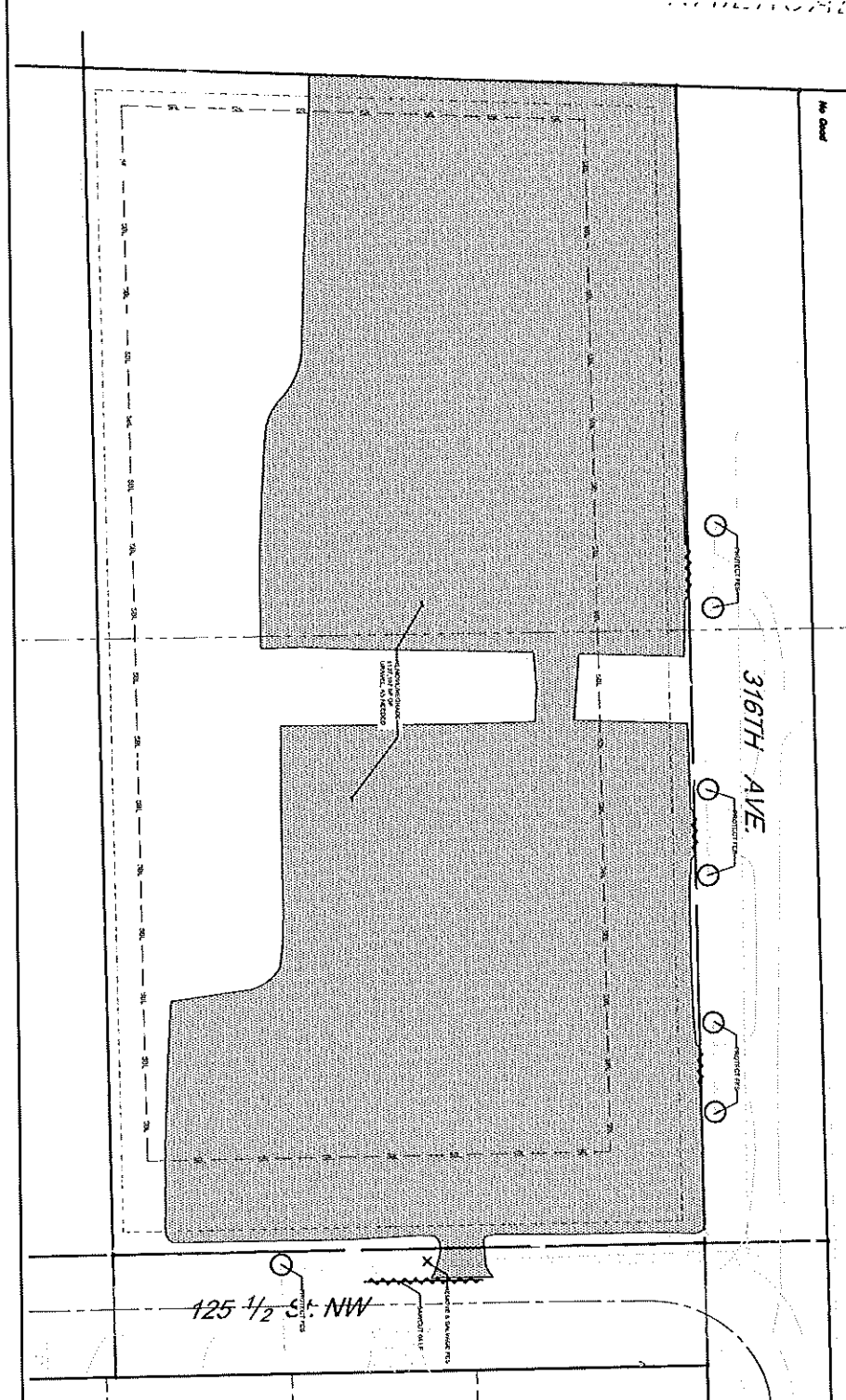
VICINITY MAP

REV#	DATE	DESCRIPTION

PRIVATE UTILITIES SHOWN ARE QUALITY LEVEL 1. FOR INFORMATION PURPOSES ONLY. PRIVATE UTILITIES SHOWN ARE NOT TO BE USED FOR CONSTRUCTION. QUALITY DATA FROM PUBLIC UTILITY RECORDS. RECORDS MAY NOT BE UP TO DATE. PRIVATE UTILITIES SHOWN ARE NOT TO BE USED FOR CONSTRUCTION. PRIVATE UTILITIES SHOWN ARE NOT TO BE USED FOR CONSTRUCTION.

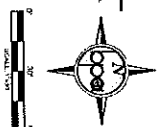
- ## DEMOLITION GENERAL NOTES:
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERSONAL OR COORDINATE ALL UTILITY CONNECTIONS AND RELOCATIONS PRIOR TO THE DEMOLITION OF ANY EXISTING UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
 2. THE CONTRACTOR SHALL, BEFORE THE DEMOLITION, MAKE A PRELIMINARY CONNECTION TO EXISTING UTILITY PRIOR TO ANY DEMOLITION.
 3. CONTRACTOR SHALL COORDINATE WITH THE CITY OF BIRMINGHAM FOR ALL UTILITY DISCONNECTION, SERVICE REPAIRS AND RELOCATION. CONTRACTOR SHALL COORDINATE WITH UTILITY DISCONNECTION AND RELOCATION DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
 4. CONTRACTOR SHALL COORDINATE WITH THE CITY OF BIRMINGHAM FOR ALL UTILITY DISCONNECTION, SERVICE REPAIRS AND RELOCATION. CONTRACTOR SHALL COORDINATE WITH UTILITY DISCONNECTION AND RELOCATION DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
 5. CONTRACTOR SHALL COORDINATE WITH THE CITY OF BIRMINGHAM FOR ALL UTILITY DISCONNECTION, SERVICE REPAIRS AND RELOCATION. CONTRACTOR SHALL COORDINATE WITH UTILITY DISCONNECTION AND RELOCATION DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
 6. CONTRACTOR SHALL PROTECT UTILITY STRUCTURES TO REMAIN. NOTED AND NOT NOTED TO REMAIN AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
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DEMOLITION GENERAL NOTES:



LEGEND:

- | | |
|---|---------------------------------------|
|  | REMOVE PATTERN SECTION (AS INDICATED) |
|  | REMOVE EXISTING TREES (AS INDICATED) |
|  | REMOVE FEATURE (AS INDICATED) |
|  | SAVE/DO (AS INDICATED) |
|  | PAVING |



