



**CITY OF BALDWIN
PLANNING COMMISSION MEETING AGENDA
Wednesday, July 23, 2025 at 7:00 P.M.
Baldwin City Hall**

- A. Call to Order:**
 - 1. Pledge of Allegiance
 - 2. Oath of Office
 - 3. Roll Call
 - 4. Planning Commission claim forms

- B. Approval of the Agenda**

- C. Approval of Minutes:**
 - 1. Planning Commission meeting of June 25, 2025

- D. Public Hearings:**
 - 1. AT&T Wireless (28829 104th St NW)
 - a. Reissuance of an expired Conditional Use Permit to allow a cellular communications tower with a height of 175ft.
 - 2. City of Baldwin:
 - a. Zoning Ordinance amendment establishing fence regulations.

- E. New Business:**
 - 1. None.

- F. Old Business:**
 - 1. None.

- H. City Council Liaison Update**
- I. Commissioner Update**
- J. City Staff Update**
- K. Miscellaneous Information and Communications**
- L. Adjourn by 9:00PM**

Notes:

- 1. Five copies of the agenda and two copies of the packet materials are available for review by the public.
- 2. The meeting will be video and audio recorded for transcription purposes only.
- 3. This agenda does not claim to be complete and is subject to change.
- 4. A quorum of the City Council may be present at the Planning Commission meeting.

PUBLIC HEARING PROCEDURE

The following process will be used for each public hearing agenda item:

1. The Chair is to announce the application.
2. City staff will present the Planning Report.
3. The applicant will be given an opportunity by the Chair to describe the request, make additional statements, and state if they agree with the recommendations of City staff.
4. The Chair will open the public hearing and invite comments and questions from the audience:
 - Please state your name and address to be recorded in the meeting minutes.
 - Comments and questions are to be directed to the Chair.
 - Please limit individual comments or questions to 5 minutes or less.
 - The Chair may request that only new information be presented.
5. The Chair will ask for any additional public comments and, if hearing none, will ask for a motion to close the public hearing.
6. The Chair may ask the applicant and/or City staff to respond to comments or questions from the public hearing.
7. The Planning Commission will discuss the application and ask questions of the applicant and/or City staff.
8. The Chair will ask for a motion for a recommendation to the City Council as to the whether the application be approved or denied, including any recommended stipulations. The Planning Commission may also table consideration of an application.
9. The Chair will announce the date the application is likely to be considered by the City Council.

The City Council and Planning Commission want to ensure that all comments regarding development applications before the City are received at the proper time and place to be most effective. In order for comments regarding a Comprehensive Plan amendment, Zoning Ordinance amendment, Conditional Use Permit, Interim Use Permit, or variance to be legally considered by the City Council and Planning Commission, they must only be received in writing prior to or verbally at a property noticed public hearing. After the Planning Commission has closed the public hearing, people will be advised by the Planning Commission Chair and/or City staff that additional comments are no longer able to be heard.



PLANNING COMMISSION MEETING MINUTES

JUNE 25, 2025

Call to Order: Chair Clarence Mattson called the Baldwin Planning Commission meeting to order at 7:00 pm.

Pledge of Allegiance: All present recited the Pledge of Allegiance.

Roll Call: Present: Chair Clarence Mattson, Commissioners Patti Miller, Calvin Schmock, and Richard Marshall.

Absent: Commissioner William McGowan

Also present: City Planner, Dan Licht, City Engineer, Sam Jochum and Shane Nelson from Hakanson Anderson and City Council Liaison, Jay Swanson.

All claim forms were filled out and returned to the Deputy Clerk.

Approval of the Agenda:

Under New Business, Number 1, add Second Driveway Review for 29010 100th Street

***Commissioner Schmock motioned to approve the agenda as amended.
Commissioner Marshall seconded. All in favor. Motion carried.***

Approval of the Minutes:

Planning Commission meeting of May 28, 2025

***Commissioner Schmock motioned to approve the minutes as amended.
Commissioner Miller seconded. All in favor. Motion carried.***

Public Hearings:

Johnathan Lee Clover – 28213 128th Street – Interim Use Permit

City Planner Licht presented the planning report. The property owners are requesting to operate a consignment boat sales business from the property with an outdoor sale and display area.

The applicant, Johnathan Clover, was in attendance. Mr. Clover introduced himself to the Planning Commission and described what his intentions are for the business.

Chair Mattson asked about the number of boats on the property at one time. Mr. Clover stated 4 to 6 boats.

Commissioner Schmock asked about repairing boats. Mr. Clover stated he has no intention of repairing boats. This business is only to clean boats and help a customer sell the boat.

Commissioner Marshall asked what the intention of the business is and where the work will take place. Mr. Clover stated the business is to power wash and clean boats and get them ready for sale. Work will be done in the driveway.

Chair Mattson read through the ten conditions to be met for approval.

Chair Mattson opened the public hearing at 7:27 pm.

Rosemarie Walker, 10631 297th Ave, asked about the new boat license law going into effect on July 1, 2025. City Planner Licht stated they would need a business license to sell boats. The applicant does not need a license to operate boats.

Tim Derrick, 28145 128th Street, stated he has concerns about the current display area on the property. The display area is within 100 feet of his property. Mr. Derrick is concerned that the interim use permit does not address other items to be sold. He is also concerned about the noise in the area and the hours of operation.

Dan Jaeger, 12440 284th Avenue, stated he has concerns about the lake use and if there is a potential for test drives.

City Planner Licht stated that the interim use permit does state the purpose of the outdoor sales and display area is for boats only. The applicant would also need to provide a certificate of survey showing the dimensions of the outdoor sales area to comply with the setbacks before putting the surface down.

Brian Erickson, 28649 117th Street, stated that the business is located in a very shallow part of the lake. Mr. Erickson has concerns about the size of boats being located on the property and on the lake.

Peggy Patton, 28641 127th Street, stated she is concerned about maintaining the clarity of the lake. Mrs. Patton wants to make sure that test drives and anything used for cleaning will not put any substances into the lake.

Mr. Clover stated he has researched the invasive species and stated that before any boat would go into the water, the boat would be cleaned and remain out of the water for the allotted time after cleaning.

Mr. Clover stated he will test boat motors out of the water, but it is for a short period of time.

Commissioner Miller asked for clarification on why a motor would need to be run if they are only cleaning the boats and not repairing. Mr. Clover stated when you sell a boat, most customers want to see them run before purchasing. This is also good to do before putting a boat in the water so you can see if all the portions of the motor are working properly. Commissioner Miller asked about Mr. Clover's personal boats. Mr. Clover explained where his own personal boats are located.

Commissioner Schmock asked about the size of boats that would be sold at this business. Mr. Clover stated small boats and small pontoons. Commissioner Schmock asked why Mr. Clover decided to transition to a business. Mr. Clover stated he has helped so many people already and wanted to make this a legit business.

Commissioner Marshall asked if there is a lake association and a public access. Mr. Clover stated there is no lake association or a public access on Cantlin Lake.

Commissioner Marshall motioned to close the public hearing at 7:55 pm. Commissioner Schmock seconded. All in favor. Motion carried.

Commissioner Miller asked if a condition could be added to not store boats over the winter months. City Planner Licht stated the Planning Commission could amend a condition that would state no boats should be stored or displayed in the display area between October 1st to May 1st.

Commissioner Marshall asked about amending a condition to control the number of boats and size of the boats on the property. City Planner Licht stated the Planning Commission can consider the number of boats on the property.

City Planner Licht asked the applicant, Mr. Clover, about the boat access on their property. Mr. Clover stated the access was there when they purchased the property and it was improved in 2017. City Planner Licht asked if there was a permit for this. Mrs. Clover stated there was.

Chair Mattson asked to discuss business hours. Mr. Clover stated that Mrs. Clover would be washing and cleaning the boats during the day. Mr. Clover would be showing boats after 6 pm by appointment.

Commissioner Marshall motioned to approve the Interim Use Permit for Johnathan Clover, 28213 128th Street, subject to the ten conditions as amended. Commissioner Miller seconded. All in favor. Motion carried.

New Business:

Second Driveway review for 29010 100th Street

The Second Driveway application for Jeff Luebesmier (29010 100th Street) is under review with the Planning Commission. City Engineer, Sam Jochum, from Hakanson Anderson reviewed the second driveway and stated that based on Ordinance 100, this property would not qualify for a second driveway access as 100th street is a collector road. However, based on the average daily traffic, Hakanson Anderson is not opposed to the City Council accepting this second driveway application.

The Planning Commission asked what the distance between the driveway and the second driveway is and what the ordinance states. City Planner Licht stated the zoning ordinance states 75 feet between any two driveways.

Commissioner Miller asked if other residents would add accesses on this road if there would be a problem in the future. Engineer Shane Nelson stated the number of accesses is not going to affect the mobility on the roadway and will not significantly change the character of the road.

Commissioner Schmock motioned to approve the Second Driveway for 29010 100th Street. Commissioner Marshall seconded. All in favor. Motion carried.

Discuss stormwater management with City Engineer

City Engineer, Sam Jochum and Shane Nelson from Hakanson Anderson discussed stormwater management with the Planning Commission.

Shane Nelson stated the MPCA has stormwater requirements which require construction of infiltration basins in new developments. Baldwin naturally infiltrates the stormwater because the soil is so sandy. Shane stated that you cannot see what is going on underground, it is someone's best guess.

Commissioner Marshall asked if the City of Baldwin should be concerned about the future of the water table. Shane Nelson stated the water table will vary. In general, Baldwin has sandy soils that retain water. Precipitation will also impact the ground water. Shane Nelson stated there is no concern for the water table in Baldwin at this time.

City Planner Licht stated the density in Baldwin is significantly lower than what you would see in the rest of Sherburne County. There are also very few parcels remaining that can be subdivided. The pace of development in Baldwin is not as close to what other cities are developing.

Accept Resignation for William McGowan

Commissioner William McGowan submitted a resignation letter on June 17, 2025 effective immediately.

Commissioner Marshall motioned to approve William McGowan's resignation. Commissioner Schmock seconded. All in favor. Motion carried.

Consider recommendations for appointment to the Planning Commission

The Planning Commission has three vacancies. Interviews were conducted at the Special Planning Commission meeting on June 18, 2025. The commissioners discussed applicant interviews.

Chair Mattson motioned to recommend Teresa Barnes for Seat B, Abby Newland for Seat E, and Edward Stofferahn for Seat G. Commissioner Schmock seconded. All in favor. Motion carried.

Old Business: None.

City Council Liaison Update:

Mayor Swanson updated the Planning Commission on recent City Council discussions.

Commissioner Update:

Commissioner Schmock will be absent for the July 23, 2025 regular Planning Commission meeting due to a conference from July 21, 2025 through July 25, 2025.

City Staff Update:

City Planner Licht updated the Planning Commission on future meeting agenda items.

Miscellaneous Information and Communications: None.

Adjourn:

Commissioner Marshall motioned to adjourn the June 25, 2025 Planning Commission meeting at 9:11 pm. Commissioner Miller seconded. All in favor. Motion carried.

Submitted by: Kayla Nielsen
Deputy Clerk/Treasurer

Approved by: Clarence Mattson
Chair

Date

Attendees: Rosemarie Walker, Council Member Alan Walker, Ed Stofferahn, Tim Derrick, Brian Erickson, Peggy Patton, Megan and John Clover, Jeff Knutson, Caroline and Dan Jaeger.



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Baldwin Planning Commission

FROM: D. Daniel Licht

DATE: 17 July 2025

120 DAY DATE: 27 September 2025

RE: Baldwin – AT&T Tower CUP (PID 01-00025-3000)

BACKGROUND

The Town Board on 15 May 2023 approved a Conditional Use Permit application for AT&T Mobility to construct a personal wireless services facility at 28829 104th Street. The subject site is a 77.59 acre parcel located east of 104th Street (CSAH 19) and south of 289th Avenue (CSAH 28). Section 900-4-9 of the Zoning Ordinance requires that a Conditional Use Permit be utilized within one year from the date of approval. As a building permit for the proposed tower was not issued within one year from the date of approval, the Conditional Use Permit is void. Buell Consulting has submitted application, on behalf of AT&T Mobility, to reissue the Conditional Use Permit to proceed with the planned tower installation. The process for reissuance of a Conditional Use Permit is the same as for the initial application set forth by Section 900-4-5 of the Zoning Ordinance, which entails review by the Planning Commission at a public hearing and approval of the City Council. A public hearing to consider the reissuance of the Conditional Use Permit has been noticed for the Planning Commission meeting on 23 July 2025.

Exhibits:

- Site Location Map
- Narrative dated May 30, 2025 (5 pages)
- Service Analysis (5 pages)
- Civil plans (27 sheets)
- Draft Findings of Fact & Recommendation

ANALYSIS

Comprehensive Plan. The Comprehensive Plan guides the subject site for rural uses. Communications towers are regarded similarly to utilities for the purposes of zoning regulations and allowed as an incidental land use activity. Allowance of communications towers provides services necessary for residents and businesses in the area as well as transient users along the US Highway 169 corridor. The proposed communication tower is consistent with the policies of the Comprehensive Plan.

Zoning. The subject site is zoned R1, General Rural District. Communication towers are allowed within the R1 District subject to the provisions of Chapter 27 of the Zoning Ordinance. Section 900-27-7.A.2.b of the Zoning Ordinance requires issuance of a Conditional Use Permit for a free standing tower up to a height of 175 feet.

Portions of the subject site are within the S, Shoreland Overlay District of Sandy Lake to the southeast. However, the proposed location of the tower and ground mounted equipment is more than 1,000 feet from Sandy Lake. Therefore, the S District regulations do not apply to the proposed development.

Surrounding Uses. The area surrounding the subject site is guided by the Comprehensive Plan for rural uses and zoned R1 District. The proposed tower is located on the eastern portion of the site with existing unplatted parcels developed with single family dwellings to the north, east, and south. The closest residential dwelling on an adjacent property is located on an unplatted parcel at the southeast corner of the subject site. Compliance with the performance standards of Chapter 27 of the Zoning Ordinance is required to ensure that the proposed tower can be compatible as possible with surrounding land uses.

Service Analysis. Section 900 of the Zoning Ordinance requires an applicant for construction of new communications tower to demonstrate through a service coverage analysis the need for the proposed tower location. The purpose of this requirement is to balance the need for communication services within the City (and along US Highway 169) with minimizing the number of tower locations and promoting co-location on existing towers or structures where feasible.

The applicant has provided a coverage analysis for the proposed location based on existing towers in the area. There is a service coverage gap within the City east of US Highway 169 (and areas east of Baldwin) shown on the first analysis of existing tower locations. The second analysis illustrates the service coverage that will result from construction of the proposed facility, which mitigates the existing service gap. The final analysis shows the service coverage of the proposed communication facility without the service provided by other existing facility.

The service analysis provided by the applicant reasonably demonstrates the need for the proposed tower at the subject site as required by the Zoning Ordinance.

Lot Area. Section 900-27-2.G.1 of the Zoning Ordinance establishes a minimum lot area of 2.5 acres for construction of a tower over 35 feet in height. The 77.59 acre area of the subject site exceeds the minimum area requirement of the Zoning Ordinance.

Setbacks. Section 900-27-2.I of the Zoning Ordinance requires that the tower be located within the rear yard defined by the Zoning Ordinance when located on a property with another principal residential use. The proposed tower is located in a rear yard relative to the existing single family dwelling upon the property.

Section 900-27-5.B of the Zoning Ordinance requires that towers over 60 feet in height be located no closer than the height of the tower plus 20 feet from any residential dwelling other than a dwelling located on the same property. Section 900-27-5.C of the Zoning Ordinance further requires that the proposed tower not be located closer to a property line than the height of the tower. The proposed tower (and ground mounted equipment is more than 195 feet from the existing single family dwelling on the adjacent property at the southeast corner of the subject site and more than 175 feet from any property line.

The setbacks required by Chapter 27 of the Zoning Ordinance exceed the base setbacks required within the R1 District by Section 900-51-8 of the Zoning Ordinance.

The proposed tower and ground mounted equipment comply with the yard and setback requirements of the Zoning Ordinance.

Screening. Section 900-27-2.H of the Zoning Ordinance requires installation of fencing and landscaping to screen off-site views of the communications facility. The site plan illustrates installation of 16 trees at the outside perimeter of the fenced enclosure at 20 feet on center. The size of the trees must be specified as eight feet as required by Section 900-19-2.B.3.b of the Zoning Ordinance. Section 900-19-2.C of the Zoning Ordinance requires that all new plants to be guaranteed for 12 months from the time planting has been completed and be alive, in good health, of good quality and structural condition, and insect and disease free at the end of the warranty period or be replaced.

Access. The proposed communication facility is to be accessed via an existing driveway to 289th Avenue (CSAH 28). Use of the existing driveway for the proposed communication tower is to be subject to review and approval of Sherburne County. The driveway is shown to be improved with a 12 foot wide gravel driveway. A gravel driveway is allowed for the proposed use by Section 900-21-6.B.2.a of the Zoning Ordinance.

Design Standards. Section 900-27-3 of the Zoning Ordinance establishes design standards for proposed communication towers as follows:

- Section 900-27-3.A of the Zoning Ordinance requires that all communication towers be a monopole design. The proposed tower is a monopole design that complies with the Zoning Ordinance.

- Section 900-27-3.B of the Zoning Ordinance requires engineered plans for the proposed tower, which is indicated on the submitted plans signed by a licensed professional engineer.
- Section 900-27-3.C of the Zoning Ordinance requires use of anti-climbing measures for the proposed tower.

The proposed tower and ground mounted equipment are to be surrounded by a perimeter chain link fence that is seven feet in height with outward angled barbed wire security arms.

The monopole design of the tower does not include any climbing equipment.

- Section 900-27-3.D of the Zoning Ordinance prohibits illumination of the tower unless required by Federal aviation regulations. No lighting is included on the proposed tower.
- Section 900-27-3.E of the Zoning Ordinance requires the proposed tower to be a silver or galvanized finish. The proposed tower is to have a galvanized finish as required by the Zoning Ordinance.
- Section 900-27-3.F.2 of the Zoning Ordinance requires that towers over 125 in height make provision for co-location of two other antenna systems upon the tower. The purpose of this requirement is to minimize the need for additional towers within the community and ensure adequate access to communications. The proposed tower has the ability to accommodate two additional antenna systems in addition to AT&T Mobility's facilities.

Signs. Section 900-27-2.B of the Zoning Ordinance prohibits advertisement signs from being affixed to the proposed tower. The submitted plans detail the regulatory and safety signs to be installed with the facility, which do not include any advertising. The signage complies with the Zoning Ordinance.

Utilities. The site plan indicates extension of electric utilities to serve the proposed communication facility from 289th Avenue (CSAH 28) overlaid by a utility easement. Extension of the electric utility is to be reviewed with the Building Permit application.

Insurance. Section 900-27-2.M of the Zoning Ordinance requires that the tower owner provide evidence of insurance for \$1,000,000.00 of coverage for personal property damage. A certificate of insurance coverage has been submitted as required by the Zoning Ordinance.

Termination. Section 900-27-2.C of the Zoning Ordinance requires that unused communication equipment, including antennas, ground mounted equipment, or the tower itself, must be

removed within 12 months after operations cease. The applicant must provide documentation that the removal provision is included in the ground lease with the property owner.

Building Permit. A building permit is required to be issued prior to construction of the proposed tower or ground mounted equipment upon the subject site. The building permit application will be subject to review and approval of the City Building Official.

RECOMMENDATION

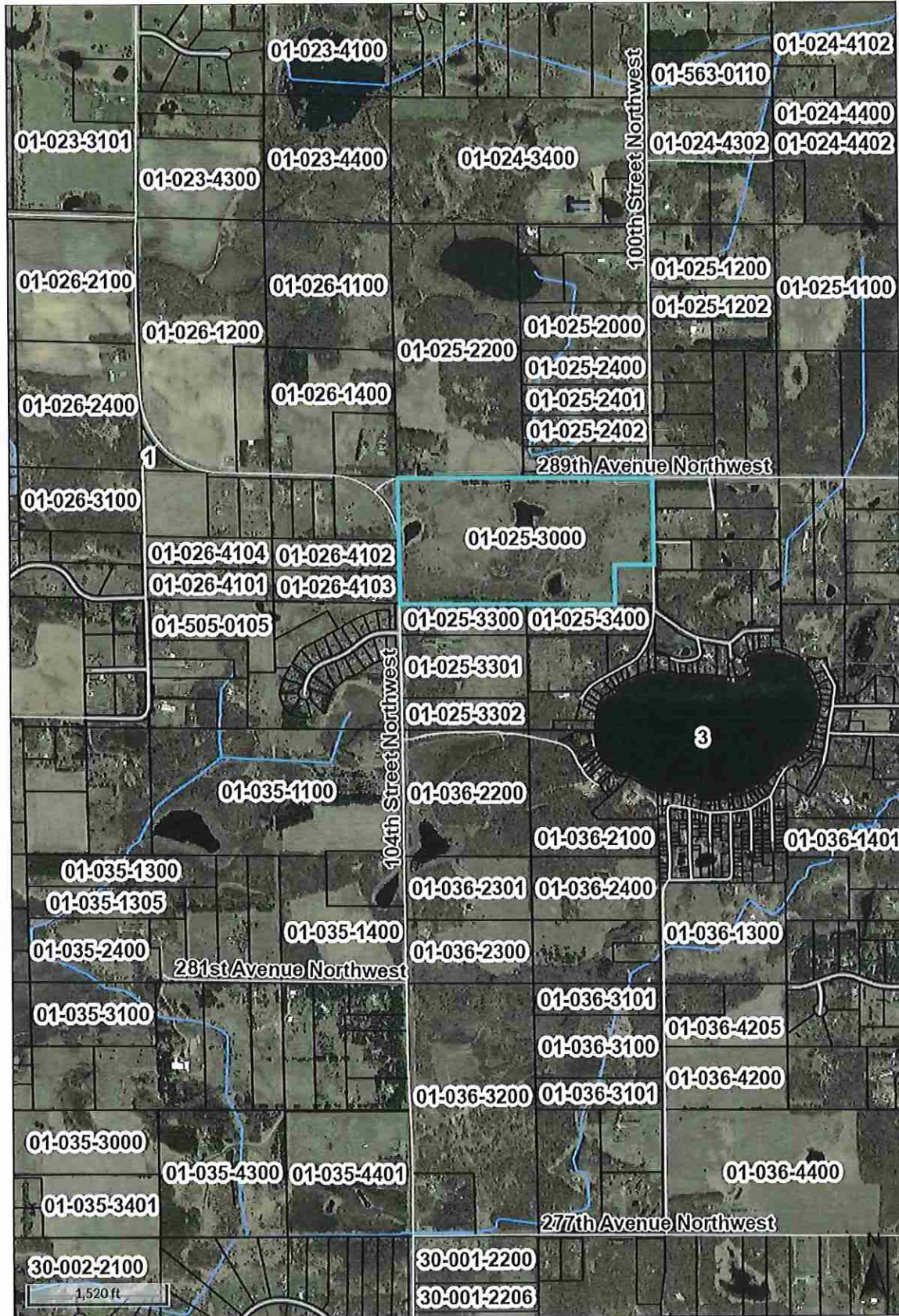
The application for a Conditional Use Permit for construction of a communications tower complies with the criteria and standards established by the Zoning Ordinance. Findings of fact supporting approval of the application have been drafted for consideration by the Planning Commission. Our office recommends approval of the application subject to the conditions stated on the findings of fact.