CALL 48 HOURS BEFORE DEPARTING.
GOPHER STATE ONE CALL
TWIN CITY AREA 651-444-0001
NATIONWIDE TOLL FREE 1-800-237-7169

SHEET NO.	BOE INDUSTRIAL
	City of Baldwin, Sherburne County, MN
	DEMOLITION PLAN



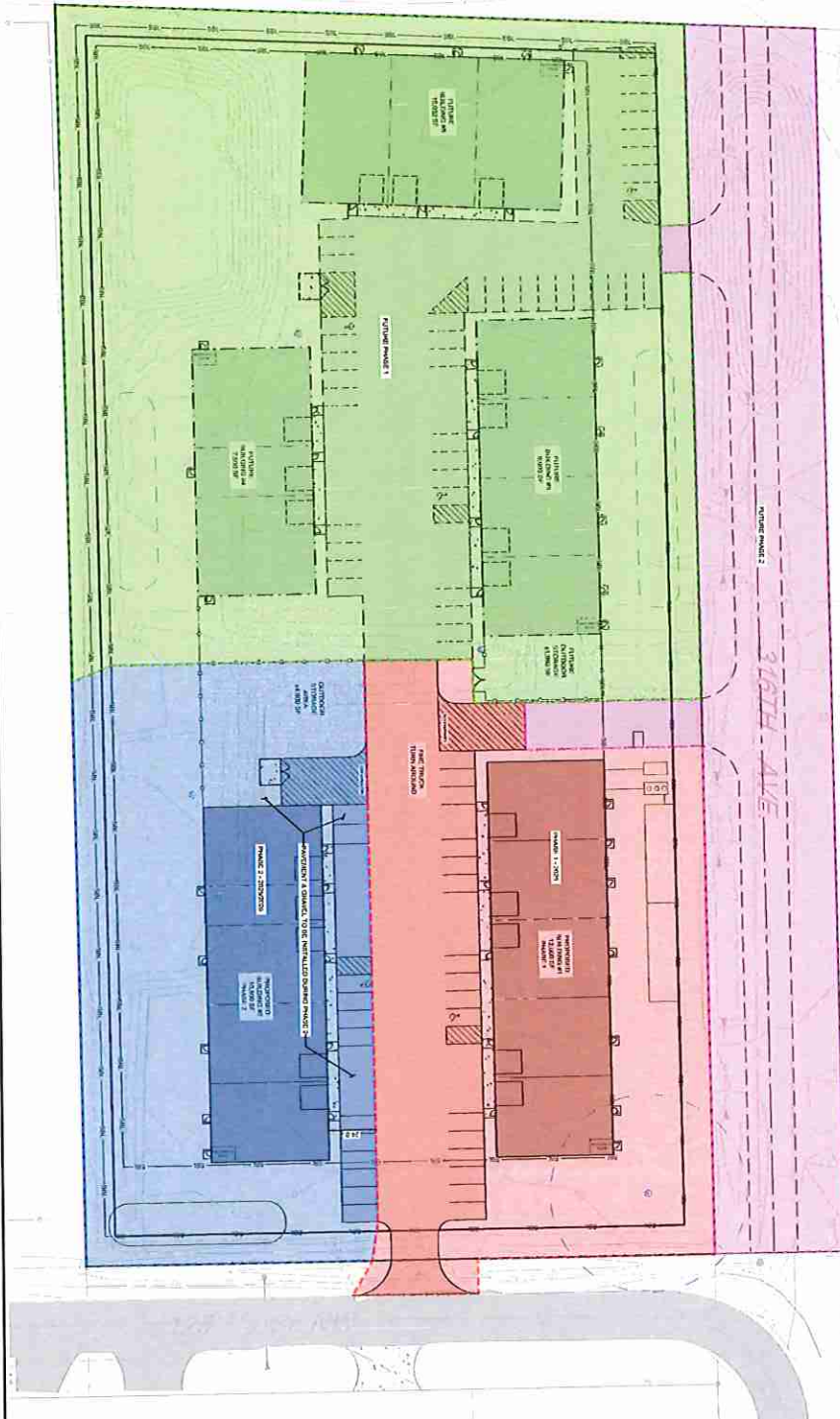
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed 
Christopher Dehn
Date: 06/06/2014 File No: 68272

DATE	REV NO.	DATE	DESCRIPTION
05-12-2015			
DESIGN BY :	GA		
DRAWN BY :	GA		
CHECKED BY :	CD		
DWG FILE :	COMPLETION		
FILE NO. :	27-000110		

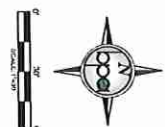
PHASING NOTES:

1. PLANNED PARKING SPACES ARE SHOWN TO FACE OF CURB. ALL OTHER DIMENSIONS ARE SHOWN TO BACK OF CURB.
2. ALL CONCRETE PAVING, SIDEWALKS AND ACCESSIBLE UNIMPROVED PAVEMENT SHALL BE CONFORM TO CURRENT P.A.D. SPECIFICATIONS.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, STATE AND FEDERAL SPECIFICATIONS.
5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY, STATE AND FEDERAL SPECIFICATIONS.
6. LANDSCAPING AND TREE ESTABLISHMENT PER LANDSCAPE PLANS & SPECIFICATIONS.
7. ALL DISTURBED AREAS DURING THE BUILDING AND IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. ALL AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. ALL AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. ALL AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
8. WHERE NEW 500 WIDE EXISTING 300 WIDE SHALL BE CONSIDERED AS 500 WIDE. ALL NEW 500 WIDE SHALL BE CONSIDERED AS 500 WIDE. ALL NEW 500 WIDE SHALL BE CONSIDERED AS 500 WIDE. ALL NEW 500 WIDE SHALL BE CONSIDERED AS 500 WIDE.



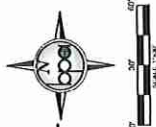
LEGEND:

- PHASE 1
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- PHASE 99
- PHASE 100