POSSIBLE ACTIONS

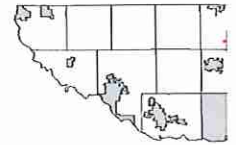
- A. Motion to **adopt findings of fact and recommend City Council approval** of a Conditional Use Permit for a communication tower for AT&T Mobility subject, subject to the following conditions.
1. The subject site shall be developed in accordance with the site and building plans submitted to the City subject to the stipulations, limitations, and conditions as approved by the City Board in accordance with Section 900-9-6 of the Zoning Ordinance.
 2. All new plants shall be guaranteed for 12 months from the time planting has been completed and be alive, in good health, of good quality and structural condition, and insect and disease free at the end of the warranty period or be replaced, subject to review and approval of the Zoning Administrator.
 3. Access to 289th Avenue (CSAH 28) shall be subject to review and approval of Sherburne County.
 4. All signs shall comply with Section 900-27-2.B of the Zoning Ordinance.
 5. The tower owner shall maintain the insurance for \$1,000,000.00 of coverage for personal property damage and provide evidence of such coverage to the Zoning Administrator annually.
 6. The applicant shall provide documentation to the Zoning Administrator that the lease for the communication facility location, including revisions or renewals, provides that any unused equipment must be removed within 12 months after operations cease.

- B. Motion to recommend the application be **denied** based on a finding that the request does not comply with criteria and standards established by the Zoning Ordinance.
- C. Motion to **table**.
- c. Joan Heinen, City Clerk/Treasurer
Andy Schreder, City Building Official
Bob Ruppe, City Attorney

Site Location Map



Overview



Legend

- Roads
- Parcels
- Streams



BUELL CONSULTING, INC.

720 Main Street, Suite 200

Saint Paul, MN 55118

(651) 361-8110

www.buellconsulting.com

SENT VIA EMAIL

May 30, 2025

Daniel Licht – Planner
City of Baldwin
30239 128th Street NW
Baldwin, MN 55371

RE: AT&T Mobility / Conditional Use Permit / PID: 01-00025-3000 / Site Name: Blue Lake

Dear Mr. Licht,

AT&T Mobility hereby requests approval of a conditional use permit for the construction of a 175' monopole in the Baldwin Township at 28829 104th Street Zimmerman, MN 55398.

A conditional use permit for this tower was previously approved by the Town Board of Supervisors on May 15, 2023 per Resolution No: 23-20.

The following lists the supplementary documentation included in the application.

Site Address: 28829 104th Street Zimmerman, MN 55398

PID: 01-00025-3000

Supplementary Documentation:

- Construction Drawings
- Photo Simulations (Attachment II)
- 1-Mile Colocation Exclusion Cap (Attachment I)
- Photo Simulations (Attachment II)
- Previous CUP

Thank you in advance for your time in reviewing our application and please do not hesitate to contact me via email or the number below with any questions or requests for further information.

Sincerely,

A handwritten signature in black ink, appearing to read "Blair Ransom".

Blair Ransom

Site Development Agent o/b/o AT&T Mobility

Phone: (612) 875-1808

Email: b.ransom@grahamredev.com



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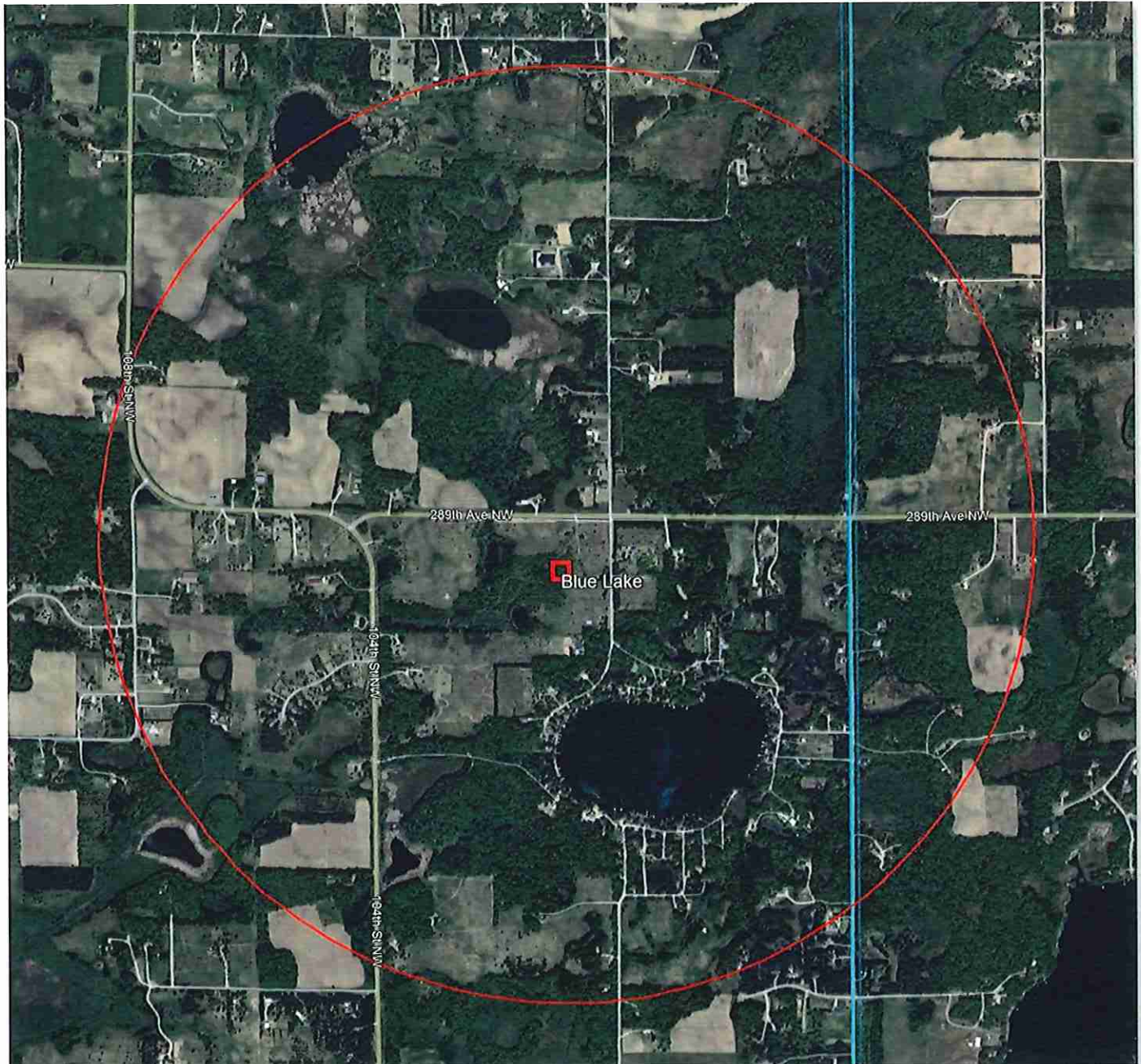
720 Main Street, Suite 200

Saint Paul, MN 55118

(651) 361-8110

www.buellconsulting.com

ATTACHMENT I – COLOCATION EXCLUSION MAP



No existing towers within a 1-mile radius.

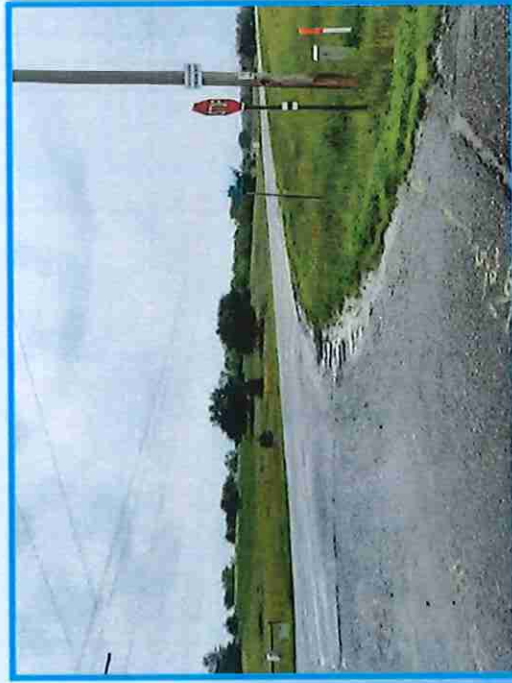
ATTACHMENT II – PHOTO SIMULATIONS



BUELL CONSULTING, INC.
720 Main Street, Suite 200
Saint Paul, MN 55118
(651) 361-8110
www.buellconsulting.com



VIEW 1



EXISTING CONDITIONS



175' OVERALL HEIGHT OF
PROPOSED STRUCTURE

(6) PROPOSED AT&T ANTENNA
2 PER SECTOR

PROPOSED TREES AROUND
PROPOSED COMPOUND FENCE

PHOTOGRAPHIC SIMULATION



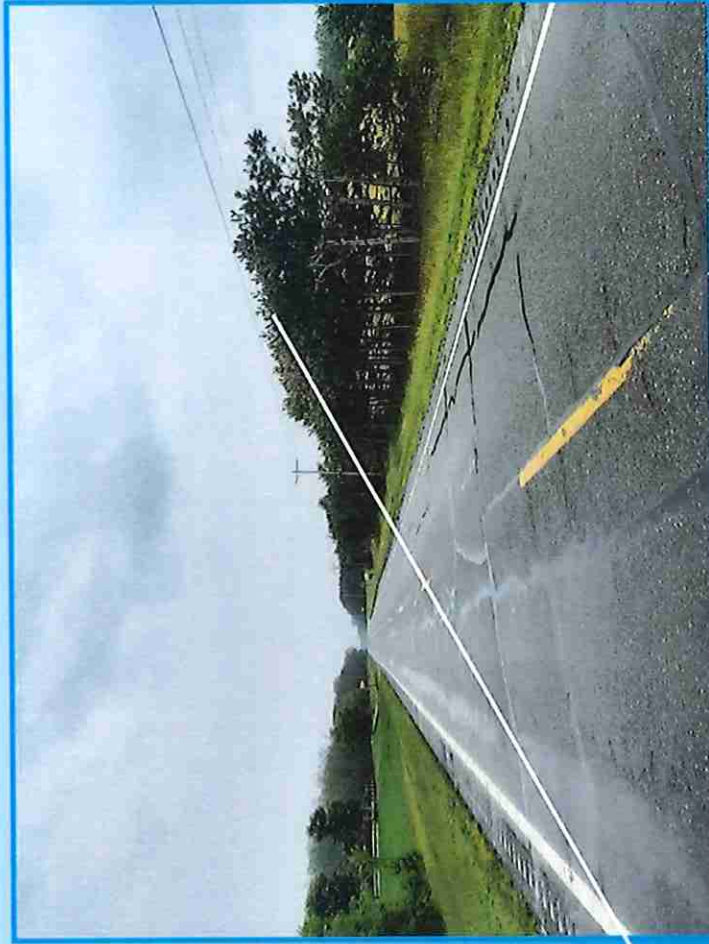
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720 Main Street, Suite 200
Saint Paul, MN 55118
(651) 361-8110
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VIEW 2



EXISTING CONDITIONS



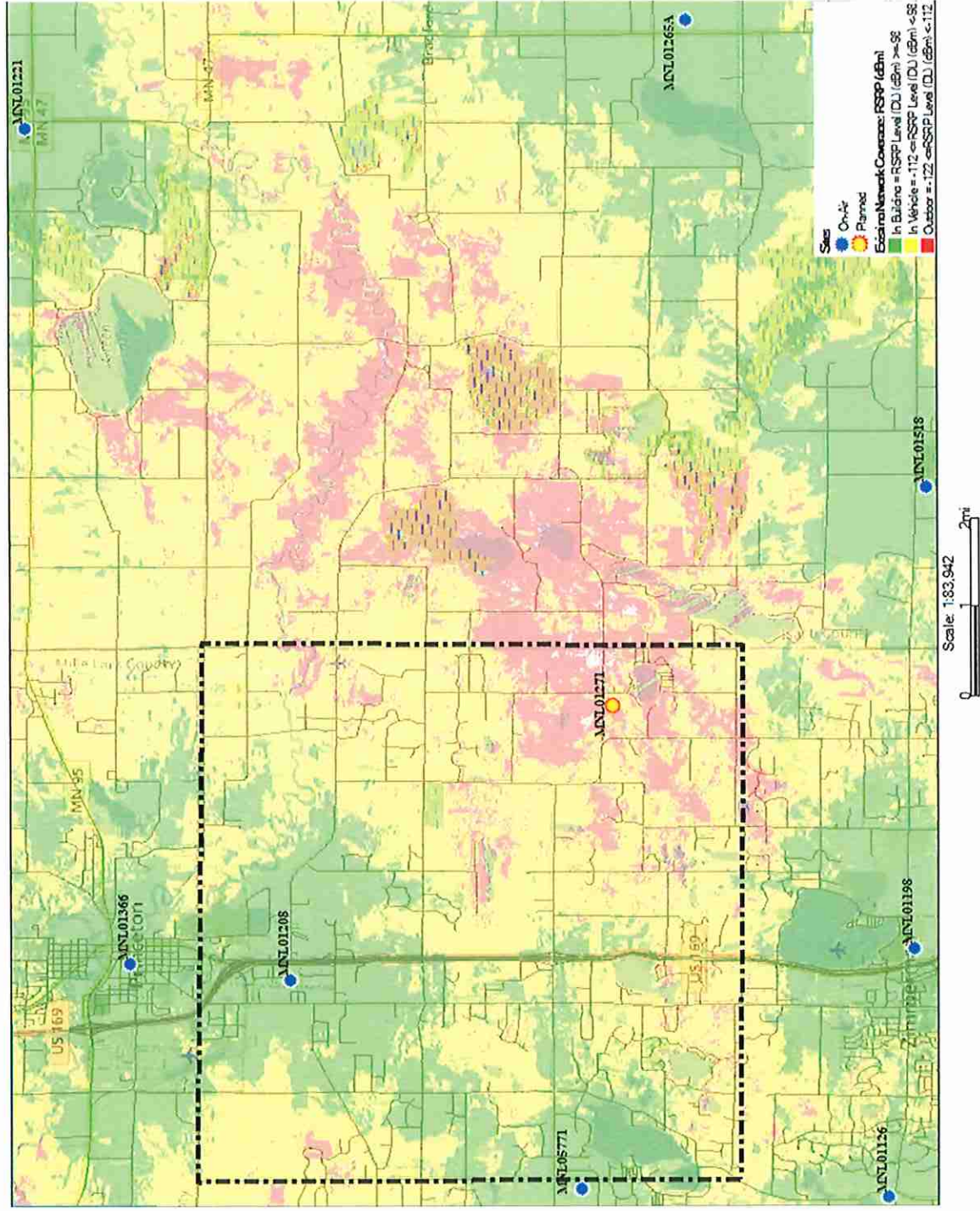
PHOTOGRAPHIC SIMULATION

(6) PROPOSED AT&T ANTENNA
2 PER SECTOR (NOT VISIBLE)

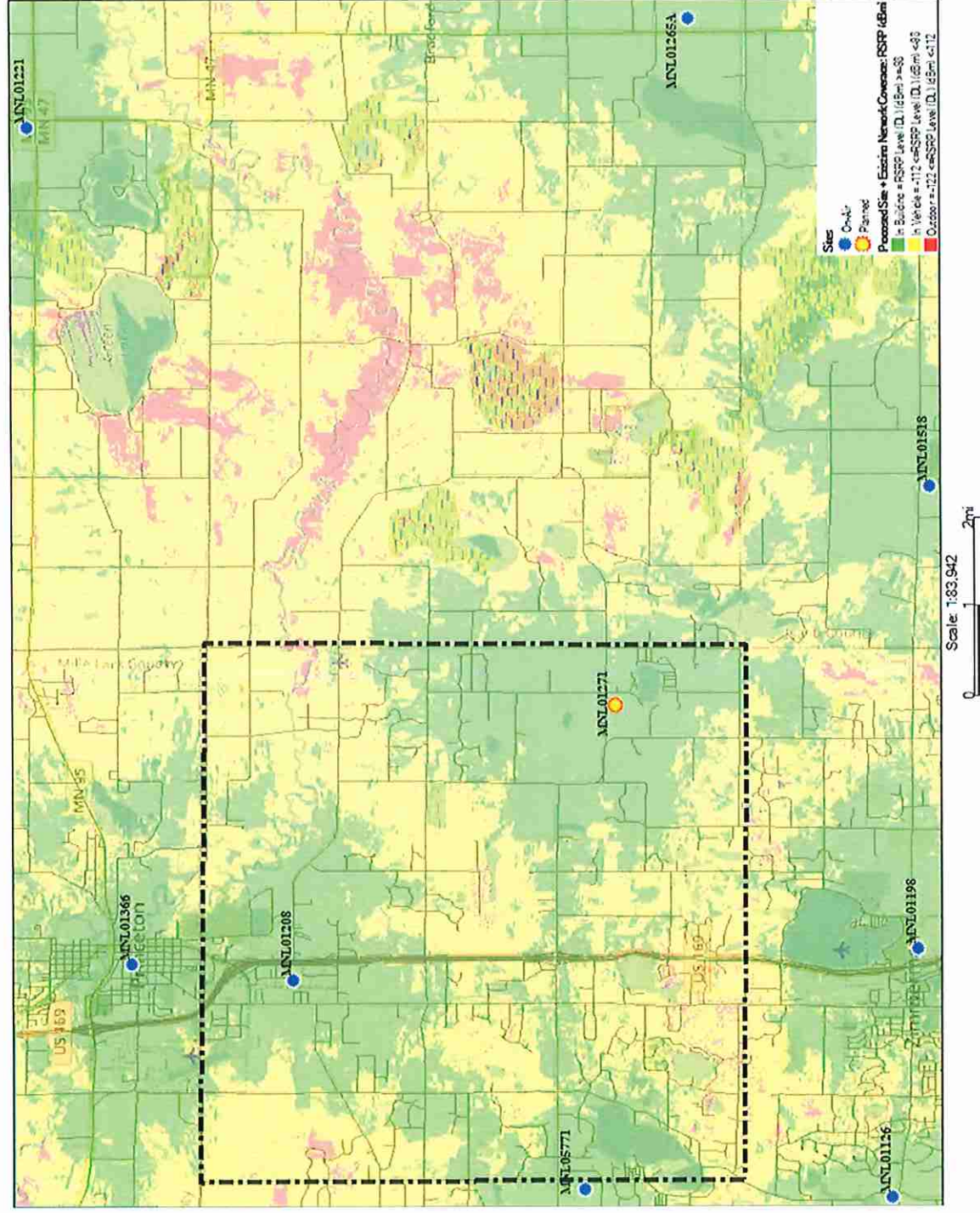
Blue Lake – Zoning Maps

- Propagation maps calculated using FirstNet 700 MHz band
- Proposed Site MNL01271 is run with a 171' rad center on a 175' tower
- Purpose of site:
 - #1 is to solve no service coverage issues around Blue Lake, Sandy Lake, and homes surrounding this site in all directions because we currently don't provide adequate signal levels to provide coverage into their homes.

Existing Coverage



Existing + Proposed Site
175' Rad Center Coverage



Baldwin Township Site List

Name	Latitude	Longitude	Status	Planned Upgrades
MNL01208	45.54447222	-93.58811111	On-Air	5G being deployed forecasted On-Air in 2023
MNL01271	45.491878	-93.523694	Planned	Proposed NSB with LTE and 5G forecasted On-air 2024

CODE COMPLIANCE ALL WORK AND MATERIALS SHALL BE PREPARED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES: 2009 MINNESOTA BUILDING CODE 2009 MINNESOTA PLUMBING CODE 2009 MINNESOTA MECHANICAL CODE 2009 MINNESOTA ELECTRICAL CODE 2009 MINNESOTA FIRE CODE		PROJECT TEAM APPLICANT: AT&T MOBILITY 1000 AVENUE S, 3RD FLOOR BLOOMINGTON, MN 55431 TEL: 612-376-1000 CN: JOHN O'BRIEN, JOHNOB@ATT.COM PROJECT MANAGEMENT: MASTEC COMMUNICATIONS GROUP DANIEL DAVIS@MASTEC.COM (612) 595-6923 CONSTRUCTION MANAGEMENT: MASTEC SOLUTIONS DANIEL DAVIS@MASTEC.COM (612) 595-3307 ARCHITECT/ENGINEERING: JOHN M. BANKS 604 FOX GLEN BLOOMINGTON, MN 55431 PHONE: (612) 377-0070 FAX: (612) 377-0070 EMAIL: JOHNBANKS@WESTCHESTER.COM	
SITE INFORMATION STRUCTURE LANDLORD: AT&T PROPERTY OWNER: GARY MALON CONTACT: GARYMALON@AT&T.COM REFS ID: 37666 PARCEL #: 05-04-151-001 CURRENT ZONING: RE EXISTING USE: RESIDUAL/COMMUNICATIONS FACILITY PROPOSED USE: RESIDUAL/COMMUNICATIONS FACILITY LATITUDE (NAD 83): 45.460357 / 45.29 31.3" LONGITUDE (NAD 83): -93.522967 / -93.31 23.9" SITE ELEVATION: 1100.5' A.M.S.L. POWER PROVIDER: COMEDUS ENERGY ACCESSIBILITY REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, ACCESSIBILITY IS NOT REQUIRED.		REFERENCE NOTES THESE PLANS WERE COMPLETED PER FINALLY APPROVED LTR DATED 01/04/2024. CONTRACTOR SHALL REQUEST CURRENT REFS & WORKBOOK FROM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION. CC SHALL REVIEW AND COMPLY WITH MASTEC NETWORK SOLUTIONS PROJECT # 15922565. GS SHALL REVIEW AND COMPLY WITH TOWER STRUCTURAL ANALYSIS DATED: T.A.D.	
ANY DEVIATION THAT DIFFERS SUBSTANTIALLY FROM WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE ENGINEER OF RECORD. NO CHANGES THAT DIFFER SUBSTANTIALLY FROM THE DRAWINGS SHALL BE MADE DURING CONSTRUCTION WITHOUT ISSUING A CHANGE ORDER. CONTACT JOHN BANKS - JBANKS@WESTCHESTER.COM			



AT&T

SITE NAME:
FA LOCATION:
SITE ADDRESS:
STRUCTURE:
USID:
IWM:

BLUE LAKE
15923585/SITE ID: MNL01271
28829 104TH STREET
ZIMMERMAN, MN 55398
175'-0" MONOPOLE
501989
WSUMW0042567 (PRIMARY), WSUMW0042563,
WSUMW0042561, WSUMW0042559, WSUMW0042562,
WSUMW0042560, WSUMW0042565, WSUMW0042566,
WSUMW0042564

VICINITY MAP



LOCAL MAP



PROJECT DESCRIPTION

INSTALLATION OF AN UNMANNED TELECOMMUNICATIONS FACILITY, BASED ON DEC10 SCOPING DATED - CONSISTING OF THE FOLLOWING SCOPE:

- ANTENNA LOCATION:**
- INSTALL:
 - (1) COMPOSITE 15M-450 8-16M ANTENNAS
 - (2) ERECTION 4800 825000A RRH
 - (3) ERECTION 4800 825000A RRH
 - (4) ERECTION 4800 825000A RRH
 - (5) ERECTION 4800 825000A RRH
 - (6) COMPOSITE SECTOR MOUNTS
 - (7) RAYCAP 004-040-34-CEM
- EQUIPMENT LOCATION:**
- INSTALL:
 - (1) JARY W.L.C. AND GENERATOR WITH CANOPY
 - (2) 15' TOWER
 - (3) 15' TOWER
 - (4) GPS ANTENNA
 - (5) 15' TOWER
 - (6) 15' TOWER
 - (7) 15' TOWER

GENERAL CONTRACTOR NOTES

DO NOT SCALE THESE DRAWINGS
THESE PLANS ARE FORMATTED TO BE FULL SIZE AT 24" X 36". CONTRACTORS SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE FOR ANALYSIS OF EXISTING AND PROPOSED COMPONENTS. REFER TO STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.
ANTENNA MOUNT ANALYSIS IS NOT WITHIN THE SCOPE OF WORK CONTAINED IN THIS DRAWING SET. FOR ANALYSIS OF MOUNT TO SUPPORT EXISTING AND/OR PROPOSED COMPONENTS, REFER TO ANTENNA MOUNT STRUCTURAL ANALYSIS PROVIDED UNDER SEPARATE COVER.

STATEMENTS

DRIVING DIRECTIONS

SCAN FOR DRIVING DIRECTIONS



811
Know what's below.
Call before you dig.
TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN MINNESOTA, CALL Gopher State ONE CALL
TOLL FREE: 1-800-252-1166 OR
FAX A LOCATE: 1-800-238-4967
www.gopherstateonecall.org
MINNESOTA STATUTE
REQUIRES MIN OF 48 HOURS
NOTICE BEFORE YOU
EXCAVATE

SHEET INDEX

- | | | | |
|-----|-----------------------------|-----|-------------------------|
| T-1 | TITLE SHEET | E-1 | OVERALL ELECTRICAL PLAN |
| 0-1 | SURVEY (4 SHEETS) | E-2 | ELECTRICAL DETAILS |
| 0-2 | GENERAL NOTES | E-3 | ELECTRICAL DETAILS |
| 0-3 | GENERAL NOTES | E-4 | COMPOUND GROUNDING PLAN |
| 0-4 | GENERAL NOTES | E-5 | GROUNDING PLANS & NOTES |
| 0-5 | GENERAL NOTES | E-6 | GROUNDING DETAILS |
| 0-7 | OVERALL SITE PLAN | E-7 | RFOS SHEETS |
| 0-8 | COMPOUND PLAN | | |
| 0-9 | EQUIPMENT PLAN | | |
| 1-1 | SITE DETAILS | | |
| 1-2 | ANTENNA PLAN | | |
| 1-3 | ANTENNA & RRH REQUIREMENTS | | |
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| 1-6 | CABINET DETAILS | | |
| 1-7 | PLATFORM AND CANOPY DETAILS | | |
| 1-8 | MOUNT DETAILS | | |



JOHN M. BANKS
ARCHITECT
BLOOMINGTON, MN 55431
TELEPHONE: 612-377-0070
FAX: 612-377-0070
EMAIL: JOHNBANKS@WESTCHESTER.COM

REV.	DATE	DESCRIPTION
0	06/13/23	PERMIT/CONSTRUCTION
1	06/13/23	PERMIT/CONSTRUCTION



SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FAX: 15923585
28829 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

ICE BRIDGE / CABLE TRAY

MATCH LINE	—
GROUND CONDUCTOR	—
OVERHEAD SERVICE CONDUCTORS	—
TELEPHONE CONDUIT	—
POWER CONDUIT	—
CANAL CABLE	—
CHAIN LINK FENCE	X — X
WOOD FENCE	—
(C) DISTING EQUIPMENT	—
(N) EQUIPMENT TO BE REMOVED	—
(N) EQUIPMENT TO BE INSTALLED	—
(R) EQUIPMENT RELOCATED	—

SHEET TITLE

GENERAL NOTES

QUESTIONS

GN-1

SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FAX: 15923585
28829 104TH STREET
ZIMMERMAN, MN 55398

7. I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED ARCHITECT UNDER THE LAWS OF THE STATE OF MISSISSIPPI.

JOHN M. BANKS
ARCHITECT
BANKS ARCHITECT, LLC
10010
TELEPHONE: 947-277-0070
FAX: 947-277-0070
EMAIL: JMBANKS@BANKSARCHITECT.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	10/17/23	POWER/CONSTRUCTION PER
2	10/17/23	POWER/CONSTRUCTION PER

NOT FOR CONSTRUCTION PERMITS
UNLESS SPECIFICALLY NOTED

SITE NUMBER: MND1271
SITE NAME: BLUE LAKE
FAX: 15923595
28829 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE

GENERAL NOTES

SHEET NUMBER
GN-2

ALERTING SIGN (FOR CELL SITE BATTERIES)

ALERTING SIGN (FOR DIESEL FUEL)

ALERTING SIGN (FOR PROPANE)

GENERAL SIGNAGE GUIDELINES

Structure Type	INFO SIGN #1	INFO SIGN #2	INFO SIGN #3	INFO SIGN #4	Striping	NOTICE SIGN	CAUTION SIGN
Towers							
Monopole/Monopole/Monopole	entrance gates, shelter doors OR on the exterior cabinets	climbing side of the Tower or	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			At the height of the first climbing step, mm, 9ft above ground
SCE Towers / Towers with high voltage	entrance gates, shelter doors OR on the exterior cabinets	climbing side of the Tower or	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			At the height of the first climbing step, mm, 9ft above ground
Light Poles / Flag Poles	entrance gates, shelter doors OR on the exterior cabinets	on the pole, no less than 3ft below the Antenna and no less than 9ft above ground	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			
Utility Wood Poles (UP)	entrance gates, shelter doors OR on the exterior cabinets	on the pole, no less than 3ft below the Antenna and no less than 9ft above ground	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			If GPM value of MPE at antenna level is: 0-99%: Notice sign; over 99%: Caution sign at no less than 3ft below antenna and 9ft above ground
Microcells mounted on non-UP poles	entrance gates, shelter doors OR on the exterior cabinets	on the pole, no less than 3ft below the Antenna and no less than 9ft above ground	On backside of Antennas	entrance gates, shelter doors OR on the exterior cabinets			Notice or Caution sign at no less than 9ft above ground; only if the exposure exceeds 90% of the General Public exposure at 6ft above ground or at outside surface of adjacent buildings
Roof Tops							
At all access points to the roof	X			X			
On Antennas	X		X	X			
Concealed Antennas	X	X		X			
Antennas mounted facing outside the building	X	X		X			
Antennas on support structure	X	X		X			
Roofview Graph		adjacent to each antenna					
Radiation area is within 3ft from antenna	X	adjacent to each antenna		X	diagonal, yellow striping as to Roofview graph		other Notice or Caution sign (based on Roofview results) at antennas/barrier
Radiation area is beyond 3ft from antenna	X	adjacent to each antenna		X			Caution sign at the antennas
Church Steeples							
Access to steeple	X	adjacent to each antenna if antennas are concealed	On backside of Antennas	Access to steeple			Caution sign below info sign #1, mm, 9ft above ground
Water Stations							
Access to ladder	X	adjacent to each antenna if antennas are concealed	On backside of Antennas	Access to ladder			Caution sign below info sign #1, mm, 9ft above ground

Notes for Roofing sheet:

1. Either NOTICE or CAUTION signs need to be posted at each sector as close as possible to the outer edge of the striped off area or the outer antennas of the sector.
2. If Roofview shows: only blue = Notice Sign, blue and yellow = Caution Sign, only yellow = Caution Sign to be installed.
3. Should the required striping area interfere with any structures or equipment (A/C, vents, roof hatch, doors, other antennas, dishes, etc.), please notify AT&T to modify the striping area, prior to starting the work.

INFO SIGN #3

SIGNAGE GUIDELINES CHART

INFO_SIGN_#1

INFO_SIGN_#2

INFO_SIGN_#3

STAY BACK 3 FEET FROM ANTENNA

AT&T



JOHN M. BANKS
ARCHITECT
804 FOX GLEN
BARRINGTON, IL 60010
TELEPHONE: 847-277-0070
FAX: 847-277-0070

REVISIONS				
REV.	DATE	DESCRIPTION	BY	DATE
0	06/13/20	PERMIT/CONSTRUCTION	RA	
1	06/22/20	PERMIT/CONSTRUCTION	JS	
NOT FOR CONSTRUCTION UNLESS LABELLED AS CONSTRUCTION SET				

IT IS A VIOLATION OF LAW FOR ANY PERSONAL, UNLAWFUL, OR ILLEGAL ACTS TO BE COMPLETED UNDER THE AUTHORITY OF A DESIGNATED DOCUMENT. THE SIGNATURE OF THE ALIAS MUST BE DOCUMENTED.

JOHN M. BANKS #66379

RECEIVED MAY 10 1975

U.S. DEPT. OF JUSTICE

6/2/75

7 HONORARY CHARTER THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO BE USED IN THE FURTHERANCE OF THE GOALS OF THE UNITED STATES OF AMERICA.

SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FA#: 15923585
28829 104TH STREET
ZIMMERMAN MN 55398

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-3

L. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR / CM - SMARTLUX
SUB-CONTRACTOR - PER TRACE

- ORDER - ATB7
1. SITE WORK OF APPLICABLE SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE ADVISED HOW AND ARE NOT TO BE SEALED AND ARE INTENDED TO EXPOSE THE DESIGN INTENT OF THE INSTALLATION.
3. ALL MATERIALS SUBMITTED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL USE ALL APPROPRIATE NOTICES AND PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LOCAL ORDINANCES OF ANY JURISDICTION REGARDING THE PERFORMANCE OF THE WORK.
4. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
5. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL DOCUMENT AND PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE CONTRACTOR.
6. CONTRACTOR / SUBCONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY THE INSTALLATION.
7. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS SHALL BE VERIFIED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LOCAL ORDINANCES. CONTRACTOR SHALL VERIFY UTILITIES MAINTAINED AND OVERSEEN UTILITIES PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL REPAIR ANY UTILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION AND COMPENSATE ANY PARTIES NOT INVOLVED THEREIN.
- a. N/A
- b. N/A
- c. N/A
- d. SUBCONTRACTOR SHALL LOCALLY AND PROPERLY REMOVE OF ALL EXISTING MATERIALS SUCH AS CONCRETE

ALL INFORMATION ON THIS FORM IS UNCLASSIFIED DATE 06-01-2001 BY 60322 UCBAW/MLP/STP

1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 220. 221. 222. 223. 224. 225. 226. 227. 228. 229. 230. 231. 232. 233. 234. 235. 236. 237. 238. 239. 240. 241. 242. 243. 244. 245. 246. 247. 248. 249. 250. 251. 252. 253. 254. 255. 256. 257. 258. 259. 260. 261. 262. 263. 264. 265. 266. 267. 268. 269. 270. 271. 272. 273. 274. 275. 276. 277. 278. 279. 280. 281. 282. 283. 284. 285. 286. 287. 288. 289. 290. 291. 292. 293. 294. 295. 296. 297. 298. 299. 300. 301. 302. 303. 304. 305. 306. 307. 308. 309. 310. 311. 312. 313. 314. 315. 316. 317. 318. 319. 320. 321. 322. 323. 324. 325. 326. 327. 328. 329. 330. 331. 332. 333. 334. 335. 336. 337. 338. 339. 340. 341. 342. 343. 344. 345. 346. 347. 348. 349. 350. 351. 352. 353. 354. 355. 356. 357. 358. 359. 360. 361. 362. 363. 364. 365. 366. 367. 368. 369. 370. 371. 372. 373. 374. 375. 376. 377. 378. 379. 380. 381. 382. 383. 384. 385. 386. 387. 388. 389. 390. 391. 392. 393. 394. 395. 396. 397. 398. 399. 400. 401. 402. 403. 404. 405. 406. 407. 408. 409. 410. 411. 412. 413. 414. 415. 416. 417. 418. 419. 420. 421. 422. 423. 424. 425. 426. 427. 428. 429. 430. 431. 432. 433. 434. 435. 436. 437. 438. 439. 440. 441. 442. 443. 444. 445. 446. 447. 448. 449. 450. 451. 452. 453. 454. 455. 456. 457. 458. 459. 460. 461. 462. 463. 464. 465. 466. 467. 468. 469. 470. 471. 472. 473. 474. 475. 476. 477. 478. 479. 480. 481. 482. 483. 484. 485. 486. 487. 488. 489. 490. 491. 492. 493. 494. 495. 496. 497. 498. 499. 500. 501. 502. 503. 504. 505. 506. 507. 508. 509. 510. 511. 512. 513. 514. 515. 516. 517. 518. 519. 520. 521. 522. 523. 524. 525. 526. 527. 528. 529. 530. 531. 532. 533. 534. 535. 536. 537. 538. 539. 540. 541. 542. 543. 544. 545. 546. 547. 548. 549. 550. 551. 552. 553. 554. 555. 556. 557. 558. 559. 560. 561. 562. 563. 564. 565. 566. 567. 568. 569. 570. 571. 572. 573. 574. 575. 576. 577. 578. 579. 580. 581. 582. 583. 584. 585. 586. 587. 588. 589. 590. 591. 592. 593. 594. 595. 596. 597. 598. 599. 600. 601. 602. 603. 604. 605. 606. 607. 608. 609. 610. 611. 612. 613. 614. 615. 616. 617. 618. 619. 620. 621. 622. 623. 624. 625. 626. 627. 628. 629. 630. 631. 632. 633. 634. 635. 636. 637. 638. 639. 640. 641. 642. 643. 644. 645. 646. 647. 648. 649. 650. 651. 652. 653. 654. 655. 656. 657. 658. 659. 660. 661. 662. 663. 664. 665. 666. 667. 668. 669. 670. 671. 672. 673. 674. 675. 676. 677. 678. 679. 680. 681. 682. 683. 684. 685. 686. 687. 688. 689. 690. 691. 692. 693. 694. 695. 696. 697. 698. 699. 700. 701. 702. 703. 704. 705. 706. 707. 708. 709. 710. 711. 712. 713. 714. 715. 716. 717. 718. 719. 720. 721. 722. 723. 724. 725. 726. 727. 728. 729. 730. 731. 732. 733. 734. 735. 736. 737. 738. 739. 740. 741. 742. 743. 744. 745. 746. 747. 748. 749. 750. 751. 752. 753. 754. 755. 756. 757. 758. 759. 760. 761. 762. 763. 764. 765. 766. 767. 768. 769. 770. 771. 772. 773. 774. 775. 776. 777. 778. 779. 780. 781. 782. 783. 784. 785. 786. 787. 788. 789. 790. 791. 792. 793. 794. 795. 796. 797. 798. 799. 800. 801. 802. 803. 804. 805. 806. 807. 808. 809. 810. 811. 812. 813. 814. 815. 816. 817. 818. 819. 820. 821. 822. 823. 824. 825. 826. 827. 828. 829. 830. 831. 832. 833. 834. 835. 836. 837. 838. 83

1. SUB-CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR OBTAINING OF NECESSARY AND CONTINUOUS PERMISSION ON SITE, ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE COVERED BY THE SUB-CONTRACTOR WITH NO EXPENSE TO THE OWNER.

2. SUB-CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND

OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE WILL BE THE RESPONSIBILITY OF THE SUB-CONTRACTOR AND COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE SUB-CONTRACTORS EXPENSE.

PAINTING AND DRAPAGE
EST. 1900.

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6. SETBACKS

A. CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION.

- [illegible]

A. BEFORE CONSTRUCTION IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, SUBMIT TWO COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD. IF A LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, PROVIDE AN ITEMIZED LISTING OF PROPOSED COSTS ON NURSERY LETTERHEAD (SEE THE

1. MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STABILIZED.
2. MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER
3. LANDSCAPING WARRANTY STATEMENT.

A. IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND RESTORE AREA AS CLOSE TO ORIGINAL

- b. SOIL STABILIZATION APPLICATION TO GUARANTEE VEGETATION FREE ROAD AND SITE AREAS FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- c. DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS COVER PRIOR TO FINAL INSPECTION. LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL INSPECTION.

1. MATERIALS

- TOTAL LBS. PRODUCT 910 EPA 10285-7
 TOTAL LBS. PRODUCT 910 EPA 10285-7
 PULVERULE CONDUCTOR EPA REGISTERED
 PULVERULE CONDUCTOR EPA REGISTERED
 PULVERULE INDUSTRIAL PRODUCTS 1435 MORRIS AVE. LAMAR, MO 67003
 (800) 520-4828
 B. THE MANUFACTURER SHALL COMPLY WITH THE INSPECTIONAL AND MATERIAL QUALITY REQUIREMENTS OF THE FEDERAL BUREAU OF INVESTIGATION AND SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF ENERGY AND TRANSPORTATION STANDARD SPECIFICATIONS.
 C. SOL. STABILIZER FIBER SHALL BE 18WAT - 800G.
 PART 7 - SPECIFICATIONS

LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURING, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.

2. PREPARATION
- a. CLEAR TRUCK BRUSH AND DEBRIS FROM LEASE AREA. ACCESS DRIVE BY TURN-AROUND AND UNDER
- b. OBTAIN UTILITY LOCATIONS FROM CITY ENGINEER. LOCATE AND MARK ALL UTILITIES OCCUPANCY AND
- c. OBTAIN PERMITS FOR CONSTRUCTION OF MATERIALS TO A MINIMUM OF SIX (6) INCHES BELOW GRADE.
- d. OBTAIN CONTRACTS FROM CONTRACTOR, TRANSPORT ALL REQUIRED TOOLS, BRUSH AND DEBRIS
- e. REMOVE OBSTRUCTIONS RESTRICTED BY CONTRACTOR, TRANSPORT ALL REQUIRED TOOLS, BRUSH AND DEBRIS
- f. FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
- g. PLACE TO PLACEMENT OF FILL OR FILL MATERIAL.
- h. PLACE TO PLACEMENT OF FILL OR FILL MATERIAL.
- i. PLACE TO PLACEMENT OF FILL OR FILL MATERIAL.

A. GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE W/ TURBIDINO AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPILLS, RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND

- [illegible]

4. FIELD QUALITY CONTROL

- [illegible]

TEACHING

1. FILL MATERIAL SHALL BE OBTAINED TO THE MAXIMUM EXTENT POSSIBLE FROM EXCAVATIONS ON SITE. THE STRUCTURAL FILL SHALL BE SAND AND SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND SHALL CONFORM TO LOCAL CONCERNING ASSOCIATION AND UTILITY COMPANY REQUIREMENTS. THE FILL MATERIAL SHALL CONTAIN NO ORGANIC MATERIAL, ROCKS, OR OBSTRUCTIVE MATERIALS AND/OR MATERIALS DESIGNATED AS HAZARDOUS OR INDUSTRIAL BY THE EPA. THE FILL MATERIAL SHALL CONTAIN PRICES SUFFICIENT TO FILL ALL Voids IN THE MATERIAL SHOULDER OR BORROW SOIL SHALL BE PLACED IN 6" LOOSE LIFTS.