C2	BOE INDUSTRIAL	BOGART, PEDERSON & ASSOCIATES, INC. LAND SURVEYING CIVIL ENGINEERING ENVIRONMENTAL SERVICES 1001 E. 15TH STREET, SUITE 100, MINNEAPOLIS, MN 55414-1522 TEL: 763-555-1522 FAX: 763-555-1524	I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Signed: Date: 09/10/2014 Lic. No. 55628		DATE: 09/10/2014 DESIGN BY: EAB DRAWN BY: EAB CHECKED BY: G.D. DWG FILE: SITE B-15 FILE NO: 2505-02	REV NO. DATE DESCRIPTION 1 09/10/2014 2 09/10/2014 3 09/10/2014 4 09/10/2014 5 09/10/2014 6 09/10/2014 7 09/10/2014 8 09/10/2014 9 09/10/2014 10 09/10/2014 11 09/10/2014 12 09/10/2014 13 09/10/2014 14 09/10/2014 15 09/10/2014 16 09/10/2014 17 09/10/2014 18 09/10/2014 19 09/10/2014 20 09/10/2014 21 09/10/2014 22 09/10/2014 23 09/10/2014 24 09/10/2014 25 09/10/2014 26 09/10/2014 27 09/10/2014 28 09/10/2014 29 09/10/2014 30 09/10/2014 31 09/10/2014 32 09/10/2014 33 09/10/2014 34 09/10/2014 35 09/10/2014 36 09/10/2014 37 09/10/2014 38 09/10/2014 39 09/10/2014 40 09/10/2014 41 09/10/2014 42 09/10/2014 43 09/10/2014 44 09/10/2014 45 09/10/2014 46 09/10/2014 47 09/10/2014 48 09/10/2014 49 09/10/2014 50 09/10/2014 51 09/10/2014 52 09/10/2014 53 09/10/2014 54 09/10/2014 55 09/10/2014 56 09/10/2014 57 09/10/2014 58 09/10/2014 59 09/10/2014 60 09/10/2014 61 09/10/2014 62 09/10/2014 63 09/10/2014 64 09/10/2014 65 09/10/2014 66 09/10/2014 67 09/10/2014 68 09/10/2014 69 09/10/2014 70 09/10/2014 71 09/10/2014 72 09/10/2014 73 09/10/2014 74 09/10/2014 75 09/10/2014 76 09/10/2014 77 09/10/2014 78 09/10/2014 79 09/10/2014 80 09/10/2014 81 09/10/2014 82 09/10/2014 83 09/10/2014 84 09/10/2014 85 09/10/2014 86 09/10/2014 87 09/10/2014 88 09/10/2014 89 09/10/2014 90 09/10/2014 91 09/10/2014 92 09/10/2014 93 09/10/2014 94 09/10/2014 95 09/10/2014 96 09/10/2014 97 09/10/2014 98 09/10/2014 99 09/10/2014 100 09/10/2014
	BOE INDUSTRIAL		City of Baldwin, Sherburne County, MN PHASING PLAN			

PROPOSED RIP RAP	NEW TOW-BACK OF CURB ELEVATION
NEW FLOW LINE OF CURB ELEVATION	NEW SIDEWALK ELEVATION
NEW TOP OF PAVEMENT ELEVATION	NEW TOP OF GRAVEL ELEVATION
NEW FINISHED GRADE ELEVATION	EXISTING ELEVATION
PROPOSED CONTOUR	PROPOSED SLOPE
EMERGENCY OUTFLOW	5.0%



DESCRIPTION	DATE	NO.

FILE NO.	5500430
DWG FILE	5500430
CHECKED BY	CJO
DESIGN BY	CJO
DATE	09/10/2005

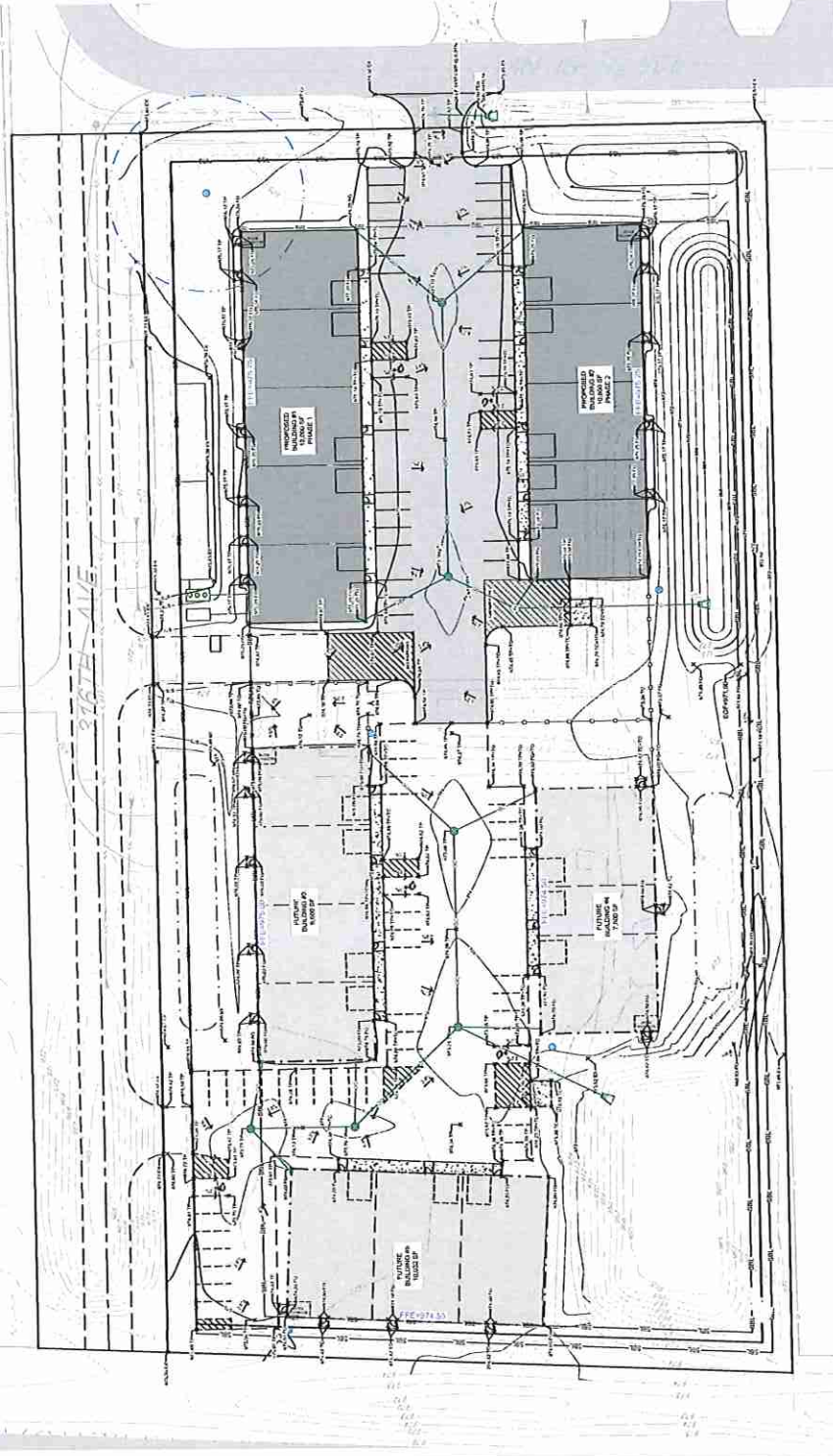
I hereby certify that this plan, specification or
 description and that all amendments and
 additions are true and correct and that I am a duly Licensed
 Professional Engineer under the laws of the
 State of Minnesota.

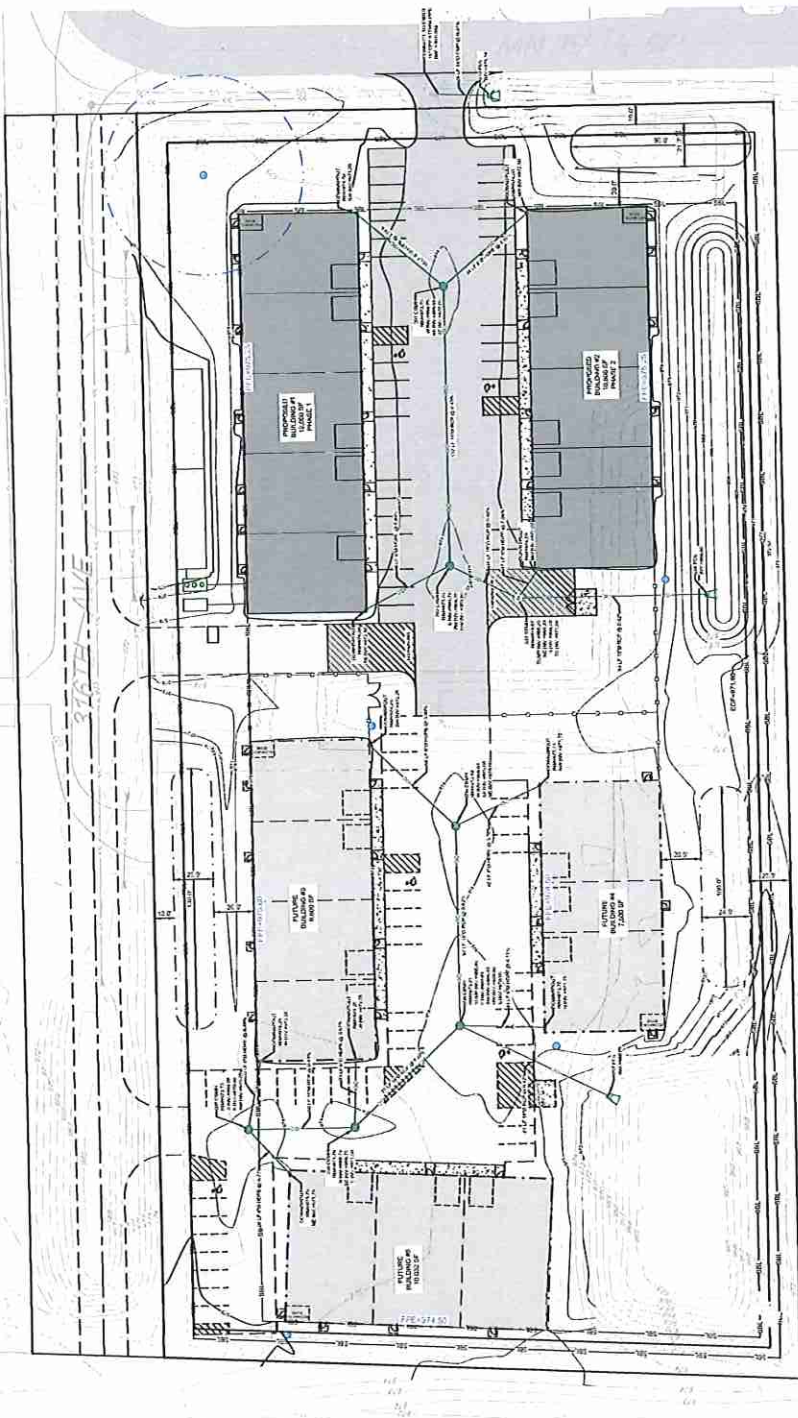
Signed _____
 Christopher J. Dunn
 Date: 09/10/2005 Lic. No. 550028

**BOGART, PEDERSON
& ASSOCIATES, INC.**
LAND SURVEYING
ENGINEERING
ENVIRONMENTAL SERVICES
1001 FIRST STREET, SUITE 1000
TEL. 714/363-1022 FAX 714/363-1044

BOE INDUSTRIAL
City of Baldwin, Sherburne County, MN
GRADING PLAN

SHEET NO. C4



[illegible][illegible]

[illegible]

- [illegible]

- BILT FENCE: 2,205 L
- BIOLOGI: 64 L³
- ROCK CONSTRUCTION: 1 DACH
- EROSION CONTROL, BLANKETT (CAT. 20): X 6,5"
- RIP RAP (CLASS 2): 22 C.V.

TEMPORARY ROCK CONSTRUCTION ENTRANCE ROAD

EROSION CONTROL BLANKET (CAT 20)

GRADING, LIMITS AND IMPORTED TEMPORARY SURFACE FINISH

FIBERLOG MATS

PRICED 100 GSM

PRICED 100 GSM

EROSION CONTROL BLANKET

TEMPORARY EROSION CONTROL FILTER - HIGH FLOW

[illegible]

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

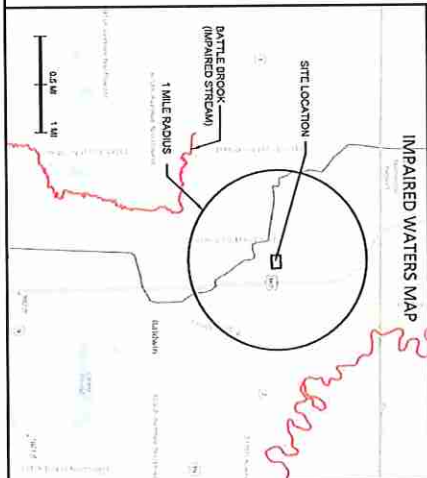
Signed 
Christopher J. Dahn
Date: 09/10/2005 Lic. No. 50621



**BOGART, PEDERSON
& ASSOCIATES, INC.**
LAND SURVEYING
CIVIL ENGINEERING
ENVIRONMENTAL SERVICES
1078 FIRST STREET, BECKER, MN 55004-0122
TEL. 763-252-8822 FAX 763-252-8844

BOE INDUSTRIAL
City of Baldwin, Sherburne County, MN
EROSION CONTROL PLAN

96



C7	SHEET NO.	BOE INDUSTRIAL	
		City of Baldwin, Sherburne County, MN	

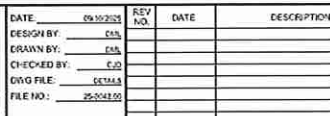
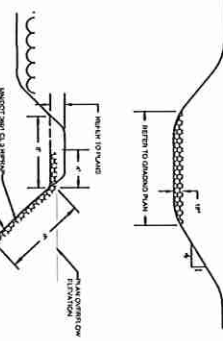
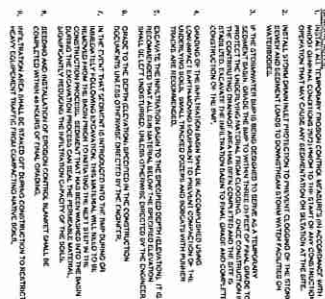


**BOGART, PEDERSON
& ASSOCIATES, INC.**
LAND SURVEYING
CIVIL ENGINEERING
ENVIRONMENTAL SERVICES
10214 FIRST STREET, BECKER, MN 55308-6372

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed 
Christopher J. Dahn
Professional Engineer License No. 10000