2. SEE DETECTION AND IDENTIFICATION SUB-CONTRACTOR SHALL.

1. UTILITY WARNING TAPE. ALL UTILITY SERVICE TECHNICIANS SHALL BE MARKED WITH WARNING TAPE.

REPAIR PRESERVATION THE CONTRACTOR SHALL:

- [illegible]

ACCEILING SUB-CONTRACTOR SHALL:
PROVIDE MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO PROVIDE
SHEETING AND BRACING TO MEET OR EXCEED OSHA REQUIREMENTS.

1. NOTIFY THE CONSTRUCTION MANAGER AT LEAST 24 HOURS IN ADVANCE OF BACKFILLING. BACKFILL TRENCH WITH LIFTS UP TO 6" LOOSE MEASURE. PREVENT TRENCH FROM LATERAL MOVEMENT AND DAMAGE FROM IMPACT OR UNBALANCED LOADING TO EXISTING STRUCTURES. AVOID DISPLACEMENT OF CONDUIT AND/OR STRUCTURES. DO NOT FREE FALL BACKFILL INTO TRENCH UNTIL AT LEAST 6" OF CONCRETE IS OVER CONDUIT.

COMPACT BACKFILL TO SEE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 WITH PLUS OR MINUS .05 OF OPTIMUM MOISTURE CONTENT.

- OR STRUCTURE, REPLACE WITH APPROVED BACKFILL AND RE-COMPACT AS SPECIFIED. ANY SUBSEQUENT SETTLEMENT OF TRENCH OR STRUCTURE BACKFILL DURING THE MAINTENANCE PERIOD SHALL BE CONSIDERED THE RESULT OF IMPROPER COMPACTION AND SHALL PROMPTLY CORRECTED.

ATTACHMENT 1 - GENERAL

- WORK INCLUDED SEE PLAN FOR SITE AND LOCATION OF FORCE AND GUNTING QUALITY ASSURANCE ALL STEEL MATERIALS UTILIZED IN CONSTRUCTION SHALL BE GALVANNEED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE POLE SHALL NOT BE LESS THAN OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN CRACK & ZINC OUNCES PER SQUARE FOOT OF MATERIAL COVERED.
- REMARKS IF THE SITE AREA HAS BEEN REQUESTED UP TO SURFACE CORRELATION (PRIOR TO THE FORCE CONSTRUCTION), FORCE POST LOCATION SHOULD BE CONTROLLED TO PRECLUDE

A. MANUFACTURER'S DESCRIBING UNDERTAKE.
B. CERTIFICATE OF STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.

- A. ALL PAINTS, OILS, HANDMADE, AND OTHER STEEL MATERIALS SHALL BE NOT-CORROD DAMAGED.
- B. PAINTS SHALL BE A POLYMER-BASED PAINT FOR PROTECTING STEEL FROM CORROSION. THE SPECIFICATIONS OF LEAF A-100 SHALL BE USED FOR THE PAINTS. PAINTS SHALL CONFORM TO THE REQUIREMENTS OF LEAF A-100.
- C. 1/2" DIA. CLAVE TREATED WITH 14-GAUGE, 4-PORT.
- D. HOLLOW BARS WELDED ON PRO-ROD CENTERS.
- E. ALL WELDED JOINTS SHALL BE WELDED TO THE REQUIREMENTS OF LEAF A-100.
- F. 1/2" DIA. WIRE SHALL BE WELDED TO THE REQUIREMENTS OF LEAF A-100.
- G. ALL WELDED JOINTS SHALL BE WELDED TO THE REQUIREMENTS OF LEAF A-100.
- H. ALL WELDED JOINTS SHALL BE WELDED TO THE REQUIREMENTS OF LEAF A-100.
- I. ALL WELDED JOINTS SHALL BE WELDED TO THE REQUIREMENTS OF LEAF A-100.
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- S. ALL WELDED JOINTS SHALL BE WELDED TO THE REQUIREMENTS OF LEAF A-100.
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- Y. ALL WELDED JOINTS SHALL BE WELDED TO THE REQUIREMENTS OF LEAF A-100.
- Z. ALL WELDED JOINTS SHALL BE WELDED TO THE REQUIREMENTS OF LEAF A-100.

1. GATE HANDS SHALL BE MERCHANTS METAL MODEL GATES HERE ADAPTED WITH MODEL 8000, 180-DEGREE ATTACHMENT.
4. THE GLIDE (LATCH ASSEMBLY) SHALL BE HEAVY INDUSTRIAL DOUBLE GATE LATCH SEE DETAIL.

- [illegible]

JOHN M. BANKS
ARCHITECT
10000
BANKS
TEL: 651-277-0070
FAX: 651-277-0070
EMAIL: JMBANKS@WESTCHESTERVILL.COM

| REV. | DATE | DESCRIPTION |
|------|----------|---------------------|
| 1 | 06/27/79 | PERMIT/CONSTRUCTION |
| 2 | 06/27/79 | PERMIT/CONSTRUCTION |

NOT FOR CONSTRUCTION UNLESS
Labeled as Construction Set

IT IS A VIOLATION OF LAW TO REPRODUCE OR TRANSMIT ANY PART OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED.

JOHN M. BANKS
#26379
06/27/79

SITE NUMBER: MND1271
SITE NAME: BLUE LAKE
FAX: 15923585
28225 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE

GENERAL NOTES

SHEET NUMBER
GN-4

3. PLACING CONCRETE

A. VIBRATE ALL CONCRETE.

B. ALL CONCRETE WORK SHALL ADHERE TO THE LATEST A.C.I. STANDARDS FOR WATER PROOFING AND CURING PROCEDURES IF SEASONAL CONDITIONS APPLY.

C. CURE.

D. AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING.

E. MAINTAIN CONCRETE WITH MINIMUM WETNESS LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD ACCORDANT FOR CURE AND HARDENING OF CONCRETE.

F. PROVIDE HAND RUBBED SMOOTH FINISH TO ALL EXPOSED VERTICAL FORMED CONCRETE SURFACES.

G. FIELD QUALITY CONTROL.

H. REMOVE ONE (1) EXTERNAL TEST CYLINDER - THREE DAYS IS ONE YEAR OF USE. SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE WITH A.C.I. 308.1 AND 308.2.

I. SUBMIT ONE (1) INTERNAL TEST CYLINDER - THREE DAYS IS ONE YEAR OF USE. SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE WITH A.C.I. 308.1 AND 308.2.

J. SUBMIT ONE (1) SLUMP TEST - THREE DAYS IS ONE YEAR OF USE. SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE WITH A.C.I. 308.1 AND 308.2.

K. EXISTING CONCRETE.

L. EXISTING CONCRETE NOT CONFORMING TO REQUIRED SPECIFICATIONS, DETAILS OR ELEVATIONS AS SHOWN ON THE DRAWINGS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR.

GENERAL ELECTRICAL NOTES:

1. ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH CONTRACTOR SPECIFICATIONS.

2. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND EQUIPMENT FROM DAMAGE TO THE EXTENT OF ALL PREVIOUS TO THE EXISTING UTILITIES. ALL UTILITIES, EQUIPMENT AND DISPOSITIONS SHALL BE A WRITTEN NOTICE OF ALL PREVIOUS TO THE EXISTING UTILITIES. ALL UTILITIES, EQUIPMENT AND DISPOSITIONS SHALL BE A WRITTEN NOTICE OF ALL PREVIOUS TO THE EXISTING UTILITIES.

3. ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY A.S.T.M., I.E.E.E., AND "C" LISTED.

4. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE DESIGNED AS REQUIRED FOR THE NEC AND ALL APPLICABLE LOCAL CODES.

5. SEPARATE, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING OF 10,000 AMP.

6. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY CONTRACTOR FOR THIS CABLE.

7. PATCH, REPAIR, AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.

8. PROVIDE CONTRACTOR WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.

9. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.

10. ALL ELECTRICAL PATCHES, CUTS AND COVERS (USED AND SHOWN) TO BE PROTECTED WITH CAPS, STEEL, WOOD, AND/OR PAINT FULL BY CONTRACTOR AS NOTED.

11. NO SPIDERS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER.

12. THE OWNER TO BE RESPONSIBLE FOR THE WORKMANSHIP OF THE LANDOWNER.

13. ALL CONTRACTOR PROVIDED MATERIALS AND EQUIPMENT SPECIFIED ON THE PROJECT SHALL BE NEW AND UNLESS OF CURRENT MANUFACTURE AND OF THE HIGHEST QUALITY.

CONCRETE

PART 1 - GENERAL

A. WORK INCLUDES FORMWORK, REINFORCEMENT, ACCESSORIES, CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.

1. INSTALLATION

A. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS REQUIRED FOR THE SCOPE OF WORK BEING PERFORMED.

B. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE CONTRACTOR CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF CONCRETE.

C. THE CONTRACTOR CONSTRUCTION MANAGER SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF THE CONCRETE POUR.

2. QUALITY ASSURANCE

A. CONTRACT AND DIRECT CONCRETE FROM WORK IN ACCORDANCE WITH A.C.I. 308 AND A.C.I. 308.1.

B. PROVIDE CONCRETE REINFORCING WORK IN ACCORDANCE WITH A.C.I. 308, A.C.I. 308.1, AND A.C.I. 308.2.

C. FORMWORK CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH A.C.I. 308, A.C.I. 308.1, AND A.C.I. 308.2.

D. SUBMITTALS

E. SUBMIT CONCRETE AND REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL BY CONTRACTOR CONSTRUCTION MANAGER/OWNER. THE SHOP DRAWINGS SHALL BE SUBMITTED IN THE FORM OF TWO (2) COPIES. ONE COPY SHALL BE SUBMITTED TO THE PROJECT MANAGER AND ONE COPY TO THE PROJECT MANAGER. THE PROJECT MANAGER SHALL BE RESPONSIBLE FOR THE SUBMITTALS.

PART 2 - PRODUCTS

A. REINFORCING STEEL, ASTM A615, 60,000 PSI YIELD STRENGTH, REINFORCING STEEL, PLAIN FINISH.

B. WELDED STEEL, REINFORCING STEEL, PLAIN FINISH, IN PLAIN FINISH, PLAIN FINISH.

C. CHAIR, BOLSTER, BAR SUPPORT, SPACER, SIZED AND SHAPED FOR SUPPORTS OF REINFORCEMENT.

D. FABRICATE CONCRETE REINFORCEMENT IN ACCORDANCE WITH A.C.I. 308, A.C.I. 308.1, AND A.C.I. 308.2.

E. CONCRETE MATERIALS

F. CONCRETE, ASTM C150, PORTLAND TYPE.

G. REINFORCING STEEL, ASTM A615, 60,000 PSI YIELD STRENGTH, REINFORCING STEEL, PLAIN FINISH.

H. REINFORCING STEEL, ASTM A615, 60,000 PSI YIELD STRENGTH, REINFORCING STEEL, PLAIN FINISH.

I. REINFORCING STEEL, ASTM A615, 60,000 PSI YIELD STRENGTH, REINFORCING STEEL, PLAIN FINISH.

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CONCRETE

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CONCRETE

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JOHN M. BANKS
ARCHITECT
604 FOX GLEN
BIRMINGHAM, AL 35210
TELEPHONE: 847-277-0070
EMAIL: JMBANKS@CSCINTERNET.COM

| REV. | DATE | DESCRIPTION | BY |
|------|----------|---------------------|----|
| 0 | 05/13/20 | PERMIT/CONSTRUCTION | BA |
| 1 | 05/27/20 | PERMIT/CONSTRUCTION | JS |
| | | | |
| | | | |

NOT FOR CONSTRUCTION UNLESS
LABELLED AS CONSTRUCTION SET



SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAX: 15923585
28829 104TH STREET
ZIMMERMAN, MN 55398

GENERAL NOTES

SHEET NUMBER
GN-5

1. ALL POWER, CONTROL AND COMMUNICATION WIRING SHALL MEET NEMA-IEC, ASTM, UL, AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP UNLESS OTHERWISE SPECIFIED.

- [illegible]

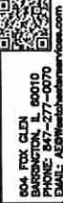
1. ALL WORK SHALL COMPLY WITH THE LATEST CONTRACTOR GUIDING SPECIFICATIONS AND REQUIREMENTS.

- [illegible]

1. ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH CONTRACTOR SPECIFICATIONS.

- [illegible]

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO OVERSEA SERVICES IS STRICTLY PROHIBITED.



JOHN M. BANKS
ARCHITECT
804 FOX GLEN
BIRMINGHAM, AL 35201
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: JMBANKS@WESTCHESTER.COM

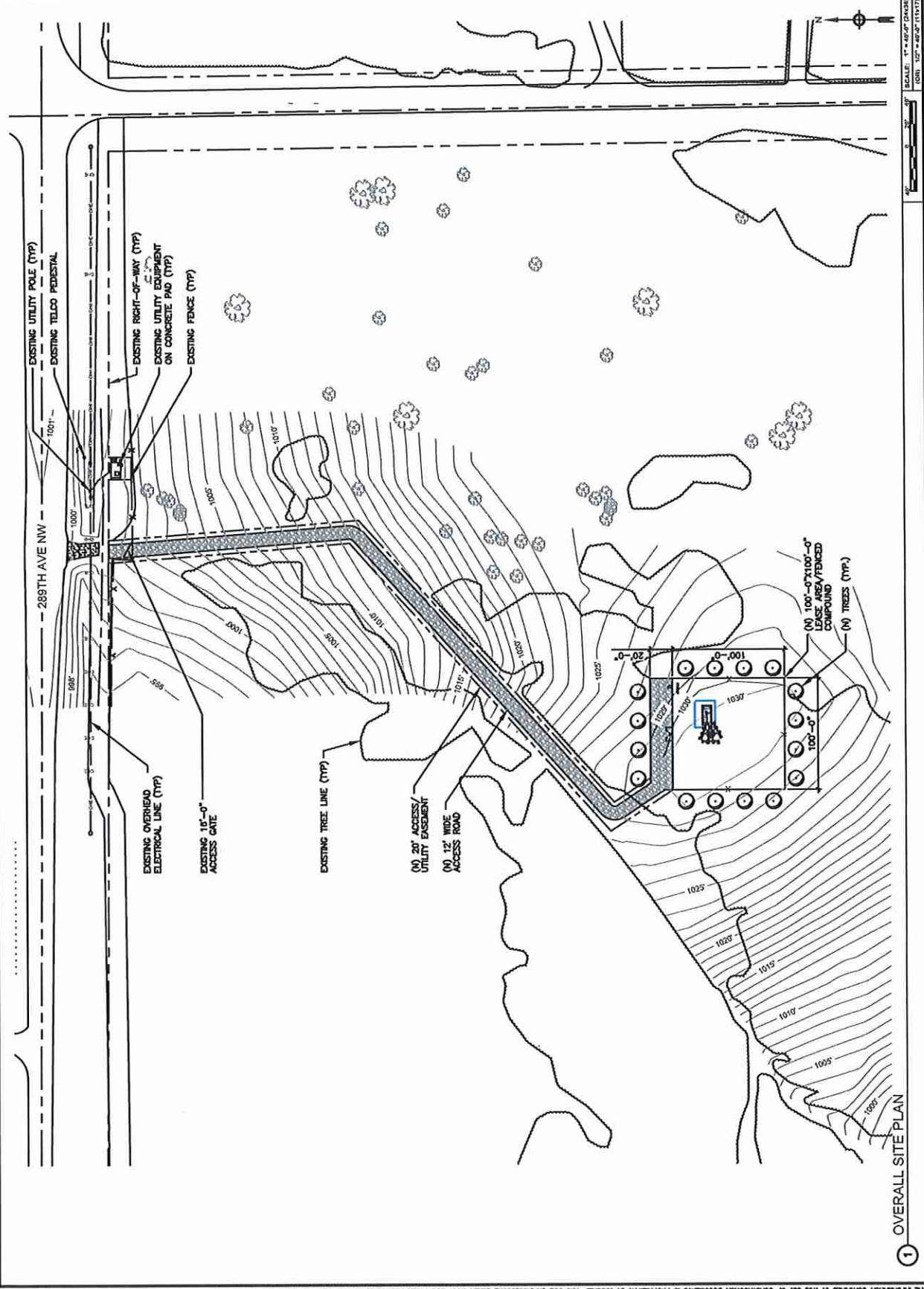
| REV | DATE | DESCRIPTION |
|-----|----------|---------------------|
| 0 | 10/15/25 | PERMIT/CONSTRUCTION |
| 1 | 10/27/25 | PERMIT/CONSTRUCTION |



SITE NUMBER: MN01271
SITE NAME: BLUE LAKE
FAX: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55398

**OVERALL
SITE PLAN**

C-1



1 OVERALL SITE PLAN



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JOHN M. BANKS
ARCHITECT
804 FOX GLN. #0010
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: JMBANKS@WESTCHESTER-SERVICES.COM

| REV. | DATE | DESCRIPTION |
|------|----------|---------------------|
| 0 | 10/13/25 | PERMIT/CONSTRUCTION |
| 1 | 10/27/25 | PERMIT/CONSTRUCTION |

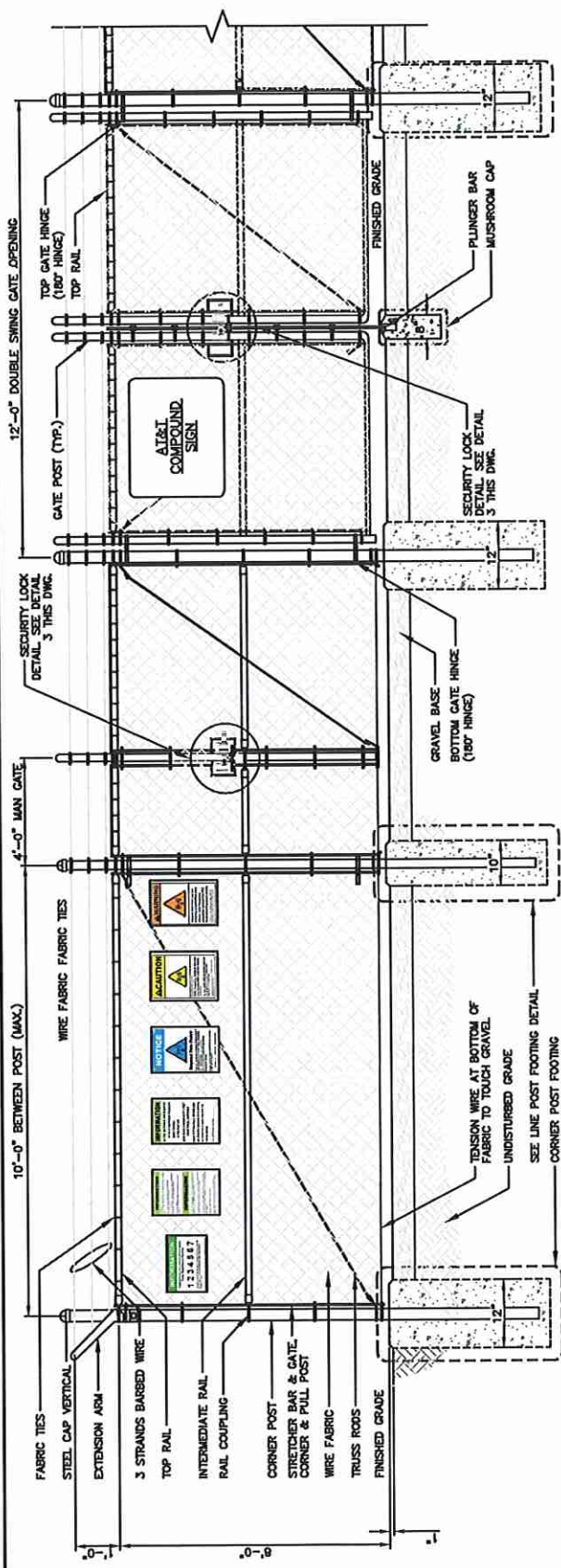
NOT FOR CONSTRUCTION UNLESS
Labeled AS CONSTRUCTION SET



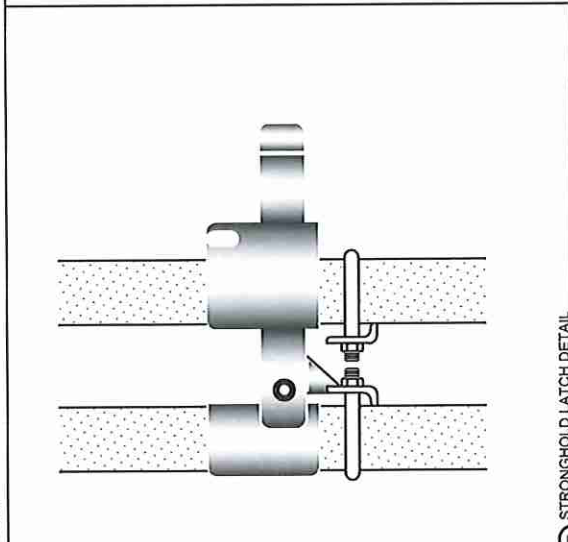
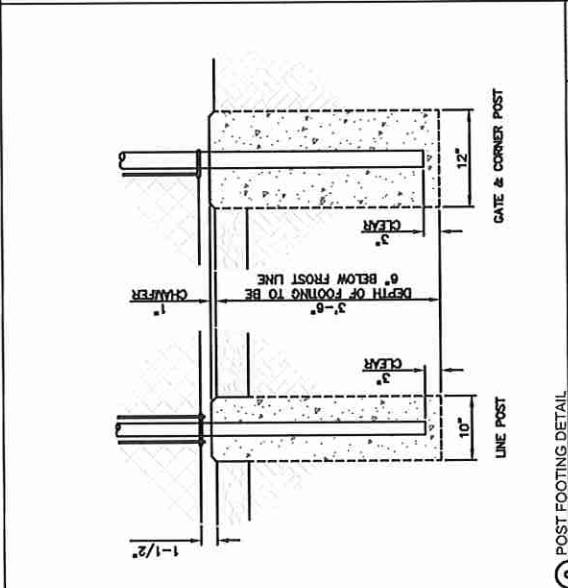
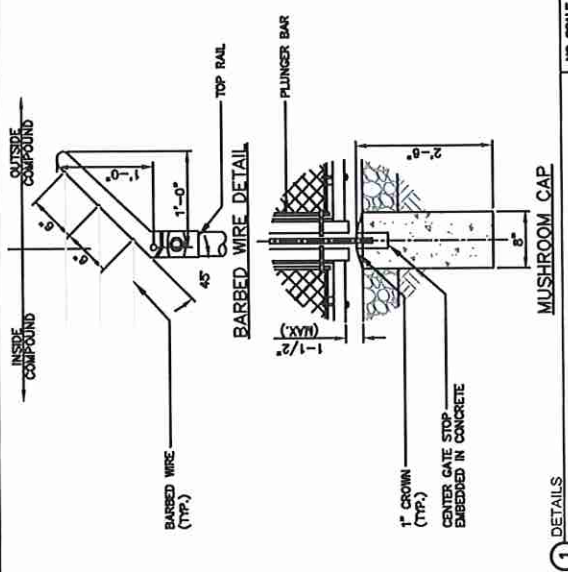
SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAX: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C-4