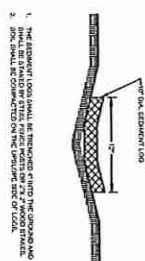
DATE: 09-10-2022	REV NO.	DATE	DESCRIPTION
DESIGN BY: EAS			
DRAWN BY: EAS			
CHECKED BY: CJO			
DWG FILE: 111111			
FILE NO.: 25-2018-00			



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

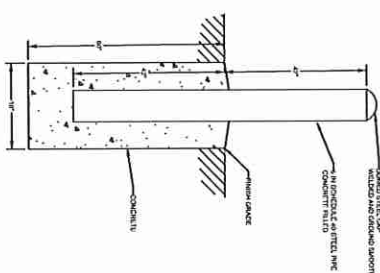
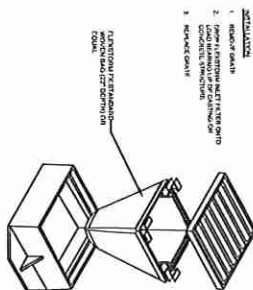
Signed: 
Christopher J. Dahn
Date: 09/10/2005 Lic. No. 55628

ROCK CONSTRUCTION EXP
NTS-



SEDIMENT FILTER LOG INSTALLATION

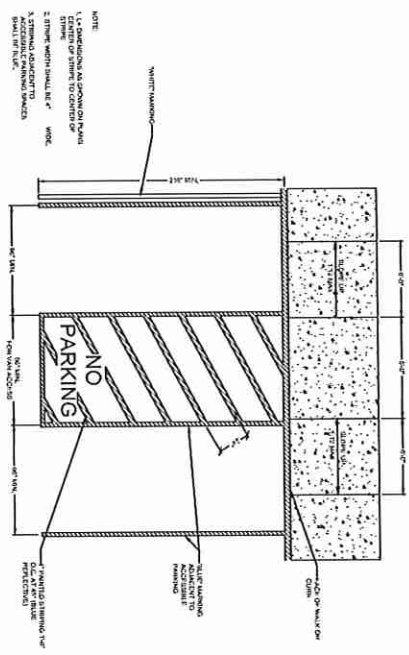
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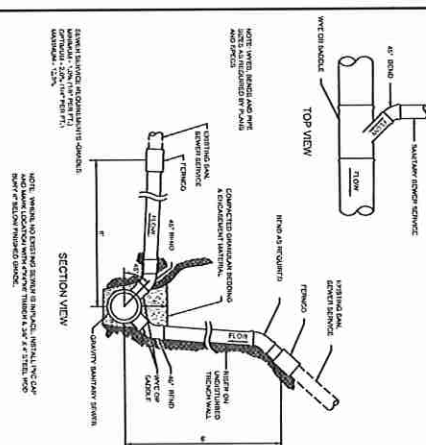
SHEET NO.	BOE INDUSTRIAL
	City of Baldwin, Sherburne County, MN
	DETAILS



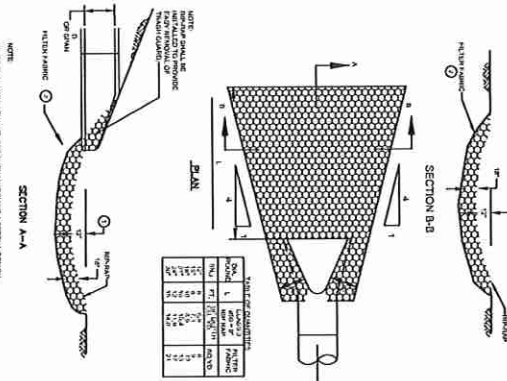
**BOGART, PEDERSON
& ASSOCIATES, INC.**
LAND SURVEYING
CIVIL ENGINEERING
ENVIRONMENTAL SERVICES
13018 FIRST STREET, BECKER 57815-5008-0322
TEL: 703-262-1822 FAX: 703-262-6844



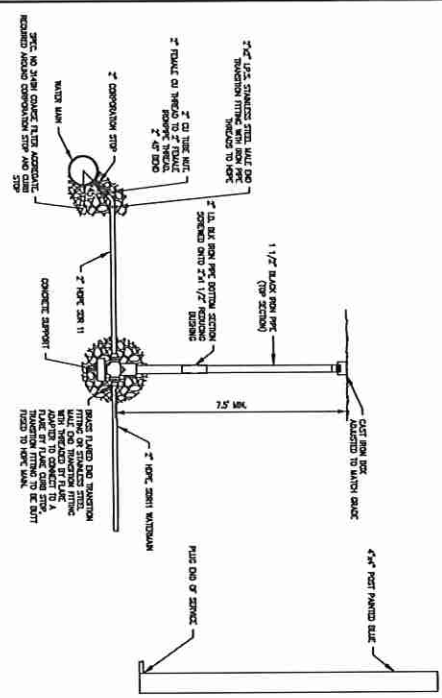
ACCESSIBLE PARKING SPACE AND HANDICAP RAMP
N.T.S.



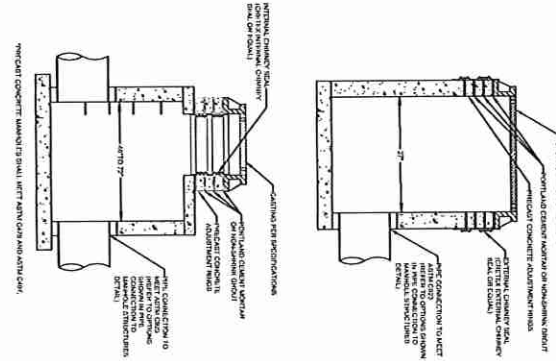
SANITARY SEWER SERVICE WITH RISER
N.T.S.



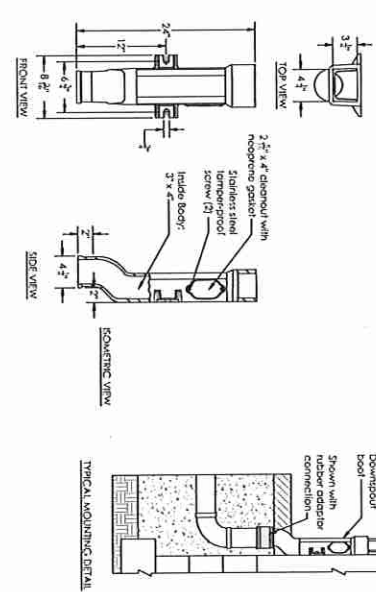
STORM SEWER RIP-RAP INSTALLATION
N.T.S.



WATER SERVICE CONNECTION
N.T.S.



STORM SEWER MANHOLES
N.T.S.



GUTTER DOWNSPOUT WITH BOOT
N.T.S.