4 FENCE/GATE & GATE STOP DETAIL N.T.S.





804 FOX GLEN
BIRMINGHAM, AL 35201
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: ASH@westchesterservices.com

JOHN M. BANKS
ARCHITECT
1000 W. 10TH STREET
BIRMINGHAM, AL 35201
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: JMB@JOHNBANKSARCHITECT.COM

| REVISIONS | | | |
|-----------|----------|-------------------------|----|
| NO. | DATE | DESCRIPTION | BY |
| 0 | 05/13/25 | PROJECT/CONSTRUCTION IN | AS |
| 1 | 05/27/25 | PROJECT/CONSTRUCTION IN | AS |

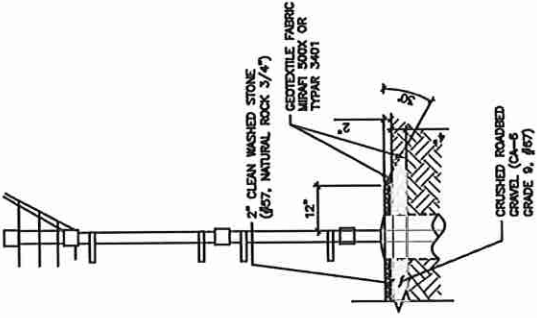
NOT FOR CONSTRUCTION PURPOSES
UNLESS AS NOTED OTHERWISE



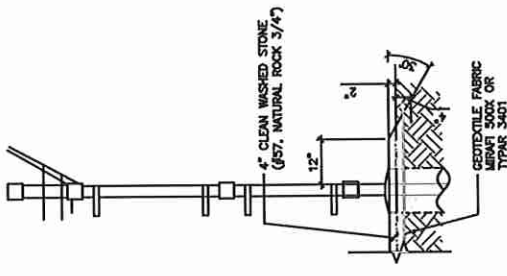
SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FAC: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE
SITE DETAILS

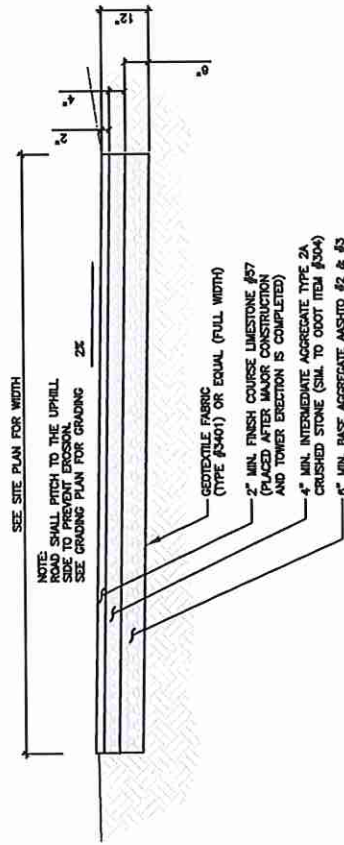
SHEET NUMBER
C-5



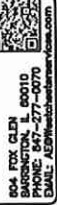
2 ALTERNATE COMPOUND GRAVEL DETAIL
N.T.S. NO SCALE



1 TYPICAL COMPOUND GRAVEL DETAIL
N.T.S. NO SCALE



3 GRAVEL DRIVE DETAIL
N.T.S. NO SCALE



JOHN M. BANKS
ARCHITECT
804 FOX GLYN 80010
PHONE: 647-277-0070
FAX: 647-277-0070
EMAIL: JMBANKS@WESTCHESTER-SERVICES.COM

| REV. | DATE | DESCRIPTION |
|------|----------|---------------------|
| 0 | 02/13/20 | PERMIT/CONSTRUCTION |
| 1 | 02/27/20 | PERMIT/CONSTRUCTION |

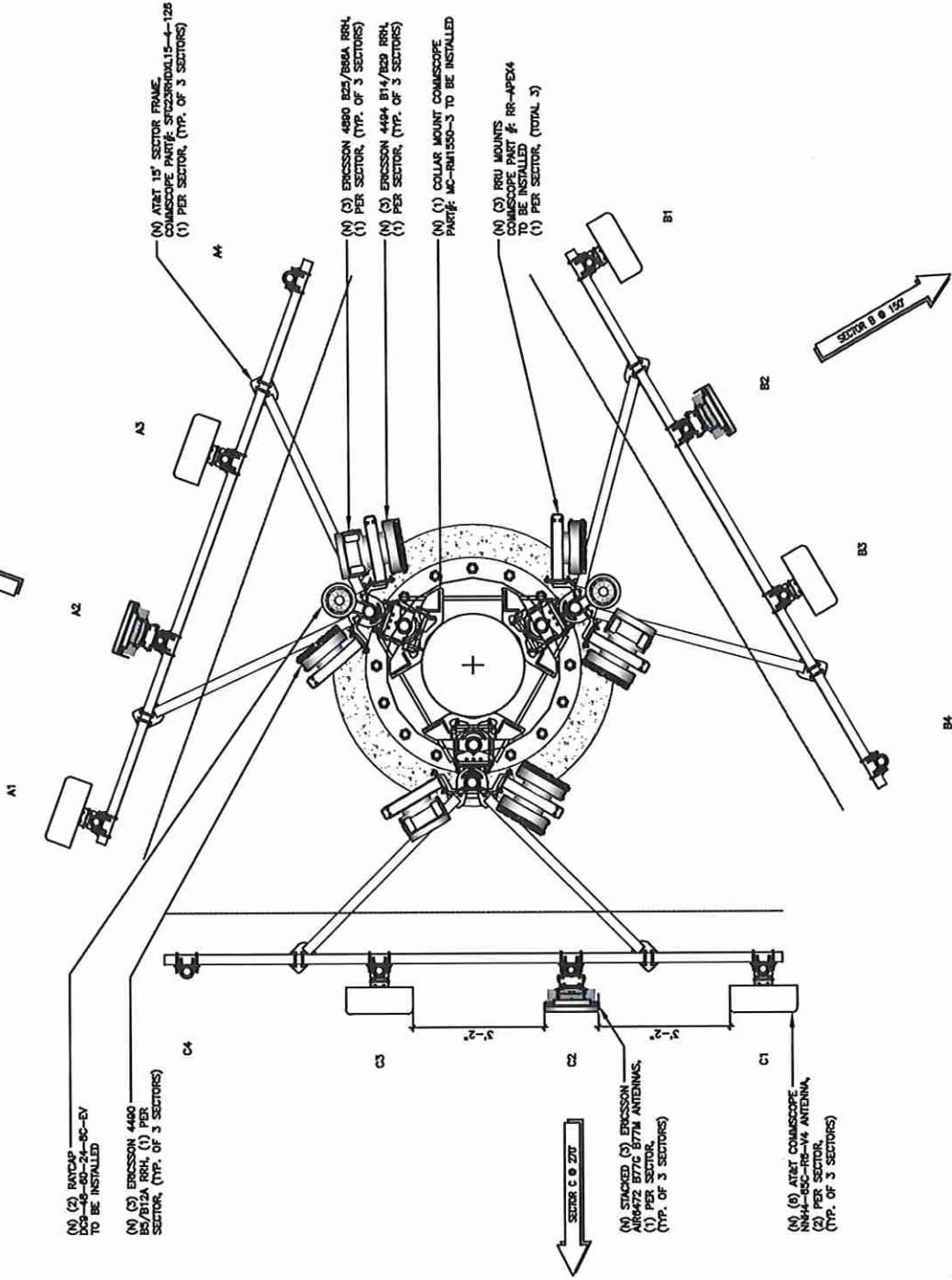


SITE NUMBER: MND1271
SITE NAME: BLUE LAKE
FAX: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55398

ANTENNA PLAN

SHEET NUMBER
A-1

NOTE:
GENERAL CONTRACTOR SHALL
ENSURE A MINIMUM OF 12"
CLEARANCE FROM BACK OF MOUNT
TO ANY NON-ANTENNA EQUIPMENT



1 ANTENNA PLAN

NOTE:
 1. CONTRACTOR TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO USE ROSENBERGER FIBER LINE HANGER COMPONENTS (OR ENGINEER APPROVED EQUAL).

FINAL ANTENNA AND TRANSMISSION EQUIPMENT REQUIREMENTS (VERIFY WITH LATEST RFDS)

| SECTOR | RAD CENTER | POSITION | ANTENNA TILT | | AZIMUTH | ANTENNA MODEL | TECHNOLOGY | RRH / TMA | SURGE & DISTRIBUTION | |
|--------|------------|----------|--------------|------|---------|--|------------|---|----------------------|-------------------|
| | | | MECH | ELEC | | | | | MODEL | CABLE (QTY) TYPES |
| A | 171°-0° | 1 | - | - | 20° | COMSCOPE NNH4-85C-R8-V4 | LTE | ERICSSON 4490 B5/B12A | | |
| | 171°-0° | 2 | - | - | 20° | ERICSSON AIR6472 B77G B77M W/INTEGRATED RADIOS | 5G C-BAND | - | | |
| | 171°-0° | 3 | - | - | 20° | COMSCOPE NNH4-85C-R8-V4 | LTE | ERICSSON 4494 B14/B29
ERICSSON 4990 B25/B86A | | |
| | - | 4 | - | - | - | - | - | - | | |
| B | 171°-0° | 1 | - | - | 150° | COMSCOPE NNH4-85C-R8-V4 | LTE | ERICSSON 4490 B5/B12A | | |
| | 171°-0° | 2 | - | - | 150° | ERICSSON AIR6472 B77G B77M W/INTEGRATED RADIOS | 5G C-BAND | - | | |
| | 171°-0° | 3 | - | - | 150° | COMSCOPE NNH4-85C-R8-V4 | LTE | ERICSSON 4494 B14/B29
ERICSSON 4990 B25/B86A | | |
| | - | 4 | - | - | - | - | - | - | | |
| C | 171°-0° | 1 | - | - | 270° | COMSCOPE NNH4-85C-R8-V4 | LTE | ERICSSON 4490 B5/B12A | | |
| | 171°-0° | 2 | - | - | 270° | ERICSSON AIR6472 B77G B77M W/INTEGRATED RADIOS | 5G C-BAND | - | | |
| | 171°-0° | 3 | - | - | 270° | COMSCOPE NNH4-85C-R8-V4 | LTE | ERICSSON 4494 B14/B29
ERICSSON 4990 B25/B86A | | |
| | - | 4 | - | - | - | - | - | - | | |

(2) RAYCAP
 DCS-48-60-24-60-EV

(4) DC POWER TRUNKS &
 (1) 24-PAIR FIBER TRUNKS

1 ANTENNA & RRH REQUIREMENTS

SCALE
 1/8"=1'



JOHN M. BANKS
 ARCHITECT
 1000 W. WISCONSIN AVE. SUITE 200
 MILWAUKEE, WI 53233
 PHONE: 414-227-0070
 EMAIL: JMBANKS@JOHNMBANKS.COM

| REV | DATE | DESCRIPTION |
|-----|----------|---------------------|
| 0 | 02/13/23 | PERMIT/CONSTRUCTION |
| 1 | 02/27/23 | PERMIT/CONSTRUCTION |



SITE NUMBER: MNL01271
 SITE NAME: BLUE LAKE
 FAF: 15923585
 28825 104TH STREET
 ZIMMERMAN, MN 55398

SHEET TITLE
 ANTENNA & RRH
 REQUIREMENTS

SHEET NUMBER
A-2

NOTE TO BIDS VENDOR:
ANCHOR BOLTS, SAFETY PEGS,
AND PORTABLES TIED BY BIDS
VENDOR TO CORRELATE WITH
ANTENNA MOUNTS AND ASSEMBLIES

- TOP OF HIGHEST APPURTENANCE
ELEV. 175'-0" AGL
- T.O. (N) MONOPOLE
ELEV. 175'-0" AGL
- T.O. (N) AT&T PANEL ANTENNAS
ELEV. 175'-0" AGL
- T.O. (N) AT&T ANTENNAS RAD CENTER
ELEV. 171'-0" AGL



(N) 175'-0" MONOPOLE

(N) AT&T (1) 24-PAIR FIBER TRUNKS
AND (4) DC TRUNKS ROUTED INSIDE
OF (2) 2" INNERDUCTS

(N) AT&T W.L.C. CABINET WITH
CANOPY AND GENERATOR
(N) H-FRAME WITH EQUIPMENT
(N) CHAIN LINK FENCE (TYP)

GRADE (REF)
ELEV. 0'-0" AGL

1 ELEVATION

0" = 1" SCALE: 1" = 10'-0" (H&V)
(ORI. 1/2" = 10'-0" (11/17/17))



WESTCHESTER
SERVICES LLC

804 FOX GLEN RD
BARNETT, MN 55910
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: A23@westchester-services.com

JOHN M. BANKS
ARCHITECT

804 FOX GLEN RD
BARNETT, MN 55910
TELEPHONE: 847-277-0070
EMAIL: JMB@JOHNBANKSARCHITECT.COM

| REV. | DATE | DESCRIPTION | BY |
|------|----------|-------------------|----|
| 0 | 05/13/25 | POST/CONSTRUCTION | JA |
| 1 | 05/27/25 | POST/CONSTRUCTION | AS |

NOTE FOR CONSTRUCTION: UNLESS
LABELLED AS CONSTRUCTION SET

IT IS A DECLARATION OF THE ARCHITECT THAT THE DESIGN AND CONSTRUCTION OF THE PROJECT HAS BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ILLINOIS PROFESSIONAL ARCHITECT ACT, CHAPTER 120, ILCS 120-0.01, AND THE ILLINOIS PROFESSIONAL ARCHITECT ACT, CHAPTER 120, ILCS 120-0.02.

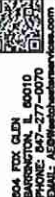
JOHN M. BANKS
#06379

1. I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF ILLINOIS.

SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAX: 15923585
28829 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE
ELEVATION

SHEET NUMBER
A-3



804 FOX GLEN
CHICAGO, IL 60610
PHONE: 847-277-0070
FAX: 847-277-0071
EMAIL: AS@westchesterservices.com

JOHN M. BANKS
ARCHITECT
1000 N. LAKE STREET
CHICAGO, IL 60610
TELEPHONE: 847-277-0070
FAX: 847-277-0071
EMAIL: JMB@JOHNBANKSARCHITECT.COM

| REV. | DATE | DESCRIPTION |
|------|----------|---------------------|
| 0 | 10/13/23 | PERMIT/CONSTRUCTION |
| 1 | 05/27/23 | PERMIT/CONSTRUCTION |

NOT FOR CONSTRUCTION UNLESS
CHECKED BY CONSTRUCTION SET

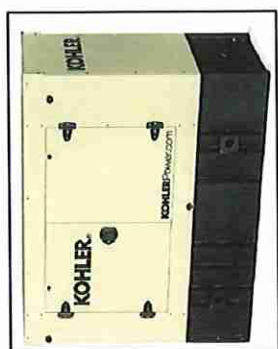


SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
F&F: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55396

SHEET TITLE
DETAILS

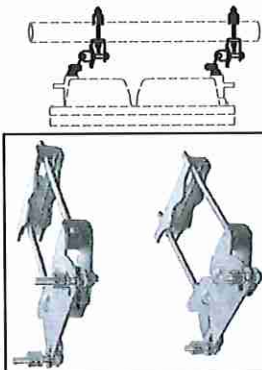
SHEET NUMBER
D-1

KOHLER 20RE07K 20KW GENERATOR
DIMENSIONS: 87 1/2" x 47 1/2" x 55 1/2" (H x W x D) (1827mm x 1207mm x 1427mm)
WEIGHT (W/230VAC 2000): 1270 lbs (578 kg)



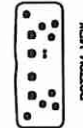
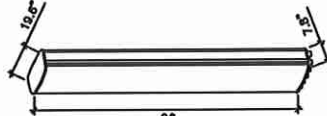
3 GENERATOR SPECIFICATIONS
N.T.S.

MANUFACTURER: ERICSSON
MODEL NO.: 540702204A/1
WEIGHT: 10.6 LBS

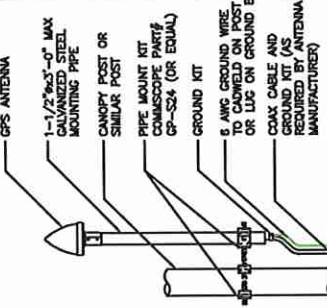


6 AIR ANTENNA MOUNTING KIT SPECIFICATIONS
CONCAT 8400 / ITEM NUMBER 020.2540

MANUFACTURER: COMSCOPE
MODEL NO.: NH4-850-R8-V4
WEIGHT: 102.1 LBS
BAND: MULTI-BAND
POLARIZATION: DUAL
FREQUENCIES: 698-890MHz
1695-2350MHz

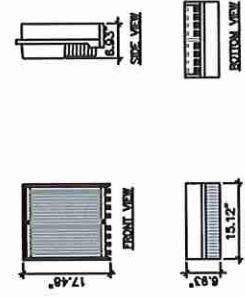


2 GPS ANTENNA DETAIL
N.T.S.



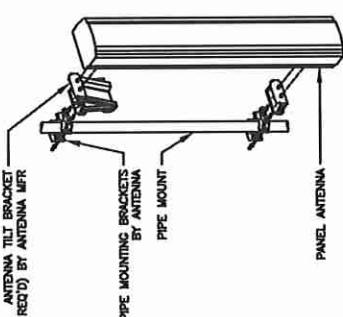
5 ANTENNA SPECIFICATIONS
N.T.S.

ERICSSON BRIS 4494-B14
DIMENSIONS, HPRD: 17.45\"/>



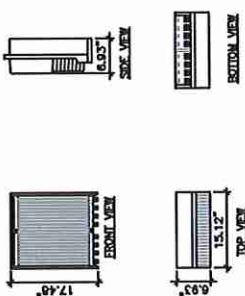
4 RRUS SPECIFICATIONS
N.T.S.

9 NOT USED
N.T.S.



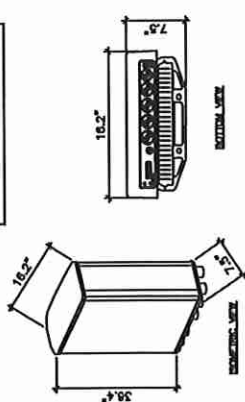
8 ANTENNA MOUNTING DETAIL
N.T.S.