4.1.5

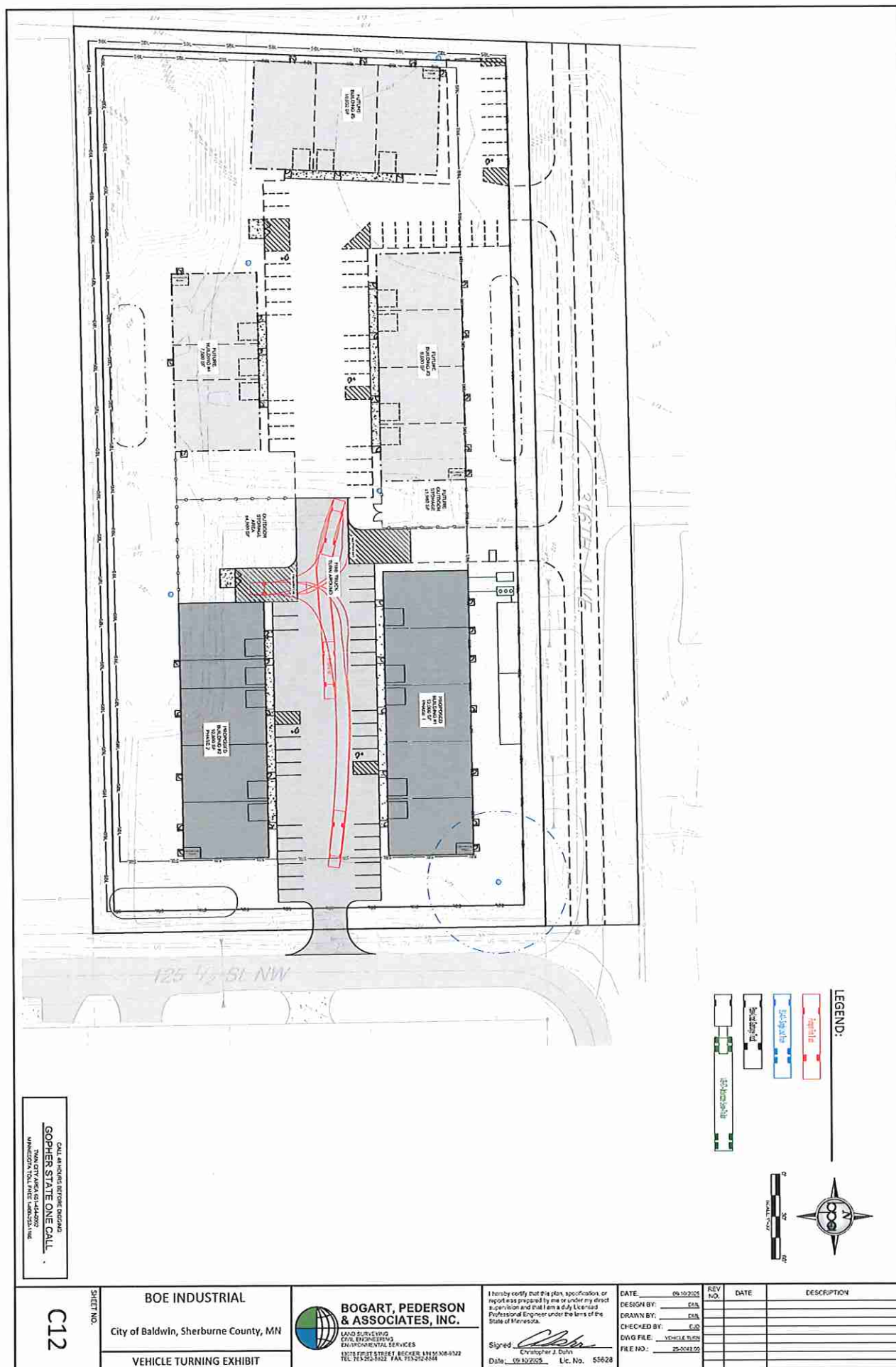


N.T.



1.1

[illegible]





Contract Area: City of Baldwin - July 2025

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2025-064	7/9/2025	13495 295TH AVE NW	New Septic	\$ 350.00				\$ 350.00
BA2025-149	7/17/2025	12904 295TH AVE NW	New Septic	\$ 350.00				\$ 350.00
BA2025-150	7/17/2025	14233 294TH AVE NW	New Septic	\$ 350.00				\$ 350.00
BA2025-151	7/1/2025	30113 126TH ST NW	Water Heater	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-166	7/23/2025	29046 143RD ST NW	Deck	\$ 215.85	\$ 151.10	\$ 140.30	\$ 112.24	\$ 263.34
BA2025-201	7/9/2025	13283 293RD AVE NW	Basement Finish	\$ 265.50	\$ 185.85	\$ 172.58	\$ 138.06	\$ 323.91
BA2025-203	7/8/2025	31924 125TH ST NW	Non-Residential Mechanical New Construction	\$ 1,321.65	\$ 925.16	\$ 859.07	\$ 687.26	\$ 1,612.41
BA2025-207	7/1/2025	14330 310TH AVE NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-209	7/3/2025	32147 111 1/2 ST NW	Replacement Septic	\$ 350.00				\$ 350.00
BA2025-210	7/1/2025	9803 287TH AVE NW	Replacement Septic	\$ 350.00				\$ 350.00
BA2025-211	7/2/2025	31138 115TH ST NW	Swimming Pool	\$ 116.55	\$ 81.59	\$ 75.76	\$ 60.61	\$ 142.19
BA2025-212	7/7/2025	9721 301ST AVE NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-216	7/29/2025	29530 131ST ST NW	Addition	\$ 548.15	\$ 383.71	\$ 356.30	\$ 285.04	\$ 668.75
BA2025-218	7/1/2025	10632 302ND AVE NW	Roof	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-220	7/16/2025	14122 294TH AVE NW	Accessory Structure	\$ 397.90	\$ 278.53	\$ 258.64	\$ 206.91	\$ 485.44
BA2025-221	7/30/2025	9736 302ND AVE NW	Deck	\$ 133.10	\$ 93.17	\$ 86.52	\$ 69.22	\$ 162.39
BA2025-222	7/2/2025	13282 295TH AVE NW	Plumbing New Construction	\$ 150.00	\$ 105.00			\$ 105.00
BA2025-223	7/2/2025	13282 295TH AVE NW	Mechanical New Construction	\$ 150.00	\$ 105.00			\$ 105.00
BA2025-224	7/16/2025	31626 127TH ST NW	Replacement Septic	\$ 350.00				\$ 350.00
BA2025-226	7/18/2025	10530 306TH AVE NW	Accessory Structure	\$ 149.65	\$ 104.76	\$ 97.27	\$ 77.82	\$ 182.57



Contract Area: City of Baldwin - July 2025

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2025-227	7/14/2025	11700 293RD AVE NW	Non-Residential Gas Line	\$ 149.65	\$ 104.76	\$ 97.27	\$ 77.82	\$ 182.57
BA2025-228	7/21/2025	11725 317TH AVE NW	Water Heater	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-229	7/14/2025	31475 116TH ST NW	Plumbing New Construction	\$ 150.00	\$ 105.00			\$ 105.00
BA2025-230	7/21/2025	31312 128TH ST NW	Replacement Septic	\$ 350.00				\$ 350.00
BA2025-231	7/10/2025	14061 290TH AVE NW	Roof	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-232	7/10/2025	14229 310TH AVE NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-234	7/17/2025	12938 285TH AVE NW	New Septic	\$ 350.00				\$ 350.00
BA2025-235	7/21/2025	31737 120TH ST NW	Tank Replacement Septic	\$ 175.00				\$ 175.00
BA2025-236	7/22/2025	29515 128TH ST NW	Replacement Septic	\$ 350.00				\$ 350.00
BA2025-237	7/15/2025	10130 285TH LN NW	Mechanical New Construction	\$ 150.00	\$ 105.00			\$ 105.00
BA2025-238	7/31/2025	13344 295TH AVE NW	New Construction	\$ 2,050.65	\$ 1,435.46	\$ 1,332.92	\$ 1,066.34	\$ 2,501.79
BA2025-239	7/17/2025	13468 279TH AVE NW	A/C	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-240	7/31/2025	12904 295TH AVE NW	Deck	\$ 133.10	\$ 93.17	\$ 86.52	\$ 69.22	\$ 162.39
BA2025-241	7/21/2025	28340 116TH ST NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-245	7/28/2025	12945 296TH AVE NW	Furnace & A/C	\$ 185.00	\$ 129.50			\$ 129.50
BA2025-248	7/31/2025	28222 ELK LAKE RD E	Replacement Septic	\$ 350.00				\$ 350.00
BA2025-249	7/29/2025	29150 142ND ST NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-250	7/31/2025	14226 310TH AVE NW	Replacement Septic	\$ 350.00				\$ 350.00
BA2025-252	7/29/2025	14223 285TH AVE NW	Gas Fireplace	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-254	7/29/2025	9803 287TH AVE NW	Roof	\$ 125.00	\$ 87.50			\$ 87.50



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Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2025-259	7/31/2025	28142 ELK LAKE RD E	Water Heater	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
				\$ -	\$ -		\$ -	\$ -
TOTAL				\$ 11,916.75	\$ 5,524.23	\$ 3,563.15	\$ 2,850.52	\$ 12,399.75

*Minimum Permit Fee \$75 / Plan Review \$50



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Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2025-056	8/12/2025	13438 295TH AVE NW	New Septic	\$ 350.00				\$ 350.00
BA2025-057	8/22/2025	13438 295th Ave NW	Reinspection Fee					\$ 95.00
BA2025-107	8/21/2025	13458 295th Ave NW	Reinspection Fee					\$ 95.00
BA2025-182	8/4/2025	13319 279TH AVE NW	Miscellaneous Building	\$ 364.80	\$ 255.36	\$ 237.12	\$ 189.70	\$ 445.06
BA2025-205	8/27/2025	13437 295TH AVE NW	New Septic	\$ 350.00				\$ 350.00
BA2025-206	8/27/2025	13282 295TH AVE NW	New Septic	\$ 350.00				\$ 350.00
BA2025-225	8/1/2025	13013 282ND AVE NW	Deck	\$ 100.00	\$ 75.00	\$ 50.00	\$ 50.00	\$ 125.00
BA2025-225	8/1/2025	13013 282ND AVE NW	Investigative Fee	\$ 100.00				\$ 100.00
BA2025-242	8/4/2025	31620 125TH ST NW	Non-Residential Cell Tower	\$ 764.15	\$ 534.91	\$ 496.70	\$ 397.36	\$ 932.27
BA2025-243	8/7/2025	14100 296TH CIR NW	Roof	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-244	8/27/2025	12938 302ND AVE NW	Alteration/Remodel	\$ 524.15	\$ 366.91	\$ 340.70	\$ 272.56	\$ 639.47
BA2025-251	8/7/2025	9819 313TH AVE NW	Accessory Structure	\$ 364.80	\$ 255.36	\$ 237.12	\$ 189.70	\$ 445.06
BA2025-253	8/4/2025	28715 143RD ST NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-255	8/7/2025	30209 116TH ST NW	Non-Residential Alteration/Remodel	\$ 1,186.65	\$ 830.66	\$ 771.32	\$ 617.06	\$ 1,447.71
BA2025-256	8/7/2025	29908 108TH ST NW	Tank Replacement Septic	\$ 175.00				\$ 175.00
BA2025-258	8/14/2025	13500 295TH AVE NW	Deck	\$ 199.30	\$ 139.51	\$ 129.55	\$ 103.64	\$ 243.15
BA2025-260	8/5/2025	27930 133 1/2 ST NW	Alteration/Remodel	\$ 315.15	\$ 220.61	\$ 204.85	\$ 163.88	\$ 384.49
BA2025-261	8/4/2025	27902 113TH ST NW	Furnace & A/C	\$ 185.00	\$ 129.50			\$ 129.50
BA2025-262	8/11/2025	30243 119TH ST NW	Replacement Septic	\$ 350.00				\$ 350.00
BA2025-264	8/4/2025	13438 295TH AVE NW	Gas Fireplace	\$ 125.00	\$ 87.50			\$ 87.50



Contract Area: City of Baldwin - August 2025

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2025-264	8/4/2025	13438 295TH AVE NW	Investigative Fee	\$ 125.00				\$ 125.00
BA2025-265	8/25/2025	30243 119TH ST NW	Addition	\$ 823.30	\$ 576.31	\$ 535.15	\$ 428.12	\$ 1,004.43
BA2025-266	8/6/2025	13437 295TH AVE NW	Plumbing New Construction	\$ 150.00	\$ 105.00			\$ 105.00
BA2025-267	8/6/2025	13437 295TH AVE NW	Mechanical New Construction	\$ 150.00	\$ 105.00			\$ 105.00
BA2025-268	8/7/2025	11725 317TH AVE NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-269	8/26/2025	31419 131ST ST NW	Alteration/Remodel	\$ 397.90	\$ 278.53	\$ 258.64	\$ 206.91	\$ 485.44
BA2025-270	8/7/2025	31475 116TH ST NW	Mechanical New Construction	\$ 150.00	\$ 105.00			\$ 105.00
BA2025-271	8/15/2025	10141 313TH AVE NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-272	8/15/2025	28560 111TH ST NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-274	8/11/2025	29390 100TH ST NW	Gas Fireplace	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-275	8/13/2025	31486 141ST ST NW	Furnace & A/C	\$ 185.00	\$ 129.50			\$ 129.50
BA2025-276	8/12/2025	14040 301ST AVE NW	Boiler	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-277	8/12/2025	27930 133 1/2 ST NW	Miscellaneous Plumbing	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-278	8/12/2025	11518 284TH AVE NW	A/C	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-281	8/15/2025	30708 106TH ST NW	Window/Door	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-282	8/15/2025	13344 295TH AVE NW	Mechanical New Construction	\$ 150.00	\$ 105.00			\$ 105.00
BA2025-283	8/15/2025	13344 295TH AVE NW	Plumbing New Construction	\$ 150.00	\$ 105.00			\$ 105.00
BA2025-284	8/18/2025	29840 100TH ST NW	Roof	\$ 125.00	\$ 87.50			\$ 87.50
BA2025-285	8/25/2025	28207 ELK LAKE RD E	Replacement Septic	\$ 350.00				\$ 350.00
BA2025-286	8/20/2025	12837 285TH AVE NW	Tank Replacement Septic	\$ 175.00				\$ 175.00