ERICSSON BRIS 4494-B14
DIMENSIONS, HPRD: 17.45\"/>

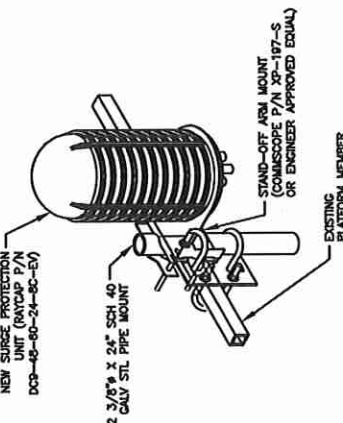


7 RRUS SPECIFICATIONS
N.T.S.

MANUFACTURER: ERICSSON
MODEL NO.: 540702204A/1
WEIGHT: 10.6 LBS
BAND: MULTI-BAND
POLARIZATION: DUAL
FREQUENCIES: 698-890MHz
1695-2350MHz

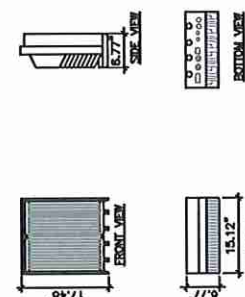


12 ANTENNA SPECIFICATIONS
N.T.S.



11 SURGE PROTECTION DETAIL
N.T.S.

ERICSSON BRIS 4494-B14
DIMENSIONS, HPRD: 17.45\"/>



10 RRUS SPECIFICATIONS
N.T.S.



504 FOX CLEN
60010
PHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: ASH@westchesterservices.com

JOHN M. BANKS
ARCHITECT
1000 N. LAKE
BIRMINGHAM, AL 35203
TELEPHONE: 847-277-0070
FAX: 847-277-0070
EMAIL: JMBANKS@JOHNBANKSARCHITECT.COM

| REV. | DATE | DESCRIPTION |
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| 0 | 05/13/23 | POSTED/CONSTRUCTION |
| 1 | 05/27/23 | POSTED/CONSTRUCTION |

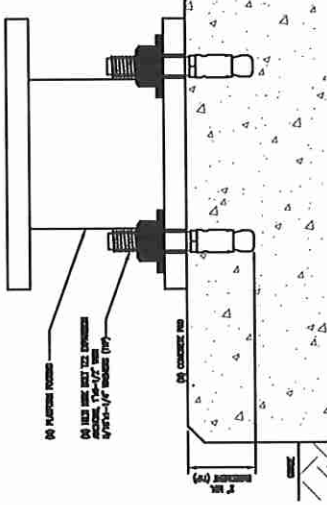
NOT FOR CONSTRUCTION UNLESS
LABELLED AS CONSTRUCTION SET



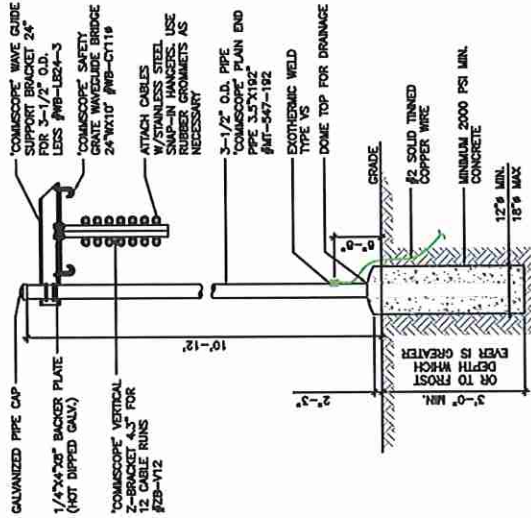
SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAX: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE
DETAILS

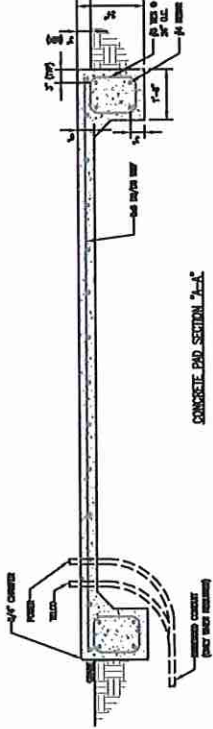
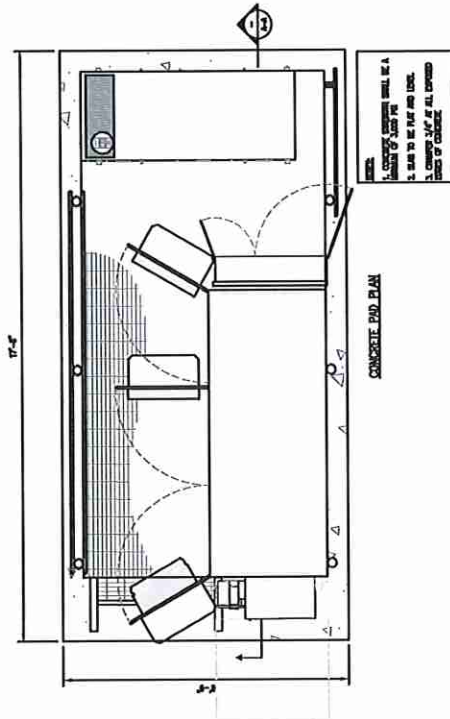
SHEET NUMBER
D-2



2 PLATFORM ANCHOR DETAIL
N.T.S.



1 ICE BRIDGE DETAIL
N.T.S.



3 WUC FOUNDATION PLAN DETAILS
N.T.S.



3 WALK UP CABINET (W.U.C.) DETAIL
N.T.S.



804 FOX GLEN
BANKS, MN 55010
PHONE: 957-277-0070
FAX: 957-277-0070
EMAIL: AS@westchesterservices.com

JOHN M. BANKS
ARCHITECT
BANKS ARCHITECT
BANKS, MN 55010
PHONE: 957-277-0070
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EMAIL: JMB@BANKSARCHITECT.COM

| REV. | DATE | DESCRIPTION | BY |
|------|----------|---------------------|----|
| 0 | 02/13/20 | PERMIT/CONSTRUCTION | JA |
| 1 | 02/27/20 | PERMIT/CONSTRUCTION | JS |

NOT FOR CONSTRUCTION UNLESS
LABELLED AS CONSTRUCTION SET

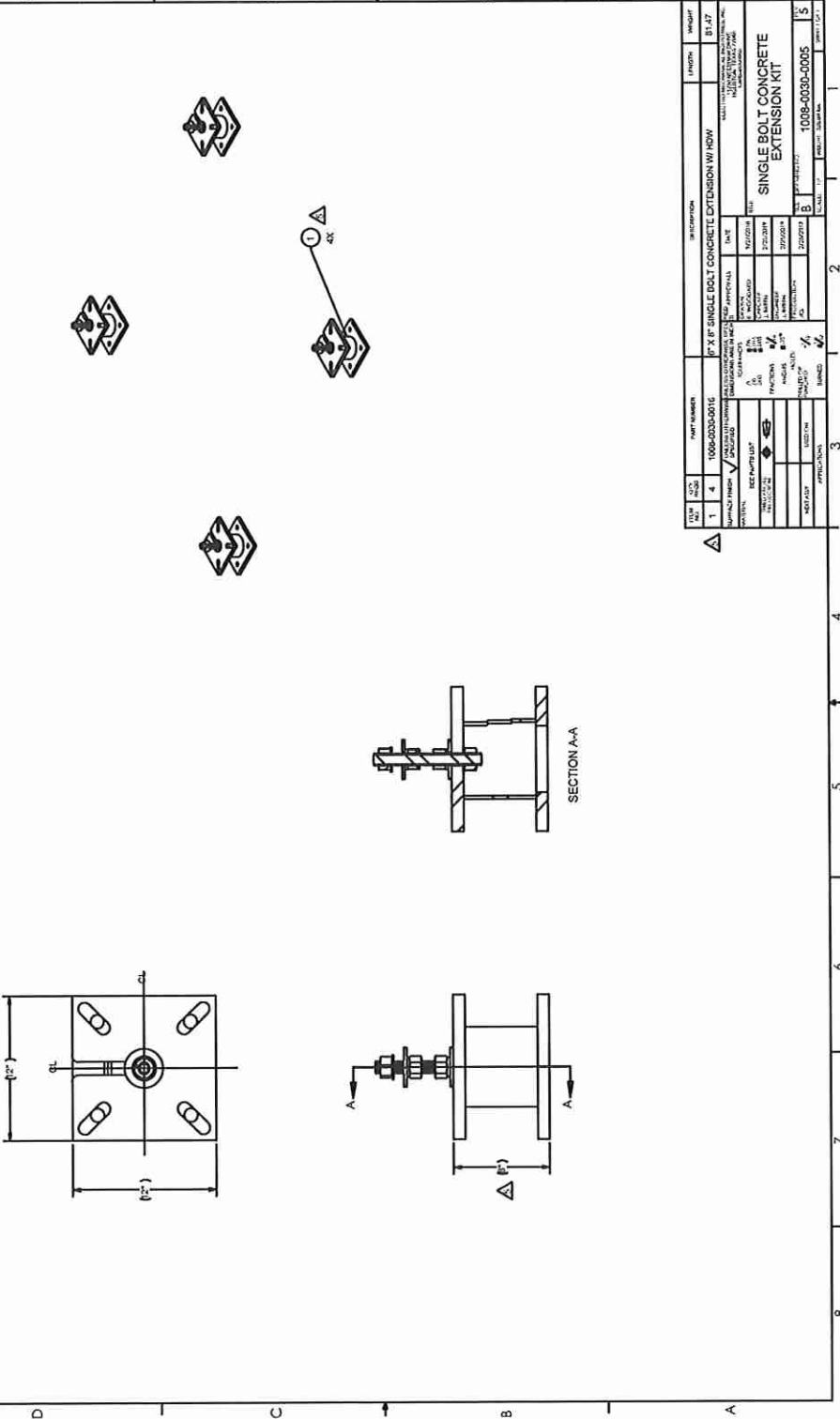


SITE NUMBER: MND1271
SITE NAME: BLUE LAKE
FAX: 15923585
28829 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE
PLATFORM AND
CANOPY DETAILS

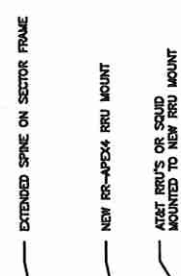
SHEET NUMBER
D-5

| REV. | DATE | DESCRIPTION | BY | APPROVED |
|------|-------|---|-----|----------|
| 5 | 01096 | REPLACED 1008-0000-0006 WITH 1008-0000-0016 | JTR | JPS |



| PART NUMBER | | DESCRIPTION | | REVISION | |
|------------------------------------|----------------|--|------|----------|---------|
| 1 | 1008-0000-0016 | 17" X 8" SINGLE BOLT CONCRETE EXTENSION W/ HOW | DATE | BY | REMARKS |
| SINGLE BOLT CONCRETE EXTENSION KIT | | | | | |
| 1008-0000-0005 | | | | | |
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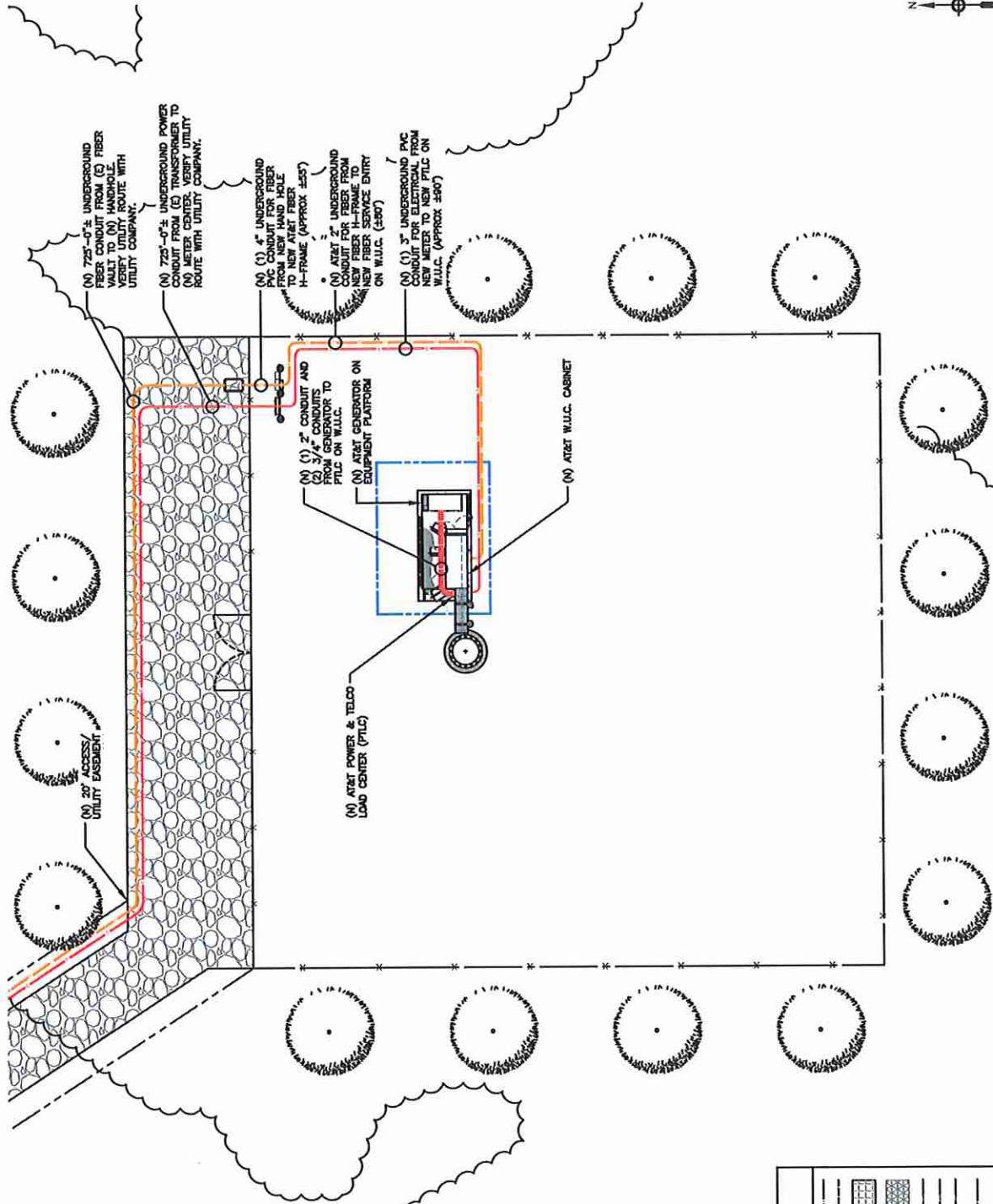
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3.0 MANUFACTU
4.0 TEST
5.0 PACKAGING



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BRIEF MOUNT DETAIL

NOTE:
UTILITY ROUTE SUBJECT TO CHANGE
PENDING UTILITY COORDINATION



1 OVERALL ELECTRICAL PLAN

SCALE: 1/8" = 1'-0" (24x36)
(GRID: 100' x 100' (11x11))



WESTCHESTER SERVICES LLC

804 FOX GLEN
BLOOMINGTON, MN 55425
PHONE: 612-277-0070
FAX: 612-277-0071
EMAIL: A23@westchesterservices.com

JOHN M. BANKS ARCHITECT

804 FOX GLEN
BLOOMINGTON, MN 55425
PHONE: 612-277-0070
FAX: 612-277-0071
EMAIL: JMB@JOHNMBANKSARCHITECT.COM

| REV. | DATE | DESCRIPTION |
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| 1 | 02/27/25 | PERMIT/CONSTRUCTION SET |

JOHN M. BANKS ARCHITECT

804 FOX GLEN
BLOOMINGTON, MN 55425
PHONE: 612-277-0070
FAX: 612-277-0071
EMAIL: JMB@JOHNMBANKSARCHITECT.COM

SITE NUMBER: MND1271
SITE NAME: BLUE LAKE
FAX: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55398

OVERALL ELECTRICAL PLAN

E-1

| NOTES | LEGEND |
|--|--|
| <p>EXISTING ICE BRIDGE</p> <p>UNDERGROUND POWER</p> <p>UNDERGROUND UTILITIES</p> <p>UNDERGROUND FIBER AND POWER</p> <p>UNDERGROUND FIBER</p> | <p>PROPOSED ICE BRIDGE</p> <p>UNDERGROUND POWER</p> <p>UNDERGROUND UTILITIES</p> <p>UNDERGROUND FIBER AND POWER</p> <p>UNDERGROUND FIBER</p> |



JOHN M. BANKS
ARCHITECT
804 FOX GLEN
PHOENIX, AZ 85010
PHONE: 602-277-0070
FAX: 602-277-0070
EMAIL: JMBANKS@WESTCHESTER-SERVICES.COM

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| 1 | 10/27/25 | PROJECT/CONSTRUCTION IN |

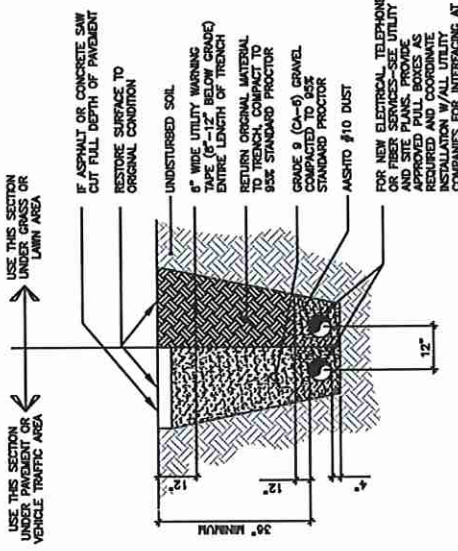
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UNLESS AS CONSTRUCTION SET



SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAX: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55398

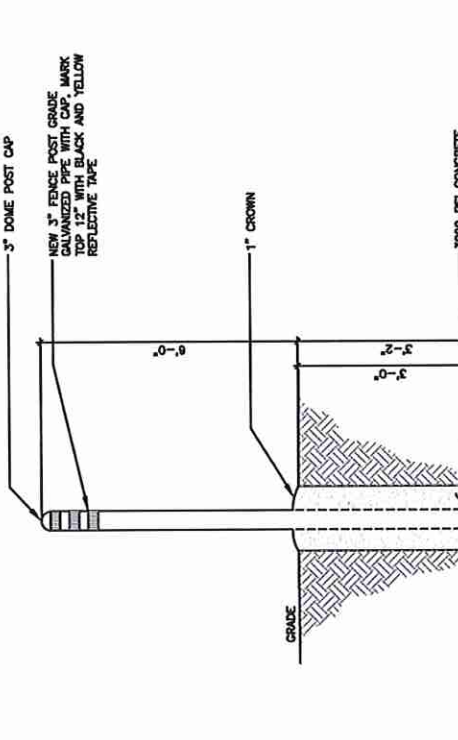
**ELECTRICAL
DETAILS**

SHEET NUMBER
E-2

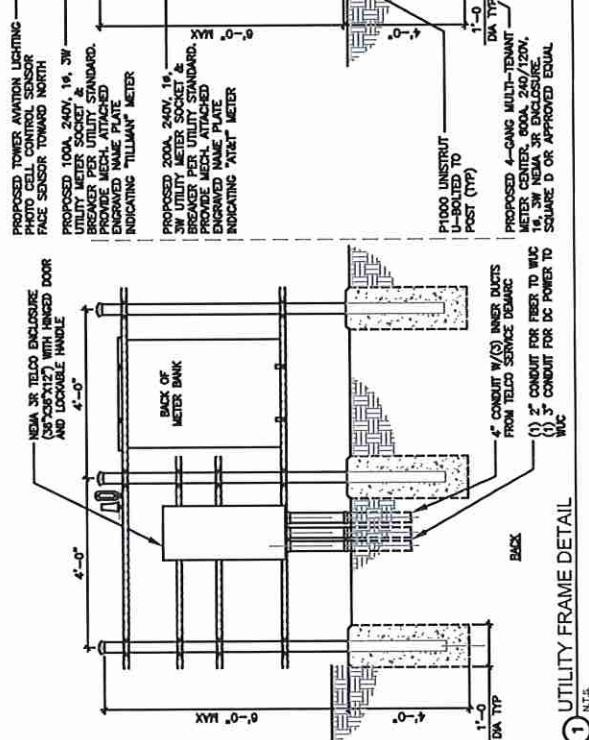
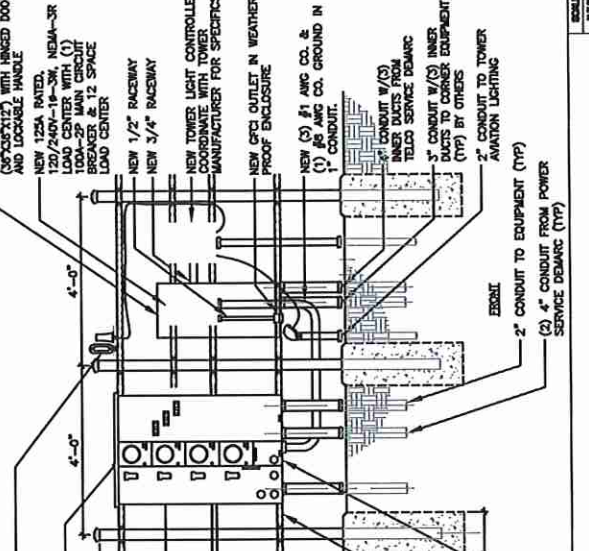


NOTE:
1. EXISTING EXISTING SUBGRADE AS REQUIRED TO
INSTALL CONDUITS IN ACCORDANCE WITH OSHA
AND ALL APPLICABLE CODES.

2 TYPICAL TRENCH DETAIL



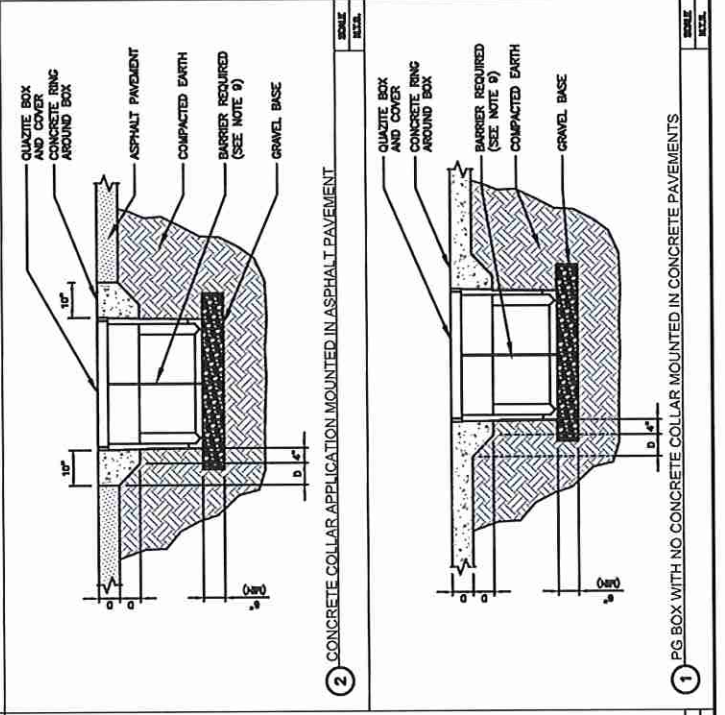
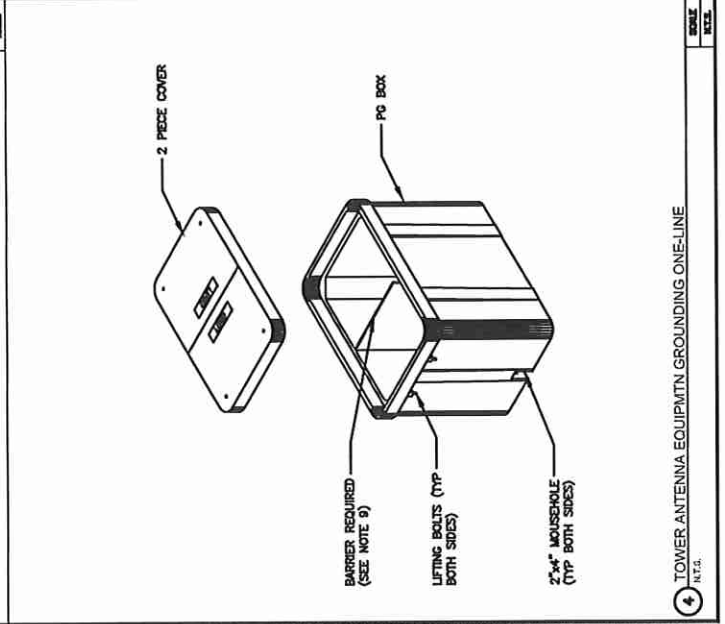
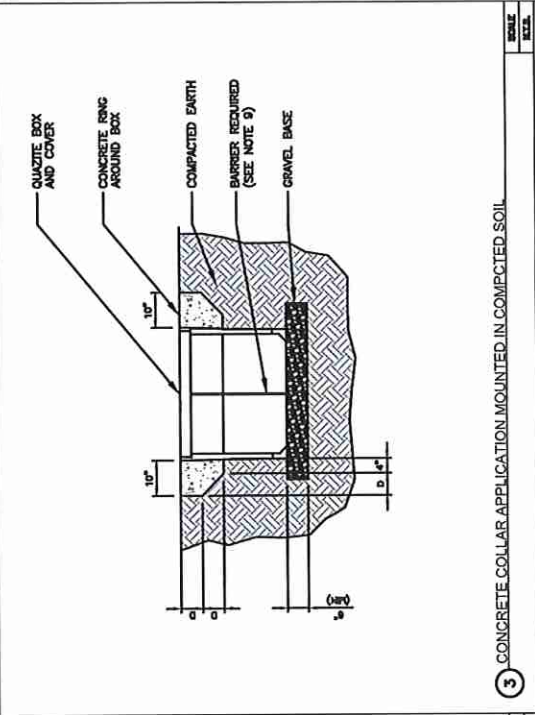
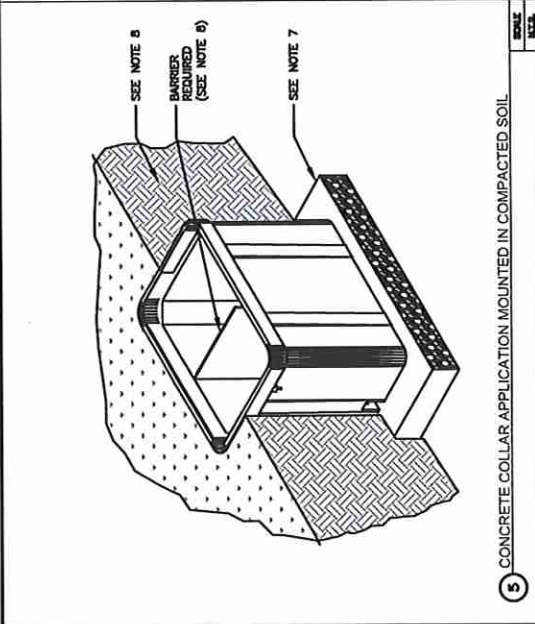
3 FENCE POST MARKER DETAIL



1 UTILITY FRAME DETAIL

1. SUBMITTAL OF BID INDICATES THAT THE CONTRACTOR IS COORDINATOR OF ALL SITE CONDITIONS AND WORK TO BE PERFORMED UNDER CONTRACT. CONTRACTOR SHALL PERFORM ALL VERIFICATIONS, OBSERVATION TESTS, AND EXAMINATION WORK PRIOR TO ORDERING OF ANY MATERIALS OR EQUIPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT.
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20. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT.

4 ELECTRICAL NOTES



1. CONCRETE COLLARS MAY BE DESIRED FOR INSTALLATIONS IN DRIVEWAYS, PARKING LOTS AND OTHER AREAS WHERE PEDESTRIAN TRAFFIC IS ANTICIPATED. THIS APPLIES TO BOXES MADE FROM ANY MATERIAL. TO PROVIDE ADDED PROTECTION FOR THE TOP LID, THIS IS NOT NECESSARY IN GRASSY AREAS OR AREAS SUBJECT TO PEDESTRIAN TRAFFIC.
2. CONCRETE ENCASMENT TO BE 3,000 PSI MIN.
3. CONCRETE ENCASMENT COLLAR DIMENSION "D" TO BE EQUAL TO DESIGN PAVEMENT DEPTH.
4. PAVEMENT AND SUBGRADE TO BE SHOWN ON THE ENGINEERING PLANS.
5. EXCAVATE THE HOLE APPROXIMATELY 6 TO 8" DEEPER THAN SUGGESTED HAND HOLE BURIAL DEPTH.
6. COMPACT THE SUBSOIL WITH A BACK-HOE OR A HYDRAULIC TAMPER, AND APPROXIMATELY 6 TO 8" OF GRAVEL TO THE BOTTOM OF HOLE.
7. PLACE THE HAND HOLE ON THE LEVELLED GRAVEL BED.
8. BACK-FILL WITH LOOSE EARTH MATERIAL UP TO THE TOP SURFACE OF THE HAND HOLE. DO NOT BACK-FILL WITH CHUNKS OF FROZEN MATERIAL OR LARGE ROCKS NEXT TO THE GROUND SLEEVE. PACK THE BACK-FILL MATERIAL BY FOOT TAMPING, NO MACHINE TAMPING.
9. PROVIDE BARRIER HUBBELL QUARTZITE # PG 24388C20 OR APPROVED 24\"/>

804 FOX GLN 8910
BANKS, MN 55309
TEL: 763-277-0070
EMAIL: AL@WESTCHESTERSERVICES.COM

JOHN M. BANKS
ARCHITECT
804 FOX GLN 8910
BANKS, MN 55309
TEL: 763-277-0070
EMAIL: JMB@JOHNBANKSARCHITECT.COM

| REV. | DATE | DESCRIPTION | BY |
|------|----------|---------------------|----|
| 0 | 10/13/25 | PERMIT/CONSTRUCTION | JA |
| 1 | 10/27/25 | PERMIT/CONSTRUCTION | JA |

NOT FOR CONSTRUCTION UNLESS
Labeled AS CONSTRUCTION SET

3 UNLESS NOTED OTHERWISE, THIS SET OF CONSTRUCTION DOCUMENTS IS TO BE USED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MINNESOTA BUILDING CODE, THE MINNESOTA ELECTRICAL CODE, AND THE MINNESOTA MECHANICAL CODE.

SITE NUMBER: MN101271
SITE NAME: BLUE LAKE
FAX: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE
ELECTRICAL
DETAILS

SHEET NUMBER
E-3



JOHN M. BANKS
ARCHITECT
10010
PHONE: 647-277-0070
FAX: 647-277-0070
EMAIL: JMBANKS@WESTCHESTER-SERVICES.COM

| REVISIONS | |
|-----------|------------------------------|
| NO. | DESCRIPTION |
| 1 | 10/27/20 PERMIT/CONSTRUCTION |
| 2 | 10/27/20 PERMIT/CONSTRUCTION |



SITE NUMBER: MND1271
SITE NAME: BLUE LAKE
FAX: 15923585
28825 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE
**COMPOUND
GROUNDING PLAN**

SHEET NUMBER
E-4

- GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY. FOR TESTING DETAILS SEE DRAWINGS E-5 THROUGH E-6.
- TESTING SHALL BE PERFORMED AT ALL SITES WHERE MODIFICATIONS OR ADDITIONS ARE MADE TO THE EXISTING GROUNDING SYSTEM AND SHALL BE IN ACCORDANCE WITH THE TESTING STANDARDS IN THE TESTING STANDARDS TP-764115. THE CONTRACTOR SHALL SUPPLY TEST WITH RESULTS FROM PRE-CONSTRUCTION AND POST-CONSTRUCTION OHM TESTING (GROUNDING) RESULTS AND BE IN COMPLIANCE WITH THE TESTING STANDARDS TP-764115.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A "TRAIL OF POTENTIAL" TEST ON THE PROPOSED SUPPLEMENTAL GROUNDING SYSTEM TO THE FINAL GROUNDING SYSTEM. THE TEST SHALL BE PERFORMED BY A QUALIFIED AND CERTIFIED TESTING AGENT. PROVIDE AN INDEPENDENT TEST REPORT TO THE TESTING AGENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE TESTING AGENT FOR THE GROUNDING SYSTEM SHALL NOT EXCEED (3) OHMS. IF THE GROUNDING TEST EXCEEDS THE MAXIMUM OF (3) OHMS, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL GROUNDING RODS AND CONNECTIONS AS REQUIRED TO MEET THE (3) OHMS' MAXIMUM.
- THE INSPECTOR HAVING JURISDICTION SHALL INSPECT ALL GROUNDING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ACCESS TO THE GROUNDING SYSTEMS. APPROVED BEFORE BEING PERMANENTLY CONCEALED.
- FOR ALL CONNECTIONS TO THE GROUNDING RING, SEE THE SHELTER MANUFACTURER'S DRAWINGS.
- WHEN AN EXISTING METER BACK IS BEING UTILIZED AND A NEW METER IS INSTALLED IN THE EXISTING METER BACK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTIONS TO THE EXISTING GROUNDING RING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RING AND BECOME A COMPLETE GROUNDING SYSTEM.
- CONTRACTOR SHALL GROUND ALL EQUIPMENT INCLUDING ANTENNAS, RET MOTORS, TIA'S, COAX CABLES AND RET CONTROL CABLES AS A COMPLETE SYSTEM. GROUNDING SHALL BE EXECUTED BY A QUALIFIED WIREMAN IN COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- FOR GROUNDING INSTALLATIONS WHICH HAVE A LIMITED AREA AND ARE NOT TO BE INSTALLED WITHIN THE EXISTING GROUNDING RING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTIONS TO THE EXISTING GROUNDING RING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RING AND BECOME A COMPLETE GROUNDING SYSTEM.
- MAIN GROUNDING CONDUCTORS SHALL BE ROUTED AND BONDED TO ALL EFFECTIVE GROUNDING PATHS IN ACCORDANCE WITH AT&T GROUNDING AND BONDING SPECIFICATION 8.3.2.1. THE NEW GROUNDING SYSTEM SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTIONS TO THE EXISTING GROUNDING SYSTEM. THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, BUILDING MAIN WATER LINE (PERVIOUS OR NONPERVIOUS METAL PIPING ONLY), SEE AT&T SPECIFICATION 8.3.2.2. BONDING STANDARDS TP-764115 SPECIFICATION 8.3.2.2.

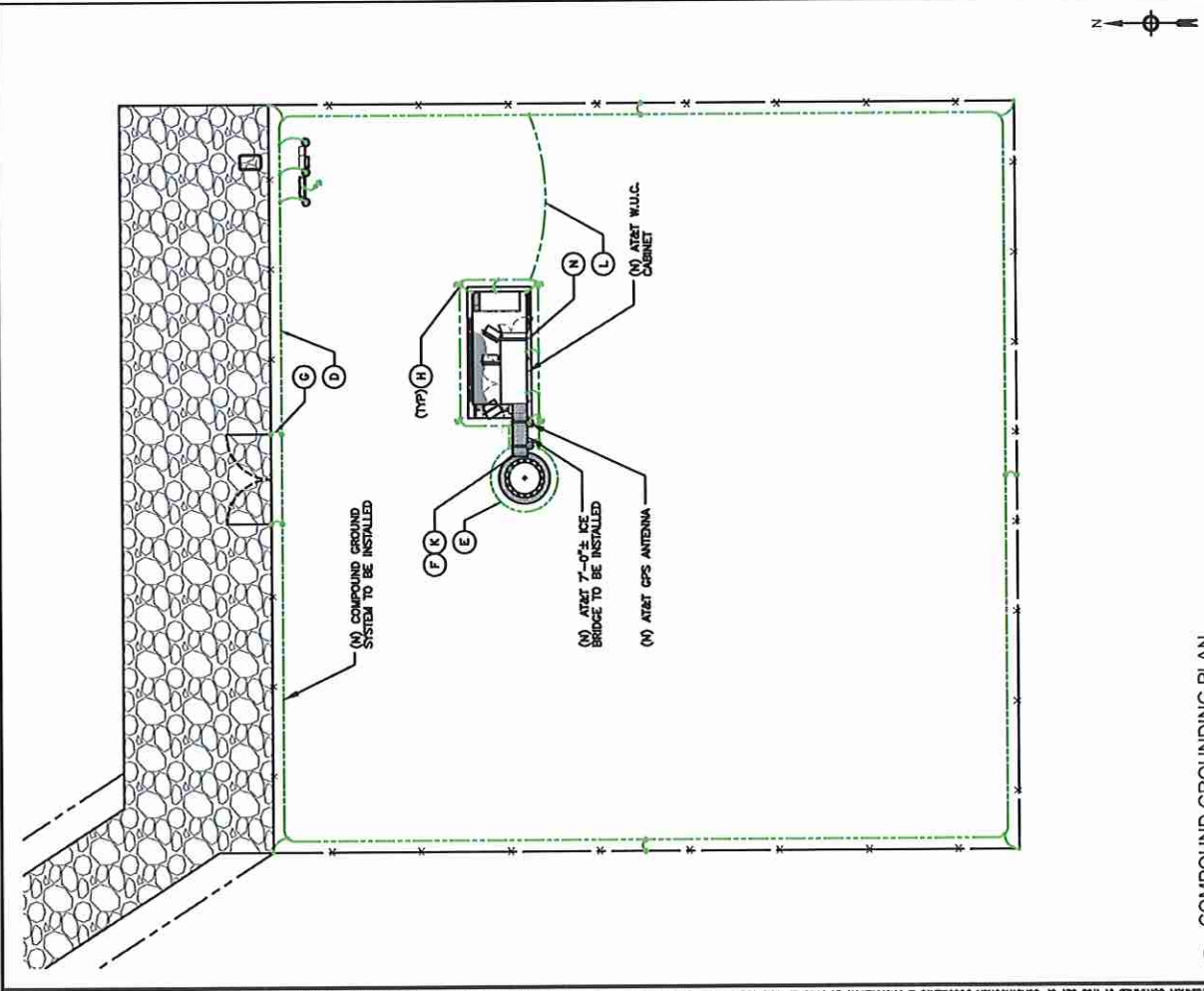
NOTES

- EXISTING TYPE CONNECTIONS
- CONNECTION TYPE CONNECTIONS
- CHEMICAL ELECTROLYTE GROUNDING SYSTEM
- GROUND ROD WITH INSPECTION SLEEVE
- TEST GROUND ROD WITH INSPECTION SLEEVE
- EXISTING WITH INSPECTION SLEEVE
- GROUNDING CONDUCTOR
- GROUNDING BAR

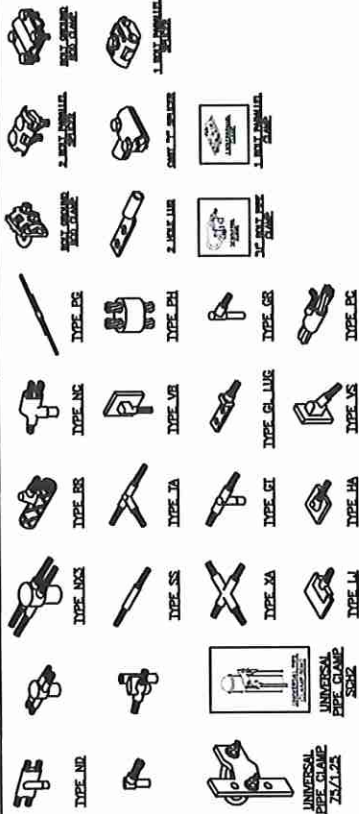
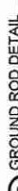
LEGEND

- GROUNDING BAR, EXTEND TWO (2) #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING UP TO THE MATCH-PLATE GROUNDING BAR AND MAKE A MECHANICAL CONNECTION.
- GROUND ROD, COPPER CLAD STEEL 5/8" (10) TEN FEET LONG. ALL GROUNDING RODS MAY BE INSTALLED WITH INSPECTION SLEEVES.
- USE BRIDGE SUPPORT POST GROUNDING, EXTEND #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING TO ALL #2 BRIDGE SUPPORT POSTS AND EXTERNALLY WELD.
- FENCE GROUNDING: IF FENCE IS WITHIN 1' OF GROUNDING RING, EXTEND #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING TO FENCE POSTS EXTERNALLY WELDED. FENCING FABRIC SHALL BE GROUNDED AT ADJACENT CORNER POST. (2) FEET, GROUND INTERMEDIATE POST TO ADJACENT 12'-0" MAX SPACING.
- PROPOSED TOWER GROUNDING, EXTEND TWO (2) #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING AND CONNECT TO THE PROPOSED TOWER GROUNDING CONNECTIONS TO THE TOWER. (APPLICABLE TO NEW TOWERS ONLY.)
- ANTENNA GROUNDING BAR, EXTEND TWO (2) #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING AND CONNECT TO THE PROPOSED ANTENNA GROUNDING BAR. MOUNT GROUNDING BAR DIRECTLY TO TOWER. SECURE TO TOWER WITH STAINLESS STEEL MOUNTING MATERIAL.
- GATE GROUNDING, EXTEND #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING TO GATE POSTS AND EXTERNALLY WELD. SEE DETAIL C-6.
- TEST GROUND ROD WITH INSPECTION SLEEVE, COPPER CLAD STEEL 5/8" DIA. TEN (10) FEET LONG WITH INSPECTION SLEEVE.
- MASTER GROUNDING BAR, EXTEND TWO (2) #2 AWG TINNED CU CONDUCTORS FROM BURIED GROUNDING RING UP TO MASTER GROUNDING BAR & MAKE A MECHANICAL CONNECTION.
- GROUNDING BAR LOCK BOX, TESSCO PART # 351546; INSTALL PER MANUFACTURER REQUIREMENTS.
- IE INTO GROUNDING RING, (2) REBT
- ANTENNA GROUNDING BAR, EXTEND TWO (2) #2 AWG TINNED CU CONDUCTOR FROM BURIED GROUNDING RING AND CONNECT TO THE PROPOSED ANTENNA GROUNDING BAR. MOUNT GROUNDING BAR DIRECTLY TO TOWER. SECURE TO TOWER WITH STAINLESS STEEL MOUNTING MATERIAL.
- PROPOSED EQUIPMENT CABINET, SEE MANUFACTURER SPECIFICATIONS FOR ALL INTERIOR EQUIPMENT GROUNDING.

KEYNOTES

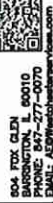


1 COMPOUND GROUNDING PLAN



1 TYPICAL MECHANICAL CONNECTIONS

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804 FOX GLEN
SARASOTA, FL 34236
PHONE: 847-277-0070
EMAIL: AS@westchesterservices.com

JOHN M. BANKS
ARCHITECT
10010
SARASOTA, FL 34236
PHONE: 847-277-0070
EMAIL: JMBANKS@WESTCHESTERDESIGN.COM

| REV. | DATE | DESCRIPTION |
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| 2 | 02/27/25 | PERMIT/CONSTRUCTION |