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Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2025-288	8/19/2025	13117 314TH AVE NW	Roof	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-289	8/21/2025	9948 284TH AVE NW	Furnace & A/C	\$ 185.00	\$ 129.50		\$ -	\$ 129.50
BA2025-290	8/21/2025	29515 128TH ST NW	Roof	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-291	8/21/2025	29983 129TH ST NW	Water Conditioner	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-292	8/25/2025	30863 105TH ST NW	Roof	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-293	8/25/2025	30863 105TH ST NW	Siding	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-294	8/28/2025	29404 139TH ST NW	Deck	\$ 116.55	\$ 81.59	\$ 75.76	\$ 60.61	\$ 142.19
TOTAL				\$ 10,911.75	\$ 6,015.73	\$ 3,336.91	\$ 2,679.53	\$ 11,210.25

*Minimum Permit Fee \$75 / Plan Review \$50



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Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2024-140	9/2/2025	31585 124TH ST NW	Non-Residential New Septic	\$ 350.00			\$ -	\$ 350.00
BA2025-025	9/22/2025	31103 US HIGHWAY 169 NW	Window/Door	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-082	9/29/2025	10130 285TH LN NW	New Septic	\$ 350.00			\$ -	\$ 350.00
BA2025-219	9/5/2025	12938 285TH AVE NW	New Construction	\$ 1,127.50	\$ 789.25	\$ 732.88	\$ 586.30	\$ 1,375.55
BA2025-287	9/8/2025	10141 313TH AVE NW	Water Heater	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-295	9/4/2025	30209 116TH ST NW	Non-Residential Furnace & A/C	\$ 331.70	\$ 232.19	\$ 215.61	\$ 172.49	\$ 404.68
BA2025-296	9/17/2025	30668 139TH ST NW	Replacement Septic	\$ 350.00			\$ -	\$ 350.00
BA2025-297	9/2/2025	11521 284TH AVE NW	Roof	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-298	9/10/2025	30712 128TH ST NW	Replacement Septic	\$ 350.00			\$ -	\$ 350.00
BA2025-299	9/17/2025	28748 ELK LAKE RD E	Replacement Holding Tank	\$ 175.00			\$ -	\$ 350.00
BA2025-300	9/2/2025	27942 112TH ST NW	Furnace & A/C	\$ 185.00	\$ 129.50		\$ -	\$ 129.50
BA2025-301	9/2/2025	28108 PAR DR NW	Water Conditioner	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-302	9/2/2025	13428 279TH AVE NW	Furnace & A/C	\$ 185.00	\$ 129.50		\$ -	\$ 129.50
BA2025-303	9/3/2025	12938 302ND AVE NW	Plumbing Alteration/Remodel	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-304	9/11/2025	28048 133 1/2 ST NW	Window/Door	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-305	9/9/2025	31475 116TH ST NW	New Septic	\$ 350.00			\$ -	\$ 350.00
BA2025-306	9/4/2025	11934 302ND AVE NW	Roof	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-307	9/8/2025	11039 285TH AVE NW	Deck	\$ 133.10	\$ 93.17	\$ 86.52	\$ 69.22	\$ 162.39
BA2025-308	9/22/2025	13344 295TH AVE NW	New Septic	\$ 350.00			\$ -	\$ 350.00



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Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
BA2025-309	9/10/2025	13830 298TH AVE NW	Replacement Septic	\$ 350.00			\$ -	\$ 350.00
BA2025-310	9/19/2025	13013 282ND AVE NW	Deck	\$ 133.10	\$ 93.17	\$ 86.52	\$ 69.22	\$ 162.39
BA2025-311	9/8/2025	14229 310TH AVE NW	Roof	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-313	9/8/2025	28907 127TH ST NW	Roof	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-314	9/16/2025	11772 280TH AVE NW	New Construction	\$ 1,908.90	\$ 1,336.23	\$ 1,240.79	\$ 992.63	\$ 2,328.86
BA2025-316	9/9/2025	30116 126TH ST NW	Siding	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-320	9/24/2025	14320 314TH AVE NW	Plumbing Basement Finish	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-321	9/30/2025	28538 143RD ST NW	Alteration/Remodel	\$ 397.90	\$ 278.53	\$ 258.64	\$ 206.91	\$ 485.44
BA2025-323	9/15/2025	11772 280TH AVE NW	Plumbing New Construction	\$ 150.00	\$ 105.00		\$ -	\$ 105.00
BA2025-325	9/17/2025	28610 ELK LAKE RD E	Gas Fireplace	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-327	9/22/2025	12716 316TH AVE NW	Egress Window	\$ 199.30	\$ 139.51	\$ 129.55	\$ 103.64	\$ 243.15
BA2025-328	9/25/2025	27956 142ND ST NW	Accessory Structure	\$ 488.15	\$ 341.71	\$ 317.30	\$ 253.84	\$ 595.55
BA2025-330	9/23/2025	30726 119TH ST NW	Window/Door	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-334	9/25/2025	13037 296TH AVE NW	Window/Door	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-335 Cancelled	9/25/2025	14223 288TH AVE NW	Siding - Cancelled 80% of \$125.00 Refunded (\$100)	\$ 25.00	\$ 17.50		\$ -	\$ 17.50
BA2025-336 Cancelled	9/25/2025	14223 288TH AVE NW	Roof - Cancelled 80% of \$125.00 Refunded (\$100)	\$ 25.00	\$ 17.50		\$ -	\$ 17.50
BA2025-337 Cancelled	9/25/2025	14223 288TH AVE NW	Window/Door - Cancelled 80% of \$125.00 Refunded (\$100)	\$ 25.00	\$ 17.50		\$ -	\$ 17.50
BA2025-338	9/26/2025	13037 296TH AVE NW	Siding	\$ 125.00	\$ 87.50		\$ -	\$ 87.50
BA2025-342	9/29/2025	14279 296TH AVE NW	Furnace & A/C	\$ 185.00	\$ 129.50		\$ -	\$ 129.50



Contract Area: City of Baldwin - September 2025

Permit #	Paid Date	Address	Project Description	Permit Portion	70% Billable	Plan Review	80% Billable	Project Fee
TOTAL				\$ 9,999.65	\$ 5,162.26	\$ 3,067.81	\$ 2,454.25	\$ 10,416.50

**Minimum Permit Fee \$75 / Plan Review \$50*