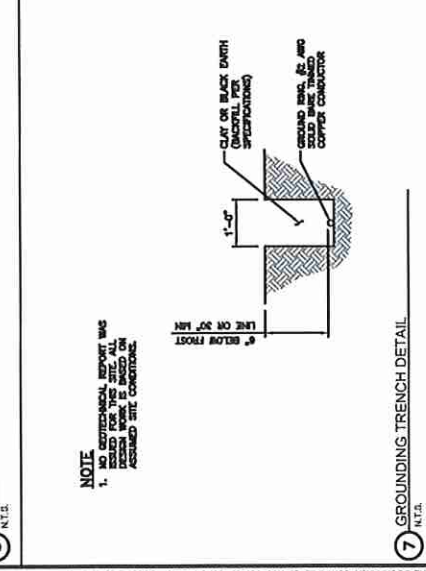
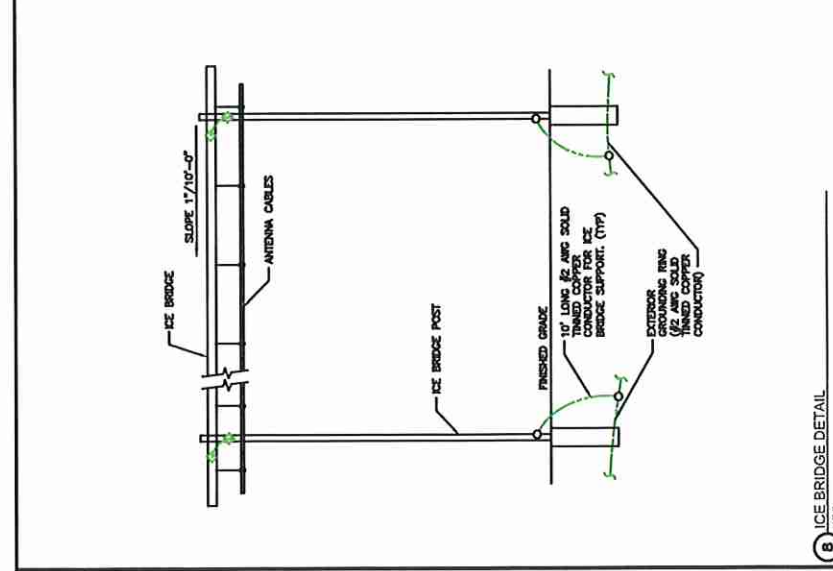
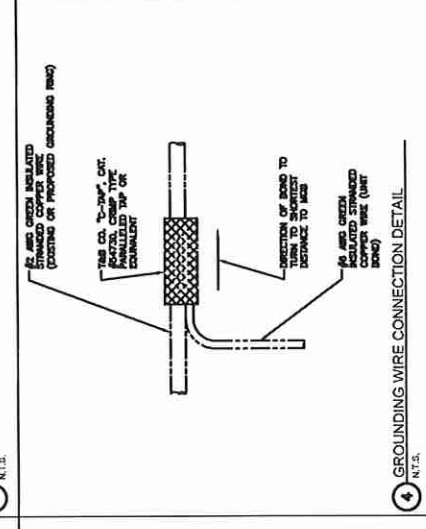
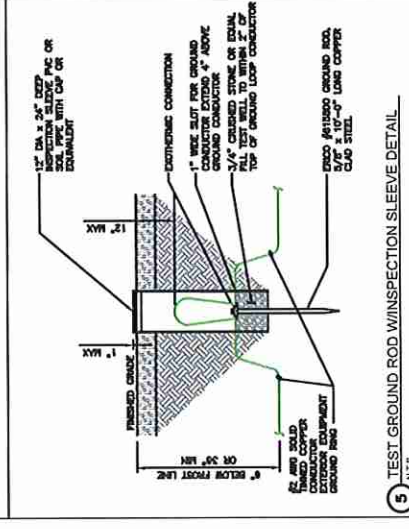
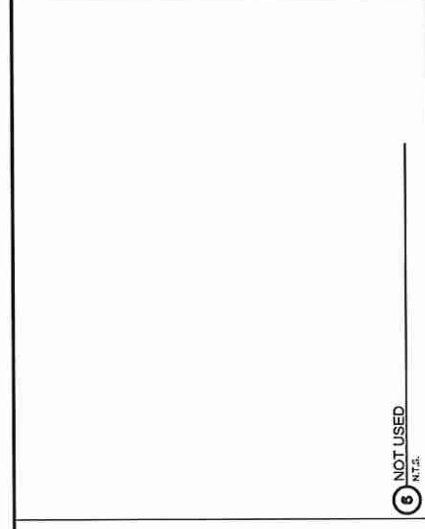
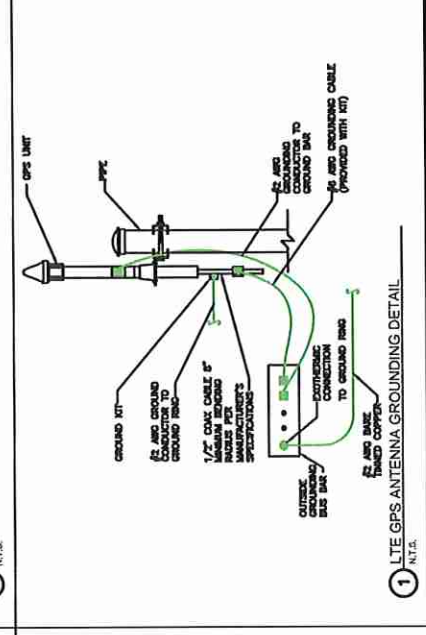
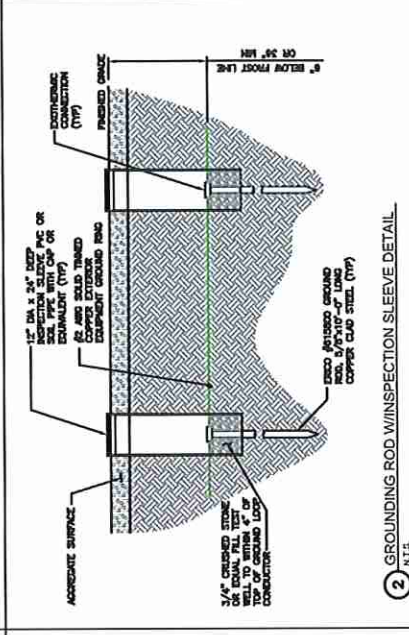
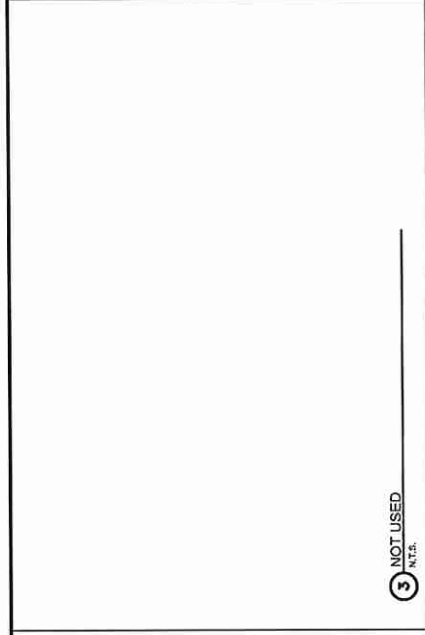
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SITE NUMBER: MNL01271
SITE NAME: BLUE LAKE
FAX: 15923585
28225 104TH STREET
ZIMMERMAN, MN 55398

SHEET TITLE
**GROUNDING
DETAILS**

SHEET NUMBER
E-6



**CITY OF BALDWIN
PLANNING COMMISSION
CONDITIONAL USE PERMIT
FINDINGS OF FACT & RECOMMENDATION**

APPLICANT: New Cingular Wireless PCS, LLC (d/b/a AT&T Mobility)

APPLICATION: Request for a conditional use permit to allow for construction of a personal storage structure.

PLANNING COMMISSION MEETING: 23 July 2025

FINDINGS: Based upon review of the application and evidence received, the Baldwin Planning Commission now makes the following findings of fact:

1. The subject site is PID 01-025-3000.
2. The property is guided for rural land uses Comprehensive Plan.
3. The property is zoned R1, General Rural District and is also located within the Shoreland Overlay District of Sandy Lake.
4. The applicant is requesting approval of a Conditional Use Permit to allow for construction of a communication tower in accordance with Chapter 27 of the Zoning Ordinance.
4. The Town Board approved a Conditional Use Permit for the proposed use on 15 May 2023 that expired in accordance with Section 900-4-9 of the Zoning Ordinance.
5. The Planning Commission must take into consideration the possible effects of the request with their judgment based upon (but not limited to) the criteria outlined in Section 900-4-2 of the Zoning Ordinance:

- A. The proposed action's consistency with the specific policies and provisions of the town comprehensive plan.

Finding: The proposed tower will improve communication services within the area benefiting local users, as well as transient users on US Highway 169, essential and incidental to human activity.

- B. The proposed use's compatibility with present and future land uses of the area.

Finding: The proposed tower complies with the design standards established by the Zoning Ordinance to mitigate compatibility issues with existing and planned land uses in the area surrounding the subject site.

- C. The proposed use's potential to impact natural resources such as surface water, groundwater, or wetlands; sites identified for rare biological species habitat; ecologically sensitive areas; or historically significant areas.

Finding: The proposed construction of the proposed tower will not impact existing natural resources within the subject site.

- D. The proposed use's conformity with all performance standards contained within this ordinance and other town ordinances.

Finding: The proposed tower complies with the requirements of the Zoning Ordinance.

- E. Traffic generation of the proposed use in relation to capabilities of roads serving the property.

Finding: The traffic generated by the proposed tower can be accommodate by existing roads serving the subject site.

- 6. The planning report dated 17 July 2025 prepared by the City Planner, The Planning Company LLC, is incorporated herein.
- 7. The Planning Commission conducted a public hearing at their meeting on 23 July 2025 to consider the application, preceded by published and mailed notice; the public hearing was closed after hearing from all persons wishing to speak.

RECOMMENDATION: Based on the foregoing information and applicable ordinances, the Planning Commission recommends the request be **APPROVED** by the City Council, subject to the following conditions:

- 1. The subject site shall be developed in accordance with the site and building plans submitted to the City subject to the stipulations, limitations, and conditions as approved by the City Council in accordance with Section 900-9-6 of the Zoning Ordinance.
- 2. All new plants shall be guaranteed for 12 months from the time planting has been completed and be alive, in good health, of good quality and structural condition, and insect and disease free at the end of the warranty period or be replaced, subject to review and approval of the Zoning Administrator.
- 3. Access to 289th Avenue (CSAH 28) shall be subject to review and approval of Sherburne County.
- 4. All signs shall comply with Section 900-27-2.B of the Zoning Ordinance.
- 5. The tower owner shall maintain the insurance for \$1,000,000.00 of coverage for personal property damage and provide evidence of such coverage to the Zoning Administrator annually.

6. The applicant shall provide documentation to the Zoning Administrator that the lease for the communication facility location, including revisions or renewals, provides that any unused equipment must be removed within 12 months after operations cease.

MOTION BY:

SECOND BY:

ALL IN FAVOR:

THOSE OPPOSED:

ADOPTED by the Baldwin Planning Commission this 23th day of July, 2025.

BALDWIN PLANNING COMMISSION

BY: _____
Clarence Mattson, Chair

July 17, 2025

Dear Baldwin City Planning Commission

Regarding the application by Buell Consulting about The AT 7T communications tower at site PIP01-0025-3000 28829 104 St NW.

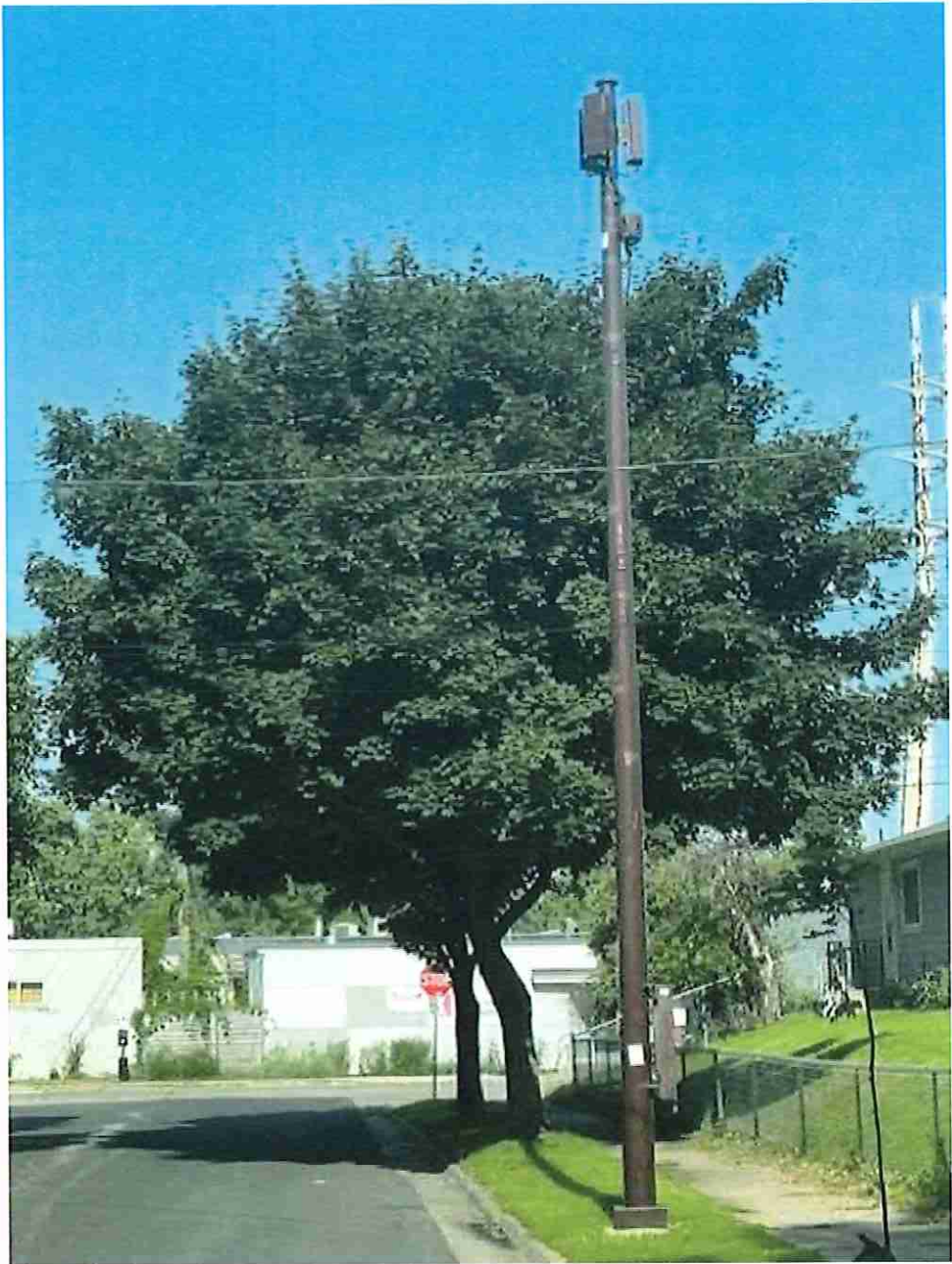
I understand that AT&T customers' needs at both sandy and Blue Lakes, but there are other options. They are installing smaller towers all over the twin cities that are about 30ft tall (picture attached) in areas the need additional coverage.

I am opposing to the 175 ft tower that will be located about 700 ft from the front door of my home of 30 yrs. As my wife and I are approaching retirement this is not the kind of structure we want to be overshadowing our home other options would be to put smaller tower. In the troubled areas. As well as move the tower further weston the property where it will not be located near any home. Example would be on the west side of large pond. It is also a hillside with easements off the county roads. The elevation of the site is similar.

Please take this into consideration I will try to make the public meeting but I will be returning from a youth group trip from New Orleans. On Wednesday and time maybe tight.

Thank you

Shannon & Rhonda Zimmerman





3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Baldwin Planning Commission

FROM: D. Daniel Licht

DATE: 17 July 2025

RE: Baldwin – Zoning Ordinance; Fence Regulations

TPC FILE: 269.01

BACKGROUND

Baldwin Township adopted a Zoning Ordinance on 18 April 2022 and assumed planning and zoning administration responsibilities from Sherburne County on 20 June 2022. The Baldwin Township Zoning Ordinance were required by Statute to be consistent with, or at least as restrictive as, the Sherburne County Comprehensive Plan and development regulations. The City of Baldwin was incorporated on 18 November 2024. The City's Comprehensive Plan, Zoning Ordinance, and Subdivision Ordinance are now independent of Sherburne County.

The Zoning Ordinance does not include performance standards or a permitting process for fences. The City Council directed the Planning Commission to consider adoption of regulations for fences. City staff has drafted preliminary ordinance language to establish standards and administrative permits requirements for fences. The proposed regulation were provided for discussion at the Planning Commission at the Special Meeting on 16 April 2025 and revised based on comments for review on 28 May 2025

A public hearing has been noticed for the Planning Commission meeting on 17 July 2025 to consider recommendations to the City Council as to adoption of the proposed fence regulations.

Exhibits:

- Draft ordinance

ANALYSIS

Structures. Fences are structures constructed on lots and are therefore subject to zoning regulations. An administrative zoning permit is to be required for construction of a fence to ensure compliance with established regulations of the Zoning Ordinance. Fences that are over seven feet in height are required to obtain a building permit in accordance with the Building Code.

Construction. The proposed regulations outline allowed materials for fences including masonry, metal rods or chain link, wood, and vinyl. Barbed wire or electric fences are allowed only for agricultural purposes or keeping of farm animals. Fences within required front yards (the required setback from public rights-of-way) are not to be allowed to be less than 75 percent open through use of chain link, metal rod, rail, picket, etc. Fences on riparian lots within the Shoreland Impact Zone (defined as one-half of the structure setback from the Ordinary High Water Level) are to be limited to four feet in height and minimum of 75 percent open.

Height. The height of fences is to be limited to seven feet within rural districts or 12 feet for commercial and industrial districts.

Easements. Platted lots are established with drainage and utility easements at the perimeter of a lot to accommodate stormwater and utilities such as electric, phone, cable, and natural gas. Placement of a fence within these easements, particularly along public rights-of-way may interfere with use of the easement. As such, placement of fences within drainage and utility easements is subject to approval of the City Engineer. Further, a 12 foot setback for fences is required in yards abutting public rights-of-way.

Traffic Visibility. Fences are currently allowed to be built up to all property lines. If a fence is built to the lot line in the front yard or a side yard of a corner lot could result in visual impairment for traffic along streets. The proposed ordinance establishes a visual protection triangle at intersections. The 10 foot setback from lot lines abutting public rights-of-way, in combination with street and right-of-way width, is sufficient to ensure that traffic visibility will not be obstructed.

Exceptions. Exceptions to the proposed fence regulations for are allowed by approval of an Interim Use Permit for special purpose fences. This allows flexibility in addressing unique or unforeseen circumstances.

CONCLUSION

The regulations proposed for fences within the City have been developed by the Planning Commission and are to be considered at a public hearing. The Planning Commission is asked to make recommendations to the City Council on adoption of the fence regulations. The City Council would make the final decision as to adoption of fence regulations. City staff recommends approval of the proposed Zoning Ordinance amendment establishing fence regulations as presented.

- c. Joan Heinen, City Clerk/Treasurer
 Andy Schreder, Building Official

ORDINANCE NO.: 2025-XX

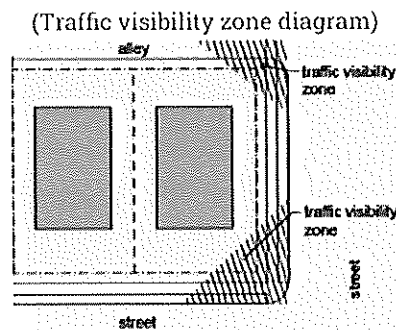
CITY OF BALDWIN
SHERBURNE COUNTY, MINNESOTA

AN ORDINANCE AMENDING THE ZONING ORDINANCE
REGARDING FENCES.

THE BALDWIN CITY COUNCIL ORDAINS:

Section 1. Chapter 16 of Ordinance 900 (Zoning Ordinance – General Performance Standards) is hereby amended to include the following provisions with subsequent sections renumbered accordingly:

900-16-8: TRAFFIC VISIBILITY: Visibility from any street or driveway shall be unobstructed above a height of two feet and less than eight feet, except for fences allowed by Section 900-19-4 of this ordinance, measured from where both street or driveway centerlines intersect within the triangle described as beginning at the intersection of the projected edge of shoulders for rural section streets or curb line of two intersecting streets or drives, then 50 feet along one curb line, then diagonally to a point 50 feet from the point of beginning along the other curb line.



Section 2. Chapter 19 of Ordinance 900 (Zoning Ordinance – Landscaping, Screening, and Fences) is hereby amended to include the following provisions with subsequent sections renumbered accordingly:

900-19-4: FENCES:

A. Approval Required:

1. An administrative permit approved by the zoning administrator in accordance with section 900-8-3 of this ordinance shall be required for construction of any fence less than seven feet in height within a front yard or as a property line fence.
2. A building permit approved by the building official shall be required for construction of any fence seven feet in height or greater.

3. The approvals required under this subsection shall not apply to fences to be constructed for agricultural purposes as defined by this ordinance.

B. Information Submission:

1. Each application shall include a site plan drawn to scale showing the location of:
 - a. Existing buildings(s), structures(s), and other improvements within the lot.
 - b. The location of the fencing proposed to be erected, altered, or relocated.
2. The owner of the property on which a fence exists or is proposed to be constructed shall be responsible for verifying the property lines by:
 - a. Locating the property monuments; or
 - b. If the property lines cannot be located:
 - (1) The zoning administrator or the building official may require the owner of property upon which a fence now exists, or may require any property owner proposing to construct a fence, to establish the boundary lines of the property by a Certificate of Survey thereof to be made by a registered land surveyor; or
 - (2) The owner of property upon which a fence now exists, or the property owner on which the fence is to be constructed, and the owner(s) of the adjoining properties enter into an agreement regarding the location of the fence to be recorded with the titles of the respective properties.

C. All fences within the city shall be located in accordance with the following provisions

1. All fences shall be located entirely upon the property of the person constructing or causing the construction of such fence.
2. No fences shall be placed on or extend into the public rights-of-way.
3. Fences abutting a public right-of-way shall be setback a minimum of 10 feet from the lot line.
4. Fences shall not be allowed within drainage and utility easements except as approved by the city engineer subject to the following conditions:
 - a. The fence or a portion thereof may be removed by the city at any time for the purpose of utilizing the easement, and such action shall be at the property owner's expense.
 - b. For encroachment into a drainage and utility easement allowed by the city engineer, except for standard drainage and utility easements required at the

perimeter of a lot by the Subdivision Ordinance, the property owner shall execute an encroachment agreement that is to be recorded by the city at Sherburne County with the title of the property.

D. Construction Standards:

1. All man-made fences shall be constructed of materials comparable in grade and quality to the following:
 - a. Brick, stone, or rock face block.
 - b. Metal rod or chain link.
 - c. Wood, provided the surfaces are finished for exterior use, or wood of proven durability is used, such as cedar, redwood, white oak, or treated wood.
 - d. Metal; not including galvanized or unfinished steel or aluminum.
 - e. Vinyl.
2. Use of barbed wire or charging by electrical systems shall only be allowed:
 - a. For agricultural purposes as defined by this ordinance.
 - b. For the keeping of farm animals on residential properties as allowed by this ordinance.
 - c. Within commercial and industrial districts for security purposes when installed at a minimum height of seven feet above grade.
3. Height: The allowed height of a fence measured from the highest projection of a fence structure or support post to the adjacent finished grade shall be:
 - a. Rural Districts: 7 feet
 - b. Commercial and Industrial Districts: 12 feet
4. Fences located within a required yard abutting a local street right-of-way as designated by the comprehensive plan shall exceed five feet in height and be not less than 75 percent open.
5. A Fence on riparian lots within the Shoreland Overlay District constructed within the shoreland impact zone shall not exceed four feet in height and shall be not less than 75 percent open.
6. All fences shall not obstruct natural stormwater runoff and drainage.
7. All fences shall be provided with a gate which affords reasonable and convenient access

for public safety and allows maintenance of portion of the lot, including boulevards, outside of the area enclosed by the fence.

8. That side of any fence considered to be its "face" (i.e., the finished side having no structural supports) shall face abutting property.
 9. Both sides of any fence shall be maintained in a condition of reasonable repair and appearance by its owner and shall not be allowed to become and remain in a condition of disrepair or danger, or constitute a nuisance, public or private.
- E. Special Purpose Fences: Fences for special purposes and fences differing in construction as required by this section may be permitted by the City by issuance of an interim use permit in accordance with section 900-5-3 of this ordinance upon a finding by the City Council that the fence is necessary to protect, buffer, or improve the premises for which such fence is intended.

Section 3. This ordinance shall be in full effect upon adoption and publication.

(remainder of page intentionally blank signatures follow)

ADOPTED by the Baldwin City Council this ____ day of _____, 2025.

MOTION BY:
SECONDED BY:
IN FAVOR:
OPPOSED:

CITY OF BALDWIN

Jay Swanson, Mayor

ATTEST:

Joan Heinen, City Clerk/Treasurer